

June 8, 2020 – City Council Regular Meeting – 7:00 p.m.



City Council Chamber
390 Towne Centre Drive
Lathrop, California
(209) 941-7200
www.ci.lathrop.ca.us

City Council

Sonny Dhaliwal, Mayor
Martha Salcedo, Vice Mayor
Paul Akinjo
Diane Lazard
Jennifer Torres-O'Callaghan

City Staff

Stephen Salvatore, City Manager
Salvador Navarrete, City Attorney
Teresa Vargas, City Clerk
Glenn Gebhardt, City Engineer
Michael King, Public Works Director
Cari James, Finance and
Administrative Services Director
Mark Meissner, Community
Development Director
Zachary Jones, Parks and Recreation
Director
Ryan Biedermann, Chief of Police

General Order of Business

1. Preliminary
 - Call to Order
 - Closed Session
 - Roll Call
 - Invocation
 - Pledge of Allegiance
 - Announcements by Mayor/City Mgr.
 - Informational Items
 - Declaration of Conflict of Interest
2. Presentations
3. Citizen's Forum
4. Consent Calendar
5. Scheduled Items
 - Public Hearings
 - Appeals
 - Referrals and Reports from Commissions and Committees
 - All Other Staff Reports and/or Action Items
 - Study Sessions
6. Council Communications
7. Adjournment

Order of Discussion

Generally, the order of discussion after introduction of an item by the Mayor will include comments and information by staff followed by City Council questions and inquiries. The applicant, or their authorized representative, or interested residents, may then speak on the item; each speaker may only speak once to each item. At the close of public discussion, the item will be considered by the City Council and action taken.

Consent Calendar

Items on the Consent Calendar are considered routine by the City Council and will be enacted by one motion and one vote. There will be no separate discussion of these items unless a Councilmember or interested resident so requests, in which case the item will be removed from the Consent Calendar and considered separately.



JUNE 8, 2020 – Regular Meeting Agenda – 7:00 p.m.



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See Reverse

Addressing the Council

Any person may speak once on any item under discussion by the City Council after receiving recognition by the Mayor. Purple speaker cards will be available prior to and during the meeting. To address City Council, a card must be submitted to the City Clerk indicating name, address and number of the item upon which a person wishes to speak. When addressing the City Council, please walk to the lectern located in front of the City Council. State your name and address. In order to ensure all persons, have the opportunity to speak, a time limit will be set by the Mayor for each speaker (see instructions on speaker form). In the interest of time, each speaker may only speak once on each individual agenda item; please limit your comments to new material; do not repeat what a prior speaker has said. If you challenge the nature of a proposed action in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the City Council at, or prior to, the public hearing.

Citizen's Forum

Any person desiring to speak on a matter which is not scheduled on this agenda may do so under the Citizen's Forum section. Please submit your purple speaker card to the City Clerk prior to the commencement of Citizen's Forum. Only those who have submitted speaker cards, or have expressed an interest to speak, prior to the conclusion of Citizen's Forum will be called upon to speak. Please be aware the California Government Code prohibits the City Council from taking any immediate action on an item which does not appear on the agenda, unless the item meets stringent statutory requirements. The Mayor will limit the length of your presentation (see instructions on speaker form) and each speaker may only speak once on this agenda item.

Public Participation

Attendance to this meeting is allowed with the following guidelines. However, in accordance with Executive Order N-25-20, guidance from the California Department of Public Health on gatherings, and to protect our employees and the public, public participation is allowed in the following additional ways:

- Attendance by video/teleconference is not mandatory, however, it is provided as an alternate participation method :
 - ✚ Event address: (**copy and paste link on browser**):
<https://cityoflathrop.webex.com/cityoflathrop/onstage/g.php?MTID=ebb801858c066d8e75d5043b3df8bffa4>
 - ✚ Please log in and register at the bottom of the page, at least thirty minutes (30 min.) prior to the meeting.
 - ✚ For audio only, call-in number: (408) 418-9388 Access code: 146 727 7922
No need to call-in if using WebEx audio on your computer. If using WebEx audio, please use headphones to avoid background noise interference.
- Council Meetings are live-streamed on Comcast Cable Channel 97 and on the City's website at <https://www.ci.lathrop.ca.us/citycouncil/page/live-stream>

- Public comment/questions will be accepted by email to City Clerk Teresa Vargas at Tvargas@ci.lathrop.ca.us
- In order to allow the City Council adequate time to review questions and comments, please submit written questions or comments by 3:00 p.m., on the day of the meeting.

If you have travelled internationally and/or you have had direct contact with someone who has travelled internationally or tested positive for Coronavirus (COVID-19), or you are experiencing symptoms such as coughing, sneezing, fever, sore throat, chills, muscle pain, headache, new loss of taste or smell, difficulty breathing/shortness of breath, or other flu-like symptoms, please DO NOT ATTEND this meeting in person.

If you are in the group of individuals who may be most vulnerable to COVID-19, including older adults and those with underlying health conditions, including but not limited to heart disease, lung disease, immune-compromised, diabetes, or other conditions that could interfere with your ability to fight COVID-19, please consider carefully before attending this meeting in person and keep a six-foot distance from others as much as possible.

To leave a voice message for the Mayor and all Councilmembers simultaneously, dial (209) 941-7230. To send an e-mail for the Mayor and all Councilmembers simultaneously email: citycouncil@ci.lathrop.ca.us

This City Council Agenda and meeting materials can be accessed by computer or any smart device at: <https://www.ci.lathrop.ca.us/meetings>

LIVE STREAMING & CLOSED CAPTIONING – Available, please visit the City Council Webpage: <https://www.ci.lathrop.ca.us/citycouncil/page/live-stream>

Information

Copies of the Agenda are available in the lobby at the Lathrop City Hall, 390 Towne Centre Drive, Lathrop, on Thursday preceding a regularly scheduled City Council meeting. Supplemental documents relating to specific agenda items are available for review in the City Clerk's Office. This agenda was posted at the following locations: City Hall, Community Center, Generations Center, Senior Center, and the Lathrop-Manteca Fire District "J" Street and Somerston Parkway Offices. The meetings of the Lathrop City Council are broadcast on Lathrop Comcast Cable Television Channel 97.

Assistance will be provided to those requiring accommodations for disabilities in compliance with the Americans with Disabilities Act of 1990. Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility and/or accommodations to this meeting. [28 CFR 35.102-35.104 ADA Title II] Interested persons must request the accommodation at least 2 working days in advance of the meeting by contacting the City Clerk at (209) 941-7230. Information about the City or items scheduled on the Agenda may be referred to:

City of Lathrop
Teresa Vargas, City Clerk
390 Towne Centre Drive, Lathrop, CA 95330 / Telephone: (209) 941-7230

**CITY OF LATHROP
CITY COUNCIL REGULAR MEETING
MONDAY, JUNE 8, 2020
7:00 P.M.
COUNCIL CHAMBER, CITY HALL
390 Towne Centre Drive
Lathrop, CA 95330**

AGENDA

PLEASE NOTE: There will be a Closed Session commencing at 6:30 p.m. The Regular Meeting will reconvene at 7:00 p.m., or immediately following the Closed Session, whichever is later.

1. PRELIMINARY

1.1 CALL TO ORDER

1.2 CLOSED SESSION

1.2.1 CONFERENCE WITH LEGAL COUNSEL: Anticipated Litigation -
Significant Exposure to Litigation Pursuant to Government Code
Section 54956.9(b)

- 2 Potential Case(s)

RECONVENE

1.2.2 REPORT FROM CLOSED SESSION

1.3 ROLL CALL

1.4 INVOCATION

1.5 PLEDGE OF ALLEGIANCE

1.6 ANNOUNCEMENT(S) BY MAYOR / CITY MANAGER

1.7 INFORMATIONAL ITEM(S) – None

1.8 DECLARATION OF CONFLICT(S) OF INTEREST

2. PRESENTATIONS - None

3. CITIZEN'S FORUM

Any person desiring to speak on a matter, which is not scheduled on this agenda, may do so under Citizen's Forum. Please submit a purple speaker card to the City Clerk prior to the commencement of Citizen's Forum.

Only those who have submitted speaker cards, or have expressed an interest to speak, prior to the conclusion of Citizen's Forum will be called upon to speak. Please be aware the California Government Code prohibits the City Council from taking any immediate action on an item, which does not appear on the agenda, unless the item meets stringent statutory requirements. The City Council can, however, allow its members or staff to briefly (no more than five (5) minutes) respond to statements made, to ask questions for clarification, make a brief announcement or report on his or her own activities. (See California Government Code Section 54954.2(a)). Unless directed otherwise by a majority of the City Council, all questions asked and not answered at the meeting will be responded to in writing within 10 business days. ALL PUBLIC COMMENTS MUST BE MADE IN COMPLIANCE WITH THE LATHROP CITY COUNCIL HANDBOOK OF RULES AND PROCEDURES!

4. CONSENT CALENDAR

Items on the Consent Calendar are considered routine by the City Council and will be enacted by one motion and one vote. There will be no separate discussion of these items unless the Mayor, Councilmember, or citizen so requests, in which event the item will be removed from the Consent Calendar and considered separately.

- 4.1 WAIVING OF READING OF ORDINANCES AND RESOLUTIONS
Waive the Reading in Full of Ordinances and Resolutions on Agenda and Adopt by Reading of Title Only, Unless Otherwise Requested by the Mayor or a Councilmember
- 4.2 APPROVAL OF MINUTES
Approve Minutes for the Regular Council Meeting of May 11, 2020
- 4.3 APPROVAL OF MINUTES
Approve Minutes for the Special Council Meeting of May 19, 2020
- 4.4 GENERAL MUNICIPAL ELECTION – NOVEMBER 3, 2020
Council to Consider the Following:
 - 1. Adopt Resolution Calling for the Holding of a General Municipal Election to be held on Tuesday, November 3, 2020, for the Election of Certain Officers as Required by the Provisions of the Laws of the State of California Relating to General Law Cities;
 - 2. Adopt Resolution Requesting the San Joaquin County Board of Supervisors to Consolidate a General Municipal Election to be Held on November 3, 2020, with the Statewide General Election to be Held on the Date Pursuant To § 10403 Of The Elections Code; and
 - 3. Adopt Resolution Adopting Regulations for Candidates for Elective Office Pertaining to Candidates Statements Submitted to the Voters at an Election to be Held on Tuesday, November 3, 2020

- 4.5 AGREEMENT WITH MANTECA BULLETIN FOR PUBLICATION OF LEGAL ADVERTISEMENTS
Adopt Resolution Awarding Agreement to the Manteca Bulletin for Publication of Legal Advertisements for the Period of July 1, 2020 through June 30, 2021
- 4.6 RATIFICATION OF THE SAN JOAQUIN COUNCIL OF GOVERNMENTS' ANNUAL FINANCIAL PLAN
Adopt Resolution Ratifying the San Joaquin Council of Governments (SJCOG) Annual Financial Plan for FY 2020-21
- 4.7 EXTENSION OF MEMORANDUM OF UNDERSTANDING BETWEEN THE CITY OF LATHROP, LATHROP MID-MANAGERS AND CONFIDENTIAL EMPLOYEES ASSOCIATION AND SERVICE EMPLOYEES INTERNATIONAL UNION LOCAL 1021, AND UNREPRESENTED EMPLOYEES
Adopt a Resolution Authorizing the City Manager to Execute an Agreement Extending the Memorandums of Understanding with Lathrop Mid-Managers and Confidential Employees Association and Service Employees International Union Local 1021, Provide Unrepresented Staff with the same Terms and Conditions
- 4.8 CONFIRM PARTICIPATION IN THE SAN JOAQUIN URBAN COUNTY PROGRAM FOR YEARS 2021-2023 TO OBTAIN HOUSING AND URBAN DEVELOPMENT FUNDS
Confirm the City of Lathrop's Participation in the San Joaquin Urban County Program for Years 2021-2023 to obtain Housing and Urban Development Funds
- 4.9 SUBMISSION OF CLAIM FOR MEASURE K BICYCLE, PEDESTRIAN, AND SAFE ROUTES TO SCHOOL PROGRAM FUNDS FOR LOUISE AVENUE REHABILITATION CIP PS 18-01
Adopt Resolution Authorizing the City Manager to Execute and Submit the Cycle One Measure K Bicycle, Pedestrian, and Safe Routes to School Program Funds Claim for the Louise Avenue Pavement Rehabilitation CIP PS 18-01, Authorizing the City Manager to Execute and Submit All Future Measure K Claims, and Approving Related Budget Amendment
- 4.10 APPROVE A PROFESSIONAL SERVICES AGREEMENT WITH SOLID NETWORK, INC. FOR INFORMATION TECHNOLOGY MAINTENANCE AND SUPPORT SERVICES
Adopt a Resolution Approving a Professional Services Agreement with Solid Networks, Inc. for Information Technology Maintenance and Support Services
- 4.11 APPROVE EXTENSION OF JANITORIAL SERVICES CONTRACT WITH KOREAN PROFESSIONAL BUILDING MAINTENANCE
Adopt Resolution Approving a One-Year Extension of the Contract with Korean Professional Building Maintenance for Janitorial Services

- 4.12 TRANSPORTATION DEVELOPMENT ACT CLAIM FOR FISCAL YEAR 2019/20
Adopt Resolution Authorizing the Filing of a Transportation Development Act (TDA) Claim for Local Transportation Funds (LTF) for Fiscal Year 2019/20
- 4.13 APPROVE CONTRACT FOR ELECTRICAL TRAFFIC CONTROL DEVICES AND LIGHTING MAINTENANCE SERVICES
Adopt Resolution Approving a Contract with St. Francis Electric, LLC for Electrical Traffic Control Devices and Lighting Maintenance Services
- 4.14 INDUSTRIAL SOLID WASTE LICENSE RENEWAL FOR FISCAL YEAR 2020-21
Adopt Resolution Approving Annual Industrial Solid Waste License Renewal for Stockton Scavengers Association and Delta Container Corporation for Fiscal Year 2020-21
- 4.15 AUTHORIZE ADJUSTMENT TO THE REPUBLIC SERVICES SOLID WASTE COLLECTION RATES FOR FISCAL YEAR 2020-2021 AND APPROVE RELATED BUDGET AMENDMENT
Adopt Resolution Authorizing an Increase to Republic Services Collection Rates Based on the Consumer Price Index for San Francisco-Oakland-San Jose for All Urban Consumers for Fiscal Year 2020-2021, and Six Month Deferral, and Related Budget Amendment

RIVER ISLANDS CONSENT ITEM(S)

- 4.16 APPROVAL OF A LARGE LOT FINAL MAP AND SUBDIVISION IMPROVEMENT AGREEMENT FOR 20 NON-BUILDABLE PARCELS (TRACT 4032) WITHIN LAKESIDE WEST DISTRICT OF RIVER ISLANDS
Adopt Resolution Approving a Large Lot Final Map for Tract 4032 within Lakeside West District, Totaling 20 Non-Buildable Parcels, a Subdivision Improvement Agreement with River Islands Stage 2B, LLC, and Abandonment of a Portion of Paradise Road and Cohen Road
- 4.17 ACCEPT STAGE 2A SEWER LIFT STATION AND FLUSHING STATION IMPROVEMENTS AND ASSOCIATED GRANT DEEDS
Adopt Resolution Accepting Stage 2A Sewer Lift Station and Flushing Station Improvements and Associated Grant Deeds from River Islands Stage 2A, LLC
- 4.18 APPROVE A MASTER CONSULTANT AGREEMENT AND TASK ORDER NO. 1 WITH CSG CONSULTANTS, INC.
Adopt Resolution Approving a Master Consultant Agreement and Task Order No. 1 with CSG Consultants, Inc. to Provide Plan Check Services for the River Islands Project

- 4.19 ACCEPT DEDICATION OF COMMUNICATION TOWER SITE, ACCEPT IRREVOCABLE OFFER OF DEDICATION FOR J7 STREET AND APPROVE AGREEMENT FOR CONSTRUCTION AND OPERATION OF THE TOWER
Adopt Resolution Accepting Dedication of Communication Tower Site, Accepting Irrevocable Offer of Dedication for J7 Street and Approving an Agreement with River Islands Employment Center, LLC for Construction and Operation of a Communications Tower in River Islands
- 4.20 APPROVE OPTION AND TOWER LEASE AGREEMENT WITH NEW CINGULAR WIRELESS PCS, LLC FOR USE OF CITY OWNED TOWER
Adopt Resolution Approving an Option and Tower Lease Agreement with New Cingular Wireless PCS, LLC for Use of City Tower

5. SCHEDULED ITEMS

- 5.1 PUBLIC HEARING (PUBLISHED NOTICE) TO CONSIDER ADOPTION OF THE CITY OF LATHROP 2020 SOUTH LATHROP SPECIFIC PLAN (SLSP) AND LATHROP GATEWAY BUSINESS PARK SPECIFIC PLAN (LGBPSP) CAPITAL FACILITIES FEES STUDY UPDATE AND THE FEES RECOMMENDED THEREIN
Council to Consider the Following:
 - 1. Hold a Public Hearing; and
 - 2. Adopt a Resolution Adopting the City of Lathrop 2020 South Lathrop Specific Plan (SLSP) and Lathrop Gateway Business Park Specific Plan (LGBPSP) Capital Facilities Fees Study Update and the Fees Recommended Therein
- 5.2 NAMING OF NEW CITY PARKS
Adopt a Resolution to name the Neighborhood Park in Mossdale after William S. Moss and the Neighborhood Park in Stanford Crossing in Honor of Leland and Jane Stanford and Related Budget Amendment
- 5.3 PUBLIC HEARING (PUBLISHED NOTICE) TO CONSIDER FISCAL YEAR 2020/21 ASSESSMENTS FOR INDUSTRIAL LIGHTING MAINTENANCE DISTRICT; RESIDENTIAL LIGHTING MAINTENANCE DISTRICT; MOSSDALE LANDSCAPE AND LIGHTING DISTRICT; STONEBRIDGE LANDSCAPING MAINTENANCE DISTRICT; STONEBRIDGE DRAINAGE AND LIGHTING DISTRICT; STORM DRAIN DISTRICT ZONE 1; AND STORM DRAIN DISTRICT ZONE 1A
Council to Consider the Following:
 - 1. Hold a Public Hearing;
 - 2. Adopt Resolution Approving the Final Engineer’s Report and Ordering the Levy and Collection of Assessments for the City of Lathrop Industrial Lighting Maintenance District for Fiscal Year 2020/21; Maximum Assessment for the District for Fiscal Year 2020/21 not to exceed Zone A \$7.94; Zone B \$40.47; Zone C \$7.94, and Proposed Annual Assessment for Fiscal Year 2020/21 Zone A \$7.94; Zone B \$40.47; Zone C \$7.94;

3. Adopt Resolution Approving the Final Engineer’s Report and Ordering the Levy and Collection of Assessments for the City of Lathrop Residential Lighting Maintenance District for Fiscal Year 2020/21; Maximum Assessment for the District for Fiscal Year 2020/21 not to exceed Zone A \$44.30; Zone B \$47.47; Zone C \$31.21; Zone D \$58.06; Zone E \$61.04; Zone F \$35.11; Zone G \$8.03, and Proposed Annual Assessment for Fiscal Year 2020/21 Zone A \$44.30; Zone B \$47.47; Zone C \$31.21; Zone D \$58.06; Zone E \$61.04; Zone F \$35.11; Zone G \$8.03;
4. Adopt Resolution Approving the Final Engineer’s Report and Ordering the Levy and Collection of Assessments for the Mossdale Landscape and Lighting Maintenance District for Fiscal Year 2020/21; Maximum Assessment for Fiscal Year 2020/21 not to exceed \$284.38, and Proposed Annual Assessment for Fiscal Year 2020/21 \$276.10;
5. Adopt Resolution Approving the Final Engineer’s Report and Ordering the Levy and Collection of Assessments for the Stonebridge Landscape Maintenance District and the Stonebridge Drainage & Lighting District for Fiscal Year 2020/21; Maximum Assessments for each District for Fiscal Year 2020/21 not to exceed \$438.78, and Proposed Annual Assessments for Fiscal year 2020/21 for Stonebridge Landscape Maintenance District is \$292.88 and for Stonebridge Drainage & Lighting District is \$248.14; and
6. Adopt Resolution Approving the Final Engineer’s Report and Ordering the Levy and Collection of Assessments for the Storm Drain District Zone 1 and Storm Drain District Zone 1A for Fiscal Year 2020/21; Proposed Annual Assessment for Fiscal Year 2020/21 for Storm Drain Zone 1 not to exceed \$112.52, and Proposed Annual Assessment for Fiscal Year 2020/21 for Storm Drain Zone 1A not to exceed \$199.92

5.4 PUBLIC HEARING (PUBLISHED NOTICE) TO CONSIDER FISCAL YEAR 2020/21 ASSESSMENTS FOR LANDSCAPE AND LIGHTING MAINTENANCE DISTRICT NO. 93-1 WOODFIELD PARK MAINTENANCE ZONE

Council to Consider the Following:

1. Hold a Public Hearing; and
2. Adopt a Resolution Approving the Final Engineer’s Report and Ordering the Levy and Collection of Assessments for the Landscape and Lighting Maintenance District No. 93-1 Woodfield Park Maintenance Zone for Fiscal Year 2020/21

2. COUNCIL COMMUNICATIONS

- 6.1 MAYOR DHALIWAL REFERRAL: Appointment of One (1) Member to the Planning Commission with Terms Expiring June 30, 2024
 - One (1) Application for Consideration

- 6.2 MAYOR & COUNCILMEMBER COMMITTEE REPORT(S)
- *Central Valley Executive Committee/LOCC (Akinjo/Salcedo)*
 - *Council of Governments (Dhaliwal/Lazard)*
 - *Integrated Waste Management Solid Waste Division (Akinjo/Torres-O'Callaghan)*
 - *Reclamation District 17 Joint Powers Authority (Salvatore)*
 - *San Joaquin Partnership Board of Directors (Salvatore)*
 - *San Joaquin County Commission on Aging (Zavala)*
 - *San Joaquin Valley Air Pollution Control District (Akinjo/Dhaliwal)*
 - *Water Advisory Board (Torres-O'Callaghan/Lazard)*
 - *Tri Valley-San Joaquin Valley Regional Rail Authority (Akinjo)*
 - *San Joaquin Area Flood Control Agency (Akinjo & Lazard)*

6.3 MAYOR & COUNCILMEMBER COMMENT(S)

7. ADJOURNMENT

/Teresa Vargas/

Teresa Vargas, CMC
City Clerk

ITEM 4.2

**CITY OF LATHROP
CITY COUNCIL REGULAR MEETING
MONDAY, MAY 11, 2020
7:00 P.M.
COUNCIL CHAMBER, CITY HALL
390 Towne Centre Drive
Lathrop, CA 95330**

MINUTES

Pursuant to the Governor's Executive Order N-25-20

On March 12, 2020, Governor Newsom issued Executive Order N-25-20, which allowed the option to attend public meetings telephonically/teleconference during the COVID-19 pandemic. In accordance with the Executive Order N-25-20, guidance from the California Department of Public Health on gatherings, and to protect our employees and the public, remote public participation was allowed, but not mandatory. The meeting was available by Cisco Webex teleconference to the public, as well as reduced capacity in-person participation in accordance with social distancing guidelines.

PLEASE NOTE: There was a Closed Session, which commenced at 6:48 p.m. The Regular Meeting reconvened at 7:05 p.m.

1. PRELIMINARY

1.1 CALL TO ORDER - Mayor Dhaliwal called the meeting to order at 6:48 p.m.

1.2 CLOSED SESSION

1.2.1 CONFERENCE WITH LABOR NEGOTIATOR Pursuant to Government Code Section 54957.6
Agency Negotiator: Stephen J. Salvatore, City Manager
Employee Organization: Service Employees International Union (SEIU) Local 1021

1.2.2 CONFERENCE WITH LABOR NEGOTIATOR Pursuant to Government Code Section 54957.6
Agency Negotiator: Stephen J. Salvatore, City Manager
Employee Organization: Lathrop Mid-Managers and Confidential Employees Association (LMCEA)

1.2.3 CONFERENCE WITH LABOR NEGOTIATOR Pursuant to Government Code Section 54957.6
Agency Negotiator: Stephen J. Salvatore, City Manager
Unrepresented Employees: Chief Information Officer, City Clerk, City Engineer, Director of Administrative Services, Director of Community Development, Director of Finance, Director of Parks and Recreation, Director of Public Works and Human Resources Manager

RECONVENE – Mayor Dhaliwal reconvened at the meeting at 7:05 p.m.

Following the reconvening of the meeting after closed session by Mayor Dhaliwal, City Clerk Teresa Vargas provided guidelines for those joining the meeting via the teleconference WebEx option. Ms. Vargas also announced that all public comment letters and presentations were available on the City's agendas & minutes webpage for those joining by WebEx.

1.2.4 REPORT FROM CLOSED SESSION

City Attorney Salvador Navarrete reported that direction was provided to the Agency Labor Negotiator in regards to Item 1.2.1 through 1.2.3 direction; no other reportable action was taken.

- 1.3 ROLL CALL Present: Mayor Dhaliwal; Vice Mayor Salcedo;
Councilmembers: Akinjo, Lazard, and Torres-O'Callaghan
Absent: None
- 1.4 INVOCATION – Planning Commissioner Steve Dresser provided the invocation.
- 1.5 PLEDGE OF ALLEGIANCE - Planning Commissioner Steve Dresser led the pledge of allegiance.
- 1.6 ANNOUNCEMENT(S) BY MAYOR / CITY MANAGER - None
- 1.7 INFORMATIONAL ITEM(S) – None
- 1.8 DECLARATION OF CONFLICT(S) OF INTEREST

Councilmember Lazard declared a conflict of interest with Item 4.14, due to her employment with Dell'Osso Family Farms. Mayor Dhaliwal declared conflict of interest with Item 4.13, due to his residence within the Woodfield Park District area. City Attorney Salvador Navarrete confirmed the declarations of conflict as presented.

2. PRESENTATIONS - None

3. CITIZEN'S FORUM

City Clerk Teresa Vargas announced public comment letter, dated May 11, 2020, for citizen's forum, submitted by Martin Harris with Terra Land Group, LLC. There were no speakers for citizen's forum.

4. CONSENT CALENDAR

On a motion by Mayor Dhaliwal, seconded Councilmember Lazard, the City Council approved the Consent Calendar, except *Items 4.13 and 4.14, by the following roll call vote, unless otherwise indicated:

Ayes: Akinjo, Lazard, Salcedo, Torres-O'Callaghan, and Dhaliwal
Noes: None
Absent: None
Abstain: Torres-O'Callaghan (Item 4.2 only; due to absence)

** Councilmember Lazard declared a conflict of interest with Item 4.14, due to her employment with Dell'Osso Family Farms. Mayor Dhaliwal declared conflict of interest with Item 4.13, due to his residence within the Woodfield Park District area. (See Item 1.8 for declarations)*

***Councilmember Torres-O'Callaghan abstained from voting on Item 4.2 due to absence during the March 9, 2020, City Council Regular Meeting.*

4.1 WAIVING OF READING OF ORDINANCES AND RESOLUTIONS

Waived the Reading in Full of Ordinances and Resolutions on Agenda and Adopted by Reading of Title Only, Unless Otherwise Requested by the Mayor or a Councilmember.

4.2 **APPROVAL OF MINUTES

Councilmember Torres-O'Callaghan abstained from voting on Item 4.2 due to absence during the March 9, 2020, City Council Regular Meeting.

Approved Minutes for the Regular Council Meeting of March 9, 2020.

4.3 APPROVAL OF MINUTES

Approved Minutes for the Special Council Meeting of March 19, 2020.

4.4 APPROVAL OF MINUTES

Approved Minutes for the Regular Council Meeting of April 13, 2020.

4.5 TREASURER'S REPORT FOR MARCH 2020

Item pulled by Councilmember Akinjo. Finance and Administrative Services Director Cari James provided the information.

Approved Quarterly Treasurer's Report for March 2020.

4.6 RATIFY CONTRACT AMENDMENT WITH CONDOR EARTH TECHNOLOGIES, INC. FOR ENGINEERING SUPPORT SERVICES

Adopted **Resolution 20-4708** ratifying the City Manager's action to execute Amendment No. 1 to the Professional Services Agreement with Condor Earth Technologies, Inc. to provide engineering support services.

4.7 CIP PK 19-17 SENIOR CENTER IMPROVEMENTS BUDGET AMENDMENT

Adopted **Resolution 20-4709** approving an increase in funding for Capital Improvement Project PK 19-17 Senior Center Improvements and related budget amendment.

4.8 CREATE CIP PK 20-23 FOR IMPROVEMENTS AT THE LATHROP GENERATIONS CENTER

Adopted **Resolution 20-4710** approving the creation of CIP PK 20-23 for the design and installation of improvements at the Lathrop Generations Center and related budget amendment.

4.9 CREATE CIP GG 20-24 BACK-UP GENERATOR INSTALLATION AT THE COMMUNITY CENTER

Adopted **Resolution 20-4711** the creation of CIP GG 20-24 community center backup power generator, related budget amendment, and ratification of the purchase.

4.10 APPROVE CONSTRUCTION CONTRACT AND AUTHORIZE THE CITY MANAGER TO SIGN CALTRANS AGREEMENT FOR CIP PS 18-03 TRAFFIC SIGNAL INSTALLATION – INTERSECTION OF GOLDEN VALLEY PARKWAY & SPARTAN WAY

Adopted **Resolution 20-4712** a Construction Contract and authorizing the City Manager to sign a Caltrans Agreement between the City and Mike Brown Electric Co. for construction of CIP PS 18-03 traffic signal installation at the intersection of Golden Valley Parkway and Spartan Way, and related budget amendment.

4.11 APPROVAL OF PARCEL MAP 20-02, DEDICATION OF PARCEL 5 TO THE CITY, SUBDIVISION IMPROVEMENT AGREEMENT, AND JOINT ESCROW INSTRUCTIONS FOR NORTH CROSSROADS BUSINESS CENTER

Adopted **Resolution 20-4713** approving the North Crossroads Business Center Parcel Map 20-02, totaling five (5) lots, accepting dedication to the City of parcel 5, and approving Subdivision Improvement Agreement and related joint escrow instructions.

4.12 APPROVAL OF THE PRELIMINARY ENGINEER'S REPORT AND DECLARING INTENTION TO LEVY ANNUAL ASSESSMENTS FOR FISCAL YEAR 2020/21 FOR INDUSTRIAL LIGHTING MAINTENANCE DISTRICT; RESIDENTIAL LIGHTING MAINTENANCE DISTRICT; MOSSDALE LANDSCAPE AND LIGHTING MAINTENANCE DISTRICT; STONEBRIDGE LANDSCAPE MAINTENANCE DISTRICT; STONEBRIDGE DRAINAGE AND LIGHTING DISTRICT; STORM DRAIN DISTRICT ZONE 1; AND STORM DRAIN DISTRICT ZONE 1A

The City Council considered the following:

1. Adopted **Resolution 20-4714** approving the Preliminary Engineer's Report for the Industrial Lighting Maintenance District and declaring intention to levy annual assessments for Fiscal Year 2020/21;
2. Adopted **Resolution 20-4715** approving the Preliminary Engineer's Report for the Residential Lighting Maintenance District and Declaring Intention to Levy Annual Assessments for Fiscal Year 2020/21;
3. Adopted **Resolution 20-4716** approving the Preliminary Engineer's Report for the Mossdale Landscape and Lighting Maintenance District and declaring intention to levy annual assessments for Fiscal Year 2020/21;
4. Adopted **Resolution 20-4717** approving the Preliminary Engineer's Report for the Stonebridge Landscape Maintenance District and the Stonebridge Drainage & Lighting District and declaring intention to levy annual assessments for Fiscal Year 2020/21; and
5. Adopted **Resolution 20-4718** approving the Preliminary Engineer's Report for the Storm Drain Districts Zones 1 and 1A and declaring intention to levy annual assessments for Fiscal Year 2020/21.

Mayor Dhaliwal recused himself, following the vote of the consent calendar (Item 4.1 to 4.12), and left the chamber at 7:20 p.m., prior to the vote of Item 4.13, due to declared conflict of interest as noted in Item 1.8. Vice Mayor Salcedo preceded over the meeting.

4.13 *APPROVAL OF THE PRELIMINARY ENGINEER'S REPORT AND DECLARING INTENTION TO LEVY ANNUAL ASSESSMENTS FOR FISCAL YEAR 2020/21 FOR LANDSCAPE AND LIGHTING MAINTENANCE DISTRICT NO. 93-1 (WOODFIELD PARK)

Item pulled by Councilmember Akinjo. Finance and Administrative Services Director Cari James responded to questions.

On a motion by Vice Mayor Salcedo, seconded by Councilmember Lazard, the City Council approved **Resolution 20-4719** approving the Preliminary Engineer's Report for Landscape and Lighting Maintenance District No. 93-1 (Woodfield Park) and declaring intention to levy annual assessments for Fiscal Year 2020/21, by the following roll call vote, unless otherwise indicated:

Ayes: Akinjo, Lazard, Torres-O'Callaghan, and Salcedo
Noes: None
Absent: None
Abstain: Dhaliwal

RIVER ISLANDS CONSENT ITEM(S)

Councilmember Lazard recused herself, following the vote of the consent calendar (Item 4.1 to 4.12) and Item 4.13, and left the chamber at 7:23 p.m., prior to the vote of Item 4.14, due to declared conflict of interest as noted in Item 1.8. Mayor Dhaliwal returned to the chamber/dais at 7:24 p.m., for the remainder of the meeting.

4.14 **APPROVAL OF FINAL MAP AND SUBDIVISION IMPROVEMENT AGREEMENT (SIA) FOR 44 LOTS IN TRACT 4021 VILLAGE "S" WITHIN LAKESIDE EAST DISTRICT OF RIVER ISLANDS

On a motion by Mayor Dhaliwal, seconded by Councilmember Akinjo, the City Council approved **Resolution 20-4720** approving a Final Map for Tract 4021 Village "S" within the Lakeside East District of River Islands, totaling 44 single family detached units (44 lots), and a Subdivision Improvement Agreement with River Islands Development, LLC, and City of Lathrop Annexation No. 12 CFD.

Ayes: Akinjo, Salcedo, Torres-O'Callaghan, and Dhaliwal
Noes: None
Absent: None
Abstain: Lazard

5. SCHEDULED ITEMS

Councilmember Lazard returned to the chamber/dais at 7:26 p.m., for the remainder of the meeting.

City Clerk Teresa Vargas announced request to present Item 5.3 before Item 5.1. The City Council considered the request and gave consensus. The scheduled items were heard in the following order: Item 5.3, 5.1 and 5.2.

5.1 CONSIDER APPEAL OF THE PLANNING COMMISSION'S DECISION TO APPROVE THE CFT PHASE 2 PROJECT

Community Development Director Mark Meissner introduced City Planning Consultant David Niskanen (JB Anderson Planning). Mr. Niskanen provided the presentation. A question and answer period followed.

Kenneth D Anderson (President, KD Anderson & Associates, Inc., representing Ghai Management Services, Inc.) expressed various concerns relating to cut-through traffic impacts to the Burger King Restaurant near the CFT Phase 2 project site. Charanjit (Sunny) Ghai (President, Ghai Management Services, Inc., Appellant) expressed various concerns related to the traffic impacts to his Burger King Restaurant, and requested City Council consideration of his appeal of the Planning Commission approval of Resolution No. 20-6 related to the CFT Phase 2 Project. Luis Guzman (Project Manager, GWA Architecture Inc., Applicant) introduced himself and made himself available for questions of the Council related to the CFT Phase 2 Project.

There were no other speakers. The question and answer period continued. City Planning Consultant David Niskanen responded to questions of the City Council.

On a motion by Mayor Dhaliwal, seconded by Councilmember Akinjo, the City Council:

1. Considered all written and oral information presented in this report and at the Regular City Council Meeting of May 11, 2020; and
2. Adopted **Resolution 20-4722** affirming the Planning Commission's decision to approve Resolution No. 20-6 for a site plan review for the construction of a 1,608 sq. ft. Sonic Drive-In Restaurant on a 0.69 acre site and an 862 sq. ft. Dutch Brothers Coffee with drive-through on a 0.49 acre site, with related site work including landscaping, lighting, and frontage improvements, as amended by the City Council to modify the Planning Commission's decision and add a new condition to install a three (3) way stop sign at the intersection of Old Harlan Road and Harlan Road.

Ayes: Akinjo, Salcedo, Torres-O'Callaghan, and Dhaliwal
Noes: None
Absent: Lazard
Abstain: None

5.2 CREATE AN EMERGENCY GENERAL ASSISTANCE PROGRAM UTILIZING CDBG-CV ALLOCATION, AUTHORIZE USE OF MEASURE D FUNDS FOR A SMALL BUSINESS ASSISTANCE PROGRAM, AND APPROVE RESPECTIVE BUDGET AMENDMENTS

Economic Development Administrator Shelley Burcham provided the presentation regarding the grant assistance programs. City Manager Stephen Salvatore presented information related to Phase 2 of the Governor's Plan to Reopen California and related guidelines. A question and answer period ensued throughout the presentation.

Marcus Shahan (Owner, The Boathouse at River Islands) expressed various concerns with financial impacts related to COVID-19 to small businesses; expressed support to push forward with reopening quickly and safely. City Manager Stephen Salvatore provided additional information on requesting a potential variance for small businesses.

On a motion by Councilmember Torres-O'Callaghan, seconded by Vice Mayor Salcedo, the City Council:

1. Adopted **Resolution 20-4723** accept CDBG-CV allocation for creation of an Emergency General Assistance Grant Program and authorize related budget amendment; and

- 2. Adopted **Resolution 20-4724** establishing a Small Business Assistance Grant Program, authorizing funding with the use of Measure D funds, and authorized related budget amendment.

Ayes: Akinjo, Lazard, Salcedo, Torres-O’Callaghan, and Dhaliwal
Noes: None
Absent: None
Abstain: None

5.3 CITY OF LATHROP COMMUNITY EVENT CANCELLATIONS DUE TO THE CORONAVIRUS (COVID-19)

Parks and Recreation Director Zach Jones provided the presentation. A question and answer period followed. City Manager Stephen Salvatore and Police Chief Ryan Biedermann responded to questions of the Council.

City Clerk Teresa Vargas announced public comment letter, dated May 8, 2020, Item 5.3, submitted by Dennis C. Revell, in support of removing the sale of safe and sane fireworks from the proposed event cancellations list.

Steve Dresser (Lathrop, CA), Beau Grisham (Lathrop Jr. Spartans), Donna Taylor (Lathrop Jr. Spartans), Lavon Tindell (Lathrop Sunrise Rotary), and Louis Linney (TNT Fireworks) all spoke in support of removing the sale of safe and sane fireworks from the proposed event cancellations list. In addition to, using social distancing guidelines during the sale of safe and sane fireworks sales and encouraging the public to use fireworks with members of current household.

The question and answer period continued. Parks and Recreation Director Zach Jones spoke about the potential to replace some events and large gatherings with virtual events during the shelter at home order.

On a motion by Mayor Dhaliwal, seconded by Councilmember Lazard, the City Council reviewed the information presented, heard public comment, and approved **Resolution 20-4721** cancelling community events in compliance with the Governor’s shelter at home order due to the COVID-19 Pandemic, as amended by the City Council to remove the sale of safe and sane fireworks from the proposed event cancellations list.

Ayes: Akinjo, Lazard, Salcedo, Torres-O’Callaghan, and Dhaliwal
Noes: None
Absent: None
Abstain: None

6. COUNCIL COMMUNICATIONS

- 6.1 MAYOR & COUNCILMEMBER COMMITTEE REPORT(S) – None

6.2 MAYOR & COUNCILMEMBER COMMENT(S)

Councilmember Lazard reported garbage on the right-way near 5th Street. Councilmember Torres-O'Callaghan and Vice Mayor Salcedo congratulated recent graduates and gave encouragement for those not being able to celebrate traditional graduations. Mayor Dhaliwal thanked those in attendance and thanked staff for their work during the COVID-19 pandemic.

7. **ADJOURNMENT** - There being no further business, Mayor Dhaliwal adjourned the meeting at 9:22 p.m.



Teresa Vargas, CMC
City Clerk

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CITY OF LATHROP
CITY COUNCIL SPECIAL MEETING

TUESDAY, MAY 19, 2020, 5:00 P.M.

COUNCIL CHAMBER, CITY HALL
390 Towne Centre Drive, Lathrop, CA 95330

MINUTES

Pursuant to the Governor's Executive Order N-25-20

On March 12, 2020, Governor Newsom issued Executive Order N-25-20, which allowed the option to attend public meetings telephonically/teleconference during the COVID-19 pandemic. In accordance with the Executive Order N-25-20, guidance from the California Department of Public Health on gatherings, and to protect our employees and the public, remote public participation was allowed, but not mandatory. The meeting was available by Cisco Webex teleconference to the public, as well as reduced capacity in-person participation in accordance with social distancing guidelines.

1. PRELIMINARY

- 1.1 CALL TO ORDER – Mayor Dhaliwal called the meeting to order at 5:04 p.m.
- 1.2 ROLL CALL Present (in person): Mayor Dhaliwal, Vice Mayor Salcedo and Councilmember Lazard
Present (teleconference): Councilmembers: Akinjo and Torres-O’Callaghan

Absent: None
- 1.3 PLEDGE OF ALLEGIANCE & INVOCATION - Senior Pastor Donald R. Britton, Grace Community Church provided an invocation and led the pledge of allegiance.

2. SCHEDULED ITEMS

- 2.1 CITY COUNCIL TO ADOPT A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LATHROP APPROVING A JOINT PETITION WITH THE COUNTY OF SAN JOAQUIN AND ITS INCORPORATED CITIES TO PETITION TO REOPEN BUSINESSES

City Attorney Salvador Navarrete provided a summary on the item. A question and answer period followed.

Rebecca Fernandez requested information regarding reopening guidelines for places of worship and businesses, and measures put in place to encourage compliance with said guidelines. City Attorney Salvador Navarrete provided the information.

The question and answer period continued. City Manager Stephen Salvatore provided additional information related to reopening guidelines and responded to question of the City Council.

On a motion by Mayor Dhaliwal, seconded by Councilmember Lazard, the City Council approved **Resolution 20-4725** approving a joint petition with the County of San Joaquin and its Incorporated Cities to petition to reopen businesses, by the following roll call vote, unless otherwise indicated:

Ayes:	Akinjo, Lazard, Salcedo, Torres-O'Callaghan, and Dhaliwal
Noes:	None
Absent:	None
Abstain:	None

3. **ADJOURNMENT** – There being no further business, Mayor Dhaliwal adjourned the meeting at 5:42 p.m.



Teresa Vargas, CMC
City Clerk

This meeting was called by a majority of the City Council per Government Code Section 54956.5.

ITEM: GENERAL MUNICIPAL ELECTION – NOVEMBER 3, 2020

RECOMMENDATION: Council to Consider the Following:

- 1. Adopt Resolution Calling for the Holding of a General Municipal Election to be held on Tuesday, November 3, 2020, for the Election of Certain Officers as Required by the Provisions of the Laws of the State of California Relating to General Law Cities;**
- 2. Adopt Resolution Requesting the San Joaquin County Board of Supervisors to Consolidate a General Municipal Election to be Held on November 3, 2020, with the Statewide General Election to be Held on the Date Pursuant To § 10403 Of The Elections Code; and**
- 3. Adopt Resolution Adopting Regulations for Candidates for Elective Office Pertaining to Candidates Statements Submitted to the Voters at an Election to be Held on Tuesday, November 3, 2020**

SUMMARY:

The 2020 General Municipal Election will be held on November 3, 2020 for the two-year-term Mayor’s seat and two four-year-term City Council seats. The terms ending are those of Mayor Dhaliwal, Vice Mayor Salcedo, and Councilmember Torres-O’Callaghan.

By statute, a number of actions and decisions must be made by the City Council before the opening of nominations. The City Clerk, as Elections Official, has prepared the attached resolutions for City Council consideration, which will call the election, request consolidation with the County, and establish necessary guidelines.

BACKGROUND:

Pursuant to Lathrop Municipal Code Section 1.08.010, the City of Lathrop holds its General Municipal Election on the same day as the Statewide General Election. This is the first Tuesday, after the first Monday in November of each even-numbered year. This year, the date is November 3, 2020. The election will be consolidated with San Joaquin County and the Registrar of Voters will be asked to conduct the election on behalf of the City of Lathrop.

The election services provided by the Registrar of Voters primarily include the printing and mailing of ballots, opening and closing of voting centers, counting of ballots, canvassing of returns and all other proceedings incidental to and connected with the City's General Municipal Election, amongst other related services.

In order to initiate the administration of the General Municipal Election as required by the Elections Code, staff is requesting City Council consideration of the attached resolutions. Once adopted, the signed resolutions will be forwarded to the Clerk of the Board of Supervisors for the Board's approval, with a copy to the Registrar of Voters. The resolutions are as follows:

1. Resolution Calling for the Holding of a General Municipal Election on Tuesday, November 3, 2020 (Attachment A)

The Elections Code provides that the City Council shall issue a resolution calling the election. Attached is a resolution calling for the holding of a General Municipal Election in the City of Lathrop on November 3, 2020 for the election of three (3) Members of the City Council, for the following terms:

- Mayor - Full term of two (2) years
- Two (2) Members of City Council - Full term of four (4) years

2. Resolution Requesting the County of San Joaquin to Consolidate the General Municipal Election with the Statewide General Election (Attachment B)

The Elections Code provides that the City Council may, by resolution; request that the County Board of Supervisors permit the County Elections Official to render specified services to the City relating to the conduct of an election. The City Clerk will work closely with the San Joaquin County Registrar of Voters for election services. The City reimburse the County for these services upon completion of the work and presentation of an appropriately approved invoice to the City.

3. Resolution Approving Regulations Pertaining to the Candidate Statements (Attachment C)

The Elections Code provides that the City Council adopt regulations pertaining to the statement prepared by any candidate for the General Municipal Election and to determine whether a charge shall be levied to cover the actual costs of such statement.

The statement may include the name, age, and occupation of the candidate and a brief description of no more than 200 words about the candidate's education and qualifications as expressed by the candidate. The City Council may authorize an increase in the limitation of words for the statement from 200 to 400 words.

Historically, the City of Lathrop has not authorized the word increase. Staff recommends authorizing the 200-word limit for this election, in order to avoid increased costs for the statements.

It is recommended that any candidate who chooses to submit a candidate statement pay for the costs of translating, printing, and mailing of the candidate statement. Upon submission of nomination papers, candidates would be required to provide a deposit to the City Clerk, payable to the City of Lathrop, for this purpose.

The cost estimate is calculated by the San Joaquin County Registrar of Voters, based on the number of registered voters, page formatting and the number of pages of the sample ballot and will be provided to the candidate during the nomination process. Staff anticipates the deposit amount to be anywhere between \$500 and \$600 dollars. The candidate shall be refunded any overage or billed for any additional costs within 30 days of the actual accounting of said costs by the San Joaquin County Registrar of Voters.

RECOMMENDATION:

Staff recommends that the City Council adopt the resolutions provided regarding the upcoming General Municipal Election to be held on November 3, 2020, and direct the City Clerk, as Elections Official, to work with the San Joaquin County Registrar of Voters on election preparations and related activities.

FISCAL IMPACT:

As of May 29, 2020, the San Joaquin County Registrar of Voters has not been able to provide a cost estimate for the 2020 Municipal General Election. However, the cost from prior election years have been between \$25,000 and \$35,000.

Election costs for \$35,000 are included in the adopted Fiscal Year 2020-2021 budget. This was an estimate included during the budget process. However, considering the increase in population the final cost from the County may be slightly higher than anticipated from the last election. In this case, a budget amendment from the General Fund will be requested during the FY 2020-2021 midyear approval process.

ATTACHMENTS:

- A. Resolution Calling for the Holding of a General Municipal Election on Tuesday, November 3, 2020
- B. Resolution Requesting the County of San Joaquin to Consolidate the General Municipal Election with the Statewide General Election
- C. Resolution Approving Regulations Pertaining to the Candidate Statements

**CITY MANAGER'S REPORT
JUNE 8, 2020 CITY COUNCIL REGULAR MEETING
GENERAL MUNICIPAL ELECTION - NOVEMBER 3, 2020**

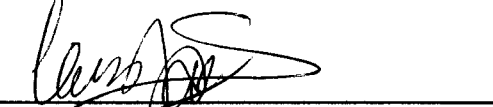
APPROVALS:



Teresa Vargas
City Clerk

5/30/20


Date



Cari James
Finance Director

6-2-2020


Date



Salvador Navarrete
City Attorney

6-1-2020

Date



Stephen J. Salvatore
City Manager

6.3.2020

Date

RESOLUTION NO. 20-_____

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LATHROP, CALIFORNIA, CALLING FOR THE HOLDING OF A GENERAL MUNICIPAL ELECTION TO BE HELD ON TUESDAY, NOVEMBER 3, 2020, FOR THE ELECTION OF CERTAIN OFFICERS AS REQUIRED BY THE PROVISIONS OF THE LAWS OF THE STATE OF CALIFORNIA RELATING TO GENERAL LAW CITIES

WHEREAS, under the provisions of the laws relating to general law cities in the State of California, a General Municipal Election shall be held on Tuesday, November 3, 2020, for the election of Municipal Officers;

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF LATHROP, CALIFORNIA, DOES RESOLVE, DECLARE, DETERMINE AND ORDER AS FOLLOWS:

SECTION 1. That pursuant to the requirements of the laws of the State of California relating to General Law Cities, there is called and ordered to be held in the City of Lathrop, California, on Tuesday, November 3, 2020, a General Municipal Election for the purpose of electing a Mayor for the full term of two (2) years (beginning December 2020 and ending December 2022) and two (2) Members of the City Council for the full term of four (4) years (beginning December 2020 and ending December 2024).

SECTION 2. That the ballots to be used at the election shall be in form and content as required by law.

SECTION 3. That the City Clerk is authorized, instructed and directed to coordinate with the County of San Joaquin Registrar of Voters to procure and furnish any and all official ballots, notices, printed matter and all supplies, equipment and paraphernalia that may be necessary in order to properly and lawfully conduct the election.

SECTION 4. That the polls for the election shall be open at seven o'clock a.m. of the day of the election and shall remain open continuously from that time until eight o'clock p.m. of the same day when the polls shall be closed, pursuant to Election Code § 10242, except as provided in § 14401 of the Elections Code of the State of California.

SECTION 5. That in all particulars not recited in this resolution, the election shall be held and conducted as provided by law for holding municipal elections.

SECTION 6. That notice of the time and place of holding the election is given and the City Clerk is authorized, instructed and directed to give further or additional notice of the election, in time, form and manner as required by law.

SECTION 7. That in the event of a tie vote (if any two or more persons receive an equal and the highest number of votes for an office) as certified by the County of San Joaquin Registrar of Voters, the City Council, in accordance with Election Code § 15651(a), shall set a date and time and place and summon the candidates who have received the tie votes to appear and will determine the tie by lot.

SECTION 8. That the City Clerk shall certify to the passage and adoption of this resolution and enter it into the book of original resolutions.

SECTION 9. The City Council authorizes the City Clerk to administer said election and all reasonable and actual election expenses shall be paid by the City upon presentation of a properly submitted bill.

PASSED, APPROVED, AND ADOPTED ON the 8th day of June, 2020 , by the following vote:

AYES:

NOES:

ABSENT:

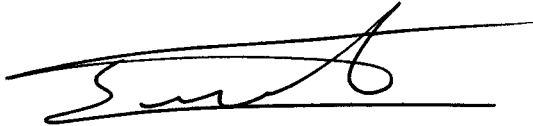
ABSTAIN:

Sonny Dhaliwal, Mayor

ATTEST:

APPROVED AS TO FORM:

Teresa Vargas, City Clerk



Salvador Navarrete, City Attorney

RESOLUTION NO. 20-_____

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LATHROP, CALIFORNIA, REQUESTING THE BOARD OF SUPERVISORS OF THE COUNTY OF SAN JOAQUIN TO CONSOLIDATE A GENERAL MUNICIPAL ELECTION TO BE HELD ON NOVEMBER 3, 2020, WITH THE STATEWIDE GENERAL ELECTION TO BE HELD ON THE DATE PURSUANT TO § 10403 OF THE ELECTIONS CODE

WHEREAS, the City Council of the City of Lathrop called a General Municipal Election to be held on November 3, 2020, for the purpose of the election of a Mayor for the full term of two (2) years (beginning December 2020 and ending December 2022) and two (2) Members of the City Council for the full term of four (4) years (beginning December 2020 and ending December 2024); and

WHEREAS, it is desirable that the General Municipal Election be consolidated with the Statewide General Election to be held on the same date and that within the City, the precincts, polling places and election officers of the two elections be the same, and that the county election department of the County of San Joaquin canvass the returns of the General Municipal Election and that the election be held in all respects as if there were only one election;

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF LATHROP, CALIFORNIA, DOES RESOLVE, DECLARE, DETERMINE AND ORDER AS FOLLOWS:

SECTION 1. That pursuant to the requirements of § 10403 of the Elections Code, the Board of Supervisors of the County of San Joaquin is hereby requested to consent and agree to the consolidation of a General Municipal Election with the Statewide General Election on Tuesday, November 3, 2020, for the purpose of the election of a Mayor for the full term of two (2) years (beginning December 2020 and ending December 2022) and two (2) Members of the City Council for the full term of four (4) years (beginning December 2020 and ending December 2024).

SECTION 2. That the county election department is authorized to canvass the returns of the General Municipal Election. The election shall be held in all respects as if there were only one election, and only one form of ballot shall be used. The election will be held and conducted in accordance with the provisions of law regulating the statewide election.

SECTION 3. That the Board of Supervisors is requested to issue instructions to the county election department to take any and all steps necessary for the holding of the consolidated election.

SECTION 4. That the City of Lathrop recognizes that additional costs will be incurred by the County by reason of this consolidation and agrees to reimburse the County for any costs.

SECTION 5. That the City Clerk is hereby directed to file a certified copy of this resolution with the Board of Supervisors and the county election department of the County of San Joaquin.

SECTION 6. That the City Clerk shall certify to the passage and adoption of this resolution and enter it into the book of original resolutions.

PASSED, APPROVED AND ADOPTED ON the 8th day of June, 2020, by the following vote:

AYES:

NOES:

ABSENT:

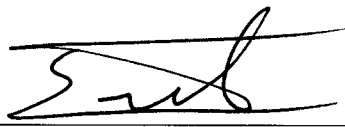
ABSTAIN:

Sonny Dhaliwal, Mayor

ATTEST:

APPROVED AS TO FORM:

Teresa Vargas, City Clerk



Salvador Navarrete, City Attorney

RESOLUTION NO. 20-_____

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LATHROP, CALIFORNIA, ADOPTING REGULATIONS FOR CANDIDATES FOR ELECTIVE OFFICE PERTAINING TO CANDIDATES STATEMENTS SUBMITTED TO THE VOTERS AT AN ELECTION TO BE HELD ON TUESDAY, NOVEMBER 3, 2020

WHEREAS, § 13307 of the Elections Code of the State of California provides that the governing body of any local agency adopt regulations pertaining to materials prepared by any candidate for a municipal election, including costs of the candidates statement;

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF LATHROP, CALIFORNIA, DOES HEREBY RESOLVE, DECLARE, DETERMINE AND ORDER AS FOLLOWS:

SECTION 1. GENERAL PROVISIONS. That pursuant to § 13307 of the Elections Code of the State of California, each candidate for elective office to be voted for at an Election to be held in the City of Lathrop on November 3, 2020, may prepare a candidate statement on an appropriate form provided by the City Clerk. The statement may include the name, age and occupation of the candidate and a brief description of no more than 200 words of the candidate's education and qualifications expressed by the candidate himself or herself. The statement shall not include party affiliation of the candidate, nor membership or activity in partisan political organizations. The statement shall be filed in typewritten form in the office of the City Clerk at the time the candidate's nomination papers are filed. The statement may be withdrawn, but not changed, during the period for filing nomination papers and until 5:00 p.m. of the next working day after the close of the nomination period.

SECTION 2. FOREIGN LANGUAGE POLICY.

A. Pursuant to the Federal Voting Rights Act, candidate statements will be translated into all languages required by the County of San Joaquin. The County is required to translate candidate statements into Spanish.

B. The County will print and mail voter information guides and candidates statements to all voters in English and Spanish. The County will make the voter information guides and candidate statements in the required languages available at all polling places, on the County's website and in the Election Official's office.

SECTION 3. PAYMENT.

A. Translations

1. The candidate shall be required to pay for the cost of translating the candidate statement into any required foreign language as specified in (A) and (B) of Section 2 above, pursuant to Federal and/or State law.

2. The candidate shall be required to pay for the cost of translating the candidate statement into any foreign language that is not required as specified in (A) and (B) of Section 2 above, pursuant to Federal and/or State law, but is required as an option by the candidate.

B. Printing

1. The candidate shall be required to pay for the cost of printing the candidate statement in English in the main voter pamphlet.
2. The candidate shall be required to pay for the cost of printing the candidate statement in a foreign language required in (A) of Section 2 above, in the main voter pamphlet.
3. The candidate shall be required to pay for the cost of printing the candidate statement in a foreign language requested by the candidate per (B) of Section 2 above, in the main voter pamphlet.
4. The candidate shall be required to pay for the cost of printing the candidate statement in a foreign language required by (A) of Section 2 above, in the facsimile voter pamphlet.

The City Clerk shall estimate the total cost of printing, handling, translating and mailing the candidate statements filed pursuant to this section, including costs incurred as a result of complying with the Voting Rights Act of 1965 (as amended), and require each candidate filing a statement to pay in advance to the local agency his or her estimated pro rata share as a condition of having his or her statement included in the voter pamphlet. In the event the estimated payment is required, the estimate is just an approximation of the actual cost that varies from one election to another election and may be significantly more or less than the estimate, depending on the actual number of candidates filing statements. Accordingly, the clerk is not bound by the estimate and may, on a pro rata basis, bill the candidate for additional actual expense or refund any excess paid depending on the final actual cost. In the event of underpayment, the clerk may require the candidate to pay the balance of the cost incurred. In the event of overpayment, the clerk shall prorate the excess amount among the candidates and refund the excess amount paid within 30 days of the election.

SECTION 4. MISCELLANEOUS.

- A. All translations shall be provided by professionally-certified translations.
- B. The City Clerk shall comply with all recommendations and standards set forth by the California Secretary of State regarding occupational designations and other matters relating to elections.

SECTION 5. ADDITIONAL MATERIALS. No candidate will be permitted to include additional materials in the voter information guide.

SECTION 6. That the City Clerk shall provide each candidate or the candidate's representative a copy of this Resolution at the time nominating petitions are issued.

SECTION 7. That all previous resolutions establishing Council policy on payment for candidate statements are repealed.

SECTION 8. That this resolution shall apply only to the election to be held on November 3, 2020, and shall then be repealed.

SECTION 9. That the City Clerk shall certify to the passage and adoption of this resolution and enter it into the book of original resolutions.

PASSED, APPROVED AND ADOPTED the 8th day of June, 2020, by the following vote:

AYES:

NOES:

ABSENT:

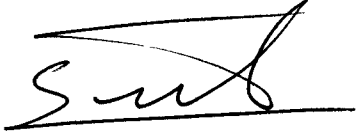
ABSTAIN:

Sonny Dhaliwal, Mayor

ATTEST:

APPROVED AS TO FORM:

Teresa Vargas, City Clerk



Salvador Navarrete, City Attorney

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ITEM: AGREEMENT WITH MANTECA BULLETIN FOR PUBLICATION OF LEGAL ADVERTISEMENTS

RECOMMENDATION: Adopt Resolution Awarding Agreement to the Manteca Bulletin for Publication of Legal Advertisements for the Period of July 1, 2020 through June 30, 2021

SUMMARY:

In accordance with Public Contract Code Section 20169, annually, before the beginning of the fiscal year in cities where there is more than one newspaper of general circulation, a notice inviting bid proposals and agreement for the publication of legal notices is required to be published in such a newspaper. The contract shall include the printing and publishing of all such legal notices during the fiscal year.

If there is only one such newspaper, the legislative body may contract with it without advertising for bids. However, there is no such newspaper operating directly within the City of Lathrop and staff relies on nearby adjudicated newspapers of general circulation to bid on the agreement yearly.

BACKGROUND:

Currently, the City of Lathrop is utilizing the legal advertising services of the Manteca Bulletin as the newspaper of general circulation, pursuant to Resolution No. 19-4575.

On May 16 and May 21, 2020, a notice inviting bid proposals was published in the Manteca Bulletin, requiring a response by 2:00 p.m. on May 29, 2020 to the Office of the City Clerk. Included in the bid packet was a sample legal advertisement that each company was to price and return based on their costs. The City Clerk received one bid proposal as outlined below.

ANALYSIS:

Generally, public notices required by various City and State laws must be published in a "newspaper of general circulation." The only newspaper that provided a proposal has been adjudicated as a newspaper of general circulation within San Joaquin County.

Case law indicates that the City Council has the discretion to award the legal advertising agreement based on a totality of factors, including price, circulation, and publication dates. As noted in the table below, the Manteca Bulletin was the only bid proposal received and meets all the minimum requirements. Additionally, the Manteca Bulletin has been a consistent bidder throughout past fiscal years.

**CITY MANAGER'S REPORT
 JUNE 8, 2020 CITY COUNCIL REGULAR MEETING
 AGREEMENT FOR PUBLICATION OF LEGAL ADVERTISEMENTS FOR FY 20-21**

Newspaper	Price per line	Lines per column inch	Price per column inch	Cost for sample ad	Lead time for publication	Publication days	City of Lathrop circulation
Manteca Bulletin	\$1.11	9	\$10.00	\$90.00	Two (2) Business Day	Monday - Saturday; no Holidays	384

REASON FOR RECOMMENDATION:

The City has been consistently doing business with the Manteca Bulletin for the last six (6) fiscal years. The proposal submitted by the Manteca Bulletin will continue to meet the needs of the City. Additionally, the Manteca Bulletin has provided ongoing flexibility in lead-time and quality customer service.

Most importantly, the Manteca Bulletin has maintained reasonable publication fees. Therefore, staff recommends Council approval of the agreement with the Manteca Bulletin for publication of legal advertisements for the period of July 1, 2020 through June 30, 2021.

FISCAL IMPACT:

Funds for advertising in FY 2020-21 are included as an estimate in the new fiscal budget based on prior year expense trends. Legal notices related to private and developer projects are requested for reimbursement from related developer accounts or as a one-time payment from private entities.

ATTACHMENTS:

- A. Resolution Awarding Agreement for Publication of Legal Advertisements
- B. Copy of Proposal Received by Manteca Bulletin
- C. Agreement with Manteca Bulletin

CITY MANAGER'S REPORT
JUNE 8, 2020 CITY COUNCIL REGULAR MEETING
AGREEMENT FOR PUBLICATION OF LEGAL ADVERTISEMENTS FOR FY 20-21

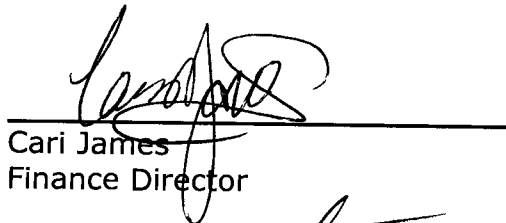
APPROVALS:



Teresa Vargas
City Clerk

5/30/2020

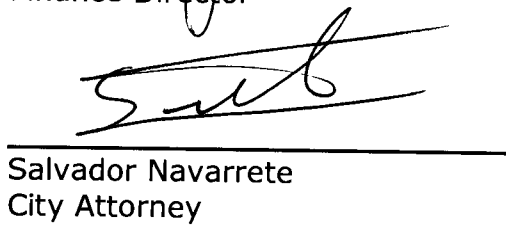
Date



Cari James
Finance Director

6/2/2020

Date



Salvador Navarrete
City Attorney

6-1-2020

Date



Stephen J. Salvatore
City Manager

6-3-2020

Date

RESOLUTION NO. 20-

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LATHROP AWARDING AGREEMENT FOR PUBLICATION OF LEGAL ADVERTISEMENTS TO THE MANTECA BULLETIN FOR THE PERIOD OF JULY 1, 2020 THROUGH JUNE 30, 2021

WHEREAS, a notice inviting bids was published in the Manteca Bulletin, the current newspaper of general circulation, requiring a response by 2:00 p.m. on May 29, 2020; and

WHEREAS, the City received one bid proposal, from the Manteca Bulletin; and

WHEREAS, City staff recommends approval of the bid proposal submitted by the Manteca Bulletin as the bid proposal continues to meet the needs of the City based on its cumulative considerations of price and lead time for publications; and

WHEREAS, the Manteca Bulletin has been adjudicated within San Joaquin County as a newspaper of general circulation.

NOW, THEREFORE, BE IT RESOLVED, that the City Council of the City of Lathrop hereby finds that the bid proposal submitted by the Manteca Bulletin continues to meet the needs of the City for legal advertising services for period of July 1, 2020 through June 30, 2021; and

BE IT FURTHER RESOLVED that the City Council awards an agreement to the Manteca Bulletin for legal advertising services for said period.

PASSED AND ADOPTED this 8th day of June, 2020, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Sonny Dhaliwal, Mayor

ATTEST:

APPROVED AS TO FORM:

Teresa Vargas, City Clerk

Salvador Navarrete, City Attorney



CITY OF LATHROP

BID PROPOSAL

Lines per column inch 9

Price per column inch \$ \$10.00

Cost to publish "Attachment A" \$ \$90.00 *pricing increase include to length of legal compare to last year*

Day(s) of week published Mon Tues Weds Thurs Fri Sat Sun
(check all that apply)

Required lead time for publication two days prior to publication

Example of lead time: For publication on July 15, 2020 (or your publishing day nearest), copy of notice would be required to be submitted no later than

Friday, July 10th by 1pm
(day, time, date)

Lead time for retractions or corrections 2 day prior to publication 1pm

City of Lathrop circulation 384

Total circulation 6400

Proposal submitted by: _____
Date 5/29/20

Manteca Bulletin
Company Name

531 E. Yosemite Ave., Manteca, CA 95336
Address, City, State and Zip Code

209-249-3500 209-249-5374 legals@mantecabulletin.com
Phone Number Fax Number E-mail

Liz Mora
Authorized Signature

Liz Mora Legal/Sales
Printed Name & Title



CITY OF LATHROP

"ATTACHMENT A" *(SAMPLE LEGAL AD)*

CITY OF LATHROP – PUBLIC HEARING NOTICE

Notice is hereby given that the City Council of the City of Lathrop will hold a Regular Meeting in the City Council Chamber at City Hall, 390 Towne Centre Drive, Lathrop, California, at 7:00 p.m., on Monday, August 10, 2020, to hold a public hearing regarding the following matter. ALL persons having an interest in this matter are invited to be present to testify in person, or to submit statements either in person at the meeting, or in writing prior to the hearing.

PUBLIC HEARING (PUBLISHED NOTICE) TO INTRODUCE AN ORDINANCE ADDING CHAPTER 10.25 OF THE LATHROP MUNICIPAL CODE RELATING TO VEHICLE PARKING IN YARDS OF RESIDENTIAL AREAS

The City Council to Consider the Following:

1. Hold a Public Hearing; and
2. First Reading and Introduction of an Ordinance to the City Council of the City of Lathrop adding Chapter 10.25 of the Lathrop Municipal Code Relating to Vehicle Parking in Yards of Residential Areas.

If you challenge any decision of the City Council in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the City Council at, or prior to, the meeting.

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please call (209) 941-7230. Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility.

For more information, contact the Public Works Department, 390 Towne Centre Drive, Lathrop, CA 95330. Phone: (209) 941-7430, Fax: (209) 941-7449, or E-mail: website_pwk@ci.lathrop.ca.us

TERESA VARGAS, CITY CLERK, CITY OF LATHROP



CITY OF LATHROP

SAMPLE

AGREEMENT FOR PUBLICATION OF LEGAL NOTICES

THIS AGREEMENT, is between the City of Lathrop, a municipal corporation of the State of California (City), and the _____, a newspaper of general circulation, as defined in Section 6008 of the Government Code.

RECITALS

The City requires the services of a newspaper of general circulation for the purpose of publishing legal notices.

THEREFORE, the City and the _____ agree as follows:

1. **Independent Contractor Status:** The _____ is an independent contractor. Nothing in this agreement shall, in any way, be construed to mean that the _____ any of its agents or employees are agents, employees or representatives of the City.
2. **Services to be Provided:** The _____ shall provide services in connection with publishing legal notices for the City as specified in the attached proposal (Exhibit A). In addition, it is further agreed that the _____ will provide proof of each notice for approval by the City Clerk's Office or Planning Division prior to publication.

It shall be noted that this is a non-exclusive contract and the City retains the right to publish in other local newspapers as deemed necessary and advisable.

3. **Termination:** The City and the _____ agree that the City may terminate this Agreement at any time before the normal expiration of the term by giving thirty (30) days written notice.
4. **Assignment:** The _____ shall not assign this contract or any portion thereof without express written approval of the City.
5. **Term:** The term of this agreement shall commence July 1, 2020 or upon acceptance of this agreement by both parties, whichever is later, and shall terminate at the end of the fiscal year, June 30, 2021.
6. **Payment:** The _____ billing to the City shall contain the legal notice number, date published, number of lines, and cost per line as specified in attached Exhibit A.



CITY OF LATHROP

7. Billing statements shall be submitted to:

Teresa Vargas, City Clerk
City of Lathrop
390 Towne Centre Drive
Lathrop, CA 95330

Correspondence/notices regarding this agreement should be directed to:

Teresa Vargas
City Clerk
City of Lathrop
390 Towne Centre Drive
Lathrop, CA 95330

NAME LIZ MORA
TITLE Legal/Sales
NEWSPAPER Manteca Bulletin
ADDRESS 531 E. Yosemite Ave.
City, Zip code Manteca, 95336

Approved as to Form:

City of Lathrop, City Attorney

Salvador Navarrete

Date

Accepted by:

City of Lathrop, City Manager

Stephen J. Salvatore

Date

Attested by:

City of Lathrop, City Clerk

Teresa Vargas

Date

Contractor:

NAME OF NEWSPAPER Manteca Bulletin, TITLE Legal/Sales

NAME

Date

Nov 20

**"ATTACHMENT A"
(SAMPLE LEGAL AD)**

**CITY OF LATHROP – PUBLIC HEARING
NOTICE**

Notice is hereby given that the City Council of the City of Lathrop will hold a Regular Meeting in the City Council Chamber at City Hall, 390 Towne Centre Drive, Lathrop, California, at 7:00 p.m., on Monday, August 10, 2020, to hold a public hearing regarding the following matter. ALL persons having an interest in this matter are invited to be present to testify in person, or to submit statements either in person at the meeting, or in writing prior to the hearing.

**PUBLIC HEARING (PUBLISHED NOTICE)
TO INTRODUCE AN ORDINANCE ADDING
CHAPTER 10.25 OF THE LATHROP
MUNICIPAL CODE RELATING TO VEHICLE
PARKING IN YARDS OF RESIDENTIAL
AREAS**

The City Council to Consider the
Following:

1. Hold a Public Hearing; and
2. First Reading and Introduction of an Ordinance to the City Council of the City of Lathrop adding Chapter 10.25 of the Lathrop Municipal Code Relating to Vehicle Parking in Yards of Residential Areas.

If you challenge any decision of the City Council in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the City Council at, or prior to, the meeting.

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please call (209) 941-7230. Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility.

For more information, contact the Public Works Department, 390 Towne Centre Drive, Lathrop, CA 95330. Phone: (209) 941-7430, Fax: (209) 941-7449, or E-mail:

pwk@ci.lathrop.ca.us

**TERESA VARGAS, CITY CLERK, CITY OF
LATHROP**

Publication Date:

MB# Sample Legal Ad



MANTECA BULLETIN

P.O. BOX 1958, • 531 E. YOSEMITE AVE., MANTECA, CA 95336-1958 • MAIN 209-249-3500 • FAX - 209-249-3559

CITY OF LATHROP/CITY CLERK

Classified Insertion Order

MB# SAMPLE Legal Ad

Contact:		Sales Rep:	MB - Liz Mora	Order Date:	5/29/2020
Address:	CITY OF LATHROP/CITY CLERK Attn: Teresa Vargas 390 TOWNE CENTRE DRIVE LATHROP CA 95330	Phone:	209-941-7431	Order Number:	106601
		Email:	tvargas@ci.lathrop.ca.us	Tear Sheets:	1
		Fax:	209-941-7229	Advertiser No:	150

Start Date	End Date	No. of Runs	No. of Publications	Description	Classification	Ad Size	Price
5/30/2020	5/30/2020	3	3	MB# SAMPLE Legal Ad	Miscellaneous Legals	5.8188 Inches	\$90.00

Publications: MB - Manteca Bulletin, MB - Manteca Bulletin Online, MNC - Marketplace 209

"ATTACHMENT A" (SAMPLE LEGAL AD) CITY OF LATHROP - PUBLIC HEARING NOTICE Notice is hereby given that the City Council of the City of Lathrop will hold a Regular Meeting in the City Council Chamber at City Hall, 390 Towne Centre Drive, Lathrop, California, at 7:00 p.m., on Monday, August 10, 2020, to hold a public hearing regarding the following matter: ALL persons having an interest in this matter are invited to be present to testify in person, or to submit statements either in person at the meeting, or in writing prior to the hearing. PUBLIC HEARING (PUBLISHED NOTICE) TO INTRODUCE AN ORDINANCE ADDING CHAPTER 10.25 OF THE LATHROP MUNICIPAL CODE RELATING TO VEHICLE PARKING IN YARDS OF RESIDENTIAL AREAS The City Council to Consider the Following: 1. Hold a Public Hearing; and 2. First Reading and Introduction of an Ordinance to the City Council of the City of Lathrop adding Chapter 10.25 of the Lathrop Municipal Code Relating to Vehicle Parking in Yards of Residential Areas. If you challenge any decision of the City Council in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the City Council at, or prior to, the meeting. In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please call (209) 941-7230. Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility. For more information, contact the Public Works Department, 390 Towne Centre Drive, Lathrop, CA 95330. Phone: (209) 941-7430, Fax: (209) 941-7449, or E-mail: website_pwk@ci.lathrop.ca.us TERESA VARGAS, CITY CLERK, CITY OF LATHROP Publication Date: MB# Sample Legal Ad

Run Count: 3	Publication Count: 3	SubTotal:	\$90.00
		Total Price:	\$90.00

Authorization To Run Advertisement

Printed Name

Signature



CITY OF LATHROP

AGREEMENT FOR PUBLICATION OF LEGAL NOTICES

THIS AGREEMENT is between the City of Lathrop, a municipal corporation of the State of California (City), and the Manteca Bulletin a newspaper of general circulation, as defined in Section 6008 of the Government Code.

RECITALS

The City requires the services of a newspaper of general circulation for the purpose of publishing legal notices.

THEREFORE, the City and the Manteca Bulletin agree as follows:

1. Independent Contractor Status: The Manteca Bulletin is an independent contractor. Nothing in this agreement shall, in any way, be construed to mean that the Manteca Bulletin any of its agents or employees are agents, employees, or representatives of the City.
2. Services to be Provided: The Manteca Bulletin shall provide services in connection with publishing legal notices for the City as specified in the attached proposal (Exhibit A). In addition, it is further agreed that the Manteca Bulletin will provide proof of each notice for approval by the City Clerk's Office or Planning Division prior to publication.

It shall be noted that this is a non-exclusive contract and the City retains the right to publish in other local newspapers as deemed necessary and advisable.
3. Termination: The City and the Manteca Bulletin agree that the City may terminate this Agreement at any time before the normal expiration of the term by giving thirty (30) days written notice.
4. Assignment: The Manteca Bulletin shall not assign this contract or any portion thereof without express written approval of the City.
5. Term: The term of this agreement shall commence July 1, 2020 or upon acceptance of this agreement by both parties, whichever is later, and shall terminate at the end of the fiscal year, June 30, 2021.
6. Payment: The Manteca Bulletin billing to the City shall contain the legal notice number, date published, number of lines, and cost per line as specified in attached Exhibit A. Billing statements shall be submitted to:

Teresa Vargas, City Clerk
City of Lathrop
390 Towne Centre Drive, Lathrop, CA 95330
tvargas@ci.lathrop.ca.us



CITY OF LATHROP

Correspondence/notices regarding this agreement should be directed to:

Teresa Vargas, CMC
City Clerk
City of Lathrop
390 Towne Centre Drive
Lathrop, CA 95330

Liz Mora
Legal Advertising
Manteca Bulletin
531 E. Yosemite Avenue
Manteca, CA 95336

Approved as to Form:

City of Lathrop, City Attorney

Salvador Navarrete Date

Accepted by:

City of Lathrop, City Manager

Stephen J. Salvatore Date

Attested by:

City of Lathrop, City Clerk

Teresa Vargas Date

Contractor:

Manteca Bulletin, Legal Advertising Representative

Liz Mora Date

Manteca Bulletin, Business Manager

Tamara Foreman Date

ITEM 4.6

**CITY MANAGER'S REPORT
JUNE 8, 2020 CITY COUNCIL REGULAR MEETING**

ITEM: **RATIFICATION OF THE SAN JOAQUIN COUNCIL OF GOVERNMENTS' ANNUAL FINANCIAL PLAN**

RECOMMENDATION: **Adopt Resolution Ratifying the San Joaquin Council of Governments (SJCOG) Annual Financial Plan for FY 2020-21**

BACKGROUND:

Every year pursuant to Section 7(b) of the San Joaquin Council of Governments' (SJCOG) Joint Powers Agreement, in anticipation of the new fiscal budget year, SJCOG provides a letter, resolution, and report requesting that each City ratify SJCOG's Annual Financial Plan (AFP) for the upcoming fiscal year. Attached and referenced herein as Attachment B is the proposed Fiscal Year Budget for 2020-2021. Similar requests from SJCOG have been submitted to participating Cities and ratified annually since the Joint Powers Agreement went into effect December 7, 2000.

The SJCOG AFP for Fiscal Year 2020-2021 was adopted by their Board on April 16, 2020. The AFP provides a detail of expenditures by cost category and line item comparing the proposed 2020-2021 budgets with the current fiscal year's (FY 2019-2020) adopted budget. Additionally, at the April 16, 2020 SJCOG Board Meeting, the Board adopted the FY 2020-2021 AFP recognizing the AFP reflected pre-COVID 19 assumptions (SJCOG Resolution R-20-28 attached). When the economic outlook becomes clearer, SJCOG staff will be providing the SJCOG Board with a review of those revenue sources and amendments to the AFP as necessary.

REASON FOR RECOMMENDATION:

The SJCOG Joint Powers Agreement requires that the Annual Financial Plan be delivered to its jurisdictional member agencies for ratification. Therefore, it is recommended that the City Council ratify the SJCOG's Annual Financial Plan for Fiscal Year 2020-21.

FISCAL IMPACT:

No fiscal impact for Lathrop. However, the SJCOG letter dated April 27, 2020, highlights the following significant changes for FY 20-21 when compared to FY 19-20:

<i>SJCOG Annual Financial Plan Summary</i>		
<i>Revenue Funds</i>	FY 2019-2020	FY 2020-2021
<i>Federal Grants</i>	\$4,787,233	\$5,019,336
<i>State Grants</i>	3,547,225	3,023,089
<i>Local Funding</i>	4,744,609	5,602,069
<i>Interest & Other</i>	20,000	49,000
<i>Total Revenues</i>	\$13,099,067	\$13,693,494

**CITY MANAGER'S REPORT
 JUNE 8, 2020 CITY COUNCIL REGULAR MEETING
 RATIFICATION OF SJCOG ANNUAL FINANCIAL PLAN FOR FY 20-21**

SJCOG Annual Financial Plan Summary

<i>Expenditure Funds</i>	FY 2019-2020	FY 2020-2021
<i>Salary & Benefits</i>	\$4,466,831	\$4,641,882
<i>Services & Supplies</i>	1,282,470	1,207,300
<i>Professional Services</i>	7,154,266	7,648,812
<i>Capital Outlay</i>	195,500	195,500
<i>Total Expenditures</i>	\$13,099,067	\$13,693,494

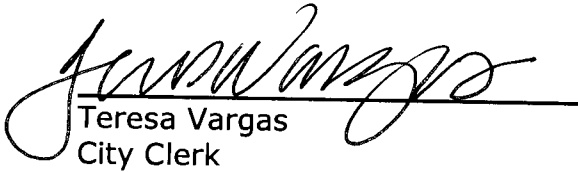
- Highlights:
 - General Fund Operating Revenues increased by \$594,430
 - Budgeted Expenditures are \$13,693,497
 - Federal Funding for General Fund Activities increased by 4.85%
 - State Funding Sources decreased by 14.78%
 - Salaries and Benefits increased by 3.92%
 - Services and Supplies decreased by 5.86%
 - Training & Travel is expected to increase reflecting higher transportation costs and new staff, percentage not available.
 - Professional Services increased from \$494,456 to 7,648,812, citing Regional Transportation Plan and Sustainable Communities Strategies Cycles and the I-205 Managed Lanes Project.
 - Fixed Assets remained the same at \$195,000.

ATTACHMENTS:

- A. Resolution Ratifying the San Joaquin Council of Governments Annual Financial Plan for FY 2020-21
- B. Letter from SJCOG Dated April 27, 2020, including SJCOG Resolution R-20-28 Adopting the FY 2020-21 Annual Financial Plan

**CITY MANAGER'S REPORT
JUNE 8, 2020 CITY COUNCIL REGULAR MEETING
RATIFICATION OF SJCOG ANNUAL FINANCIAL PLAN FOR FY 20-21**

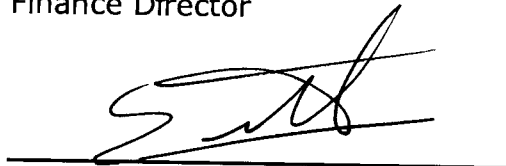
APPROVALS:


Teresa Vargas
City Clerk


5/30/2020
Date


Cari James
Administrative Services &
Finance Director

6/2/2020
Date


Salvador Navarrete
City Attorney

6-1-2020
Date


Stephen J. Salvatore
City Manager

6-3-2020
Date

RESOLUTION NO. 20-

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LATHROP RATIFYING THE SAN JOAQUIN COUNCIL OF GOVERNMENTS' ANNUAL FINANCIAL PLAN FOR FY 2020-2021

WHEREAS, every year pursuant to Section 7(b) of the San Joaquin Council of Governments' (SJCOG) Joint Powers Agreement, in anticipation of the new fiscal budget year, SJCOG provides a letter, resolution, and report requesting that each City ratify SJCOG's Annual Financial Plan (AFP) for the upcoming fiscal year; and

WHEREAS, the San Joaquin Council of Governments' (SJCOG) Board approved the Annual Financial Plan for FY 2020-21 on April 16, 2020; and

WHEREAS, the Annual Financial Plan provides a detail of expenditures by cost category and line item comparing the proposed 2020-21 budgets with the current fiscal year's (FY 2019-20) adopted budget; and

WHEREAS, at the April 16, 2020 SJCOG Board Meeting, the Board adopted SJCOG Resolution R-20-28 for the FY 2020-2021 AFP recognizing the AFP reflected pre-COVID 19 assumptions; and

WHEREAS, when the economic outlook becomes clearer, SJCOG staff will be providing the SJCOG Board with a review of those revenue sources and amendments to the AFP as necessary; and

WHEREAS, the SJCOG Joint Powers Agreement requires that the Financial Plan be delivered to its member agencies for ratification;

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Lathrop hereby ratify the FY 2020-21 Annual Financial Plan for the San Joaquin Council of Governments.

The foregoing resolution was passed and adopted this 8th day of June, 2020, by the following vote of the City Council, to wit:

AYES:

NOES:

ABSENT:

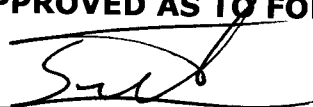
ABSTAIN:

Sonny Dhaliwal, Mayor

ATTEST:

APPROVED AS TO FORM:

Teresa Vargus, City Clerk



Salvador Navarrete, City Attorney



SAN JOAQUIN COUNCIL OF GOVERNMENTS

555 E. Weber Avenue • Stockton, California 95202 • P 209.235.0600 • F 209.235.0438 • www.sjco.org

April 27, 2020

Stephen Salvatore
City of Lathrop
390 Towne Centre Drive
Lathrop, CA 95330

ATTACHMENT B

Dear Mr. Salvatore:

Enclosed is a summary of the San Joaquin Council of Governments' Annual Financial Plan (AFP) for Fiscal Year 2020/21. The Board adopted the Plan on April 16, 2020 recognizing the AFP reflected pre-COVID-19 assumptions. The Board adopted the AFP acknowledging there will be amendments to it as more definitive information regarding the length and depth of the pandemic's economic impacts, primarily on sales tax generated sources, are determined. **When the economic outlook becomes clearer, staff will be providing the Board with a review of those revenue sources and amendments to the AFP as necessary. While Local Transportation Fund and Measure K are important operational resources for SJCOG, the agency has many other revenues sources, as noted below, with which to maintain our work program.**

The SJCOG Board staff report is included in this letter as well as copy of the adopting resolution. Pursuant to SJCOG's Joint Powers Agreement, following adoption of the budget by the SJCOG Board, it is to be delivered to member agencies for ratification by each governing body. Approval by governing bodies representing 55% or more of the county's population is considered ratification.

Therefore, SJCOG requests you place SJCOG's Annual Financial Plan for Fiscal Year 2020/21 on a forthcoming agenda prior to June 30, 2020 for approval. We understand the challenges all public agencies are trying to navigate through and hope this ratification schedule can be accomplished.

The Annual Financial Plan implements the FY 2020/21 Overall Work Program (OWP) that was also adopted by the SJCOG Board on April 16, 2020.

The attached Annual Financial Plan (AFP) provides a detail of expenditures by cost category and line item comparing the proposed budgets with the current year (FY 2019/20) adopted budget, as most recently amended, along with FY 2018/19 actual expenditures. The Annual Financial Plan represents the general fund budget for SJCOG. The revenues and expenditures in the AFP are the same as the Overall Work Program (OWP) presented in a traditional line item format compared to the work element format of the OWP.

The attached includes a summary of revenues and expenditures in the AFP and schedules detailing each of those categories (Revenues, Service and Supplies, Transportation, Training and Travel, Professional Services and Fixed/Capital Assets). The attached includes a summary of revenues and expenditures in the AFP and detail for each of those categories.

Doug Kuchme
CHAIR
Sol Jobrack
VICE CHAIR
Andrew T. Chesley
EXECUTIVE DIRECTOR
Member Agencies
CITIES OF
ESCALON
LATHROP
LODI
MANTECA
RIPON
STOCKTON
TRACY
AND
THE COUNTY OF SAN
JOAQUIN

Readers should note several differences between SJCOG and member agency's budgets:

- SJCOG revenue sources are quite different from our member agencies.
- SJCOG employs staff on an at-will basis vis-à-vis civil service and has its own employee handbook and policies.
- SJCOG has its own Financial and Accounting Policy guiding our financial matters including procurement procedures.
- SJCOG employees are exempted from Social Security except Medicare.
- As noted below, SJCOG offers a defined contribution retirement plan to its employees. SJCOG has no CalPERS or post employments benefit obligations except limited sick leave conversion as noted.

The following assumptions are incorporated in the budget:

1. Work will not begin, and expenses will not be incurred, unless anticipated revenue sources are secured.
2. The AFP anticipates SJCOG to be fully staffed. The budget includes a 6.7% pool that can be drawn upon for merit-based increases and potential promotions. The full impact of that pool is incorporated into the salary driven benefits (retirement, Medicare, disability).
3. SJCOG has no significant liability exposure for post-employment benefits.
 - a. The employee retirement program is a defined contribution program managed by the International City Managers Association Retirement Program.
 - b. SJCOG employee vacation accruals are capped at two times the individual's annual leave.
 - c. Upon retirement (50 years of age/20 years of SJCOG employment), an employee can convert accrued sick leave hours to pay for health care premiums until their sick leave account is exhausted and is based upon the employee's salary at retirement. There is no inflation factor in post-retirement years. Payout is limited to a maximum of one year's value of documented premium costs per year.

REVENUES

Compared to the current year amended AFP, SJCOG general fund operating revenues are proposed to increase from \$13,099,067 to \$13,693,497, \$594,427 higher. Budgeted expenditures are \$13,693,497.

Overall, federal funding for general fund activities is 4.85%, or \$232,103 higher than FY 2019-20 due to:

- Regional Surface Transportation Program (RSTP) programmed for I-205 Managed Lanes widening
- Increases in Federal Highways Administration (FHWA) planning funds (PL) and FTA Metropolitan Planning Organization planning funds (5303).

State funding sources are \$524,136 lower or -14.78% due to:

- \$572,000 drawdown on prior year's Freeway Service Patrol funding.
- \$1.7 million is available for FY 20-21 future years of Freeway Service Patrol funding.

- \$675,400 draw down has occurred on four years of Senate Bill 1 Sustainable Transportation Planning Grants offset by a FY 20-21 allocation of \$341,671.

Local revenues are higher by \$857,460 or 18.7% due primarily to programming \$695,000 Measure K for the dibs, Transportation Demand Management, program.

EXPENDITURES

Salaries and Benefits are proposed to increase by 3.92% \$4,466,831 to \$4,641,882 when compared to the FY 19-20 amended budget. The budget includes a 6.7% pool for merit-based raises. The salary-driven benefits adjust accordingly.

Services and Supplies is proposed to be decrease by 5.86 % \$ \$1,282,470 to \$ \$1,207,300 due decreases in Office Supplies and Communications reflecting continued shifting to digital processes and a reduction in Rents and & Leases Equipment allocation.

Transportation, travel and training is proposed to increase reflecting higher transportation costs and more training due to several newer members being added to the staff in the past year.

Professional Services is increasing \$494,546 to \$7,648,812 reflecting the ramping up of the next Regional Transportation Plan and Sustainable Communities Strategies cycles and the I-205 Managed Lanes project development.

Fixed Assets/capital remains the same as the previous year at \$195,000.

SALARY AND CLASSIFICATION SCHEDULE

Included in this package is a revised salary and classification schedule. In May 2015, the Board adopted the findings of salary and classification study. One finding was to adjust the minimum and maximum levels of the salary ranges by the annual Consumer Price Index (CPI) change to keep the ranges relevant to the marketplace. Ranges have been adjusted 2.79061% per the California CPI.

SJCOG staff would be pleased to appear before your policymakers to answer any questions they might have regarding this matter. **We request ratification prior to June 30, 2020** Please let me know when this will be on your agenda. If you have any questions regarding this matter, don't hesitate to contact me at 235-0600.

Thank you for your assistance.

Sincerely,



STEVE DIAL
Deputy Executive Director/Chief Financial Officer

STAFF REPORT

SUBJECT: FY 2020-2021 Proposed Annual Financial Plan (AFP)

RECOMMENDED ACTION: That the Board Adopt Resolution 20-28 Approving the FY 2020-2021 Annual Financial Plan

The attached Annual Financial Plan (AFP) provides a detail of expenditures by cost category and line item comparing the proposed FY 2020-2021 budgets with the current year (FY 2019-2020) adopted budget, as most recently amended, along with FY 2018-2019 actual expenditures. The Annual Financial Plan represents the general fund budget for SJCOG. The revenues and expenditures in the AFP are the same as the Overall Work Program (OWP), however, presented in a traditional line item format compared to the work element format of the OWP.

With the arrival of the Coronavirus pandemic, and the severe economic downturn, sales tax related revenues, Local Transportation Fund (LTF) and Measure K, will certainly be impacted. For FY 2019-20, sales taxes have been received through the 2nd quarter of the FY, December 2019. Sales taxes were expected to be fairly robust for the 3rd quarter with the Wayfair decision starting to be felt. The potential for sales tax reduction started later in February and likely will extend through the end of the 2019-20 fiscal year and into FY 2020-21.

There are many factors that will determine how deep and long this recession will be. There are expected to be at least five major stimulus packages passed by Congress. These spending bills are substantially larger than those passed at the beginning of the 2008 recession. The intent is to soften the impacts of this recession by providing direct cash, increased sick leave and unemployment benefits, and insurance coverage for COVID-19 testing and treatment, among other programs.

When the economic outlook becomes clearer, staff will be providing the board with a review of those revenue sources and amendments to the AFP as necessary. While LTF and Measure K are important operational resources for SJCOG, the agency has many other revenues sources, as noted below, with which to maintain our work program.

The attached includes a summary of revenues and expenditures in the AFP and detail for each of those categories.

Readers should note several differences between SJCOG and member agency's budgets:

- SJCOG revenue sources are quite different from our member agencies.

- SJCOG employs staff on an at-will basis vis-à-vis civil service and has its own employee handbook and policies.
- SJCOG has its own Financial and Accounting Policy guiding our financial matters including procurement procedures.
- SJCOG employees are exempted from Social Security except Medicare.
- As noted below, SJCOG offers a defined contribution retirement plan to its employees. SJCOG has no CalPERS or post employments benefit obligations except limited sick leave conversion as noted.

Upon adoption by the Board, pursuant to the SJCOG Joint Powers Agreement, the AFP will be sent to the member agencies for ratification. Ratification is achieved when a majority of the member agencies representing 55% of the county population approve the AFP.

The following assumptions are incorporated in the budget:

1. Work will not begin, and expenses will not be incurred, unless anticipated revenue sources are secured.
2. The AFP anticipates SJCOG to be fully staffed. The budget includes a 6.7% pool that can be drawn upon for merit-based increases and potential promotions. The full impact of that pool is incorporated into the salary driven benefits (retirement, Medicare, disability).
3. SJCOG has no significant liability exposure for post-employment benefits.
 - a. The employee retirement program is a defined contribution program managed by the International City Managers Association Retirement Program.
 - b. SJCOG employee vacation accruals are capped at two times the individual's annual leave.
 - c. Upon retirement (50 years of age/20 years of SJCOG employment), an employee can convert accrued sick leave hours to pay for health care premiums until their sick leave account is exhausted and is based upon the employee's salary at retirement. There is no inflation factor in post-retirement years. Payout is limited to a maximum of one year's value of documented premium costs per year.

REVENUES

Compared to the current year amended AFP, SJCOG general fund operating revenues are proposed to increase from \$13,099,067 to \$13,693,497, \$594,427 higher. Budgeted expenditures are \$13,693,497.

Overall, federal funding for general fund activities is 4.85%, or \$232,103 higher than FY 2019-20 due to:

- Regional Surface Transportation Program (RSTP) programmed for I-205 Managed Lanes widening
- Increases in Federal Highways Administration (FHWA) planning funds (PL) and FTA Metropolitan Planning Organization planning funds (5303).

State funding sources are \$524,136 lower or -14.78% due to:

- \$572,000 drawdown on prior year's Freeway Service Patrol funding.
- \$1.7 million is available for FY 20-21 future years of Freeway Service Patrol funding.

- \$675,400 draw down has occurred on four years of Senate Bill 1 Sustainable Transportation Planning Grants offset by a FY 20-21 allocation of \$341,671.

Local revenues are higher by \$857,460 or 18.7% due primarily to programming \$695,000 Measure K for the dibs, Transportation Demand Management, program.

EXPENDITURES

Salaries and Benefits are proposed to increase by 3.92% \$4,466,831 to \$4,641,882 when compared to the FY 19-20 amended budget. The budget includes a 6.7% pool for merit-based raises. The salary-driven benefits adjust accordingly.

Services and Supplies is proposed to be decrease by 5.86 % \$ \$1,282,470 to \$ \$1,207,300 due decreases in Office Supplies and Communications reflecting continued shifting to digital processes and a reduction in Rents and & Leases Equipment allocation.

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Professional Services is increasing \$494,546 to \$7,648,812 reflecting the ramping up of the next Regional Transportation Plan and Sustainable Communities Strategies cycles and the I-205 Managed Lanes project development.

Fixed Assets/capital remains the same as the previous year at \$195,000.

SALARY AND CLASSIFICATION SCHEDULE

Included in this package is a revised salary and classification schedule. In May 2015, the Board adopted the findings of salary and classification study. One finding was to adjust the minimum and maximum levels of the salary ranges by the annual Consumer Price Index (CPI) change to keep the ranges relevant to the marketplace. Ranges have been adjusted 2.79061% per the California CPI.

FISCAL IMPACT

The Annual Financial Plan is required to be adopted by the Board of Directors prior to April 1 each year and disseminated to the member agencies for ratification. However, due to the COVID-19 pandemic, the adoption of the AFP was delayed to the first available Board meeting. The Executive Committee recommended at its March 20th meeting, adoption of the Annual Financial Plan.

The Annual Financial Plan is the traditional line item budget identifying estimated revenues and expenditures for the fiscal year. The Annual Financial Plan is complimentary to the Overall Work Program.

RECOMMENDATION

That the Board adopt Resolution 20-28 approving the FY 2020-2021 Annual Financial Plan.

Prepared by: Steve Dial, Deputy Executive Director/CFO and Grace Orosco, Chief Accountant



**San Joaquin Council of Governments
ANNUAL FINANCIAL PLAN
Fiscal Year 2020/2021**

Proposed March 26, 2020

CHAIR

Mayor Doug Kuehne, City of Lodi

VICE-CHAIR

Councilmember Sol Jobrack, City of Stockton

BOARD OF DIRECTORS

Councilmember Walt Murken	City of Escalon
Mayor Sonny Dhaliwal	City of Lathrop
Councilmember Gary Singh	City of Manteca
Councilmember Jesus Andrade	City of Stockton
Vice Mayor Dan Wright	City of Stockton
Supervisor Bob Elliott	County of San Joaquin
Supervisor Chuck Winn	County of San Joaquin
Supervisor Katherine Miller	County of San Joaquin
Councilmember Leo Zuber	City of Ripon
Mayor Robert Rickman	City of Tracy

EX OFFICIO DIRECTORS

Dan McElhinney, Director	Caltrans District 10
Gary Giovanetti, Director	San Joaquin Regional Transit District
Anthony Barkett	Port of Stockton

SUBMITTED BY:

Andrew T. Chesley
Executive Director

Steve Dial
Deputy Executive Director/
Chief Financial Officer

San Joaquin Council of Governments
ANNUAL FINANCIAL PLAN
 Fiscal Year 2020/2021
 Proposed March 26, 2020

REVENUES	FY 2018-19 Actual	FY 2019-20 Amendment #2	FY 2020-21 Proposed	+/- Change	+/- % Change
Federal Grants	\$ 2,968,365	\$ 4,787,233	\$ 5,019,336	\$ 232,103	4.85%
State Grants	\$ 1,170,677	\$ 3,547,225	\$ 3,023,089	\$ (524,136)	-14.78%
Local	\$ 4,238,440	\$ 4,744,609	\$ 5,602,069	\$ 857,460	18.07%
Interest	\$ 19,006	\$ 5,000	\$ 20,000	\$ 15,000	300.00%
Other	\$ 26,712	\$ 15,000	\$ 29,000	\$ 14,000	93.33%
SJCOG OPERATING REVENUE	\$ 8,423,199	\$ 13,099,067	\$ 13,693,494	\$ 594,427	15.82%
EXPENDITURES					
Salaries & Benefits	\$ 4,104,749	\$ 4,466,831	\$ 4,641,882	\$ 175,051	3.92%
Services & Supplies	\$ 1,091,352	\$ 1,282,470	\$ 1,207,300	\$ (75,170)	-5.86%
Office Expense	\$ 229,391	\$ 262,470	\$ 242,500	\$ (19,970)	-7.61%
Communications	\$ 76,144	\$ 80,000	\$ 60,000	\$ (20,000)	-25.00%
Memberships	\$ 40,206	\$ 50,000	\$ 45,000	\$ (5,000)	-10.00%
Maintenance - Equipment	\$ 7,827	\$ 10,000	\$ 10,000	\$ -	0.00%
Rents & Leases - Equipment	\$ 105,285	\$ 225,000	\$ 150,000	\$ (75,000)	-33.33%
Transportation, Travel & Training (In & Out of State)	\$ 144,311	\$ 114,500	\$ 121,000	\$ 6,500	5.68%
Publications & Legal Notices	\$ 2,809	\$ 7,500	\$ 7,500	\$ -	0.00%
Insurance	\$ 110,063	\$ 133,000	\$ 146,300	\$ 13,300	10.00%
Building Operations & Maintenance	\$ 192,173	\$ 200,000	\$ 225,000	\$ 25,000	12.50%
SJCOG Building Debt Service Principal and Interest	\$ 183,144	\$ 200,000	\$ 200,000	\$ -	0.00%
Professional Services	\$ 2,490,577	\$ 7,154,266	\$ 7,648,812	\$ 494,546	6.91%
Capital Outlay	\$ 146,214	\$ 195,500	\$ 195,500	\$ -	0.00%
Unallocated/Reserve					
SJCOG OPERATING EXPENDITURES	\$ 7,832,892	\$ 13,099,067	\$ 13,693,494	\$ 594,427	4.54%



**RESOLUTION
SAN JOAQUIN COUNCIL OF GOVERNMENTS**

R-20-28

**RESOLUTION APPROVING THE ADOPTION OF THE 2020-2021
ANNUAL FINANCIAL PLAN
FOR THE SAN JOAQUIN COUNCIL OF GOVERNMENTS**

WHEREAS, the San Joaquin Council of Governments is required by the Joint Powers Agreement to adopt a budget (Annual Financial Plan) annually, and

WHEREAS, the adopted budget is to be sent to the member agencies for ratification.

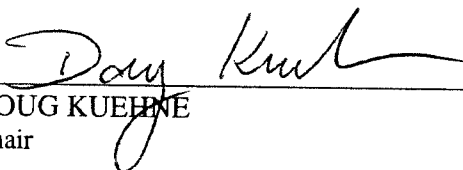
NOW THEREFORE BE IT RESOLVED, that the San Joaquin Council of Governments adopts the FY 2020-2021 Annual Financial Plan and directs the Executive Director to transmit it to the member agencies for ratification.

PASSED AND ADOPTED this 16th day of April 2020 by the following vote of the San Joaquin Council of Governments, to wit:

AYES: Councilman Andrade, Stockton; Supervisor Elliott, SJC; Councilman Jobrack, Stockton; Mayor Kuehne, Lodi; Supervisor Miller, SJC; Councilman Murken, Escalon; Mayor Rickman, Tracy; Councilman Singh, Manteca; Supervisor Winn, SJC; VM Wright, Stockton; Councilman Zuber, Ripon.

NOES: None.

ABSENT: Mayor Dhaliwal, Lathrop.



DOUG KUEHNE
Chair

ITEM: EXTENSION OF MEMORANDUM OF UNDERSTANDING BETWEEN THE CITY OF LATHROP, LATHROP MID-MANAGERS AND CONFIDENTIAL EMPLOYEES ASSOCIATION AND SERVICE EMPLOYEES INTERNATIONAL UNION LOCAL 1021, AND UNREPRESENTED EMPLOYEES

RECOMMENDATION: Adopt a Resolution Authorizing the City Manager to Execute Agreements Extending the Memorandums of Understanding with Lathrop Mid-Managers and Confidential Employees Association and Service Employees International Union Local 1021, and Provide Unrepresented Staff with the same Terms and Conditions

SUMMARY:

The City of Lathrop has two (2) employee bargaining units, Lathrop Mid-Managers and Confidential Employees Association (LMCEA) and Service Employees International Union Local 1021(SEIU). Each of the bargaining units operate under a Memorandum of Understanding (MOU). The MOU's establish wages, working hours and other terms and conditions. The MOU's for both LMCEA and SEIU expire on June 30, 2020.

In February of 2020, the City began negotiations with both bargaining units. However, due to the significant and uncertain impacts to the economy due to the outbreak of COVID-19, all parties have agreed to extend the term of the agreements to June 30, 2021 with the same terms and conditions, that included a 3% Cost-of Living (COLA) increase effective July 1, 2020.

BACKGROUND:

The City of Lathrop recognizes SEIU as the employee organization representing the general services bargaining unit and LMCEA as the employee organization representing the designated mid-manager, supervisory and confidential employee positions. The City Council adopted Resolution 16-4093 approving the MOU's with both bargaining units with a term of July 1, 2016 to June 30, 2019. Additionally, the Resolution provides unrepresented employees with the same terms and conditions as provided to LMCEA and SEIU members, pursuant to their MOU.

In 2019, the bargaining units requested and the City Council approved, a 1-year extension to the MOU's with the same terms and conditions, that included a 3% Cost-of-Living Adjustment (COLA) expiring on June 30, 2020.

CITY MANAGER'S REPORT
JUNE 8, 2020 CITY COUNCIL REGULAR MEETING
Extension of Memorandums of Understanding with LMCEA and SEIU

The City began negotiations with both LMCEA and SEIU in February 2020. However, due to the significant and uncertain change of events to the United States economy due to the outbreak of COVID-19, all parties agreed to extend the term of the agreement to June 30, 2021 with the same terms and conditions, that included a 3% COLA effective July 1, 2020. Staff is recommending that the City Council adopt a resolution authorizing the City Manager to sign agreements extending the term of the MOU's.

REASON FOR RECOMMENDATION:

Due to the current economic uncertainty, it is in the best interest of all parties to postpone negotiations to a later date. Staff anticipates such negotiations will begin in January of 2021. We are hopeful that the economy will have stabilized by then and we will have a better understanding of the full economic impact of COVID-19 on the City's revenues and expenses.

FISCAL IMPACT:

Extending the contracts for an additional year, with the same terms and conditions has an estimated fiscal impact of \$310,000. A 3% COLA was anticipated and included in the current Fiscal Year 2020/2021 Budget, therefore, a budget amendment is not needed.

ATTACHMENTS:

- A. Resolution Authorizing the City Manager to Sign Agreements Extending the MOU's to June 30, 2021
- B. Side Letter Agreement No. 3 with LMCEA
- C. Side Letter Agreement No. 3 with SEIU

**CITY MANAGER'S REPORT
JUNE 8, 2020 CITY COUNCIL REGULAR MEETING
Extension of Memorandum of Understanding with LMCEA and SEIU**

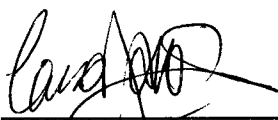
APPROVALS:



Juliana Burns
Human Resources Manager

6-2-2020

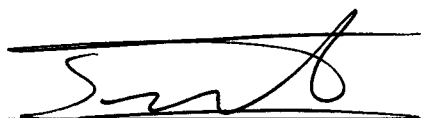
Date



Cari James
Director of Finance and
Administrative Services

6/2/2020

Date



Salvador Navarrete
City Attorney

6-2-2020

Date



Stephen J. Salvatore
City Manager

6.3.2020

Date

RESOLUTION NO. 20-

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LATHROP
AUTHORIZING THE CITY MANAGER TO EXECUTE AGREEMENTS EXTENDING
THE MEMORANDUMS OF UNDERSTANDING (MOU) WITH LATHROP MID-
MANAGERS AND CONFIDENTIAL EMPLOYEES ASSOCIATION (LMCEA) AND
SERVICE EMPLOYEES INTERNATIONAL UNION LOCAL 1021 (SEIU), AND
PROVIDE UNREPRESENTED STAFF WITH THE SAME TERMS AND
CONDITIONS**

WHEREAS, the City of Lathrop recognizes SEIU as the employee organization representing the general services bargaining unit and LMCEA as the employee organization representing the designated mid-manager, supervisory and confidential employee positions; and

WHEREAS, LMCEA and SEIU each operate under an MOU which establishes wages, working hours and other terms and conditions; and

WHEREAS, the City, LMCEA and SEIU are parties to MOU's with terms ending June 30, 2020; and

WHEREAS, the City began negotiations with both bargaining units in February 2020; and

WHEREAS, due to the significant and uncertain impacts to the economy due to the outbreak of COVID-19, all parties have agreed to extend the term of the current agreements to June 30, 2021 with the same terms and conditions, that included a 3% Cost-of Living (COLA) increase effective July 1, 2020;

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Lathrop hereby authorizes the City Manager to execute an agreement with Lathrop Mid-Managers and Confidential Employees Association and Service Employees International Union Local 1021 extending the MOU's to June 30, 2021 and providing a 3% COLA increase effective July 1, 2020; and

NOW, THEREFORE, BE IT FURTHER RESOLVED that the City Council of the City of Lathrop does hereby provide Unrepresented Staff Members the same compensation and benefits as provided to LMCEA and SEIU members pursuant to their MOU's.

The foregoing resolution was passed and adopted this 8th day of June, 2020, by the following vote of the City Council, to wit:

AYES:

NOES:

ABSENT:


ABSTAIN:

Sonny Dhaliwal, Mayor

ATTEST:

APPROVED AS TO FORM:

Teresa Vargas, City Clerk



Salvador Navarrete, City Attorney

**SIDE LETTER AGREEMENT NO. 3
BETWEEN THE CITY OF LATHROP AND
LATHROP MID-MANAGERS AND CONFIDENTIAL EMPLOYEES ASSOCIATION
EXTENDING MEMORANDUM OF UNDERSTANDING
TO JUNE 30, 2021**

THIS AGREEMENT, dated for convenience this ____ day of June 2020 is by and between Lathrop Mid-Managers and Confidential Employees Association (LMCEA) and the City of Lathrop (City);

RECITALS

WHEREAS, the City and LMCEA are parties to a Memorandum of Understanding (MOU) with a term ending June 30, 2020; and

WHEREAS, the City and LMCEA began negotiation meetings on February 13, 2020; and

WHEREAS, there has been a significant and uncertain impact to the economy due to the outbreak of COVID-19; and

WHEREAS, both parties have agreed to extend the term of the MOU to June 30, 2021 with a 3% COLA effective July 1, 2020; and

WHEREAS, all other terms and conditions of the MOU to remain unchanged; and

WHEREAS, the City Council approved and authorized the City Manager to sign this agreement at its regularly scheduled meeting of June 8, 2020;

NOW THEREFORE, parties have agreed to extend the current MOU by way of the meet and confer process. The persons executing this MOU each represent and warrant that they have been duly authorized to do so and the MOU is a valid and binding obligation of both parties.

CITY OF LATHROP

LMCEA

Stephen J. Salvatore, City Manager

Paul Konsdorf, Labor Representative

APPROVED AS TO FORM:

LMCEA

Salvador Navarrete, City Attorney

Lee Ann Sterni, President

**SIDE LETTER AGREEMENT NO. 3
BETWEEN THE CITY OF LATHROP AND
SERVICE EMPLOYEES INTERNATIONAL UNION LOCAL 1021
EXTENDING MEMORANDUM OF UNDERSTANDING
TO JUNE 30, 2021**

THIS AGREEMENT, dated for convenience this ____ day of June 2020 is by and between Service Employees International Union Local 1021 (SEIU) and the City of Lathrop (City);

RECITALS

WHEREAS, the City and SEIU are parties to a Memorandum of Understanding (MOU) with a term ending June 30, 2020; and

WHEREAS, the City and SEIU began negotiation meetings on February 13, 2020; and

WHEREAS, there has been a significant and uncertain impact to the economy due to the outbreak of COVID-19; and

WHEREAS, both parties have agreed to extend the term of the MOU to June 30, 2021 with a 3% COLA effective July 1, 2020; and

WHEREAS, all other terms and conditions of the MOU to remain unchanged; and

WHEREAS, the City Council approved and authorized the City Manager to sign this agreement at its regularly scheduled meeting of June 8, 2020;

NOW THEREFORE, parties have agreed to extend the current MOU by way of the meet and confer process. The persons executing this MOU each represent and warrant that they have been duly authorized to do so and the MOU is a valid and binding obligation of both parties.

CITY OF LATHROP

SEIU

Stephen J. Salvatore, City Manager

Mike Fouch, Business Representative

APPROVED AS TO FORM:

SEIU

Salvador Navarrete, City Attorney

Jon Stead Mendez, Executive Director

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ITEM 4.8

CITY MANAGER'S REPORT JUNE 8, 2020 REGULAR CITY COUNCIL MEETING

ITEM: CONFIRM PARTICIPATION IN THE SAN JOAQUIN URBAN COUNTY PROGRAM FOR YEARS 2021-2023 TO OBTAIN HOUSING AND URBAN DEVELOPMENT FUNDS

RECOMMENDATION: Confirm the City of Lathrop's Participation in the San Joaquin Urban County Program for Years 2021-2023 to obtain Housing and Urban Development Funds

SUMMARY:

The City of Lathrop participates in the San Joaquin Urban County Program to receive Housing and Urban Development (HUD) funds through the Community Development Block Grants (CDBG) and the HOME Investment Partnership Act (HOME). The City receives approximately \$120,000 in funds for these programs from the Urban County Program each year and the County completes the majority of the extensive reporting required by HUD.

Every three years, the County performs a requalification of the Urban County Program and renews its Cooperative Agreement with the participating cities. Staff recommends the City of Lathrop remain part of the San Joaquin Urban County Program and thereby allow the Cooperation Agreement to renew automatically for each year through 2023.

BACKGROUND:

Under HUD regulations, there are three ways in which cities may qualify for HUD funds through CDBG and the HOME Programs.

1. Cities with populations of at least 50,000 may receive funds directly as an entitlement city;
2. Small cities may compete in a statewide Small Cities Program with other small cities for a portion of the funds; and,
3. Cities may participate in an Urban County Program to receive a portion of the funds allocated to that County.

Option 1 is not available to the City of Lathrop as its population is less than 50,000 people.

Option 2 is not recommended. If the City were to compete with other small cities in the State for funds, a consultant would need to be hired to assist in the competitive process without guarantee the City would receive any funds. In addition, the consultant would have to be paid to complete the ongoing extensive reporting required by HUD. The City currently does not have the staff required to maintain such a program.

CITY MANAGER'S REPORT **Page | 2**
JUNE 8, 2020 CITY COUNCIL REGULAR MEETING
CONFIRM PARTICIPATION IN THE SAN JOAQUIN URBAN COUNTY PROGRAM
FOR YEARS 2021-2023 TO OBTAIN HOUSING AND URBAN DEVELOPMENT
FUNDS

Option 3 is recommended by Staff. The City of Lathrop currently participates in the San Joaquin Urban County Program. As a participant in this program, the City receives approximately \$120,000 per year in HUD funds through the CDBG and the HOME programs combined. Under the Urban County Program, the County handles the majority of the extensive reporting required by HUD.

Every three years the County must go through a requalification for its entitlement status. A letter was sent to each city in the County requesting official notification of the City's Intent to be included in the Urban County Program for the 2021-2023 qualification periods. (Attachment A). Staff received this letter on April 17, 2020 and responded to the County with a letter dated May 15, 2020 as notification of intent to continue the City's participation in the Urban County Program pending City Council approval. (Attachment B).

RECOMMENDATION:

Staff recommends that City Council confirm the City of Lathrop's Participation in the San Joaquin Urban County Program for years 2021-2023 to obtain Housing and Urban Development Funds.

FISCAL IMPACT:

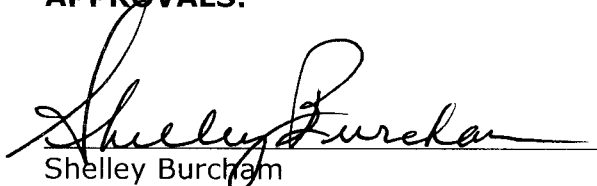
This agenda item has no fiscal impact to the City of Lathrop.

ATTACHMENTS:

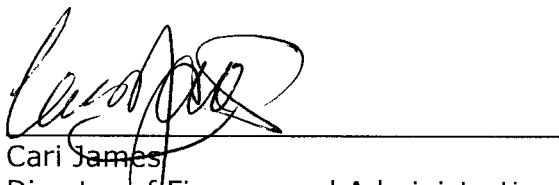
- A. Requalification Letter from San Joaquin County dated 4/17/2020
- B. City of Lathrop Letter of Intent to continue Participation in the San Joaquin Urban County Program for 2021-2023 timeframe dated 5/15/2020

CITY MANAGER'S REPORT
JUNE 8, 2020 CITY COUNCIL REGULAR MEETING
CONFIRM PARTICIPATION IN THE SAN JOAQUIN URBAN COUNTY PROGRAM
FOR YEARS 2021-2023 TO OBTAIN HOUSING AND URBAN DEVELOPMENT
FUNDS

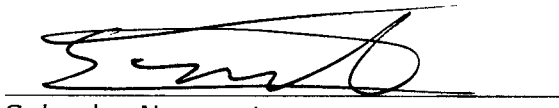
APPROVALS:


Shelley Burcham
Economic Development Administrator


6-1-2020
Date


Cari James
Director of Finance and Administrative Services

6/1/2020
Date


Salvador Navarrete
City Attorney

6-1-2020
Date


Stephen J. Salvatore
City Manager

4-3-2020
Date



SAN JOAQUIN
—COUNTY—
Greatness grows here.

Community Development Department
Planning · Building · Neighborhood Preservation

April 17, 2020

City of Lathrop
Stephen Salvatore, City Manager
390 Towne Centre Drive
Lathrop, CA 95330

SUBJECT: REQUALIFICATION OF SAN JOAQUIN COUNTY AS AN URBAN COUNTY

Dear Mr. Salvatore:

Every three years, it is necessary for San Joaquin County to go through a requalification for entitlement status process established by HUD, to remain eligible for Community Development Block Grant (CDBG) funding. The key components of this requalification process from a local standpoint are:

1) Option of Inclusion or Exclusion - The County must notify all of the cities of their option for inclusion or exclusion in the Urban County. Each City must notify both the County and HUD of its decision to be included or excluded from the Urban County for the 2021-2023 qualification period by May 22, 2020. You should be aware that if the City chooses to remain with the Urban County, it is ineligible to apply for grants under the State CDBG program. As a member of the Urban County, the City also becomes a participant in the Urban County HOME program.

Your written notice of intent (if choosing exclusion from the Urban County) should be sent to the HUD Field Office at:

Curt Klaus, Program Representative
Community Planning and Development
U.S. Department of Housing and Urban Development
One Sansome Street, Suite 200
San Francisco, CA 94104

The County notification letter (inclusion or exclusion) should be sent to:

Chris Becerra, Management Analyst III
San Joaquin County
Neighborhood Preservation
1810 E. Hazelton Ave.
Stockton, CA 95205

2) Cooperation Agreement - The current Cooperation Agreement allows for automatic renewal at the end of the three-year Urban County qualification period, if no changes to the agreement are required by HUD, which would require the execution of a new agreement.

This letter serves as your notification that the current Cooperation Agreement for FYs 2018-2020 will automatically renew for the three-year qualification cycle of FYs 2021-2023, unless the City of Lathrop notifies both the County and HUD of its intent to terminate the agreement at the end of the current qualification period.

In summary, you must notify the County and HUD, in writing, by May 22, 2020 of your intent to continue or discontinue your participation in the Urban County for the 2021-2023 period. If you decide to opt out of the Urban County, you must also include in your notification letter that it is your intent to terminate the Cooperation Agreement at the end of the current qualification period.

For your convenience, attached is a copy of the letter the City sent during the last qualifying process.

Should you have any questions or require additional information concerning this process, please feel free to contact me at (209) 468-3164.

Sincerely,



Raymond K. Hoo
Deputy Director

Attachment

cc: Shelley Burcham, Economic Development Administrator
City of Lathrop

F:\NP\1 NP-New\CDBG\Urban County Renewal\2018-2020\RequalifyUrbCnty-CitiesLtr\2020 Requalify letters\RequalifyUrbCnty - Lathrop.docx



Office of the City Manager

390 Towne Centre Drive, Lathrop, CA 95330

Phone (209) 941-7220 – Fax (209) 941-7229

www.ci.lathrop.ca.us

May 15, 2020

Raymond K. Hoo, Deputy Director
San Joaquin Community Development Department
Neighborhood Preservation Division
1810 E. Hazelton Avenue
Stockton, CA 95205

Re: URBAN COUNTY COOPERATION AGREEMENT

Dear Mr. Hoo:

It is the intent of the City of Lathrop to continue participation in the San Joaquin Urban County Program for the 2021 – 2023 qualification period and to exercise the automatic renewal option of the existing Cooperative Agreement. We will be formalizing this intent by taking the item before City Council on June 8, 2020. Once approved by City Council, we will forward a copy of the Resolution to your office to formalize this agreement renewal.

If you have further questions, please do not hesitate to contact Shelley Burcham, Economic Development Administrator, by email at sburcham@ci.lathrop.ca.us or by telephone at (209) 941-7221.

Thank you,

A handwritten signature in black ink, appearing to read "Stephen J. Salvatore".

Stephen J. Salvatore
City Manager

cc: File – EDD/CDBG

ITEM 4.9

CITY MANAGER'S REPORT JUNE 8, 2020 CITY COUNCIL REGULAR MEETING

ITEM: SUBMISSION OF CLAIM FOR MEASURE K BICYCLE, PEDESTRIAN, AND SAFE ROUTES TO SCHOOL PROGRAM FUNDS FOR LOUISE AVENUE REHABILITATION CIP PS 18-01

RECOMMENDATION: Adopt Resolution Authorizing the City Manager to Execute and Submit the Cycle One Measure K Bicycle, Pedestrian, and Safe Routes to School Program Funds Claim for the Louise Avenue Pavement Rehabilitation CIP PS 18-01, authorizing the City Manager to Execute and Submit All Future Measure K Claims, and Approving Related Budget Amendment

SUMMARY:

The Measure K Non-Competitive Bicycle, Pedestrian and Safe Routes to School Program (BP-SRTs) is intended to fund bicycle, pedestrian and Safe Routes to School projects. These funds are available based on a formula share outlined in the Measure K Renewal Program.

Staff is requesting Council authorize the City Manager to execute and submit a claim in the amount of \$67,504 for Measure K Bicycle, Pedestrian, and Safe Routes to School Program Funds in application for funding bicycle lane and curb return improvements for the Louise Avenue Pavement Rehabilitation Project CIP PS 18-01 and authorize the City Manager to execute and submit all future Measure K claims.

BACKGROUND:

The Measure K Non-Competitive Bicycle, Pedestrian and Safe Routes to School Program (BP-SRTs) is intended to fund bicycle, pedestrian and Safe Routes to School projects. These funds are available based on a formula share outlined in the Measure K Renewal Program. The program funds can be used for stand-alone projects that are important to the community or help provide matching funds for competitive grant opportunities. The Measure K Non-Competitive BP-SRTs funds are eligible to be claimed by the City in the amount of \$67,504. Funding claimed will be appropriated for eligible portions of the Louise Avenue Pavement Rehabilitation Project CIP PS 18-01 for bicycle lane striping between Howland Road and Haran Road and for fifteen curb ramps that are included with this project. The San Joaquin Council of Governments requires the claim documents to include a Council resolution authorizing a specific staff member to execute and submit the claim for reimbursement.

CITY MANAGER’S REPORT **PAGE 2**
JUNE 8, 2020 CITY COUNCIL REGULAR MEETING
SUBMISSION OF CLAIM FOR MEASURE K NON-COMPETITIVE BP-SRT FUNDS
FOR LOUISE AVENUE PAVEMENT REHABILITATION PROJECT CIP PS 18-01

Staff requests that City Council adopt a resolution authorizing the City Manager to execute and submit a claim in the amount of \$67,504 for the Cycle One Measure K Bicycle, Pedestrian and Safe Routes to School Program Funds in application for funding bicycle lane and curb return improvements for the Louise Avenue Pavement Rehabilitation Project CIP PS 18-01 and authorize the City Manager to execute and submit all future Measure K claims.

REASON FOR RECOMMENDATION:

Authorizing the City Manager to submit for the Measure K Funds will allow for the installation of pedestrian and bicycle improvements on Louise Avenue.

FISCAL IMPACT:

Upon execution of the Cycle One Measure K Bicycle, Pedestrian, and Safe Routes to School Program Funds Claim, the City will be eligible to receive \$67,504 for the Louise Avenue Pavement Rehabilitation Project CIP PS 18-01. Staff requests the following budget amendment:

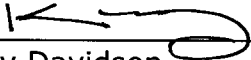
<u>Revenue (Measure K)</u>			
2110-8000-332-0100			\$67,504
 <u>Transfer Out</u>			
2110-9900-990-9010			\$67,504
 <u>Transfer In</u>			
3310-9900-393-0000	PS 18-01		\$67,504
 <u>Appropriation</u>			
3310-8000-420-1200	PS 18-01		\$67,504

ATTACHMENTS:

- A. Resolution Authorizing the City Manager to Execute and Submit the Cycle One Measure K Bicycle, Pedestrian, and Safe Routes to School Program Funds Claim for the Louise Avenue Pavement Rehabilitation CIP PS 18 01, authorizing the City Manager to Execute and Submit All Future Measure K Claims, and Approving Related Budget Amendment
- B. Measure K Bicycle, Pedestrian, and Safe Routes to School Non-Competitive Program Guidelines/Claim Form- Cycle 1

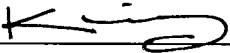
CITY MANAGER'S REPORT **PAGE 3**
JUNE 8, 2020 CITY COUNCIL REGULAR MEETING
SUBMISSION OF CLAIM FOR MEASURE K NON-COMPETITIVE BP-SRT FUNDS
FOR LOUISE AVENUE PAVEMENT REHABILITATION PROJECT CIP PS 18-01

APPROVALS:



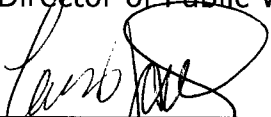
FOR
Jay Davidson
Principal Engineer

5-28-2020
Date



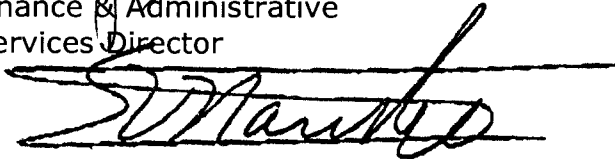
Michael King
Director of Public Works

5-27-2020
Date




Cari James
Finance & Administrative
Services Director

5-29-2020
Date



Salvador Navarrete
City Attorney

5/27/2020
Date



Stephen J. Salvatore
City Manager

6-3-2020
Date

RESOLUTION NO. 20 -

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LATHROP AUTHORIZING THE CITY MANAGER TO EXECUTE AND SUBMIT THE CYCLE ONE MEASURE K BICYCLE, PEDESTRIAN, AND SAFE ROUTES TO SCHOOL PROGRAM FUNDS CLAIM FOR THE LOUISE AVENUE PAVEMENT REHABILITATION CIP PS 18 01, AUTHORIZING THE CITY MANAGER TO EXECUTE AND SUBMIT ALL FUTURE MEASURE K CLAIMS, AND APPROVING RELATED BUDGET AMENDMENT

WHEREAS, the Measure K Non-Competitive Bicycle, Pedestrian and Safe Routes to School Program (BP-SRTs) is intended to fund bicycle, pedestrian and Safe Routes to School projects; and

WHEREAS, these funds are available based on a formula share outlined in the Measure K Renewal Program; and

WHEREAS, the program funds can be used for stand-alone projects that are important to the community or help provide matching funds for competitive grant opportunities; and

WHEREAS, the Measure K Non-Competitive BP-SRTs funds are eligible to be claimed by the City in the amount of \$67,504, and funding claimed will be appropriated for eligible portions of the Louise Avenue Pavement Rehabilitation Project CIP PS 18-01 for bicycle lane striping between Howland Road and Harlan Road and for fifteen curb ramps that are included with this project; and

WHEREAS, upon execution of the Cycle One Measure K Bicycle, Pedestrian, and Safe Routes to School Program Funds Claim, staff requests the following budget amendment:

Revenue (Measure K)		
2110-8000-332-0100		\$67,504
Transfer Out		
2110-9900-990-9010		\$67,504
Transfer In		
3310-9900-393-0000	PS 18-01	\$67,504
Appropriation		
3310-8000-420-1200	PS 18-01	\$67,504

WHEREAS, the San Joaquin Council of Governments requires the claim documents to include a Council resolution authorizing a specific staff member to submit the claim for reimbursement.

NOW, THEREFORE, BE IT RESOLVED, that the City Council of the City of Lathrop hereby authorizes the City Manager to execute and submit a claim in the amount of \$67,504 for Measure K Bicycle, Pedestrian, and Safe Routes to School Program Funds in application for funding bicycle lane and curb return improvements for the Louise Avenue Pavement Rehabilitation Project CIP PS 18-01, authorizes the City Manager to execute and submit all future Measure K claims, and approves a budget amendment.

The foregoing resolution was passed and adopted this 8th day of June 2020, by the following vote of the City Council, to wit:

AYES:

NOES:

ABSTAIN:

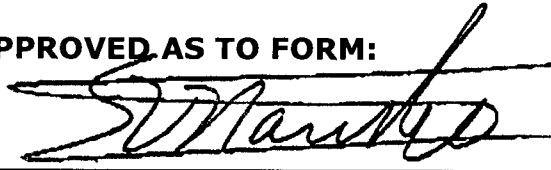
ABSENT:

Sonny Dhaliwal, Mayor

ATTEST:

Teresa Vargas, City Clerk

APPROVED AS TO FORM:



Salvador Navarrete, City Attorney

MEASURE K BICYCLE, PEDESTRIAN, AND SAFE ROUTES TO SCHOOL NON-COMPETITIVE PROGRAM GUIDELINES

CYCLE ONE (2017-2021)

I. INTRODUCTION: PURPOSE AND ELIGIBLE APPLICANTS



The Measure K Non-Competitive Bicycle, Pedestrian, and Safe Routes to School (BP-SRtS) Program is intended to fund bicycle, pedestrian and Safe Routes to School projects to provide matching funds for competitive grant opportunities and to fund smaller projects that may not be competitive but are still important to a community. This is the first cycle in the 30-year Measure K Renewal program. Forty percent of the Measure K BP-SRtS Program estimated revenues is allocated to the Non-Competitive Program. The total amount for Cycle 1: 2017-2021 is estimated to be \$2,566,786. Eligible applicants include the Cities and County of San Joaquin. This form explains the procedures for claiming and using Non-Competitive Bicycle, Pedestrian, and Safe Routes to School funds.

II. ELIGIBLE PROJECTS AND COSTS

- Class I Bikeway (Bicycle Path or Trail) with exclusive right-of-way for bicycles and pedestrians
- Class II Bikeways (Bike Lanes) within the paved area of roadways
- Class III Bikeways (Bike Routes) established along through routes not served by Class I or II bikeways, or connecting discontinuous segments of bikeway
- Class IV Separated Bikeways (Cycle Tracks) within the paved area of roadways that provides an on-street pathway with a physical separation between bicycles and vehicle traffic
- Safe Routes to School needs assessments
- New planning, implementation studies, or educational programs.
- Auxiliary facilities including but not limited to: bicycle lockers or other storage facilities, bicycle-actuated traffic signals, traffic calming, landscaping, signage, lighting, bicycle-related roadway widening, restriping, parking removal, bridges
- Within a 2-mile radius of a school, Class I, II, III, IV, and auxiliary facilities projects that clearly support safely walking and biking to and from school
- Up to 10% of funds claimed may be used for administration and other in-house costs

III. PROGRAM REQUIREMENTS

Jurisdictions claiming funds must comply with the following:

1. A Governing Board Resolution must accompany any claim. It should authorize the contact person identified in the Assurances section to act on behalf of the project.
2. All projects (except for planning efforts) must be in a pending or adopted local or regional bicycle plan, pedestrian plan, Safe Routes to School plan, or Active Transportation plan. Projects must lie entirely within the San Joaquin County.
3. No Maintenance: Measure K BP-SRtS funds cannot be used for maintenance or rehabilitation efforts.

MEASURE K BICYCLE, PEDESTRIAN, AND SAFE ROUTES TO SCHOOL NON-COMPETITIVE PROGRAM GUIDELINES

CYCLE ONE (2017-2021)

4. Developer Funds: Measure K funds may not substitute for developer funds.
5. Transportation Development Act (TDA): Jurisdiction using TDA pedestrian/bike money for other than pedestrian/bike project **cannot** claim BP-SRtS funds. If TDA pedestrian/bike monies are spent on road and street projects in any year after funds have been claimed, the jurisdiction **cedes its next Non-Competitive Program cycle** funds for the other jurisdictions to claim.
6. Final Report: After the project is complete, the recipient will report to SJCOG the completion date and the final cost. Future allocations will be made only after reports on completed projects have been submitted.
7. Jurisdictions should attempt to leverage Measure K funds to match federal, state, and other funds as much as possible. SJCOG staff is happy to provide information on other funding opportunities. Competitive BP-SRtS funds may be used to match Non-Competitive funds and vice versa.

IV. OBLIGATION OF MEASURE K FUNDS

Funds are allocated by population with a \$5,000 minimum per jurisdiction. The total allocation for each jurisdiction for Fiscal Years 2016/17 through Fiscal Year 2020/21 are as follows:

**Measure K Bicycle, Pedestrian, and Safe Routes to School
Apportionment of Non-Competitive Funds
First Funding Cycle: FY 2016/17 through FY 2020/2021**

Jurisdiction	2010 Census Population	%	Apportionment
Escalon	7,132	1.04%	\$26,713
Lathrop	18,023	2.63%	\$67,504
Lodi	62,134	9.07%	\$232,720
Manteca	67,096	9.79%	\$251,305
Ripon	14,297	2.09%	\$53,549
Stockton	291,707	42.57%	\$1,092,577
Tracy	82,922	12.10%	\$310,581
SJ County	141,995	20.72%	\$531,837
Total	685,306	100%	\$2,566,786

SJCOG staff advise that claims be submitted before a project commences to avoid questions of eligibility.

Allocation must be claimed within three years. This means a recipient has a full funding cycle plus a one-year grace period to claim the funds by June 30, 2020. Any Non-Competitive funds that are not claimed by a jurisdiction within three years are forfeited and shifted to the Competitive Program unless an extension is granted by SJCOG. Approved claims will be paid with 30 days of receipt.

MEASURE K BICYCLE, PEDESTRIAN, AND SAFE ROUTES TO SCHOOL NON-COMPETITIVE PROGRAM GUIDELINES

CLAIM FORM - CYCLE 1 (2017 –2021) Claims for this cycle must be made before June 30, 2020

1. Project Title: Louise Avenue Pavement Rehabilitation CIP # 18-01

2. Applicant Agency City of Lathrop

3. Agency Address 390 Towne Centre Drive, Lathrop, CA 95330

4. Project Manager Jay Davidson Title: Principal Engineer

Email: j davidson@ci.lathrop.ca.us Phone Number: (209) 941-7430

5. Project Description. Briefly describe the project location(s), existing conditions, scope, and expected benefits. If the project is a component within a larger or multi-phase project, describe the “parent” project as well:
The parent project is the Louise Avenue Pavement Rehabilitation that is part of the Citywide Road Maintenance and Repair Program, CIP PS 18-01. This project is needed to address structurally deficient pavement conditions. The Measure K funds will be used for bicycle lane striping between Howlan Road and Harlan Roads, and to construct fifteen (15) curb ramp improvements.

6. Please attach a copy of the page from a local or regional plan that identifies this project.

7. Non-Competitive Measure K funds claimed: \$ 67,504

8. Total Project Cost: \$ 6,300,000

9. Schedule

	<u>Start Date</u>	<u>Completion</u>	
Environmental	<u>4/6/20</u>	<u>6/8/20</u>	*Please provide a schedule for non-infrastructure projects as needed
Design	<u>3/9/20</u>	<u>6/29/20</u>	
ROW	<u>N/A</u>	<u>N/A</u>	
Construction	<u>8/17/20</u>	<u>12/11/20</u>	

Approved:

By: _____
 Andrew T. Chesley
 Executive Director
 San Joaquin Council of Governments

Date: _____

By: _____
 Steve Dial
 Deputy Executive Director/CFO
 San Joaquin Council of Governments

Date: _____

MEASURE K BICYCLE, PEDESTRIAN, AND SAFE ROUTES TO SCHOOL NON-COMPETITIVE PROGRAM GUIDELINES

CLAIM FORM - CYCLE 1 (2017 –2021)

Infrastructure Type (only intended for Infrastructure projects)

Note: do not double-count the improvements that benefit both Bicyclists and Pedestrian (i.e. new RRFB/Signal should only show as a Pedestrian or Bicycle Improvement).

Bicycle Improvements

New Bike Lanes/Routes:	Class 1: _____ Linear Feet	Class 2: <u>9800</u> Linear Feet
	Class 3: _____ Linear Feet	Class 4: _____ Linear Feet
Signalized Intersections:	New Detection/Bike Boxes: _____ Number	Timing Improvements: _____ Number
Un-Signalized Intersections:	New RRFB/Signal: _____ Number	Crossing-Surface Improvements: _____ Number
Mid-Block Crossing:	New RRFB/Signal: _____ Number	Crossing-Surface Improvements: _____ Number
Lighting:	Intersection: _____ Number	Roadway Segments: _____ Linear Feet
Bike Share Program:	New Bike Share Station: _____ Number	New Bike Share Bikes: _____ Number
Bike Racks/Lockers:	New Racks: _____ Number	New Lockers: _____ Number
Other Bicycle Improvements	#1: _____ #:	#2: _____ #:

Pedestrian Improvements

Sidewalks:	New (4' to 8' wide): _____ Linear Feet	New (Over 8' wide): _____ Linear Feet
	Widen Existing: _____ Linear Feet	Reconstruct/Enhance Existing: _____ Linear Feet
ADA Ramp Improvements:	New Ramp (none exist): _____ Number	Reconstruct Ramp to Standard: <u>15</u> Number
Signalized Intersections:	New Crosswalk: _____ Number	Enhance Existing Crosswalk: _____ Number
	Pedestrian signal heads: _____ Number	Shorten Crossing: _____ Number
	Timing Improvements: _____ Number	
Un-Signalized Intersections:	New Traffic Signal: _____ Number	New Roundabout: _____ Number
	New RRFB/Signal: _____ Number	Crossing-Surface Improvements: _____ Number
	Shorten Crossing: _____ Number	
Mid-Block Crossing:	New RRFB/Signal: _____ Number	Crossing-Surface Improvements: _____ Number
Lighting:	Intersection: _____ Number	Roadway Segments: _____ Linear Feet
Pedestrian Amenities:	Benches: _____ Number	Trash Cans: _____ Number
	Shade Trees: _____ Number	Shade Tree Type: _____
Other Ped Improvements	#1: _____ #:	#2: _____ #:

Multi-use Trail Improvements

Class 1 Trails:	New (8' or less wide): _____ Linear Feet	New (Over 8' wide): _____ Linear Feet
	Widen Existing: _____ Linear Feet	
Non-Class 1 Trails:	New _____ Linear Feet	Widen Existing): _____ Linear Feet
Other Trail Improvements	#1: _____ #:	#2: _____ #:

Vehicular-Roadway Traffic-Calming Improvements

Road Diets:	Remove Travel Lane: _____ Linear Feet	Remove Right-Turn Pocket: _____ Number
Speed Feedback Signs:	Speed Feedback Signs: _____ Number	
Signalized Intersections:	Timing Improvements: _____ Number	New Roundabout: _____ Number
Un-Signalized Intersections:	New Traffic Signal: _____ Number	New Roundabout: _____ Number
Other Traffic-Calming:	#1: _____ #:	#2: _____ #:

**MEASURE K BICYCLE, PEDESTRIAN, AND SAFE ROUTES TO SCHOOL
NON-COMPETITIVE PROGRAM GUIDELINES**

ASSURANCES

I hereby certify, and am authorized to make, the following assurances on behalf of the agency claiming Measure K Bicycle, Pedestrian, and Safe Routes to School Program (BP-SRtS) Non-Competitive funds.

This project lies entirely within San Joaquin County, and does not duplicate an existing bicycle facility and that the project is, or will be, contained in an adopted local or regional bicycle plan, pedestrian plan, Safe Routes to School plan, or Active Transportation plan.

The claim for the project has been authorized by the governing board of my agency in a resolution that includes all stipulated understandings and assurances as defined in this claim.

The project is not by nature a maintenance or rehabilitation project, and this agency certifies that it will bear responsibility for the maintenance and operation of the facility presented in the claim.

Measure K funds identified in this claim are not being used in place of developer funds.

This agency, as a condition of eligibility for BP-SRtS funds for this project and can finance, acquire, and construct it.

The agency will cause work to be commenced on the project within a reasonable time after approval of a Measure K Non-Competitive BP-SRtS Program claim form. The claim form will be used in lieu of a contract. Successful claimants will encumber allocated (claim approved) BP-SRtS funds by June 30, 2020. Extensions for unclaimed funds must be requested in writing by the end of the grace period.

The agency will comply where applicable with provisions of the California Environmental Quality Act, the American with Disabilities Act, and any other applicable federal, state and/or local laws and/or regulations.

I certify that the information contained in the BP-SRtS claim, including attachments, is accurate to the best of my knowledge that I have read and understand the information contained in the claim, and agree to the assurances on this form.

Signed _____ Date _____

Printed (Name and Title) Stephen J. Salvatore, City Manager

Agency City of Lathrop

Project Title Louise Avenue Pavement Rehabilitation, CIP PS 18-01

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ITEM: APPROVE A PROFESSIONAL SERVICES AGREEMENT WITH SOLID NETWORKS INC. FOR INFORMATION TECHNOLOGY MAINTENANCE AND SUPPORT SERVICES

RECOMMENDATION: Adopt a Resolution Approving a Professional Services Agreement with Solid Networks, Inc. for Information Technology Maintenance and Support Services

SUMMARY:

In July 2016, the City entered into an Agreement with Solid Networks, Inc. ("Solid Networks") to provide Professional Information Technology Services and Maintenance Support for a term of thirty-six (36) months with an amount not-to-exceed \$149,400. The Agreement is set to expire on June 30, 2020.

A summary of the professional services provided by Solid Networks are:

- Technical maintenance and support services for servers
- Installation and configuration of critical technical systems
- Storage area network equipment installation and expansions
- Server hardware purchase and installation
- Onsite network engineer staff support, well-versed with the City's hardware and software infrastructure

Staff requests approval to continue utilizing the professional services provided by Solid Networks to continue managing the City's critical technical systems and infrastructure.

The cost of technology devices, hardware and software, technical maintenance and support services have significantly increased over the last two years. In comparison to the current agreement of \$149,400, the new agreement increased approximately \$117,558, primarily due to additional hardware added to the City's technology infrastructure within the last three (3) years. Additionally, servers, routers, and firewall software have increased four times their prior negotiated market price.

Tonight, staff is requesting that Council approve a thirty-six (36) month term Agreement with Solid Networks for Technical Maintenance and Support Services for an amount not-to-exceed \$266,958. The funds for FY 20/21 services are budgeted and available in the Information Technology budget.

BACKGROUND:

In July 2016, the City entered into an Agreement with Solid Networks for Technical Maintenance and Support Services with an amount not-to-exceed \$149,400 for a term of thirty-six (36) months. The Agreement is set to expire on June 30, 2020.

CITY MANAGER'S REPORT
JUNE 8, 2020 CITY COUNCIL REGULAR MEETING
SOLID NETWORKS TECHNICAL MAINTENANCE AND SUPPORT SERVICES

Solid Networks submitted a proposal for a thirty-six (36) month term with services and fee billed on a per monthly basis for a monthly cost as shown in Table 1 and set forth in Exhibit "A" to the agreement.

Table 1.

Term	Monthly Cost	Annual Cost
Term 1 (FY 20/21)	\$5,415.50	\$ 64,986.00
Term 2 (FY 21/22)	\$7,915.50	\$ 94,986.00
Term 3 (FY 22/23)	\$8,915.50	\$ 106,986.00
Total Cost		\$ 266,958.00

The cost of technology devices, hardware and software, technical maintenance and support services have significantly increased over the last two years. In comparison to the current agreement of \$149,400, the new agreement increased approximately \$117,558, primarily due to additional hardware added to the City's technology infrastructure within the last three (3) years. Additionally, servers, routers, and firewall software have increased four times their prior negotiated market price.

The Information Technology Department requires on-going support to manage the specialized high-tech conditions of the City's technical systems. The professional services provided by Solid Networks have been reliable and fitting to the City's technology infrastructure and technical support needs.

Therefore, Staff recommends Council approval of the proposed professional service agreement with Solid Networks to continue managing the City's technical systems. Solid Networks is a firm that has served the Central Valley for 20+ years offering a wide-range of technology solutions and services. They are centrally located roughly 20 minutes from City Hall, allowing prompt response to critical and/or emergency information technology related events. Solid Networks has installed and configured most of the City's technical systems and is well versed with the City's hardware and software. Additionally, Solid Networks has the capability to monitor the City's technical system 24/7.

If the proposed agreement is approved, Solid Networks will continue to perform the on-going technical maintenance and support services required by the Information Technology Department, for a sum not to exceed \$266,958 over a period of thirty-six (36) months.

REASON FOR RECOMMENDATION:

The original agreement with Solid Networks will expire on June 30, 2020. The Information Technology Department requires on-going support to manage the specialized high-tech conditions of the City's technical systems. The professional services provided by Solid Networks have been reliable and fitting to the City's technology infrastructure and technical support needs.

FISCAL IMPACT:


During the two-year budget process, staff anticipated the renewal of this agreement and budgeted sufficient funds for FY 20/21 in the Information Technology budget. Council approval is requested to assign funds to the proposed agreement for a sum not to exceed \$266,958 over a period of thirty-six (36) months.

ATTACHMENTS:

- A. Resolution Approving Professional Services Agreement with Solid Networks, Inc. for Technical Maintenance and Support Services.
- B. Agreement with Solid Networks, Inc. for Professional Information Technology Maintenance and Support Services for Co-Management of Servers, Network, Virtual Environment and Storage Area Network.

CITY MANAGER'S REPORT
JUNE 8, 2020 CITY COUNCIL REGULAR MEETING
SOLID NETWORKS TECHNICAL MAINTENANCE AND SUPPORT SERVICES


APPROVALS:



Tony Fernandes
Chief Information Officer

6/3/20

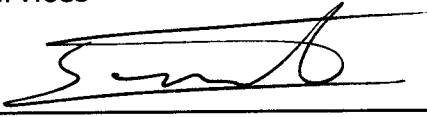
Date



Cari James
Director of Finance and Administrative
Services

6/3/2020

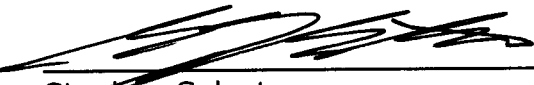
Date



Salvador Navarrete
City Attorney

6-2-2020

Date



Stephen Salvatore
City Manager

6-3-2020

Date

RESOLUTION NO. 20-

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LATHROP APPROVING PROFESSIONAL SERVICES AGREEMENT WITH SOLID NETWORKS, INC. FOR INFORMATION TECHNOLOGY MAINTENANCE AND SUPPORT SERVICES

WHEREAS, in July 2016, the City entered into an Agreement with Solid Networks, Inc. to provide Technical Maintenance and Support Services with a sum not to exceed \$149,400; and

WHEREAS, the Agreement with Solid Networks, Inc. is set to expire on June 30, 2020 and continued Information Technology (IT) support is needed to handle the diversified technological demands of the City; and

WHEREAS, Solid Networks, Inc. is qualified and willing to provide technical maintenance and support services on a per unit basis for an average cost of \$7,415.50 monthly for a term of thirty-six (36) months; and

WHEREAS, Staff requests City Council approve a thirty-six (36) term agreement with Solid Networks, Inc.; and

WHEREAS, the funds for FY 20/21 services are budgeted and available in the IT budget.

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Lathrop, does hereby approve a thirty-six (36) month term Agreement with Solid Networks, Inc. for Technical Maintenance and Support Services for Co-Management of Servers, Network, Virtual Environment and Storage Area Network, on a per unit basis as detailed on Exhibit "A" to the Agreement for a total sum not to exceed \$266,958.

The foregoing resolution was passed and adopted this 8th day of June 2020, by the following vote of the City Council, to wit:

AYES:

NOES:

ABSENT:

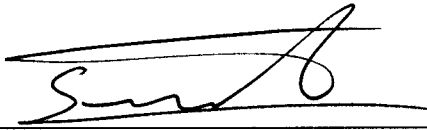
ABSTAIN:

Sonny Dhaliwal, Mayor

ATTEST:

APPROVED AS TO FORM:

Teresa Vargas, City Clerk



Salvador Navarrete, City Attorney

Solid Networks, Inc.
Master Services Agreement

ATTACHMENT " B "

The following terms and conditions govern our relationship with you and limit our liability for any services or products that we provide to you. Please read these terms carefully and keep a copy for your records.

SCOPE; SERVICES

- a) *Scope.* This master services agreement (this "Agreement") governs all services that **Solid Networks, Inc.**, a California corporation with offices located at 5686 Pirrone Road, Salida, California 95368 ("us", "our", "we" or "SNI"), performs for, as well as any licenses or products that we sell or re-sell, to you (collectively, the "Services").
- b) *Quotes.* The Services are not described in this Agreement; instead, you will be provided with an electronic quote, proposal, and/or order ("Quote") that describe the Services through which you agree to purchase the Services from us. The Quote may have one or more statements of work (each a "SOW") attached to it that further describe, summarize, and/or define the scope of the Services. **By accepting the Quote, you agree to the terms of each SOW and the terms of this Agreement. If you do not agree to the terms of the SOW and this Agreement, then you should not accept the Quote. From this point forward in this Agreement, Quotes and SOWs will be collectively referred to as "SOW."**
- c) *Conflict.* If there is a material difference between the language in a SOW and the language in this Agreement, then the language of the SOW will control, except in situations involving warranties, limitations of liability, or termination of this Master Services Agreement. Under those limited circumstances, the terms of this Agreement will control unless the SOW expressly states that it is overriding the conflicting provisions of this Agreement.

GENERAL REQUIREMENTS

- a) *Environment.* For the purposes of this Agreement, "Environment" means, collectively, any computer network (cloud-based or otherwise), computer system, peripheral or device (virtual or physical) installed, maintained, monitored, or operated by us pursuant to a SOW. To avoid a delay or negative impact on our provision of the Services, during the term of each SOW you agree to refrain from modifying or moving the Environment or installing software in the Environment, unless we expressly authorize such activity.
- b) *Requirements.* At all times, all software on the Environment must be genuine and licensed, and you agree to provide us with proof of such licensing upon our request. If we require you to implement certain minimum hardware or software requirements in a SOW ("Minimum Requirements"), you agree to do so as an ongoing requirement of us providing our Services to you.
- c) *Updates.* Patches and updates to hardware and software ("Updates") are created and distributed by third parties—such as equipment or software manufacturers—and may be supplied to us from time to time for installation into the Environment. If required under a SOW, we will implement and follow the manufacturers' recommendations for the installation of Updates; however, (i) we do not warrant or guarantee that any Update will perform properly, (ii) we will not be responsible for any downtime or losses arising from or related to the installation, use, or inability to use any Update, and (iii) we reserve the right, but not the obligations, to refrain from installing an Update until we have determined, in our reasonable discretion, that the Updates will be compatible with the configuration of the Environment and materially beneficial to the features or functionality of the affected software or hardware.
- d) *Third Party Support.* If, in our discretion, a hardware or software issue requires vendor or OEM support, we may contact the vendor or OEM (as applicable) on your behalf and invoice you for all fees and costs involved in that process. If the fees or costs are anticipated in advance or exceed \$125, we will obtain your permission before incurring such expenses on your behalf unless exigent circumstances require otherwise.
- e) *Advice; Instructions.* From time to time, we may provide you with specific advice and directions related to the Services. (For example, our advice or directions may include upgrading the Environment's server or hard drive capacity or replacing obsolete equipment.) You are strongly advised to promptly follow our advice which, depending on the situation, may require you to make additional purchases or investments in the Environment or the location in which the Environment is maintained, at your sole cost. We will not be responsible for any problems or issues (such as downtime or security-related issues) caused by your failure to promptly follow our advice. If, in our discretion, your failure to follow or implement our advice renders part or all of the Services economically or technically unreasonable to provide, then we may terminate the applicable SOW for cause by providing notice of termination to you. Unless specifically and expressly stated in a SOW, any services required to remediate issues caused by your failure to follow SNI's advice or directions, or your unauthorized or unilateral modification of the Environment, as well as any services required to bring the Environment up to or maintain the Minimum Requirements, are out-of-scope and not covered under any SOW.
- f) *Prioritization.* All Services will be performed on a schedule, and in a prioritized manner, as we deem reasonable and necessary.

- g) *Authorized Contact(s)*. We will be entitled to rely on any directions or consent provided by your personnel or representatives who are authorized in a SOW to provide such directions or consent (“Authorized Contacts”). If no Authorized Contact is identified in an applicable SOW, then your Authorized Contact will be the person(s) (i) who signed this Agreement, (ii) who signed the applicable SOW, and/or (iii) who, given the totality of the circumstances, reasonably appears to have been given the authority by you to provide us with directions or consent. If you notify us in writing (e.g. by email), your change will take effect no later than three (3) business days after we receive your notice; and, if notice is given in person or by telephone, your change will take effect on the business day on which you provide us with your notice.
- h) *Insurance*. If you are supplied with SNI Equipment (defined below), you agree to acquire and maintain, at your sole cost, insurance for the full replacement value of that equipment. SNI must be listed as an additional insured on any policy acquired and maintained by you under this Agreement, and the policy will not be canceled or modified during the term of the applicable SOW without prior notification to SNI. Upon SNI’s request, you agree to provide proof of insurance to SNI, including proof of payment of any applicable premiums or other amounts due under the insurance policy.

FEES; PAYMENT

- a) *Fees*. You agree to pay the fees, costs, and expenses described in each SOW. You are responsible for sales tax and any other taxes or governmental fees associated with the Services. If you qualify for a tax exemption, you must provide us with a valid certificate of exemption or other appropriate proof of exemption. You are also responsible for all freight, insurance, and taxes (including but not limited to import or export duties, sales, use, value add, and excise taxes).
- b) *Schedule*. All undisputed fees will be due and payable in advance of the provision of the Services. If applicable, recurring payments made by ACH will be deducted from your designated bank account on the first business day of the month in which the Services are to be provided, and, if applicable, your designated credit card will be charged on the first business day of the month in which the Services are to be provided.
- c) *Nonpayment*. Fees that remain unpaid for more than fifteen (15) days after the due date on the invoice will be subject to interest on the unpaid amount(s) until and including the date payment is received, at the lower of either 2% per month or the maximum allowable rate of interest permitted by applicable law. We reserve the right, but not the obligation, to suspend part or all of the Services without prior notice to you in the event that any portion of undisputed fees are not timely received by us, and monthly or recurring charges shall continue to accrue during any period of suspension. Notice of disputes related to fees must be received by us within sixty (60) days after the applicable Service is rendered or the date on which you pay an invoice, whichever is later; otherwise, you waive your right to dispute the fee thereafter. A re-activation fee may be charged to you if we suspend the Services due to your nonpayment. Time is of the essence in the performance of all payment obligations by you.

ACCESS

You hereby grant to SNI and its designated third party vendors the right to monitor, diagnose, manipulate, communicate with, retrieve information from, and otherwise access the Environment solely as necessary to enable us to provide the Services. It is your responsibility to secure, at your own cost and prior to the commencement of any Services, any necessary rights of entry, licenses (including software licenses), permits or other permissions necessary for SNI to provide Services to the Environment and, if applicable, at your designated premises, both physically and virtually. Proper and safe environmental conditions must be provided and assured by you at all times. SNI shall not be required to engage in any activity or provide any Services under conditions that pose or may pose a safety or health concern to any personnel, or that would require extraordinary or non-industry standard efforts to achieve.

LIMITED WARRANTIES; LIMITATIONS OF LIABILITY

- a) *Hardware / Software Purchased Through SNI*. All hardware, software, peripherals or accessories purchased through SNI (“Third Party Products”) are generally nonrefundable once the product is obtained from SNI’s third party provider or reseller. If you require a refund, then the third party provider’s or reseller’s return policies shall apply. We do not guarantee that purchased Third Party Products will be returnable, exchangeable, or that re-stocking fees can be avoided. You will be responsible for the payment of all re-stocking or return-related fees charged by the third party provider or reseller. We will use reasonable efforts to assign, transfer and facilitate all warranties (if any) and service level commitments (if any) for the Third Party Products to you, but will have no liability whatsoever for the quality, functionality or operability of any Third Party Products, and we will not be held liable as an insurer or guarantor of the performance, uptime or usefulness of any Third Party Products. All Third Party Products are provided “as is” and without any warranty whatsoever as between SNI and you (including but not limited to implied warranties).
- b) *Liability Limitations*. **This paragraph limits the liabilities arising under this Agreement or any SOW and is a bargained-for and material part of our business relationship with you.** You acknowledge and agree that SNI would not enter into any SOW or this Agreement unless SNI could rely on the limitations described in this paragraph. In no event shall either party be liable for any indirect, special, exemplary, consequential, or punitive damages, such as lost revenue, loss of profits (except for fees due and owing to SNI), savings, or other indirect or contingent event-based economic loss

arising out of or in connection with this Agreement, any SOW, or the Services, or for any loss or interruption of data, technology or services, or for any breach hereof or for any damages caused by any delay in furnishing Services under this Agreement or any SOW, even if a party has been advised of the possibility of such damages; however, reasonable attorneys' fees awarded to a prevailing party (as described below) shall not be limited by the foregoing limitation. Except for your payment obligations and your indemnification obligations described in this Agreement, a responsible party's ("Responsible Party's") aggregate liability to the other party ("Aggrieved Party") for damages from any and all claims or causes whatsoever, and regardless of the form of any such action(s), that arise from or relate to this Agreement (collectively, "Claims"), whether in contract, tort, indemnification, or negligence, shall be limited solely to the amount of the Aggrieved Party's actual and direct damages, not to exceed the amount of fees paid by you (excluding hard costs for licenses, hardware, etc.) to SNI for the specific Service upon which the applicable claim(s) is/are based during the six (6) month period immediately prior to the date on which the cause of action accrued. The foregoing limitations shall not apply to the extent that the Claims are caused by a Responsible Party's willful or intentional misconduct, or gross negligence. Similarly, a Responsible Party's liability obligation shall be reduced to the extent that a Claim is caused by, or the result of, the Aggrieved Party's willful or intentional misconduct, or gross negligence.

INDEMNIFICATION

Each party (an "Indemnifying Party") agrees to indemnify, defend and hold the other party (an "Indemnified Party") harmless from and against any and all losses, damages, costs, expenses or liabilities, including reasonable attorneys' fees, (collectively, "Damages") that arise from, or are related to, the Indemnifying Party's breach of this Agreement. The Indemnified Party will have the right, but not the obligation, to control the intake, defense and disposition of any claim or cause of action for which indemnity may be sought under this section. The Indemnifying Party shall be permitted to have counsel of its choosing participate in the defense of the applicable claim(s); however, (i) such counsel shall be retained at the Indemnifying Party's sole cost, and (ii) the Indemnified Party's counsel shall be the ultimate determiner of the strategy and defense of the claim(s) for which indemnity is provided. No claim for which indemnity is sought by an Indemnified Party will be settled without the Indemnifying Party's prior written consent, which shall not be unreasonably delayed or withheld.

TERM; TERMINATION

- a) *Term.* This Agreement begins on the earliest date on which you accept an Order and continues until terminated as described in this Agreement. Each SOW will have its own term and will be terminated only as provided herein, unless otherwise expressly stated in the applicable SOW. The termination of one SOW shall not, by itself, cause the termination of (or otherwise impact) this Agreement or the status or progress of any other SOW between the parties.
- b) *Termination Without Cause.* Unless otherwise agreed by the parties in writing or otherwise permitted under this Agreement, no party will terminate this Agreement without cause if, on the date of termination, a SOW is in progress. In addition, no party will terminate a SOW without cause prior to the SOW's natural expiration date. Notwithstanding the foregoing, if SNI decides to cease providing a service to all of its customers generally, then SNI may terminate an applicable SOW (or the applicable portion of the SOW) without cause by providing no less than one hundred and twenty (120) days prior written notice to you. If you terminate a SOW without cause and without SNI's consent, then you will be responsible for paying the termination fee described in the "Termination for Cause" section, below. If no SOW is in progress, then either party may terminate this Agreement without cause by providing the other party with five (5) days prior written notice.
- c) *Termination For Cause.* In the event that one party (a "Defaulting Party") commits a material breach under a SOW or under this Agreement, the non-Defaulting Party will have the right, but not the obligation, to terminate immediately this Agreement or the relevant SOW (a "For Cause" termination) provided that (i) the non-Defaulting Party has notified the Defaulting Party of the specific details of the breach in writing, with the notice prominently displaying the heading "Notice of Breach", and (ii) the Defaulting Party has not cured the default within twenty (20) days (ten (10) days for non-payment by Client) following receipt of written notice of breach from the non-Defaulting Party. If SNI terminates this Agreement or any SOW For Cause, or if you terminate any SOW without cause prior to such SOW's expiration date, then SNI shall be entitled to receive, and you hereby agree to pay to us, all amounts that would have been paid to SNI had this Agreement or SOW (as applicable) remained in effect. If you terminate this Agreement or a SOW For Cause, then you will be responsible for paying only for those Services that were properly delivered and accepted by you up to the effective date of termination.
- d) *Client Activity As A Basis for Termination.* In the event that (i) any Client-supplied equipment, hardware or software, or any action undertaken by you, causes the Environment or any part of the Environment to malfunction consequently requiring remediation by SNI on three (3) occasions or more ("System Malfunction"), and if under those circumstances, you fail to remedy, repair or replace the System Malfunction as directed by us (or you fail to cease the activity causing the System Malfunction, as applicable), or (ii) you or any of your staff, personnel, contractors, or representatives engage in any unacceptable act or behavior that renders it impracticable, imprudent, or unreasonable to provide the Services to you, then SNI will have the right, upon ten (10) days prior written notice to you, to terminate this Agreement or the applicable SOW For Cause or, at our discretion and if applicable, amend the applicable SOW to eliminate from coverage any System Malfunction or any equipment or software causing the System Malfunction.

- e) *Consent.* You and we may mutually consent, in writing, to terminate a SOW or this Agreement at any time.
- f) *Equipment / Software Removal.* Upon termination of this Agreement or applicable SOW for any reason, you will provide us with access, during normal business hours, to your premises or any other locations at which SNI-owned equipment or software (collectively, "SNI Equipment") is located to enable us to remove all SNI Equipment from the premises. If you fail or refuse to grant SNI access as described herein, or if any of the SNI Equipment is missing, broken or damaged (normal wear and tear excepted) or any of SNI-supplied software is missing, we will have the right to invoice you for, and you hereby agree to pay immediately, the full replacement value of any and all missing or damaged items. Certain services may require the installation of software agents in the Environment ("Software Agents"). You agree not to remove, disable, circumvent, or otherwise disrupt any Software Agents unless we explicitly direct you to do so.
- g) *Transition; Deletion of Data.* In the event that you request SNI's assistance to transition away from our services, we will provide such assistance if (i) all fees due and owing to us are paid to us in full prior to SNI providing its assistance to you, and (ii) you agree to pay our then-current hourly rate for such assistance, with up-front amounts to be paid to us as we may require. For the purposes of clarity, it is understood and agreed that the retrieval and provision of passwords, log files, administrative server information, or conversion of data are transition services, and are subject to the preceding requirements. **Unless otherwise expressly stated in a SOW, we will have no obligation to store or maintain any Client data in our possession or control beyond fifteen (15) calendar days following the termination of this Agreement.** We will be held harmless for, and indemnified by you against, any and all claims, costs, fees, or expenses incurred by either party that arise from, or are related to, our deletion of your data beyond the time frames described in this section.

RESPONSE; REPORTING

- a) *Response.* We warrant and represent that we will provide the Services, and respond to any notification received by us of any error, outage, alarm or alert pertaining to the Environment, in the manner and within the time period(s) designated in an applicable SOW ("Response Time"), except for (i) those periods of time covered under the Onboarding Exception (defined below), or (ii) periods of delay caused by Client-Side Downtime (defined below), Vendor-Side Downtime (defined below) or (iii) periods in which we are required to suspend the Services to protect the security or integrity of the Environment or our equipment or network, or (iv) delays caused by a force majeure event.
 - i) Scheduled Downtime. For the purposes of this Agreement, Scheduled Downtime will mean those hours, as determined by us but which will not occur between the hours of 8:00 AM and 5:00 PM Pacific Time, Monday through Friday without your authorization or unless exigent circumstances exist, during which time we will perform scheduled maintenance or adjustments to the Environment. We will use our best efforts to provide you with at least twenty-four (24) hours of notice prior to scheduling Scheduled Downtime.
 - ii) Client-Side Downtime. We will not be responsible under any circumstances for any delays or deficiencies in the provision of, or access to, the Services to the extent that such delays or deficiencies are caused by your actions or omissions ("Client-Side Downtime").
 - iii) Vendor-Side Downtime. We will not be responsible under any circumstances for any delays or deficiencies in the provision of, or access to, the Services to the extent that such delays or deficiencies are caused by third party service providers, third party licensors, or "upstream" service or product vendors.
 - iv) Remedies; Limitations. Except for the Onboarding Exception, if we fail to meet our service level commitment in a given calendar month and if, under such circumstances, our failure is not due to your activities, omissions, or inactivity, then upon receiving your written request for credit, we will issue you a pro-rated credit in an amount equal to the period of time of the outage and/or service failure. All requests for credit must be made by you no later than forty-five (45) days after you either (i) report the outage or service failure to us, or (ii) if applicable, receive a monthly report showing the outage and/or failure. The remedies contained in this paragraph and in the "Term; Termination" section above are in lieu of (and are to the exclusion of) any and all other remedies that might otherwise be available to you for our failure to meet any service level commitment during the term of this Agreement.
- b) *Onboarding Exception.* You acknowledge and agree that for the first forty-five (45) days following the commencement date of a SOW, the Response Time commitments described in this Agreement will not apply to us, it being understood that there may be unanticipated downtime or delays due to our initial startup activities and/or familiarization with you (the "Onboarding Exception").

CONFIDENTIALITY

- a) *Defined.* For the purposes of this Agreement, Confidential Information means any and all non-public information provided to us by you, including but not limited to your customer data, customer lists, internal documents, and related information. Confidential Information will not include information that: (i) has become part of the public domain through no act or omission of SNI, (ii) was developed independently by us, or (iii) is or was lawfully and independently provided to us prior to disclosure by you, from a third party who is not and was not subject to an obligation of confidentiality or otherwise prohibited from transmitting such information.

- b) *Use.* We will keep your Confidential Information confidential and will not use or disclose such information to any third party for any purpose except (i) as expressly authorized by you in writing, or (ii) as needed to fulfill our obligations under this Agreement.
- c) *Due Care.* We will exercise the same degree of care with respect to the Confidential Information we receive from you as we normally take to safeguard and preserve our own confidential and proprietary information, which in all cases will be at least a commercially reasonable level of care.
- d) *Compelled Disclosure.* If we are legally compelled (whether by deposition, interrogatory, request for documents, subpoena, civil investigation, demand or similar process) to disclose any of the Confidential Information, we will immediately notify you in writing of such requirement so that you may seek a protective order or other appropriate remedy and/or waive our compliance with the provisions of this Section. We will use its best efforts, at your expense, to obtain or assist you in obtaining any such protective order. Failing the entry of a protective order or the receipt of a waiver hereunder, we may disclose, without liability hereunder, that portion (and only that portion) of the Confidential Information that we have been advised, by written opinion from our counsel, that we are legally compelled to disclose.
- e) *Business Associate.* If we enter into a business associate agreement (“BAA”) with you for the protection of personal health information, then the terms of the BAA will be read in conjunction with the terms of the confidentiality provisions of this Agreement. The terms that protect confidentiality most stringently shall govern, and conflicting privacy- or confidentiality-related terms shall be governed by the BAA.

ADDITIONAL TERMS; THIRD PARTY SERVICES

- a) *EULAs.* Portions of the Services may require you to accept the terms of one or more third party end user license agreements (“EULAs”). If the acceptance of a EULA is required in order to provide the Services to you, then you hereby grant us permission to accept the EULA on your behalf. EULAs may contain service levels, warranties and/or liability limitations that are different than those contained in this Agreement. **You agree to be bound by the terms of such EULAs and will look only to the applicable third party provider for the enforcement of the terms of such EULAs.** If, while providing the Services, we are required to comply with a third-party EULA and the third party EULA is modified or amended, we reserve the right to modify or amend any applicable SOW with you to ensure our continued compliance with the terms of the third party EULA.
- b) *Third Party Services.* Portions of the Services may be acquired from, or rely upon the services of, third party manufacturers or providers, such as data hosting services, help desk services, domain registration services, and data backup/recovery services (“Third Party Service”). Not all Third Party Services may be expressly identified as such in a SOW, and at all times we reserve the right to utilize the services of any third party provider or to change third party providers in our sole discretion as long as the change does not materially diminish the Services to be provided to you under a SOW. We will not be responsible, and will be held harmless by you, for the failure of any third-party provider or manufacturer to provide Third Party Services to SNI or to you.
- c) *Data Loss.* Under no circumstances will we be responsible for any data lost, corrupted or rendered unreadable due to (i) communication and/or transmissions errors or related failures, (ii) equipment failures (including but not limited to silent hardware corruption-related issues), or (iii) our failure to backup or secure data from portions of the Environment that were not expressly designated in the applicable SOW as requiring backup or recovery services. Unless expressly stated in a SOW, we do not warrant or guarantee that any maintained storage device or functionality, data backup device or functionality, or load balancing functionality will operate in an error-free manner.
- d) *BYOD.* You hereby represent and warrant that we are authorized to access all devices, peripherals and/or computer processing units, including mobile devices (such as notebook computers, smart phones and tablet computers) that are connected to the Environment (collectively, “Devices”), regardless of whether such Devices are owned, leased or otherwise controlled by you. Unless otherwise stated in a SOW, Devices will not receive or benefit from the Services while the devices are detached from, or unconnected to, the Environment. **Client is strongly advised to refrain from connecting Devices to the Environment where such devices are not previously known to us and are not expressly covered under a managed service plan from us (“Unknown Devices”).** We will not be responsible for the diagnosis or remediation of any issues in the Environment caused by the connection or use of Unknown Devices in the Environment, and we will not be obligated to provide the Services to any Unknown Devices.
- e) *Equipment.* Unless otherwise noted in a SOW or Order, all SNI Equipment is licensed to you, and is neither owned by you nor leased to you. Upon the expiration of an applicable SOW, your license to use the SNI Equipment shall immediately terminate, and thereafter all SNI Equipment must be returned to us immediately at your expense. All configurations on the SNI Equipment are our proprietary information and will not be circumvented, modified, or removed by you without our prior written consent.

OWNERSHIP

Each party is, and will remain, the owner and/or licensor of all works of authorship, patents, trademarks, copyrights and other intellectual property owned or licensed by such party (“Intellectual Property”), and nothing in this Agreement or any SOW shall be deemed to convey or grant any ownership rights or goodwill in one party’s Intellectual Property to the other party.

ARBITRATION

Except for undisputed collections actions to recover fees due to us (“Collections”), any dispute, claim or controversy arising from or related to this Agreement, including the determination of the scope or applicability of this agreement to arbitrate, shall be settled by arbitration before one arbitrator who is mutually agreed upon by the parties. The arbitration shall be administered and conducted by the American Arbitration Association (the “AAA”) or if there is no AAA arbitrator available within a twenty (20) mile radius of our office, then by any arbitration venue as determined by us, pursuant to that venue’s arbitration rules for commercial disputes (the “Rules”). In the event of any inconsistency between the Rules and the procedures set forth in this paragraph, the procedures set forth in this paragraph will control. The arbitrator will be experienced in contract, intellectual property and information technology transactions. If the parties cannot agree on an arbitrator within fifteen (15) days after a demand for arbitration is filed, the arbitration venue shall select the arbitrator. The arbitration shall take place in our office. The arbitrator will determine the scope of discovery in the matter; however, it is the intent of the parties that any discovery proceedings be limited to the specific issues in the applicable matter, and that discovery be tailored to fulfill that intent. Initially, the cost of the arbitration shall be split evenly between the parties; however, the party prevailing in the arbitration shall be entitled to an award of its reasonable attorneys’ fees and costs.

MISCELLANEOUS

- a) *Compliance.* Unless otherwise expressly stated in a SOW, the Services are not intended, and will not be used, to bring Client into full regulatory compliance with any rule, regulation, or requirement that may be applicable to Client’s business or operations. Depending on the Services provided, the Services may aid Client’s efforts to fulfill regulatory compliance; however, the Services are not (and should not be used as) a compliance solution.
- b) *Disclosure.* You warrant and represent that you know of no law or regulation governing your business that would impede or restrict our provision of the Services, or that would require us to register with, or report our provision of the Services (or the results thereof), to any government or regulatory authority. You agree to promptly notify us if you become subject to any of the foregoing which, in our discretion, may require a modification to the scope or pricing of the Services.
- c) *Security.* You understand and agree that no security solution is one hundred percent effective, and any security paradigm may be circumvented and/or rendered ineffective by certain malware, such as certain ransomware or rootkits that were unknown to the malware prevention industry at the time of infection, and/or which are purposely or intentionally downloaded or installed into the Environment. We do not warrant or guarantee that all malware or malicious activity will be capable of being detected, avoided, quarantined or removed, or that any data deleted, corrupted, or encrypted by such malware (“Impacted Data”) will be recoverable. Unless otherwise expressly stated in a SOW, the recovery of Impacted Data is not included in the scope of a SOW. **You are strongly advised to (i) educate your employees to properly identify and react to “phishing” activity (i.e., fraudulent attempts to obtain sensitive information or encourage behavior by disguising oneself as a trustworthy entity or person through email), and (ii) obtain insurance against cyberattacks, data loss, malware-related matters, and privacy-related breaches, as such incidents can occur even under a “best practice” scenario. Unless a malware-related incident is caused by our intentionally malicious behavior or our gross negligence, we are held harmless from any costs, expenses, or damages arising from or related to such incidents.**
- d) *Non-Solicitation.* Each party (a “Restricted Party”) acknowledges and agrees that during the term of this Agreement and for a period of one (1) year following the termination of this Agreement, the Restricted Party will not, individually or in conjunction with others, directly or indirectly solicit, induce or influence any of the other party’s employees with whom the Restricted Party worked to discontinue or reduce the scope of their business relationship with the other party, or recruit, solicit or otherwise influence any employee of the other party with whom the Restricted Party worked to discontinue his/her employment or agency relationship with the other party. In the event of a violation of the terms of the restrictive covenants in this section, the parties acknowledge and agree that the damages to the other party would be difficult or impracticable to determine, and in such event, the Restricted Party will pay the other party as liquidated damages and not as a penalty an amount equal to fifty percent (50%) percent of that employee first year of base salary with the Restricted Party (including any signing bonus). In addition to and without limitation of the foregoing, any solicitation or attempted solicitation for employment directed to a party’s employees by the Restricted Party will be deemed to be a material breach of this Agreement, in which event the affected party shall have the right, but not the obligation, to terminate this Agreement or any then-current SOW immediately For Cause.
- e) *Collections.* If we are required to send your account to Collections or to start any Collections-related action to recover undisputed fees, we will be entitled to recover all costs and fees we incur in the Collections process including but not limited to reasonable attorneys’ fees and costs.

- f) *Assignment.* Neither this Agreement nor any SOW may be assigned or transferred by a party without the prior written consent of the other party. This Agreement will be binding upon and inure to the benefit of the parties hereto, their legal representatives, and permitted successors and assigns. Notwithstanding the foregoing, we may assign our rights and obligations hereunder to a successor in ownership in connection with any merger, consolidation, or sale of substantially all of the assets of our business, or any other transaction in which ownership of more than fifty percent (50%) of our voting securities are transferred; provided, however, that such assignee expressly assumes our obligations hereunder.
- g) *Amendment.* Unless otherwise expressly permitted under this Agreement, no amendment or modification of this Agreement or any SOW will be valid or binding upon the parties unless such amendment or modification is originated in writing by SNI, specifically refers to this Agreement or the SOW being amended, and is accepted in writing (email or electronic signature is acceptable) by you.
- e) *Time Limitations.* The parties mutually agree that, unless otherwise prohibited by law, any action for any matter arising out of this Agreement or any SOW (except for issues of nonpayment by Client) must be commenced within six (6) months after the cause of action accrues or the action is forever barred.
- f) *Severability.* If any provision hereof or any SOW is declared invalid by a court of competent jurisdiction, such provision will be ineffective only to the extent of such invalidity, illegibility or unenforceability so that the remainder of that provision and all remaining provisions of this Agreement or any SOW will be valid and enforceable to the fullest extent permitted by applicable law.
- g) *Other Terms.* We will not be bound by any terms or conditions printed on any purchase order, invoice, memorandum, or other written communication supplied by you unless such terms or conditions are incorporated into a duly executed SOW, or unless we have expressly acknowledged the other terms and, thereafter, expressly and specifically accepted such other terms in writing.
- h) *No Waiver.* The failure of either party to enforce or insist upon compliance with any of the terms and conditions of this Agreement, the temporary or recurring waiver of any term or condition of this Agreement, or the granting of an extension of the time for performance, will not constitute an Agreement to waive such terms with respect to any other occurrences.
- i) *Merger.* This Agreement, together with any and all Quotes and SOWs, sets forth the entire understanding of the parties and supersedes any and all prior agreements, arrangements or understandings related to the Services; however, any payment obligations that you have or may have incurred under any prior superseded agreement are not nullified by this Agreement and remain in full force and effect. No representation, promise, inducement or statement of intention has been made by either party which is not embodied herein. We will not be bound by any of our agents' or employees' representations, promises or inducements if they are not explicitly set forth in this Agreement or any Quote or SOW. Any document that is not expressly and specifically incorporated into this Agreement or SOW will act only to provide illustrations or descriptions of Services to be provided and will not modify this Agreement or provide binding contractual language between the parties. The foregoing sentence shall not apply to any business associate agreement required under HIPAA, which the parties may (if required) enter into after the Effective Date of this Agreement.
- j) *Force Majeure.* Neither party will be liable to the other party for delays or failures to perform its obligations under this Agreement or any SOW because of circumstances beyond such party's reasonable control. Such circumstances include, but will not be limited to, any intentional or negligent act committed by the other party, or any acts or omissions of any governmental authority, natural disaster, act of a public enemy, acts of terrorism, riot, sabotage, disputes or differences with workmen, power failure, communications delays/outages, delays in transportation or deliveries of supplies or materials, cyberwarfare, cyberterrorism, or hacking, malware or virus-related incidents that circumvent then-current anti-virus or anti-malware software, and acts of God.
- k) *Survival.* The provisions contained in this Agreement that by their context are intended to survive termination or expiration of this Agreement will survive. If any provision in this Agreement is deemed unenforceable by operation of law, then that provision shall be excised from this Agreement and the balance of this Agreement shall be enforced in full.
- l) *Insurance.* SNI and you will each maintain, at each party's own expense, all insurance reasonably required in connection with this Agreement or any SOW, including but not limited to, workers compensation and general liability. We agree to maintain a general liability policy with a limit not less than \$1,000,000 per occurrence. All of the insurance policies described herein will not be canceled, materially changed or renewal refused until at least thirty (30) calendar days written notice has been given to the other party by certified mail.
- m) *Governing Law; Venue.* This Agreement and any SOW will be governed by, and construed according to, the laws of the state of California. You hereby irrevocably consent to the exclusive jurisdiction and venue of Stanislaus County, California, for any and all claims and causes of action arising from or related to this Agreement.
- n) *No Third Party Beneficiaries.* The Parties have entered into this Agreement solely for their own benefit. They intend no third party to be able to rely upon or enforce this Agreement or any part of this Agreement.
- o) *Usage in Trade.* It is understood and agreed that no usage of trade or other regular practice or method of dealing between the Parties to this Agreement will be used to modify, interpret, supplement, or SNI in any manner the terms of this Agreement.

- p) *Business Day.* If a time period set forth in this Agreement expires on a day other than a business day in Stanislaus County, California, such period will be extended to and through the next succeeding business day in Stanislaus County, California.
- q) *Notices; Writing Requirement.* Where notice is required to be provided to a party under this Agreement, such notice may be sent by U.S. mail, overnight courier, or email as follows: notice will be deemed delivered three (3) business days after being deposited in the United States Mail, first class mail, certified or return receipt requested, postage prepaid, or one (1) day following delivery when sent by FedEx or other overnight courier, or one (1) day after notice is delivered by email. Notice sent by email will be sufficient only if (i) the sender emails the notice to the last known email address of the recipient, and (ii) the sender includes itself in the “cc” portion of the email and preserves the email until such time that it is acknowledged by the recipient. Notwithstanding the foregoing, any notice from you to SNI regarding (a) any alleged breach of this Agreement by SNI, or (b) any request for indemnification, or (c) any notice of termination of this Agreement or any SOW, must be delivered to SNI by U.S. mail or courier, unless such requirement is expressly and specifically waived by SNI. All electronic documents and communications between the parties, including email, will satisfy any “writing” requirement under this Agreement.
- r) *Independent Contractor.* SNI is an independent contractor, and is not your employer, employee, partner, or affiliate.
- s) *Subcontractors.* Generally, we do not utilize subcontractors to perform onsite services; however, should we elect to subcontract a portion of those services, we will guarantee the work as if we performed the subcontracted work ourselves.
- t) *Data & Service Access.* Some of the Services may be provided by persons outside of the United States and/or your data may occasionally be accessed, viewed, or stored on secure servers located outside of the United States. You agree to notify us if your company requires us to modify these standard service provisions, in which case additional (and potentially significant) costs will apply.
- u) *Counterparts.* The parties intend to sign, accept and/or deliver any Quote, this Agreement, SOW or any amendment in any number of counterparts, and each of which will be deemed an original and all of which, when taken together, will be deemed to be one agreement. Each party may sign, accept, and/or deliver any Quote, this Agreement, any SOW or any amendment electronically (*e.g.*, by digital signature and/or electronic reproduction of a handwritten signature) or by reference (as applicable).



Solid Networks

Mark Ricci

1.209.338.1424

Mark.Ricci@SolidNetworks.com



**Technology
Simplified**

We have prepared a quote for you

FY2021 Managed Service Agreement

Quote # 005733

Version 1

Prepared for:

City of Lathrop

Tony Fernandes
tfernandes@ci.lathrop.ca.us

➤ Statement of Work

STATEMENT OF WORK

This Statement of Work ("SOW") is governed under the Master Service Agreement (the "Agreement") between **Solid Networks, Inc.** ("we", "us", "our" or "SNI"), and **you** ("you", "your" or "Client"), the entity who accepts the order to which this SOW is attached (the "Order"). This SOW is effective as of date on which you accepted the Order ("Effective Date").

The services described in the Order and as described below (collectively, the "Services") will be provided to you. Services that are not specifically described in the Order and this SOW will be out of scope and will not be provided to you unless otherwise agreed to by us in writing. (From this point forward, the Order and this SOW will be collectively referred to as this "SOW").

SCOPE OF SERVICES

Ongoing / Recurring Services . Upon the completion of onboarding services (if any), the services listed in the Order and described below will be provided to you on an ongoing basis during the term of this SOW.

Managed Services

See the Order for the scope of our managed services.

Locations Covered by Services

Services will be provided remotely unless, in our discretion, we determine that an onsite visit is required. Onsite visits will be scheduled in accordance with the priority assigned the issue (below), and are subject to technician availability. Unless we agree otherwise, all onsite Services will be provided at Client's primary office location listed in the Order.

Managed Equipment / Hardware / Software

The Services will be applied to the equipment listed in the Order ("Covered Hardware").

The Services will apply to the software listed in the Order ("Supported Software") provided, however, that all Supported Software must, at all times, be properly licensed, and under a maintenance and support agreement from the Supported Software's manufacturer.

In this SOW, Covered Hardware and Supported Software will be referred to as the "Environment."

Term: Termination

The Services will commence, and billing will begin, on the date indicated in the Order ("Commencement Date"). We reserve the right to delay the Commencement Date until all onboarding/transition services (if any) are completed, and all deficiencies / revisions identified in the onboarding process (if any) are addressed or remediated to SNI' satisfaction.

The Services shall continue for a minimum term of thirty-six (36) months from the Commencement Date and, thereafter, shall continue on a month-to-month basis, cancelable by either party for any reason upon the provision of one (1) month prior written notice.

Assumptions / Minimum Requirements / Exclusions

The scheduling, fees and provision of the Services are based upon the following assumptions and minimum requirements :

- Server hardware must be under current warranty coverage.
- All equipment with Microsoft Windows® operating systems must be running then-currently supported versions of such software and have all of the latest Microsoft service packs and critical updates installed.
- All software must be genuine, licensed and vendor-supported.
- Server file systems and email systems (if applicable) must be protected by licensed and up-to-date virus protection software.
- The Environment must have a currently licensed, vendor-supported server-based backup solution that can be monitored.
- All wireless data traffic in the environment must be securely encrypted.
- There must be an outside static IP address assigned to a network device, allowing VPN access.
- All servers must be connected to working UPS devices.
- Client must provide all software installation media and key codes in the event of a failure.
- Any costs required to bring the Environment up to these minimum standards are not included in this SOW.

➤ Statement of Work

Exclusions . Services that are not expressly described in this SOW will be out of scope and will not be provided to Client unless otherwise agreed, in writing, by SNI. Without limiting the foregoing, the following services are expressly excluded under this SOW, and if required to be performed, must be agreed upon by SNI in writing:

- * Customization of third party applications, or programming of any kind.
- * Support for operating systems, applications, or hardware no longer supported by the manufacturer.
- * Data/voice wiring or cabling services of any kind.
- * Equipment relocation.
- * The cost to bring the Environment up to the Minimum Requirements (unless otherwise noted in "Scope of Services" above).
- * The cost of repairs to hardware or any supported equipment or software, or the costs to acquire parts or equipment, or shipping charges of any kind.

Service Levels

Automated monitoring is provided on an ongoing (*i.e.*, 24x7x365) basis; response, repair, and/or remediation services (as applicable) will be provided only during business hours unless otherwise specifically stated in the Order. We will respond to problems, errors or interruptions in the provision of the Services in the timeframe(s) described below. Severity levels will be determined by SNI in our reasonable discretion. All remediation services will initially be attempted remotely; SNI will provide onsite service only if remote remediation is ineffective and, under all circumstances, only if covered under the Service plan selected by Client.

Priority 1 Emergency: Severe or Full Service Outage (all users and functions unavailable)	Response within four (4) business hours after notification.
Priority 2 Partial Service Outage (large number of users or business critical functions affected)	Response within eight (8) business after hours notification.
Priority 3 Service Degradation (limited number of users or functions affected, business process can continue).	Response within twenty-four (24) business hours after notification.
Priority 4 Service Request (business process can continue, one user affected).	Response to requested schedule, as available. No service level agreement.

* All time frames are calculated as of the time that SNI is notified of the applicable issue / problem by Client through SNI's designated support portal, help desk, or by telephone at the telephone number listed in the Order. Notifications received in any manner other than described herein may result in a delay in the provision of remediation efforts. Ticket triage time target is .2 hours (12 minutes) during business hours. SLA target 90+%.

Fees

The fees for the Services will be as indicated in the Order.

Initially, you will be charged the monthly fees indicated in the Order. Thereafter, if the amount of Covered Hardware or Supported Software changes, or if the number of authorized users accessing the Environment changes, then you agree that the fees will be automatically and immediately modified to accommodate those changes. Under no circumstances will the number of authorized users, or the quantity of Covered Hardware or Supported Software drop below the amounts initially indicated in this SOW without our consent.

In addition, we reserve the right to increase our monthly recurring and data recovery fees; provided, however, we will not do so more than once per calendar year. If an increase is more than five percent (5%) of the fees charged for the Services in the prior calendar year, then you will be provided with a thirty (30) day opportunity to terminate this SOW by providing us with written notice of termination. Your continued acceptance or use of the services after this thirty (30) day period will indicate your acceptance of the increased fees.

➤ Statement of Work

Removal of Software Agents

Unless we expressly direct you to do so, you will not remove or disable, or attempt to remove or disable, any software agents that we installed in the Environment. Doing so without our guidance may make it difficult or impracticable to remove the software agents, which could result in network vulnerabilities and/or the continuation of license fees for the software agents for which you will be responsible, and/or the requirement that we remediate the situation at our then-current hourly rates, for which you will also be responsible. Depending on the particular software agent and the costs of removal, we may elect to keep the software agent in the Environment but in a dormant and/or unused state.

Within ten (10) days after being directed to do so, Client will remove, package and ship, at Client's expense and in a commercially reasonable manner, all hardware, equipment, and accessories provided to Client by SNI that were used in the provision of the Services. If you fail to timely return all equipment to us, or if the equipment is returned to us damaged (normal wear and tear excepted), then we will have the right to charge you, and you hereby agree to pay, the replacement value of all such unreturned or damaged equipment.

Additional Terms

Monitoring Services; Alert Services

Unless otherwise indicated in this SOW, all monitoring and alert-type services are limited to detection and notification functionalities only. These functionalities are guided by Client-designated policies, which may be modified by Client as necessary or desired from time to time. Initially the policies will be set to a baseline standard as determined by SNI; however, Client is advised to establish and/or modify the policies that correspond to Client's specific monitoring and notification needs.

Remediation

Unless otherwise provided in this SOW, remediation services will be provided in accordance with the recommended practices of the managed services industry. Client understands and agrees that remediation services are not intended to be, and will not be, a warranty or guarantee of the functionality of the Environment, or a service plan for the repair of any particular piece of managed hardware or software.

Anti-Virus; Anti-Malware

If selected in the order, our anti-virus / anti-malware solution will generally protect the Environment from becoming infected with new viruses and malware ("Viruses"); however, Viruses that exist in the Environment at the time that the security solution is implemented may not be capable of being removed without additional services, for which a charge may be incurred. We do not warrant or guarantee that all Viruses and malware will be capable of being detected, avoided, or removed, or that any data erased, corrupted, or encrypted by malware will be recoverable. In order to improve security awareness, you agree that SNI or its designated third party affiliate may transfer information about the results of processed files, information used for URL reputation determination, security risk tracking, and statistics for protection against spam and malware. Any information obtained in this manner does not and will not contain any personal or confidential information.

Breach/Cyber Security Incident Recovery

Unless otherwise expressly stated in this SOW, the scope of this SOW does not include the remediation and/or recovery from a Security Incident (defined below). Such services, if requested by you, will be provided on a project basis under our then-current labor rates. Given the varied number of possible Security Incidents, we cannot and do not warrant or guarantee (i) the amount of time required to remediate the effects of a Security Incident (or that recovery will be possible under all circumstances), or (ii) that all data impacted by the incident will be recoverable. For the purposes of this paragraph, a Security Incident means any unauthorized or impermissible access to or use of the Environment, or any unauthorized or impermissible disclosure of Client's confidential information (such as user names, passwords, etc.), that (i) compromises the security or privacy of the information or applications in, or the structure or integrity of, the Environment, or (ii) prevents normal access to the Environment, or impedes or disrupts the normal functions of the Environment.

Environmental Factors

Exposure to environmental factors, such as water, heat, cold, or varying lighting conditions, may cause installed equipment to malfunction. Unless expressly stated in this SOW, we do not warrant or guarantee that installed equipment will operate error-free or in an uninterrupted manner, or that any video or audio equipment will clearly capture and/or record the details of events occurring at or near such equipment under all circumstances.

Fair Usage Policy

Our Fair Usage Policy ("FUP") applies to all services in this SOW that are described or designated as "unlimited." An "unlimited" service designation means that, subject to the terms of this FUP, you may use the service as reasonably necessary for you to enjoy the use and benefit of the service without incurring additional time-based or usage-based costs. However, unless expressly stated otherwise in this SOW, all unlimited services are provided during our normal business hours only and are subject to our technicians' availabilities, which cannot always be guaranteed. In addition, we reserve the right to assign our technicians as we deem necessary to handle issues that are more urgent, critical, or pressing than the request(s) or issue(s) reported by you. Consistent with this FUP, you agree to refrain from (i) creating urgent support tickets for non-urgent or non-critical issues, (ii) requesting excessive support services that are inconsistent with normal usage patterns in the industry (e.g., requesting support in lieu of training), (iii) requesting support or services that are intended to interfere, or may likely interfere, with our ability to provide our services to our other customers.

> Statement of Work

Patch Management

We will keep managed hardware and managed software current with critical patches and updates ("Patches") as those Patches are released generally by the applicable manufacturers. Patches are developed by third party vendors and, on rare occasions, may make the Environment, or portions of the Environment, unstable or cause the managed equipment or software to fail to function properly even when the Patches are installed correctly. We will not be responsible for any downtime or losses arising from or related to the installation or use of any Patch. We reserve the right, but not the obligation, to refrain from installing a Patch if we are aware of technical problems caused by a Patch, or we believe that a Patch may render the Environment, or any portion of the Environment, unstable.

Procurement

Equipment and software procured by SNI on Client's behalf ("Procured Equipment") may be covered by one or more manufacturer warranties, which will be passed through to Client to the greatest extent possible. By procuring equipment or software for Client, SNI does not make any warranties or representations regarding the quality, integrity or usefulness of the Procured Equipment. Certain equipment or software, once purchased, may not be returnable or, in certain cases, may be subject to third party return policies and/or re-stocking fees, all of which shall be Client's responsibility in the event that a return of the Procured Equipment is requested. SNI is not a warranty service or repair center. SNI will facilitate the return or warranty repair of Procured Equipment; however, Client understands and agrees that the return or warranty repair of Procured Equipment is governed by the terms of the warranties (if any) governing the applicable Procured Equipment, for which SNI will be held harmless.

Business Review: IT Strategic Planning

Suggestions and advice rendered to Client are provided in accordance with relevant industry practices, based on Client's specific needs and SNI's opinion and knowledge of the relevant facts and circumstances. By rendering advice, or by suggesting a particular service or solution, SNI is not endorsing any particular manufacturer or service provider.

Sample Policies, Procedures

From time to time, we may provide you with sample (*i.e.*, template) policies and procedures for use in connection with Client's business ("Sample Policies"). The Sample Policies are for your informational use only, and do not constitute or comprise legal or professional advice, and the policies are not intended to be a substitute for the advice of competent counsel. You should seek the advice of competent legal counsel prior to using or distributing the Sample Policies, in part or in whole, in any transaction. We do not warrant or guarantee that the Sample Policies are complete, accurate, or suitable for your (or your customers') specific needs, or that you will reduce or avoid liability by utilizing the Sample Policies in your (or your customers') business operations.

Unsupported Configuration Elements Or Services

If you request a configuration element (hardware or software) or hosting service in a manner that is not customary at SNI, or that is in "end of life" or "end of support" status, we may designate the element or service as "unsupported," "non-standard," "best efforts," "reasonable endeavor," "one-off," "EOL," "end of support," or with like term in the service description (an "Unsupported Service"). We make no representation or warranty whatsoever regarding any Unsupported Service, and you agree that we will not be liable for any loss or damage arising from the provision of an Unsupported Service. Deployment and service level guarantees shall not apply to any Unsupported Service.

➤ Order Executive Summary

Order Notes:

- Primary Service Address: 390 Towne Centre Dr., Lathrop CA 95330
- Managed hardware and software counts are from client inventory spreadsheet
- Agreement Commencement Date: July 1, 2020
- 24x7 Response for remediation services provided on a on-call basis
- Urgent Support Contact: 209-338-1450
- Non-Urgent Support Contact: Service@SolidNetworks.com
- Agreement Scaling: Additional equipment may be added to this support agreement at anytime during the term of agreement. Additional devices will be charged the monthly support fee listed below for the remainder of the agreement term which may be prepaid. These devices will be reviewed on a quarterly basis.
- Device Pricing (Monthly):
 - Network Switch: \$50
 - Firepower Management Center: \$150
 - Firewall: \$100
 - Router: \$50
 - Misc Managed Network Device: \$50
 - Storage Array: \$250
 - VMware Host: \$150
 - Virtual Server: \$22.50
 - UCS Chassis: \$150
 - Managed Patching (per server): \$20
 - Voice Server: \$150
 - Voice Gateway: \$50



5686 Pirrone Rd
 Salida, CA 95368
 www.solidnetworks.com
 1.209.338.1400

Network Services

Description	Recurring	Qty	Ext. Recurring
<p>Please refer to the attached network asset list for full details of the specific equipment supported as part of this agreement. Asset list will be reviewed quarterly for any changes during the environment review. Solid Networks will only support devices on the list.</p>			
<p>Network support includes:</p> <ul style="list-style-type: none"> ● 24x7 Tier 2/3 escalation support initiated by City of Lathrop IT staff ● Device configuration backups (Cisco equipment only) ● Quarterly environment review with account manager and lead engineer ● Monitoring dashboard ● Customized Alerts ● Pro-active network health reviews ● Patching strategy development ● Bi-annual device patching ● Hardware secure disposal at end-of-life 			
Managed Network Switch	\$50.00	61	\$3,050.00
Managed Firewall Management Appliance	\$150.00	1	\$150.00
Managed Network Firewall	\$95.50	6	\$573.00
Managed Network Router	\$50.00	3	\$150.00
Monthly Subtotal:			\$3,923.00

Systems Services

Description	Recurring	Qty	Ext. Recurring
<p>Please refer to the attached systems asset list for full details of the specific equipment supported as part of this agreement. Asset list will be reviewed quarterly for any changes during the environment review. Solid Networks will only support devices on the list.</p>			
<p>Systems support includes:</p>			
<ul style="list-style-type: none"> ● 24x7 Tier 2/3 escalation support initiated by City of Lathrop IT staff ● Quarterly environment review with account manager and lead engineer ● Monitoring dashboard ● Customized Alerts ● Pro-active systems health reviews ● Patching strategy development ● Bi-annual patching based on approved patching strategy for UCS Chassis, VMware hosts, and storage arrays ● Hardware secure disposal at end-of-life 			
Managed Storage Array	\$250.00	3	\$750.00
Managed Virtual Hosts	\$150.00	11	\$1,650.00
Managed Virtual Servers	\$22.50	57	\$1,282.50
Managed Server Chassis	\$150.00	3	\$450.00
Managed Virtual Machine Patching Services (per server)	\$20.00	23	\$460.00
Solid Networks is responsible for automated patching of the virtual machines or physical servers identified in the asset list. Patching of all other servers is the responsibility of City of Lathrop.			
VDI Support 1 - 50 users	\$500.00	1	\$500.00
Monthly Subtotal:			\$5,092.50

Voice Services

Description	Recurring	Qty	Ext. Recurring
<p>Please refer to the attached voice asset list for full details of the specific equipment supported as part of this agreement. Asset list will be reviewed quarterly for any changes during the environment review. Solid Networks will only support devices on the list.</p>			
<p>Systems support includes:</p> <ul style="list-style-type: none"> ● 24x7 Tier 2/3 escalation support initiated by City of Lathrop IT staff ● Quarterly environment review with account manager and lead engineer ● Monitoring dashboard ● Customized Alerts ● Pro-active voice health reviews ● Bi-annual patching based on approved patching strategy for voice gateways ● Major version upgrades of Call Manager, Unity Connections, and Contact Center products once per year ● Major version upgrades require current Cisco software support and at least 1 year remaining in this agreement ● Hardware secure disposal at end-of-life 			
Managed Voice Server	\$150.00	5	\$750.00
Managed Voice Gateways	\$50.00	3	\$150.00
Monthly Subtotal:			\$900.00

FY2021 Managed Service Agreement

Prepared by:

Solid Networks

Mark Ricci

1.209.338.1424

Mark.Ricci@SolidNetworks.com

Prepared for:

City of Lathrop

390 Towne Centre Drive

Lathrop, CA 95330

Tony Fernandes

(209) 941-7200

tfernandes@ci.lathrop.ca.us

Quote Information:

Quote #: 005733

Version: 1

Delivery Date: 05/26/2020

Expiration Date: 06/11/2020

Monthly Expenses Summary

Description	Amount
Network Services	\$3,923.00
Systems Services	\$5,092.50
Voice Services	\$900.00
Monthly Total:	\$9,915.50

Payment Options

Description	Payments	Interval	Amount
Term Options			
FY2021	12	Monthly	\$5,415.50
FY2022	12	Monthly	\$7,915.50
FY2023	12	Monthly	\$8,915.50

Summary of Selected Payment Options

Description	Amount
Term Options: FY2021	
Selected Recurring Payment	\$5,415.50
Total of Recurring Payments	\$64,986.00

Taxes, shipping, handling and other fees may apply. We reserve the right to cancel orders arising from pricing or other errors.



5686 Pirrone Rd
Salida, CA 95368
www.solidnetworks.com
1.209.338.1400

Solid Networks

City of Lathrop

Signature: Mark Ricci

Name: Mark Ricci

Title: Account Manager

Date: 05/26/2020

Signature: _____

Name: Tony Fernandes

Date: _____

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ITEM 4.11

CITY MANAGER'S REPORT JUNE 8, 2020 CITY COUNCIL REGULAR MEETING

ITEM: APPROVE EXTENSION OF JANITORIAL SERVICES CONTRACT WITH KOREAN PROFESSIONAL BUILDING MAINTENANCE

RECOMMENDATION: Adopt Resolution Approving a One-Year Extension of the Contract with Korean Professional Building Maintenance for Janitorial Services

SUMMARY:

Korean Professional Building Maintenance has been providing janitorial services for the City since May 2015, and their contract is due to terminate on June 30, 2020. Staff requests City Council approve a one-year extension of the contract with Korean Professional Building Maintenance from July 1, 2020 to June 30, 2021.

BACKGROUND:

The City entered into contract with Korean Professional Building Maintenance on May 4, 2015 for janitorial services. On November 1, 2017, the City Manager signed Amendment No. 1 extending the contract to June 30, 2018. Amendment No. 1 allowed the contract to be extended for up to three years, in one-year increments not to exceed June 30, 2021. Pursuant to Amendment No. 1, contract extensions beginning on July 1, 2019 must be approved by City Council. On July 8, 2019, Council ratified the City Manager's approval of a contract extension letter with Korean Professional Building Maintenance to extend the contract for one year from July 1, 2019 to June 30, 2020.

Council is requested to approve another one-year contract extension with Korean Professional Building Maintenance from July 1, 2020 to June 30, 2021. All the other terms of the original 2015 contract and as amended by Contract Amendment No. 1 are to remain in full force and effect.

REASON FOR RECOMMENDATION:

Janitorial services are needed to clean City facilities consisting of City Hall, Community Center, Senior Center, and the Generations Center. Korean Professional Building Maintenance is specially trained, experienced and competent to provide janitorial services. Staff recommends City Council adopt a resolution approving an additional one-year extension the contract with Korean Professional Building Maintenance.

CITY MANAGER'S REPORT
JUNE 8, 2020 CITY COUNCIL REGULAR MEETING
APPROVE EXTENSION OF JANITORIAL SERVICES CONTRACT WITH KOREAN PROFESSIONAL BUILDING MAINTENANCE

PAGE 2

FISCAL IMPACT

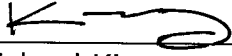
The total cost of janitorial services with Korean Professional Building Maintenance is \$55,345, a monthly rate of \$4,612.08, for Fiscal Year 2020-2021, and has been included in Public Works Building and Ground Maintenance Operating budget for Fiscal Year 2020-2021.

ATTACHMENTS:

- A. Resolution Approving a One-Year Extension of the Contract with Korean Professional Building Maintenance for Janitorial Services
- B. Contract Renewal Extension Letter with Korean Professional Building Maintenance, dated June 9, 2020

CITY MANAGER'S REPORT
JUNE 8, 2020 CITY COUNCIL REGULAR MEETING
APPROVE EXTENSION OF JANITORIAL SERVICES CONTRACT WITH KOREAN
PROFESSIONAL BUILDING MAINTENANCE

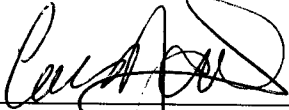
APPROVALS:



Michael King
Public Works Director

5-19-2020

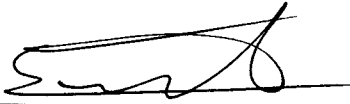
Date



Cari James
Finance & Administrative
Services Director

5-20-2020

Date



Salvador Navarrete
City Attorney

5-19-2020

Date



Stephen J. Salvatore
City Manager

5-20-2020

Date

RESOLUTION NO. 20-

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LATHROP APPROVING A ONE-YEAR EXTENSION OF THE CONTRACT WITH KOREAN PROFESSIONAL BUILDING MAINTENANCE FOR JANITORIAL SERVICES

WHEREAS, janitorial services are needed to clean City facilities consisting of City Hall, Community Center, Senior Center, and the Generations Center; and

WHEREAS, Korean Professional Building Maintenance is specially trained, experienced and competent to provide janitorial services; and

WHEREAS, on May 4th, 2015 City Council approved a Contract with Korean Professional Building Maintenance to provide janitorial services through June 30, 2017; and

WHEREAS, on November 1, 2017 City Manager and Korean Professional Building Maintenance amended the Contract extending the Contract term from November 1, 2017 through June 30, 2018; and

WHEREAS, extensions beyond July 1, 2019 require City Council approval, and on July 8, 2019, Council ratified the City Manager's approval of an extension letter with Korean Professional Building Maintenance to extend the contract for one year from July 1, 2019 to June 30, 2020; and

WHEREAS, to provide a continuation of janitorial services provided by Korean Professional Building Maintenance, staff requests approval of an additional extension letter to further extend the Contract from July 1, 2020 through June 30, 2021 at a total cost of \$55,345, a monthly rate of \$4,612.08, as per Contract Amendment No. 1.

NOW, THEREFORE, BE IT RESOLVED, that the City Council of the City of Lathrop does hereby approve to extend the Contract with Korean Professional Building Maintenance for janitorial services from July 1, 2020 through June 30, 2021, with all other terms of the original 2015 contract and as amended by Contract Amendment No. 1 to remain in full force and effect.

The foregoing resolution was passed and adopted this 8th day of June 2020, by the following vote of the City Council, to wit:

AYES:

NOES:

ABSENT:

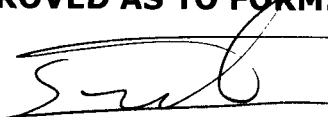
ABSTAIN:

Sonny Dhaliwal, Mayor

ATTEST:

Teresa Vargas, City Clerk

APPROVED AS TO FORM:



Salvador Navarrete, City Attorney



Office of the City Manager

390 Towne Centre Dr. - Lathrop, CA 95330
Phone (209) 941-7220 - fax (209) 941-7248
www.ci.lathrop.ca.us

June 9, 2020

COPY

Korean Professional Building Maintenance
Sung W. Kim, Owner
5026 Bay View Circle
Stockton, CA 92519

Re: Contract Extension Letter with Korean Professional Building Maintenance for Janitorial Services

The Contract to provide Janitorial Services, dated April 20, 2015 and amended on November 1, 2017, between the City of Lathrop and Korean Professional Building Maintenance, allows for the Contract to be extended for up to three years, in one year increments at the discretion of the City.

The Contract is currently effective from July 1, 2019 to June 30, 2020. This Letter of Extension to Korean Professional Building Maintenance is to extend the agreement with the agreed upon terms of the Contract. The City is in agreement to extend the Contract with Korean Professional Building Maintenance for one year, such that the new contract period is from July 1, 2020 to June 30, 2021.

Pursuant to Amendment No. 1, we acknowledge the price shall increase to \$4,612.08 per month, from July 1, 2020 to June 30, 2021 for a total of \$55,345. The City of Lathrop and Korean Professional Building Maintenance are in agreement to extend the existing Contract for an additional year from July 1, 2020 to June 30, 2021, with the above stated price increase. Please sign below and return this letter to indicate your concurrence.

Should you have any questions or concerns, please contact Larry Backert at (209) 941-7475 or by email: lbackert@ci.lathrop.ca.us.

Thank you,

Stephen J. Salvatore
City Manager

I hereby agree to extend the term of the Korean Professional Building Maintenance between the City of Lathrop and Korean Professional Building Maintenance by an additional year such that the new termination date of the Contract is June 30, 2021 with all other terms of this Contract to remain in effect. This Letter of Extension does not amend the scope of work or fees as detailed in the original agreement and Amendment No. 1.

SKim

4-2-2020

Sung W. Kim, Owner
Korean Professional Building Maintenance

Date

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ITEM: TRANSPORTATION DEVELOPMENT ACT CLAIM FOR FISCAL YEAR 2019/20

RECOMMENDATION: Adopt Resolution Authorizing the Filing of a Transportation Development Act (TDA) Claim for Local Transportation Funds (LTF) for Fiscal Year 2019/20

SUMMARY:

Annually, the City of Lathrop submits the Local Transportation Development Act (TDA) claim to request Local Transportation Funds (LTF) from the San Joaquin County Council of Governments (SJCOG) for the current year's budgeted street and road projects. The City is generally sent its apportionment within six weeks of submitting the claim.

Based on the available LTF resources of \$2,425,910 and programmed expenditures of \$2,242,776, staff recommends City Council authorize the filing of the FY 2019/20 TDA claim in the amount of \$1,124,725 (expenditures net of prior year carryovers).

BACKGROUND:

TDA provides a major source of funding for public transportation projects known as the Local Transportation Fund (LTF).

Revenues for the LTF are derived from a 1/4 cent portion of the 8.75 percent retail sales tax collected in the county. Annually, SJCOG determines each City's share of the anticipated LTF based on its population.

LTF funds may be used for a broad range of transportation improvements including local roads, public transit and bicycle and pedestrian facilities. Over the past several years, the City has used these funds for various projects including the Lathrop Road Widening, street sidewalk improvements, and slurry and base repairs to roads in various areas.

For FY 2019/20 the total LTF funds available for the City of Lathrop are \$2,425,910 (includes prior year carryover of \$1,118,051). The City's Proposed LTF expenditures total \$2,242,776 leaving an unclaimed balance of \$183,134. The unclaimed balance of \$183,134 can be programmed into streets and roads projects in FY 2020/21. The Prior Year Carryovers for the City's FY 2019/20 LTF Claim is \$1,118,051.

**CITY MANAGER'S REPORT
 JUNE 8, 2020 CITY COUNCIL REGULAR MEETING
 TRANSPORTATION DEVELOPMENT ACT CLAIM FY 2019/20**

Table 1 reflects the available resources from LTF and the City's portion of LTF funding for FY 2019/20.

Table 1 – FY 2019/20 LTF Funding Summary

LTF - RESOURCES		AMOUNT
Area Apportionment		\$974,137
Pedestrian/Bicycle		\$22,922
Prior Years' Unclaimed Apportionment		\$310,800
Unexpended Carryover		\$1,118,051
TOTAL LTF - RESOURCES		\$2,425,910
LTF - EXPENDITURES		AMOUNT
Pedestrian/Bicycle ²		(\$75,953)
Roads and Streets ³		(\$2,166,823)
Other Article ⁴		\$0
TOTAL LTF - EXPENDITURES		(\$2,242,776)
LTF Surplus/(Deficit) ⁵		\$183,134
LTF CLAIM		AMOUNT
Total LTF Expenditures		\$2,242,776
Less: Unexpended Carry Over and TDA Admin		(\$1,118,051)
TOTAL LTF CLAIM		\$1,124,725

Notes:

¹The funds requested for TDA Administration is the City's share of the transportation planning apportionment retained by San Joaquin Council of Governments for their administration services.

² The funds requested for Pedestrian and Bicycle will be used for Sidewalk Repair Program and Thomsen Road/Lathrop Elementary School Improvements.

³ The funds requested for Roads and Streets will be used for, the annual street maintenance program, the replacement of concrete sidewalks identified in the sidewalk survey.

⁴ There are no projects budgeted at this time requesting additional funding. Previously the City has budgeted for maintenance of the bus shelters.

⁵ Unclaimed balance of \$183,134 pending council's direction.

REASON FOR RECOMMENDATION:

The City is required to submit an annual claim to SJCOG Board to receive Local Transportation Funds.

FISCAL IMPACT:

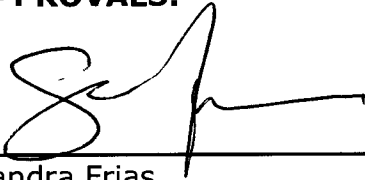
The costs associated with preparing the TDA claim were included in the Council Approved FY 2019/20 operating budget. Authorization to submit the claim is necessary for the City to continue to receive TDA funding.

ATTACHMENTS:

- A. Resolution Authorizing the Filing of a Transportation Development Act (TDA) Claim for Local Transportation Funds (LTF) for Fiscal Year 2019/20
- B. Transportation Development Act Claim Fiscal Year 2019/20

**CITY MANAGER'S REPORT
JUNE 8, 2020 CITY COUNCIL REGULAR MEETING
TRANSPORTATION DEVELOPMENT ACT CLAIM FY 2019/20**

APPROVALS:



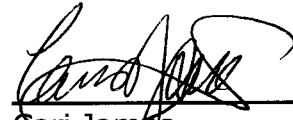
Sandra Frias
Sr. Management Analyst

5/27/2020
Date



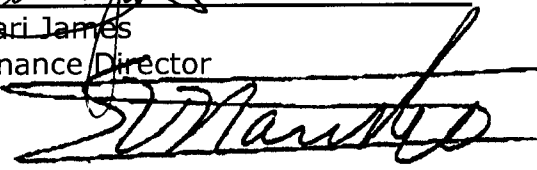
Thomas Hedegard
Accounting Manager

5/27/20
Date



Cari James
Finance Director

5/28/2020
Date



Salvador Navarrete
City Attorney

5/28/2020
Date



Stephen J Salvatore
City Manager

6-3-2020
Date

RESOLUTION NO. 20 - _____

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LATHROP
AUTHORIZING THE FILING OF A TRANSPORTATION DEVELOPMENT ACT
(TDA) CLAIM FOR LOCAL TRANSPORTATION FUNDS (LTF) FOR FISCAL
YEAR 2019/20**

WHEREAS, under provisions of the Transportation Development Act (TDA), the City is required to make an annual claim for funds apportioned to the City under the Local Transportation Fund (LTF) through the San Joaquin County Council of Governments for transit purposes; and

WHEREAS, the City may file a claim form relative to the 2019/20 Fiscal Years LTF Apportionment; and

WHEREAS, the City may claim funds for the specified amounts and purposes listed below:

\$1,100,000.00	Roads & Streets: Article 8 (PUC 99400(a))
\$1,066,823.00	Unexpended Carryover-Roads & Streets: Article 8 (PUC 99400(a))
\$ 24,725.00	Pedestrian & Bicycle: Article 3 (PUC 99234)
\$ 51,228.00	Unexpended Carryover- Pedestrian & Bicycle: Article 3 (PUC 99234)
\$-0-	LTF Other Article 8 (99400(b,c,d,e))
\$-0-	Unexpended Carryover- LTF Other Article 8 (99400(b,c,d,e))
\$2,242,776.00	Total TDA Funds being claimed

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Lathrop does hereby authorize the filing of said TDA claim for Local Transportation Funds and directs staff to present the claim to the San Joaquin County Council of Governments in the amount of \$2,242,776.

The foregoing resolution was passed and adopted this 8th day of June 2020, by the following vote of the City Council, to wit:

AYES:

NOES:

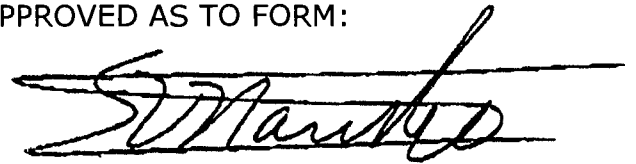
ABSENT:

ABSTAIN:

Sonny Dhaliwal, Mayor

ATTEST:

APPROVED AS TO FORM:

A handwritten signature in black ink, appearing to read "S. Navarrete", is written over a horizontal line.

Teresa Vargas, City Clerk

Salvador Navarrete, City Attorney

FISCAL YEAR 2019-2020

SAN JOAQUIN COG

TRANSPORTATION DEVELOPMENT ACT

CLAIM FORM AND GUIDELINES

FOR

LOCAL TRANSPORTATION FUND (LTF)

AND

STATE TRANSIT ASSISTANCE FUND (STA)

Agency Name:

For Internal Use:

Planner Review: _____

Finance Review: _____

Steve Dial Review: _____

**LOCAL TRANSPORTATION FUND
CLAIM FOR FISCAL YEAR 2019/20**

TO: San Joaquin Council of Governments
555 E Weber Avenue
Stockton, CA 95202

FROM: Applicant: City of Lathrop
Address: 390 Towne Centre Drive
City Lathrop Zip: 95330
Contact Person: Sandra Frias Phone: 209-941-7328
E-mail Address: sfrias@ci.lathrop.ca.us Fax: 209-941-7339

The City of Lathrop hereby requests, in accordance with Chapter 1400 Statutes 1971 and applicable rules and regulations, that its annual transportation claim be approved in the amount of \$2,242,776 for fiscal year 2019/20, to be drawn from the Local Transportation Fund.

When approved, please transmit this claim to the County Auditor for payment. Approval of the claim and payment by the County Auditor to this applicant is subject to such monies being on hand and available for distribution, and to the provisions that such monies will be used only in accordance with the terms of the approved annual financial plan.

The claimant certifies that this Local Transportation Fund claim and the financial information contained therein is reasonable and accurate to the best of my knowledge and the aforementioned information indicates the eligibility of this claimant for funds for the fiscal year of the application pursuant to CAC Section 6634 and 6734

Submitted by: _____
Title: City Manager
Date: _____

San Joaquin Council of Governments

Date of approval: _____

BY: _____
Andrew T. Chesley
Executive Director

BY: _____
Steve Dial
Deputy Executive Director/CFO

Date: _____

TRANSPORTATION DEVELOPMENT ACT APPORTIONMENTS

I	Local Transportation Fund Available Apportionment	
	A. Area Apportionment 2019-2020	\$ <u>974,137</u>
	B. Pedestrian/Bicycle Apportionment	\$ <u>22,922</u>
	C. Previous Years' Unclaimed Apportionment	\$ <u>310,800</u>
	D. Unexpended Carryover	\$ <u>1,118,051</u>
	F. Total Available for 2019-2020 Claim(s)	\$ <u>2,425,910</u>
	H. TOTAL AVAILABLE FOR THIS CLAIM (Also enter on page 9, 1st column)	\$ <u>2,425,910</u>
	I. Actual net funds available (H-D=I)	\$ <u>1,307,859</u>
II	State Transit Assistance Fund Available Apportionment	
	A. Area Apportionment 2019-20	\$ <u>N/A</u>
	B. Previous Years' Unclaimed Apportionment	\$ <u> </u>
	C. Unexpended Carryover	\$ <u> </u>
	E. Total Available for 2019-20 Calim(s)	\$ <u> </u>
	G. TOTAL AVAILABLE FOR THIS CLAIM (Also enter on page 9, 2nd column)	\$ <u> </u>
	H. Actual net funds available (G-C=H)	\$ <u> </u>

CLAIM PURPOSES

	I. LTF	II STA
I. PUBLIC TRANSPORTATION		
Article 4 (99260) - Operator ¹	\$ _____	_____
CCR Section 6730(a) Public Transit	\$ _____	_____
Article 8 (99400(c)) Contractor Operating	\$ _____	_____
Article 8 (99400(e)) Contractor Capital	\$ _____	_____
Article 8 (99400(b)) Passenger Rail Service Operations and Capital	\$ _____	_____
II PEDESTRIAN AND BICYCLE		
Article 3 (99234)	\$ 75,953	_____
III ROADS AND STREETS		
Article 8 (99400(a))	\$ 2,166,823	_____
IV OTHER		
Article 8 (99400(b,c,d,e))	\$ _____	_____
TOTAL THIS CLAIM	\$ 2,242,776	_____
TOTAL AVAILABLE FOR THIS CLAIM (from pg. 8, (I.) H. and (II.) G)	\$ 2,425,910	_____
UNCLAIMED APPORTIONMENT (TOTAL AVAILABLE less TOTAL THIS CLAIM)	\$ 183,134	_____

IMPORTANT: To avoid accidental overpayment, please **identify** and **itemize** in the space below any unexpended carryover included in the amounts being claimed above. Identify the amount of carryover and the purpose for which it is being reclaimed. Attach pages as necessary.

LTF in Transit Fund to be reclaimed for	<u>Transit Purpose</u>	_____
LTF in Transit Fund to be reclaimed for	<u>Capital Purpose</u>	_____
LTF in Streets and Roads Fund to be reclaimed for	<u>Streets & Roads</u>	\$ 1,066,823
LTF in Ped/Bike Fund reclaimed for	<u>Peds/Bicycle</u>	\$ 51,228
STA in Transit Fund reclaimed for	_____	_____
TOTAL UNEXPENDED CARRYOVER		\$ 1,118,051

PART I - PUBLIC TRANSPORTATION

Article 4 Operator
Article 8 Contractor

FINANCIAL INFORMATION

Please Circle Either
2019/2020
2019/2020

V.

**LOCAL TRANSPORTATION FUND
ANNUAL PROJECT AND FINANCIAL PLAN
PEDESTRIAN AND BICYCLE PROJECTS**

(Use additional forms as necessary)

PART II

Briefly describe all proposed projects and indicate proposed project expenditures for right of way acquisition and the construction of road and street projects.			
Project Title & Brief Description	Project Limits	Total Project Cost	LTF Funds Utilized
Regional Pedestrian Bikeway PS02-04	Various Locations	\$ 162,456.00	\$75,953.42
Lathrop Road Widening/Rehab PS02-24	Lathrop Road	\$ 5,119,732.00	\$ -
TOTAL		\$ 5,282,188	\$75,953.42

- | | |
|---|--------------|
| 1. LTF carryover from <u>previous fiscal years</u> applied toward FY 2019/20 Pedestrian & Bicyc | \$ 51,228.42 |
| 2. FY 2019/20 apportionment applied towards FY 2019/20 Non-motorized | \$ 24,725 |
| 3. Total of 1, 2 above (must match total LTF in Table 4 above) | \$ 75,953.42 |

VI.

**LOCAL TRANSPORTATION FUND
ANNUAL PROJECT AND FINANCIAL PLAN
ROADS AND STREETS PROJECTS**

(Use additional forms as necessary)

PART III

Briefly describe all proposed projects and indicate proposed project expenditures for right of way acquisition and the construction of road and street projects.			
Project Title & Brief Description	Project Limits	Total Project Cost	LTF Funds Utilized
Lathrop Road Widening/Rehab PS02-24	Lathrop Road	\$5,119,732.00	\$ -
Citywide Maintenance & Repair Program PS18-01	Various Locations	\$4,107,038.00	\$ 2,071,500
Sidewalk Repair Program PS20-03	Various Locations	\$ 188,948.00	\$ 95,323
Interest			\$ 46,914
TOTAL		\$ 9,415,718	\$ 2,166,823

- | | |
|--|--------------|
| 1. LTF carryover from <u>previous fiscal years</u> applied toward FY 2019/20 Road & Streets. | \$ 1,066,823 |
| 2. FY 2019/20 apportionment applied toward FY 2019/20 Roads and Streets | \$ 1,100,000 |
| 3. Total of 1, 2 above (must match total LTF in Table 4 above) | \$ 2,166,823 |

PART IV

VII. OTHER PURPOSES

It is possible that a claimant may wish to expend TDA funds for purposes allowed within the Act, but not covered by the three previous parts. TDA funds may be claimed under Article 8 consistent with Section 99400 of the TDA. To complete this section, on attached pages, identify:

- I. Project Title
- II Applicable subdivision of section 994400
- III Project Description
- IV Estimated total Costs
- V TDA Contribution to that total

A separate page of pages should be submitted for each specific project or purpose

It is strongly recommended that the claimant consult with SJCOG staff before completing this section

Other Article 8 (99400)

PART V

STATEMENT OF ASSURANCES
CONFORMANCE REQUIREMENTS FOR CLAIMANTS

Please initial all applicable paragraphs pursuant to which the attached claim is being submitted. Initial in space provided or put N/A if it is not applicable to your organization.

- 1) 180 Day Certified Fiscal Audit (required for all claims)

Claimant assures that it has submitted a satisfactory independent fiscal audit, with required certification, to SJCOG and to the State Controller not more than 180 days after the end of the prior fiscal year.

(Refer to PUC Section 99245, CCR Section 6664)

- 2) 90 Day Annual State Controller Report (required for all transit claims)

Claimant assures that it has submitted this report to the State Controller in conformance with the uniform system of accounts and records not more than 120 days after the end of the prior fiscal year.

(Refer to PUC Section 99243, CCR Section 6665)

- 3) Elderly/Disabled (required for all transit claims)

Assurance that the transit operator in question is in compliance with PUC Section 99155 pertaining to reduced transit fares for elderly and disabled persons and Section 99155.5 pertaining to dial-a ride and paratransit services.

- 4) Farebox Recovery Ratio Requirements (required for all transit claims)

Claimant filing a claim for LTF or STA funds certifies that it will maintain for the project that ratio of fare revenues and local support to operating cost required under PUC Sections 99268.3, 99268.4, 99268.5(a), 99268.5(b), 99268.12, 99270.1, and 99270.2, as appropriate.

(Refer to PUC Section 99268, CCR Section 6633.2)

- 5) CHP Terminal Inspection (required for all transit claims)

Claimant certifies that it has been certified by the Department of the California Highway Patrol within the last 13 months to be compliant with Section 1808.1 of the Vehicle Code. This section requires operators to participate in a pull notice system for obtaining current driver records from the Department of Motor Vehicles.

(Refer to PUC Section 99251)

- 6) Implementation of Productivity Improvements (required for all transit claim)

Claimant certifies that the operator has made a reasonable effort to implement the productivity improvements recommended pursuant to PUC Section 99244.

- 7) Triennial Performance Audit

Claimant assures that it has complied with the requirements of a triennial performance audit.

(Refer to PUC Section 99248, CCR Section 6664.5)

- 8) Fiscal Audit

Claimant certifies that it has submitted a satisfactory, independent fiscal audit, with Required certification statement, to the RTPA and the State Controller, pursuant to PUC 99245 and 21 Cal. Code of Regulations 6664 for the prior fiscal year. Claimant assures that this audit requirement will be completed for the current fiscal year.

Initial or N/A

J

J

N/A

N/A

N/A

N/A

N/A

J

9) Operating Budget

Claimant certifies that its operating budget is not more than 15% greater than its previous year budget unless supported by documentation that substantiates such change. (Refer to PUC Section 99266)

N/A

10) Extension of Service

Claimant who receives an allocation of LTF funds for extension of service pursuant to PUC Section 99268.8 certifies that it will file a report of these services pursuant to CCR section 6633.8(b) within 90 days after close of the fiscal year in which the allocation was granted.

N/A

11) Conformance with the Regional Transportation Plan

(required for STA claims, transit ped/bike and streets and roads claims)

Claimant certifies that all of the purposes for claim expenditures are in conformance with the Regional Transportation Plan.

(Refer to CCR 6754(a))

[Signature]

12) Full Use of Federal Funds (required for STA claims only)

Claimant certifies that it is making full use of Federal Funds available under the Federal Transit Act.

(Refer to CCR 6754(a))

[Signature]

13) Efficiency Standards

(required for transit operator claimants claiming STA for operating purposes)

Operator certifies that it meets one of the following two efficiency standards (PUC Section 99314.6):

a) Efficiency Standard 1: An operator's total operating cost per vehicle revenue hour for the most recent fiscal year must not exceed the prior year's operating cost per revenue vehicle hours, by a percentage greater than the percentage change in the Consumer Price Index (CPI) for the same period.

b) Efficiency Standard 2: An operator's total operating cost per vehicle revenue hour for the most recent fiscal year must not exceed the average total operating cost per vehicle revenue hour for the three prior years, increased by the average percentage change in the CPI for the same period.

(Refer to PUC Section 99314.6)

N/A

14) Consistency with Bicycle Plan (required for bicycle claims only)

Claimant certifies that all of the purposes for claim expenditures are in conformance with the City/Town or County bicycle plan.

15) Part-Time Employees (Applies only to claims for STA)

Claimant certifies that it is not precluded by any contract entered into on or after June 28, 1979, from employing part-time drivers or contracting with common carriers of persons Operating under a franchise or license. Claimant further certifies that no person who was a Full-time employee on June 28, 1979, shall have his/her employment terminated or his/her Regular hours of employment, excluding overtime, reduced as a result of it employing part-time drivers or contracting with such common carriers.

[Signature]
N/A

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ITEM 4.13

CITY MANAGER'S REPORT JUNE 8, 2020 CITY COUNCIL REGULAR MEETING

ITEM: APPROVE CONTRACT FOR ELECTRICAL TRAFFIC CONTROL DEVICES AND LIGHTING MAINTENANCE SERVICES

RECOMMENDATION: Adopt Resolution Approving a Contract with St. Francis Electric, LLC for Electrical Traffic Control Devices and Lighting Maintenance Services

SUMMARY:

The maintenance and repair of City traffic signals, streetlights, and lighting at City facilities have historically been contracted out to electrical service contractors with the expertise and equipment necessary to properly maintain these facilities. The current service contract will expire on June 30, 2020; therefore, a Request for Proposal (RFP) for Electrical Traffic Control Devices and Lighting Maintenance Services ("Signal and Lighting Maintenance Services") was issued on May 7, 2020 and three (3) proposals were received on May 28, 2020. After evaluating and ranking the proposals, St. Francis Electric, LLC (St. Francis) was determined to be the best qualified firm.

Staff requests City Council approve a two (2) year Contract with St. Francis in the amount of \$62,420 per year for regularly scheduled Signal and Lighting Maintenance Services. The initial term of the Contract is for two (2) years, and this item allows Council to authorize the City Manager to extend the Contract up to three (3) additional one-year terms.

BACKGROUND:

The maintenance and repair of City traffic signals, streetlights, and lighting at City facilities have historically been contracted out to electrical service contractors with the expertise and equipment necessary to perform this work. Experienced, qualified technicians are needed to provide maintenance and repair services for these facilities and respond to emergencies due to accidents or vandalism.

The Signal and Lighting Maintenance Services Contract is based on a flat rate for routine inspection and maintenance work in order to reduce administrative time and operations and maintenance costs to procure these services. This Contract also establishes fixed pricing for materials and hourly rates for labor and equipment for unscheduled work and emergency services that may be required due to accidents or vandalism.

CITY MANAGER'S REPORT **PAGE 2**
JUNE 8, 2020 CITY COUNCIL REGULAR MEETING
APPROVE CONTRACT FOR SIGNAL AND LIGHTING MAINTENANCE SERVICES

In accordance with Lathrop Municipal Code 2.36.150, an RFP for Signal and Lighting Maintenance Services was issued on May 7, 2020 and 3 proposals were received on May 28, 2020. After evaluating and ranking the proposals, St. Francis was determined to be the best qualified firm.

St. Francis' base bid was \$60,567; however, one more traffic signal and 33 additional streetlights at an annual cost of \$1,853 were subsequently added to the City's inventory. Therefore, the total annual cost for the Signal and Lighting Maintenance Services contract for routine maintenance is \$62,420.

Staff requests City Council approve a Contract with St. Francis in the amount of \$62,420 per year for regularly scheduled Signal and Lighting Maintenance Services. The initial term of the contract is for two (2) years and this item allows Council to authorize the City Manager to extend for up to three (3) additional one-year terms.

REASON FOR RECOMMENDATION:

Traffic signal maintenance is a specialty trade that requires highly trained personnel and special equipment. The City does not currently have the equipment or trained staff to properly maintain the City's traffic signals, streetlights, and lighting at City facilities. The Signal and Lighting Maintenance Services Contract is necessary to maintain these facilities in good working order and to ensure public safety.

FISCAL IMPACT:

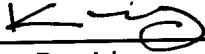
The annual cost for the Signal and Lighting Maintenance Services Contract with St. Francis is \$62,420 per year. Sufficient funds were allocated for this work to each of the six City Lighting Districts in the FY 2020-21 Budget.

ATTACHMENTS:

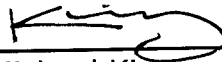
- A. Resolution Approving a Contract with St. Francis Electric, LLC for Electrical Traffic Control Devices and Lighting Maintenance Services
- B. Contract with St. Francis Electric, LLC for Electrical Traffic Control Devices and Lighting Maintenance Services

CITY MANAGER'S REPORT
JUNE 8, 2020 CITY COUNCIL REGULAR MEETING
APPROVE CONTRACT FOR SIGNAL AND LIGHTING MAINTENANCE SERVICES


APPROVALS:

 FOR _____
Jay Davidson
Principal Engineer

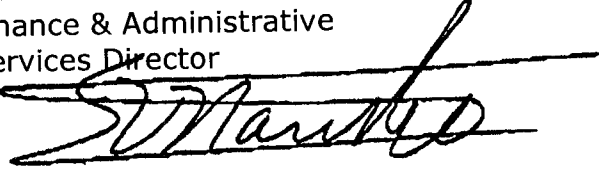
5-28-2020
Date

 _____
Michael King
Director of Public Works

5-27-2020
Date

 FOR C.J.
Cari James
Finance & Administrative
Services Director

5/27/20
Date

 _____
Salvador Navarrete
City Attorney

5/27/2020
Date

 _____
Stephen J. Salvatore
City Manager

6.3.2020
Date

RESOLUTION NO. 20-

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LATHROP APPROVING A CONTRACT WITH ST. FRANCIS ELECTRIC, LLC FOR ELECTRICAL TRAFFIC CONTROL DEVICES AND LIGHTING MAINTENANCE SERVICES

WHEREAS, the City does not have the proper equipment nor trained personnel to maintain and/or repair traffic signals, streetlights, and lighting at City facilities; and

WHEREAS, experienced, qualified technicians are needed to provide maintenance and repair services for City facilities and respond to emergencies due to accidents or vandalism; and

WHEREAS, the current service contract will expire on June 30, 2020; and

WHEREAS, in accordance with Lathrop Municipal Code 2.36.150, a Request for Proposal (RFP) for Electrical Traffic Control Devices and Lighting Maintenance Services (Signal and Lighting Maintenance Services) was issued on May 7, 2020 and 3 proposals were received on May 28, 2020; and

WHEREAS, after evaluating and ranking the proposals, St. Francis Electric, LLC (St. Francis) was determined to be the best qualified firm; and

WHEREAS, St. Francis base bid was \$60,567; however, additional assets were subsequently identified for maintenance at an annual cost of \$1,853. Therefore, the total annual cost for the Signal and Lighting Maintenance Services contract for routine maintenance is \$62,420; and

WHEREAS, the initial term of the Contract is for two (2) years and Council may authorize the City Manager to extend the Contract for up to three (3) additional one-year terms; and

WHEREAS, the Signal and Lighting Maintenance Services Contract is based on a flat rate for routine inspection and maintenance work in order to reduce administrative time and operations and maintenance costs to procure these services; and

WHEREAS, the Contract also establishes hourly rates for labor, equipment, and materials for unscheduled work and emergency services that may be required due to accidents or vandalism; and

WHEREAS, staff requests City Council approve a 2-year Contract with St. Francis Electric, LLC to provide Electrical Traffic Control Devices and Lighting Maintenance Services in the amount of \$62,420 per year and authorize the City Manager to extend for up to three (3) additional one-year terms; and

WHEREAS, sufficient funds were allocated for this work to each of the six City Lighting Districts in the FY 2020-21 Budget.

NOW, THEREFORE, BE IT RESOLVED, that the City Council of the City of Lathrop hereby approves a 2-year Contract with St. Francis Electric, LLC for Electrical Traffic Control Devices and Lighting Maintenance Services in the amount of \$62,420 per year and authorizes the City Manager to extend the contract for up to three (3) additional one-year terms.

The foregoing resolution was passed and adopted this 8th day of June 2020, by the following vote of the City Council, to wit:

AYES:

NOES:

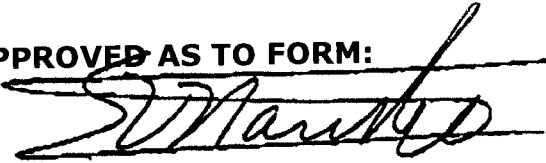
ABSTAIN:

ABSENT:

Sonny Dhaliwal, Mayor

ATTEST:

Teresa Vargas, City Clerk

APPROVED AS TO FORM:


Salvador Navarrete, City Attorney

CONTRACT**BETWEEN THE CITY OF LATHROP AND ST. FRANCIS ELECTRIC, INC.**

This Contract, dated **June 8, 2020**, is entered into by and between the **City of Lathrop**, a municipal corporation of the State of California (City), and **St. Francis Electric, LLC**, (Contractor), whose Taxpayer Identification Number is 47-2615956.

For and in consideration of the following covenants, terms and conditions, City and Contractor (the parties) agree:

1. Term. This Contract shall commence on, and be binding on the parties on, the date of execution of this Contract, and shall expire on June 30, 2022, subject to the earlier termination of this Contract. This contract may be extended by the City Manager at his sole discretion for up to three (3) additional consecutive years after the initial contract period in one (1) year increments pursuant to Resolution 20-____. The City shall notify the Contractor in writing of the intent to extend the contract by June 1st of the current contract year.
2. General Scope of Project and Work. The work to be performed as described in the City of Lathrop Request for Proposals (RFP) for **Electrical Traffic Control Devices and Lighting Maintenance Services** (Project). Contractor shall furnish labor, services, materials and equipment in connection with the performance of the described Maintenance and complete the Work in accordance with the covenants, terms and conditions of this Contract to the satisfaction of the City. The Work shall be complete, and all appurtenant work, materials, and services not expressly shown or called for in the Construction Documents which may be necessary for the complete and proper performance of the Maintenance in good faith shall be performed, furnished, and installed by the Contractor as though originally specified or shown. The Contractor will be compensated for actual work performed in accordance with the unit prices and provisions contained in these Construction Documents.

Base Proposal Total: \$ 62,420 (Sixty-Two Thousand Four Hundred Twenty)

3. Documents. This Contract shall include the City of Lathrop Request for Proposal for Electrical Traffic Control Devices and Lighting Maintenance Services which is on file with the Public Works Department and is hereby incorporated by reference (i.e. RFP, addenda, performance bond, labor and materials bond, certification of insurance, workers' compensation certification, and guaranty) and the Proposal, included herein as Exhibit A, submitted by St. Francis Electric, LLC on May 28, 2020. For the purposes of construing, interpreting and resolving inconsistencies between the provisions of this Contract, these documents and the provisions thereof are set forth in the following order of precedence: Contract, RFP, Contractor's Proposal.
4. Compensation. In consideration of Contractor's performance of its obligations hereunder, City shall pay to Contractor the amount set forth in Contractor's Bid in accordance with the provisions of this Contract and upon the receipt of written invoices and all necessary supporting documentation within the time set forth in the Construction Documents. Contractor hereby shall not be permitted to invoice the City nor accept compensation for work not yet complete.

In no event, shall the Contractor be entitled to payment for work not included in the approved scope of work, a written task order, or change order signed by the City's Public Works Director prior to commencement of any work.

5. Insurance. On or before the Date of Execution, Contractor shall obtain and maintain the policies of insurance coverage described in Section VIII of the RFP on terms and conditions and in amounts as may be required by the City. City shall not be obligated to take out insurance on Contractor's personal property or the personal property of any person performing labor or services or supplying materials or equipment under the Project. Contractor shall furnish City with the certificates of insurance and with original endorsements affecting coverage required under this Contract on or before the Date of Execution. The certificates and endorsements for each insurance policy shall be signed by a person who is authorized by that insurer to bind coverage on its behalf. Proof of insurance shall be mailed to the Project Manager to the address set forth in Section 15 of this Contract.
6. Indemnification. Contractor agrees to protect, defend, indemnify and hold City, its City Council members, officers, employees, engineer, and construction manager harmless from and against any and all claims, demands, liabilities, losses, damages, costs, expenses, liens, penalties, suits, or judgments, arising in whole or in part, directly or indirectly, at any time from any injury to or death of persons or damage to property as a result of the willful or negligent act or omission of Contractor, or which results from Contractor's noncompliance with any Law respecting the condition, use, occupation or safety of the Project site, or any part thereof, or which arises from Contractor's failure to do anything required under this Contract or for doing anything which Contractor is required not to do under this Contract, or which arises from conduct for which any Law imposes strict liability on Contractor in the performance of or failure to perform the terms and conditions of this Contract, except as may arise from the sole willful or negligent act or omission of City or any of its City Council members, officers, employees. This indemnification shall extend to any and all claims, demands, or liens made or filed by reason of any construction, renovation, or remodeling work performed by Contractor under this Contract at any time during the term of this Contract, or arising thereafter.
7. Assumption of Risk. Contractor agrees to voluntarily assume any and all risk of loss, damage, or injury to the property of Contractor which may occur in, on, or about the Project site at any time and in any manner, excepting such loss, injury, or damage as may be caused by the sole willful or negligent act or omission of City or any of its City Council members, officers, or employees.
8. Waiver. The acceptance of any payment or performance, or any part thereof, shall not operate as a waiver by City of its rights under this Contract. A waiver by City of any breach of any part or provision of this Contract by Contractor shall not operate as a waiver or continuing waiver of any subsequent breach of the same or any other provision, nor shall any custom or practice which may arise between the parties in the administration of any part or provision of this Contract be construed to waive or to lessen the right of City to insist upon the performance of Contractor in strict compliance with the covenants, terms and conditions of this Contract.

9. Compliance with Laws. Contractor shall comply with all Laws now in force or which may hereafter be in force pertaining to the Project and Work and this Contract, with the requirement of any bond or fire underwriters or other similar body now or hereafter constituted, with any discretionary license or permit issued pursuant to any Law of any public agency or official as well as with any provision of all recorded documents affecting the Project site, insofar as any are required by reason of the use or occupancy of the Project site, and with all Laws pertaining to nondiscrimination and affirmative action in employment and hazardous materials.
10. Bonds. As a condition precedent to City's obligation to pay compensation to Contractor, and on or before the date of Execution, Contractor shall furnish to the Project Manager the Bonds as required under the Notice to Contractors.
11. Representations and Warranties. In the supply of any materials and equipment and the rendering of labor and services during the course and scope of the Project and Work, Contractor represents and warrants:
 - (1) Any materials and equipment which shall be used during the course and scope of the Project and Work shall be vested in Contractor;
 - (2) Any materials and equipment which shall be used during the course and scope of the Project and Work shall be merchantable and fit to be used for the particular purpose for which the materials are required;
 - (3) Any labor and services rendered and materials and equipment used or employed during the course and scope of the Project and Work shall be free of defects in workmanship for a period of one (1) year after the recordation of the Notice of Substantial Completion, or, if no such notice is required to be filed, on the date that final payment is made hereunder;
 - (4) Any manufacturer's warranty obtained by Contractor shall be obtained or shall be deemed obtained by Contractor for and on behalf of City.
 - (5) Any information submitted by Contractor prior to the award of Contract, or thereafter, upon request, whether or not submitted under a continuing obligation by the terms of the Contract to do so, is true and correct at the time such information is submitted or made available to the City;
 - (6) Contractor has not colluded, conspired, or agreed, directly or indirectly, with any person in regard to the terms and conditions of Contractor's Bid, except as may be permitted by the Notice to Contractors;
 - (7) Contractor has the power and the authority to enter into this Contract with City, that the individual executing this Contract is duly authorized to do so by appropriate resolution, and that this Contract shall be executed, delivered and performed pursuant to the power and authority conferred upon the person or persons authorized to bind Contractor;
 - (8) Contractor has not made an attempt to exert undue influence with the Project Manager or any other person who has directly contributed to City's decision to award the Contract to Contractor;

- (9) There are no unresolved claims or disputes between Contractor and City which would materially affect Contractor's ability to perform under the Contract;
 - (10) Contractor has furnished and will furnish true and accurate statements, records, reports, resolutions, certifications, and other written information as may be requested of Contractor by City from time to time during the term of this Contract;
 - (11) Contractor and any person performing labor and services under this Project is duly licensed as a contractor with the State of California as required by California Business & Professional Code Section 7028, as amended; and
 - (12) Contractor has fully examined and inspected the Project sites and assets proposed for maintenance (assets) and has full knowledge of the physical conditions of the Project sites and assets.
12. Assignment. This Contract and the performance required hereunder is personal to Contractor, and it shall not be assigned by Contractor. Any attempted assignment shall be null and void.
13. Claims of Contractor. All claims pertaining to extra work, additional charges, or delays within the Contract Time or other disputes arising out of the Contract shall be submitted by Contractor in accordance with the General Conditions.
14. Audits by City. During the term of this Contract and for a period of not less than three (3) years after the expiration or earlier termination of this Contract, City shall have the right to audit Contractor's Project-related and Work-related writings and business records, as such terms are defined in California Evidence Code Sections 250 and 1271, as amended, during the regular business hours of Contractor, or, if Contractor has no such hours, during the regular business hours of City.
15. Notices. All contracts, agreements, appointments, approvals, authorizations, claims, demands, Change Orders, consents, designations, notices, offers, requests and statements given by either party to the other shall be in writing and shall be sufficiently given and served upon the other party if (1) personally served, (2) sent by the United States mail, postage prepaid, (3) sent by private express delivery service, or (4) in the case of a facsimile transmission, if sent to the telephone FAX number set forth below during regular business hours of the receiving party and followed with two (2) days by delivery of a hard copy of the material sent by facsimile transmission, in accordance with (1), (2) or (3) above. Personal service shall include, without limitation, service by delivery and service by facsimile transmission.

To City: City of Lathrop
 Department of Public Works
 390 Towne Centre Drive
 Lathrop, CA 95330
 Phone: (209) 941-7430
 FAX: (209) 941-7449
 ATTN: Principal Engineer

To Contractor: St. Francis Electric, LLC
Phone: (510) 566-8926
Fax: (510) 639-9116
ATTN: Dave Scott

16. Miscellaneous

- (1) Bailee Disclaimer. The parties understand and agree that City does not purport to be Contractor's bailee, and City is, therefore, not responsible for any damage to the personal property of Contractor.
- (2) Consent. Whenever in this Contract the approval or consent of a party is required, such approval or consent shall be in writing and shall be executed by a person having the express authority to grant such approval or consent.
- (3) Controlling Law. The parties agree that this Contract shall be governed and construed by and in accordance with the Laws of the State of California.
- (4) Definitions. The definitions and terms are as defined in these specifications.
- (5) Force Majeure. Neither party shall be deemed to be in default on account of any delay or failure to perform its obligations under this Contract, which directly results from an Act of God or an act of a superior governmental authority.
- (6) Headings. The paragraph headings are not a part of this Contract and shall have no effect upon the construction or interpretation of any part of this Contract.
- (7) Incorporation of Documents. All documents constituting the Construction Documents described in Section 3 hereof and all documents which may, from time to time, be referred to in any duly executed amendment hereto are by such reference incorporated in this Contract and shall be deemed to be part of this Contract.
- (8) Integration. This Contract and any amendments hereto between the parties constitute the entire contract between the parties concerning the Project and Work, and there are no other prior oral or written contracts between the parties that are not incorporated in this Contract.
- (9) Modification of Contract. This Contract shall not be modified or be binding upon the parties unless such modification is agreed to in writing and signed by the parties.
- (10) Provision. Any contract, covenant, condition, clause, qualification, restriction, reservation, term or other stipulation in the Contract shall define or otherwise control, establish, or limit the performance required or permitted or to be required of or permitted by either party. All provisions, whether covenants or conditions, shall be deemed to be both covenants and conditions.

- (11) Resolution. Contractor shall submit with its Bid a copy of any corporate or partnership resolution or other writing, which authorizes any director, officer or other employee or partner to act for or on behalf of Contractor or which authorizes Contractor to enter into this Contract.
- (12) Severability. If a court of competent jurisdiction finds or rules that any provision of this Contract is void or unenforceable, the provisions of this Contract not so affected shall remain in full force and effect.
- (13) Status of Contractor. In the exercise of rights and obligations under this Contract, Contractor acts as an independent contractor and not as an agent or employee of City. Contractor shall not be entitled to any rights and benefits accorded or accruing to the City Council members, officers or employees of City, and Contractor expressly waives any and all claims to such rights and benefits.
- (14) Successors and Assigns. The provisions of this Contract shall inure to the benefit of, and shall apply to and bind, the successors and assigns of the parties.
- (15) Time of the Essence. Time is of the essence of this Contract and each of its provisions. In the calculation of time hereunder, the time in which an act is to be performed shall be computed by excluding the first Day and including the last. If the time in which an act is to be performed falls on a Saturday, Sunday, or any Day observed as a legal holiday by City, the time for performance shall be extended to the following Business Day.
- (16) Venue. In the event that suit is brought by either party hereunder, the parties agree that trial of such action shall be vested exclusively in the state courts of California in the County of San Joaquin or in the United States District Court for the Eastern District of California.
- (17) Recovery of costs. The prevailing party in any action brought to enforce the terms of this Contract or arising out of this Contract, including the enforcement of the indemnity provision(s), may recover its reasonable costs, including reasonable attorney's fees, incurred or expended in connection with such action against the non-prevailing party.
- (18) Contractor and subcontractors must comply with all applicable standards, orders, or requirements issued under Section 306 of the Clean Air Act (42 USC 1857(h)), Section 508 of the Clean Water Act (33 USC1368), Executive Order 11738, and Environmental Protection Agency Regulations at 40 CFR Part 15.
- (19) Contractors and subcontractors must comply with mandatory standards and policies relating to the energy efficiency which are contained in the State Energy Conservation Plan issued in compliance with the Energy Policy and Conservation ACT (Public Law 94-163, 89 stat 871).
- (20) The Contractor shall provide access to the site for the Environmental Protection Agency and its duly authorized representatives, and the City.

- (21) If during the course of construction evidence of deposit of historical or archaeological interest is found, the Contractor shall cease operation affecting the find and shall notify the City, who shall notify the EPA and the State Historic Preservation Officer. No further disturbance of the deposits shall ensue until the Contractor has been notified by the City that construction may proceed. The City will issue a notice to proceed only after the state official has surveyed the find and made a determination to the EPA and the City. Compensation to the contractor, if any, for lost time or changes in construction to avoid the find, shall be determined in accordance with changed conditions or change order provisions of the Construction Documents.
- (22) Notice to Proceed. Prior to commencing work under this Contract, CONTRACTOR shall receive a written "Notice to Proceed" from CITY. A Notice to Proceed shall not be issued until all necessary bonds and insurances have been received. City shall not be obligated to pay CONTRACTOR for any services prior to issuance of the Notice to proceed.
- (23) Signatures. The individuals executing this Contract represent and warrant that they have the right, power, legal capacity, and authority to enter into and to execute this Contract on behalf of the respective legal entities of the CONTRACTOR and the CITY. This Contract shall inure to the benefit of and be binding upon the parties hereto and their respective successors and assigns.
- (24) This project is a public works project: Contractor shall comply with requirements of California Labor Code § 1700 and following, and prevailing wages shall be paid for work performed on this project.
- (25) The statutory provisions for penalties for failing to comply with the State of California wage and labor laws be enforced, as well as that for failing to pay prevailing wages.

LIST OF EXHIBITS:

A. CONTRACTOR'S SUBMITTED PROPOSAL, INCLUDING:

- i. CONTRACTOR'S SUBMITTED LIQUIDATED DAMAGES CLAUSE
- ii. CONTRACTOR'S SUBMITTED QUALIFICATIONS, STATEMENTS AND REFERENCES
- iii. CONTRACTOR'S SUBMITTED COST PROPOSAL - SCHEDULES A1, A2, B AND C

B. INVENTORY OF CITY TRAFFIC SIGNALS, STREET LIGHTS AND CITY FACILITIES LIGHTING

Certification of insurance, performance and payment bonds, and worker's compensation certification shall be furnished to the City by the Contractor after City Council's contract approval by resolution.

IN WITNESS WHEREOF, the parties have executed this Agreement on the date first above stated in Lathrop, California.

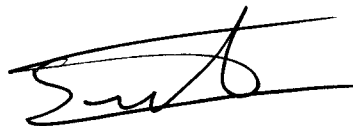
CONTRACTOR:

By: _____

Name: _____

Title: _____

CITY OF LATHROP
APPROVED AS TO FORM:

By:  _____
Salvador Navarrete, City Attorney

RECOMMENDED FOR APPROVAL:

By: _____
Michael King, Public Works Director

APPROVED:

By: _____
Stephen Salvatore, City Manager

(END OF SECTION)

PROPOSAL FOR THE CITY OF LATHROP

ELECTRICAL TRAFFIC SONTROL DEVICES AND LIGHTING MAINTENANCE SERVICES



Presented by: **St Francis Electric**

MAY 28, 2020

975 Carden St, San Leandro, CA 94577



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City of Lathrop
 390 Towne Centre Dr
 Lathrop, CA. 95530



ATTN: Jay Davidson, Principle Engineer

RE: Electrical Traffic Control Devices and Lighting Maintenance Services

Headquartered in San Leandro, CA, SFE is a California licensed and bonded Class "A-General Engineering" and "C-10 Electrical" contractor (CA license #1003811). SFE has a long history of servicing Northern California's transportation and electrical needs, proving to be a beneficial resource when dealing with everyday maintenance and operations. Having a core business of traffic signal installation and maintenance, SFE has established itself as one of the top electrical service providers in Northern California, with satellite office locations in Gilroy, Rancho Cordova, Napa, San Francisco, Riverside, and Gilroy.

Our company currently has over 250 employees including a solid team of skilled IMSA certified traffic signal technicians, electricians, CA licensed traffic AND civil engineer consultant, project managers, and project engineers. SFE is well-established in the industry and having vast amounts of inventory allows us to serve maintenance and construction projects effectively. In addition, SFE specializes in installing, programming, and maintaining Intelligent Transportation Systems (ITS) and SFE offers consulting transportation engineering services to the City of Lathrop along with the traffic signal and street light, and maintenance response services. SFE agrees to maintain and service the City's 20 traffic signal intersections, approximately 1,821 street lights, 67 fixtures at the City's 7 facilities, and agrees to provide USA marking services under the scope of work to the City's utmost satisfaction.

SFE sets high standards in customer service with regards to time and budget. We constantly monitor our staff's service and quality to satisfy our clients and ultimately lead to better and safer lives for the citizens.

Dave Scott is the assigned project manager and lead contact for servicing the City. Dave Scott's contact information is as follows: Email dscott@sfe-inc.com; cell #(510) 566-8926; fax #(510) 639-9116.

SFE acknowledges zero addendums.

Guy Smith,

Vice President

St. Francis Electric | Class A and C-10 Licensed Contractor
 975 Carden Street, San Leandro, CA 94577 | Phone (510) 639-0639
stfranciselectric.com | 24/7/365 Traffic Signal & Street Lighting Services 1-(844)-LIGHT88



Information/ background of Firm

St. Francis Electric Inc. (aka SFE) was founded in 1946 and has established itself as one of the premier electrical service providers in Northern California. We are dedicated to meeting and exceeding the challenging public safety requirements associated with the traffic signal and street light maintenance industry. For the past 47 years, St Francis Electric has been successful in building a strong, effective partnership with City, County, and State staff.

St. Francis Electric carries both “A-General Engineering” and “C10-Electrical” California State Contractors License (CA license #1003811). Our long history of servicing Northern California’s unique transportation needs has proven to be a vital and beneficial resource when it comes to day-to-day operations and troubleshooting of complicated infrastructure. As a result, SFE is positioned to successfully respond to all types of emergencies, malfunctions, outages, knockdowns, controller programming, traffic signal construction, street lighting maintenance, solar-powered devices, fiber optic communications, wireless communications, and service request calls with positive and cost-effective results – all these are backed up by our experienced and versatile signal electricians, street lighting electricians, and the management team.

In addition, St. Francis Electric provides traffic signal design and build/modifications, traffic signal timing and coordination, traffic calming, traffic control, traffic signal communication, and many other traffic engineering and electrical services. Our Full time engineers and electricians are committed to provide the extra service in engineering, design, construction, and operation to the City of Lathrop for the entire contract term with the approval from City Staff.

FIRM DESCRIPTION

Mailing/ Remit to Billing Address:

St. Francis Electric, LLC
PO Box 2057
San Leandro, CA 94577

Headquarters & physical address where techs are dispatched from

St. Francis Electric, LLC
975 Carden St.
San Leandro, CA 94577

Direct Contact: Dave Scott
Cell: (510) 566-8926
Fax: (510) 639-9116
Email: dscott@sfe-inc.com

Organization Type: Corporation
Federal ID# 47-2615956

List of Owners/ Corporate Officers:

Robert Spinardi – (Owner) President
Guy Smith – (Owner) Vice President & Secretary
Andrew Amador – (Owner) Vice President
Karla Brauer – CFO



Negative History

St. Francis Electric has not experienced any terminations with any maintenance contracts, any civil or criminal litigation or investigation pending which involves the firm or in which the firm has been judged guilty or liable within the past Five (5) years, and has no negative History to report.

3. Key Personnel & Qualifications

St. Francis Electric is one of the largest electrical companies in Northern California with a staff of experienced street light/ traffic signal technicians, electricians, project managers/engineers, estimators, fleet mechanics shop/crew, and a California licensed Professional Civil & Traffic Engineer (Consultant) to support our client's needs. SFE's experienced traffic signals technicians have previously worked on, or are currently working for, local governments in providing traffic signal maintenance. Our technicians are dedicated, enthusiastic, and innovative in day-to-day maintenance services. SFE has an experienced team providing support to our field technicians and to the public agencies with regards to equipment knowledge, implementation, programming, troubleshooting, innovative solutions and installation. With our headquarters and warehouse in San Leandro, SFE will strive to provide the scope of services within the scope of work for the City to the utmost satisfaction.

SFE proposes the following key personnel for the City of Lathrop: Summarized Resumes

Dave Scott assigned to be the project manager assigned to the City of Lathrop has 39 years of experience in traffic signal and street light maintenance as a technician, lead man, engineering technician, and traffic signal maintenance manager throughout his career. In addition, Dave has experience with ITS equipment installation, CCTV camera trouble shooting, and is a fiber optic certified installer. Dave holds his IMSA Level I & II Field and Level III Bench Certified: Fiber Optic Technician Level 1 & 2 Certified. Dave has previously managed 88 City contracts, 20 Maintenance Technicians with exceptional customer service feedback. Dave is experienced with CCTV installation, maintenance, and troubleshooting; versed in 170, 2070 and NEMA controller programming, timing, and signal coordination/implementation. He has extensive knowledge and experience in troubleshooting of various traffic signal, vehicle detection systems, lighted crosswalk systems (to include RRFB), and speed radar signs. Dave is also experienced in traffic communication systems repairs and troubleshooting from individual field devices to Traffic Management Centers.

Monica Kint, Project Manager, and estimator assigned to the City of Lathrop has 13+ years of experience in the Traffic Signal, ITS and Street Light industry as a project manager and estimator. Monica has excellent relationships with municipalities, manufacturers, contractors, Regional Transportation Associations and State Department of Transportations. Ms. Kint has extensive vendor relationships enabling her to provide the most cost-effective equipment and recommendations for maintenance needs. Monica is experienced in scheduling, coordinating field work, support calls and intersection support. In addition, Ms. Kint is familiar with Caltrans Specifications and MUTCD requirements. During her time at St. Francis Electric, Monica has managed and is currently managing 20+ traffic signal, street light and on-call electrical service contracts. Previously Ms. Kint worked at Western Pacific Signal as a project manager/ estimator providing sales and support for Northern California and Washington and was the main point of contact for all manufacturers.

Michael Delgado, General Foreman/ Electrician, has 20+ years of experience in traffic signal and street lighting installation & maintenance services. Mike is a State Certified Electrician (#156205) and holds his IMSA Traffic Signal Technician Level III Certification. Mike has extensive knowledge of traffic signal controller programming in both NEMA and 170 environments and is experienced with traffic signal cabinet installation, maintenance & troubleshooting (NEMA, TS1, TS2, P, M & 332). Mr. Delgado is versed in

troubleshooting communication systems and vehicle detection systems (loop, video & microwave). He specializes in re-lamping of street light fixtures and troubleshooting wiring problems.

Richard Hodges is a Traffic Signal Technician who has over 10 years of experience in Traffic Signal Maintenance/installation and is skilled in all aspects of traffic signal maintenance and troubleshooting. He holds a Work Zone Safety and IMSA Traffic Signal Technician Level III Certification and is a state certified electrician (#159763). Richard is proficient with TS1, TS2, 170 and NEMA Controllers and timing including cobalt and Econolite controllers or 2070's . Mr. Hodges is experienced in the installation and wiring of battery back-up systems, traffic signal controller cabinets and video detection systems including Iteris, Econolite and Trafficon cameras. Richard has experience working at the city of Watsonville as Traffic systems coordinator managing contracts for response and maintenance as well as developing city traffic infrastructure. He was involved in preparing project RFP's for future adaptive corridors on the Green valley rd project. Richard was also managing the maintenance and response for the Freedom blvd project that was existing. Richard is well versed in current technology and stays up to date on rapidly progressing connected vehicle and autonomous vehicles.

Brad Taylor, a level 3 IMSA electrician has over 30 years of experience in traffic signals and construction. Brad has in depth knowledge on NEMA 2070 and 170 controllers. Brad is a lead electrician that specializes in troubleshooting intersections that are in flash or malfunctioning, responding to and installing cabinet and pole knockdowns, battery back up systems, line locating and underground wire damages. Brad was previously the maintenance supervisor in the City of Burbank for 24 years

Vance Gonzales, Iteris specialist is a Product Support Engineer and will provide services to SFE to lead the ITERIS Vantage Video Detection Camera installation and support. Vance has extensive experience from manufacturing, installation, engineering, troubleshooting, and testing within the traffic signal industry. Vance has IMSA Level III certification. Factory trained TS1 and TS2 – Econolite, Siemens, and Naztec. Vance has extensive training from EIT - UC Berkeley, Adaptive traffic systems, 170/2070 controller – Safetran and McCain, ITS cabinet and controller, signal timing, coordination, and design. He is Experienced in video detection on all manufacturing – Iteris, Naztec, Flir, Aldis, Autoscope, and Leddartec. Vance is experienced in Traffic Management Center installation & in wireless communication 900.2.4 4.9 5.8. Experienced in traffic signal communication networks – fiber, Ethernet over copper (Actelis), and various types of managed switches and servers, video management software and 10 years with SMI Peek in traffic signal equipment installation and maintenance, 4 years with Synchronex in installation and cabinet modification, 13 years with ITERIS in traffic equipment installation, video detection, Clary battery backup system and Encom Radios.

Daniel Martinez has been in the traffic signal/ street light industry for 3 years. Daniel is IMSA level II Certified, holds his LRN Traffic Signal Timing, and Traffic Signal Training Level II Certificate. Daniel is experienced in traffic signal installations, maintenance and troubleshooting, knockdowns, wire pull, and USA locating throughout the Valley and the Bay Area. Daniel has been the lead electrician and has completed 2 LED retrofits with 3000 lights or more.

Ismael Medina, USA Specialist/ Streetlight Maintenance worker has over 20 years of experience in USA and underground facilities for major Cities in Northern California such as City of Fremont, Hayward, Redwood City, Gilroy, Newark and Los Gatos. Ismael is proficient in visual inspection of predefined construction areas and reading/ interpretation of utility maps to determine presence of underground utilities. Mr. Medina is

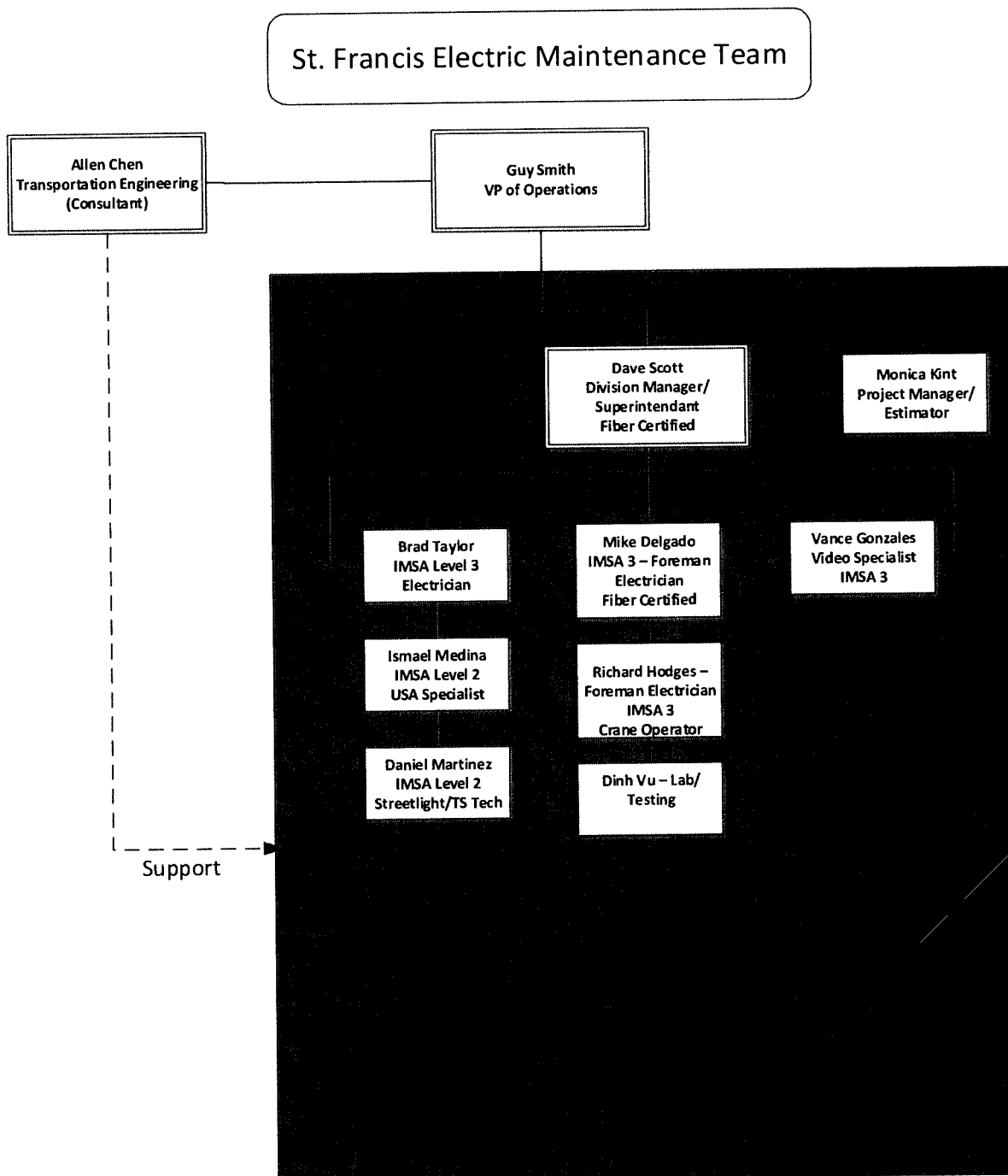
versed in operation of electronic detection equipment to locate and mark underground facilities. Ismael is IMSA level II certified.

Allen Chen, Transportation & Engineering Consultant for St. Francis Electric, has 20 years of working experience. He specializes in traffic signal operation, traffic signal and ITS equipment troubleshooting/programming, traffic signal design and modification, communication system design, traffic signal coordination, traffic signal improvement, traffic control plan design and traffic calming improvements. Allen has working experienced for government agencies and previously worked for the City of Fremont, and Santa Rosa as a traffic engineer managing operations of 200+ traffic signals. Mr. Chen is a registered California Professional Civil (C 67936) and Traffic Engineer (TR 2368). Allen holds his IMSA Traffic Signal Technician Level I, II & III Certifications. Allen holds a Master of Science Degree in Mechanical Engineering and a Bachelor of Science Degree in Civil Engineering.

Dinh has over 40 years of experience in traffic signal and street lighting maintenance service for the major cities in the Bay Area. Dinh has been a primary responder for many emergency calls such as traffic signal pole and cabinet controller and ITS equipment trouble-shooting. Dinh has 20+ years of NEMA & Non NEMA (332) cabinet testing, certification and repair. He holds his IMSA Traffic Signal Technician Bench/Field Level II Certification. Mr. Vu is proficient with Eagle EPAC, Naztec/ Trafficware Apogee, Bi-Trans and Caltrans C8 controller software. He is experienced with traffic signal cabinet installation, maintenance & troubleshooting (NEMA, TS1, TS2, P, M and 332). Mr. Vu is versed in battery backup systems such as Alpha, Dimensions/ Sensata, Myers and Tesco as well as Iteris, Autoscope, Trafficon and Gridsmart Video detection systems. Dinh has extensive experience in traffic signal interconnect system installation and troubleshooting and is qualified for ITS equipment installation and repair. He provides CMU/MMU testing and certification with the latest ATSI PCMT-8000 tester owned by St. Francis Electric.



Organization Chart – For City of Lathrop



4. Past Experience & References

Similar Work and Experience Summaries.

Agency	Description	Contact	Phone & Email	Year/ Duration & Contract Amount
	Traffic Signal Maintenance Services – 75 Traffic Signals. Traffic Engineering Consultant Services	Dawn Gillenwater	(209) 668-5425 dgillenwater@turlock.ca.us	Since 2015 \$199,999/yr
	Traffic Signal and Streetlight On-Call- 147 Traffic Signals, 8,000 Streetlights	Fred Kelly	(510) 583-4781 fred.kelley@hayward-ca.gov	Since 2014 175,000/ year
	TS & SL Maintenance & Repair Services – 11 Traffic Signals and 2 Illuminated Crosswalks and 1,444 Street Lights.	Doug Louie	(209) 831-5619 dlouie@sigov.org	Since 2014 \$450,000/ 4yrs
	Traffic Signal Maintenance Services – 16 Traffic Signals, Flashing Beacons, Ped Signals, Engineering Consultant Services	Russell Koch	(530) 308-0231 rkoch@auburn.ca.gov	Since 2015 No limit
	Traffic Signal and Street Light Maintenance and Emergency Repair Services- 11 Traffic Signals, 17 RRFB's, 5 EVP's, 375 Streetlights	Bill Driscoll	(510) 812-7240 wid@ci.el-cerrito.ca.us	Since 2015 \$56,800/ yr
	Traffic Signal and Street light On- Call	Glenn Black	(209) 483-3367 glenn.black@cityoftracy.org	Since 2018 going- No limit
	Traffic Signal Maintenance Services – 29 Traffic Signals, Ped Signal, Flashing Beacons	Rebecca Solomon	(530) 745-3586 rsolomon@placer.ca.gov	Since 2015 \$140,000/yr
	Traffic Signal and Street Light On-Call Repair Services for All Public Works Needed Services. Traffic Engineering Consultant Services. 250 Traffic Signals, 8,000 Streetlights	Yader Bermudez	(510) 774-6300 Yader_Bermudez@ci.richmond.ca.us	Since 2015 \$150K/yr
	Traffic Signal Maintenance- 4 Traffic Signals	Anthony Chavarria	(209) 489-8316 achavarria@livingstoncity.com	Since 2018 No Limit

St. Francis Electric provides to the Town of Los Gatos routine & response traffic signal, streetlight and parking lot light maintenance as well conducting mark-outs for USA (Underground Service Alerts) tickets. Currently we maintain the entire 30 City owned traffic signal intersections, 1603 streetlights and 119 parking lot lights. SFE provides 24/7 emergency call out service to the Town of Los Gatos and has a response time of 1 hour. Emergency response involves major issues such as knockdowns, 4-way red flash, blacked out locations, vehicle indication outages and traffic signal detection, and cycling issues. Every 3 months SFE performs a traffic signal, illuminated street name signs, and streetlight night checks. Followed by notification to the City of outages found. Issues which are reported can relate, to bad ballasts, lamps, photocells, voltage / wiring, and or fuses. With City authorization, SFE conducts all necessary repairs to return the night check reported issues to full operations. We provide monthly, quarterly, semi-annual and annual traffic signal maintenance in which we thoroughly inspect each traffic signal to ensure proper functionality of the controller cabinet, traffic signal controller, signal and pedestrian heads, pedestrian pushbuttons, interconnect communications and battery backup system. Annually we perform conflict monitor testing at each signalized intersection and insert new test reports in the controller cabinets with copies of the results to our Town contact.

In the City of Yuba City, SFE provides routine & response traffic signal maintenance on 38 traffic signals. We provide monthly, quarterly, and annual traffic signal maintenance. Each month we ensure proper functionality and provide a thorough report for all controller cabinets, traffic signal controllers, signal and pedestrian heads, pedestrian push buttons, interconnect communications, and battery backup systems. Annually, SFE performs conflict monitor testing at each cabinet. SFE provides 24/7 emergency services with a response time of no more than one hour.

In the City of Mountain House, SFE maintains: 9 traffic signals, 2 illuminated crosswalks, and 1,444 street, parking lot, and park lights. We provide monthly, quarterly, semi-annual, and annual traffic signal maintenance. Each month we ensure proper functionality of all traffic signals, signal controller cabinets and crosswalks and report our findings to the City. SFE also looks beyond normal and proper operations, as we review equipment, and document "No Longer Supported" equipment found, and provide proposals for upgrades on such equipment to ensure agency traffic signals, and crosswalks are operating and performing to current industry standards. During the annual check, SFE performs conflict monitor testing and inserts test reports into each cabinet as well as forwarding those reports to the City. Along with preventative maintenance, SFE provides 24/7 emergency repair services. All calls are responded to within 1.5 hours after notice is received. SFE also provides monthly night checks of all contracted Traffic Signal Safety Lighting (including Illuminated Street Name Signs), Street Lights, Parking Lots, and City Park Lighting for the City of Mountain House found out or cycling. SFE then sends the report of findings to the City for approval to repair. Upon request, SFE provides daytime checks to check for streetlight day burners.

In the City of El Cerrito SFE provides routine & response traffic signal and streetlight maintenance on 11 City owned signalized intersections and approximately 365 streetlights. In addition, we maintain 17 locations which include speed radar feedback signs, in-pavement crosswalk systems, flashing beacons and microwave detection together with microwave system communication equipment along the I-80 Corridor. SFE provides 24/7 emergency call out service to the City of El Cerrito and has a response time of 1 hour. On a

monthly basis SFE performs a both traffic signal, and streetlight night checks, followed by providing the City with a detailed report of our findings. Upon approval SFE schedules and conducts permanent and necessary repairs based on those findings weather traffic signal or streetlights. Our technicians perform monthly, quarterly, semi-annual and annual traffic signal maintenance in which a thorough inspection of all traffic related equipment is performed, and recommendations on equipment upgrades are forwarded to the City. On an annual basis SFE performs conflict monitor testing and inserts test reports into each cabinet as well as forwarding those reports to the City.

SFE provides the City of Turlock routine & response traffic signal maintenance on 75 traffic signals. We provide monthly, quarterly, semi-annual and annual traffic signal maintenance. Each month we ensure proper functionality and proved a thorough report for all controller cabinets, traffic signal controllers, signal and pedestrian heads, pedestrian push buttons, interconnect communications, and battery backup systems. Annually, SFE performs conflict monitor testing at each cabinet. SFE provides 24/7 emergency services with a response time of no more than one hour.

In the City of Tracy, SFE provides On-Call support for traffic signal and streetlight knockdowns and replacements, foundation services, rock sawing, and USA Marking requests. With many assigned personnel to surrounding City's we guarantee any immediate response whether it be a concern for resident safety or routine services.

In Placer County SFE provides routine & response traffic signal maintenance. Currently we maintain 29 City owned traffic signals as well as flashing beacons and pedestrian signals. SFE provides 24/7 emergency call out service to the County of Placer and has a response time of 1 hour. We thoroughly inspect each traffic signal to ensure proper functionality of the controller cabinet, traffic signal controller, signal and pedestrian heads, pedestrian pushbuttons, interconnect communications and battery backup system. Annually we perform conflict monitor testing at each signalized intersection and provide updated test reports in the controller cabinets.

In the City of Newark we provide routine and emergency response services for the city's 2840 streetlights. SFE also provides 24/7 emergency response services to all knockdowns within a 1 hour or less response time. For routine maintenance when we have lights needing troubleshooting we are able to use our USA specialist to accurately locate all underground facilities to further trouble shoot power problems and get all lights working ASAP. We provide foundation work and pole installations due to knockdowns.

Previous Contract Work

SFE held the contract with the City of Burlingame from 2014-2017 and provided routine and response Traffic Signal Maintenance as well as in-pavement and RRFB crosswalk maintenance. St. Francis was responsible for maintaining all 15 signalized intersections and 5 crosswalk systems. We provided 24/7 emergency call out service to the City of Burlingame for all locations with a two hour response time. Monthly, quarterly and semi-annual maintenance was provided at which time each location was inspected for proper functionality and all findings were reported to the City. SFE responded to all USA calls and marked out utilities within 48 hours of request.

In the City of Livermore, SFE provided 24/7 emergency on-call support from 2014-2017. During this time, we had along with emergency response services, also performed USA markings, foundation work, and street light installations. With many of our assigned personal already assigned to the City for On-call support, we were able to guarantee a one hour or less response time for any emergency response services needed such as knockdowns or hanging luminaire arms causing an immediate threat to the safety of Livermore's residents.

From 2014-2018 St. Francis had maintained approximately 7000 street lights, parking lot, and park lights in the City of Pleasanton. Upon request, SFE performed night checks and day checks in 1 or more areas in the City and services these lights upon approval. All findings were reported to the City for approval to service all lights found out or cycling. SFE also provided 24/7 emergency response services to all knockdowns within a 1 hour response time. With help from our USA specialist, We could accurately locate all underground facilities to further trouble shoot power problems and get all lights working ASAP. Our contract begun in 2014 and was a 3-year contract.

4. Understanding Scope of Services

Project Schedule/ Transition

During the contract transition office staff and technicians will conduct a meeting with City of Lathrop staff to discuss our vision and begin exploring innovative and cost-effective ways to assure the quality and functionality of the City's traffic signals, street lights, and all items listed in this RFP. Should there be any outstanding work orders, with approval from the City, we will address these concerns right away. Our project manager will coordinate and schedule all transition activities; provide weekly reporting on transition progress and ensure all applicable property and tools are included as part of transition. SFE will work with the City project manager to ensure all transition deliverables are received and understood and identify any gaps in transition activities. SFE management will ensure continuity of all maintenance activities throughout transition; ensure receipt of adequate maintenance documentation of all processes, tasks, and activities. During our initial visit to each location SFE will conduct a complete inventory of all major traffic signal equipment including manufacturer, serial number, and model number. All information will be inputted into Salesforce for the City to examine at any time and a copy of the inventory will be sent to the City.

Work Approach

Traffic Signal Maintenance

- A. Upon arrival at a contacted location SFE Technicians review and observe operations of a location for any see visual issues.
- B. Each Controller Cabinet / Battery Back-up System (BBS) Cabinet / Meter Service Pedestal are opened, reviewed, and cleaned, and all locks verified fully operational.
- C. Quarterly a full Inventory of controller cabinets, BBS Cabinets, and Meter Service Cabinets is conducted, with equipment manufacture name(s), model numbers, serial numbers are recorded, and presented to the City immediately. Upon any equipment replacements, the same is recorded and immediately forwarded to the City also. Also, during these inspections "if" No Longer Supported equipment is found, that equipment "if any" is noted as NLS and presented to the City of instructions on obtaining City Spare Equipment, or for immediate replacement cost proposals.
- D. Controller Cabinets will then have SFE Maintenance Charts filled out with the current Date, Time-In at the location with a description noted as to work to be performed. Cabinet(s), and Pedestals, are then thoroughly cleaned internally, and externally, all locks and hinges are verified clear of debris and lubed. Any vandalism such as sticker, black marker, or paint are also cleaned away. Cabinet Thermostats are also checked for proper operations and adjusted if needed. Any cabinet filters are replaced when needed.
- E. Controller Timing and Controller (Cycling) Operations are verified utilizing the City authorized timing chart. Any discrepancies are immediately brought to the attention of the City Timing Engineer, and then changed upon authorization. Any timing changes are then noted on the timing chart, with the date & timing authority name or initials stated.

- F. Vehicle Detection (Video or In-Pavement Veh. Detector Loops) is verified operational by observation of Detection Sensors (Inputs & Outputs), any issues spotted upon arrival to location are checked, and where required retuned, and reset. Video Detection is also observed by means of Cabinet Video Monitor, or with SFE Technician portable monitor. Any issues spotted such as spider webs, dirt or debris, camera alignments are immediately handled by SFE Technicians while onsite by cleaning or securing of camera(s) or their mounting hardware.
- G. All Cabinet Wiring is then checked and secured included bonding and grounds. Issues such as loose or deteriorated connections are also immediately handled with new connections, or terminals, and noted on cabinet maintenance charts.
- H. Cabinet voltages levels are metered, BBS batteries tested with results logged.
- I. BBS Testing will occur quarterly, with results logged on Cabinet Maintenance Charts and copies of testing presented to the City immediately.
- J. Conflict Monitor testing also occurs quarterly, with test results printed, filed with SFE, and with copies left within controller cabinets. Upon test failures, SFE immediately pulls the monitor from service, and installs and SFE tested spare monitor, and notifies the City immediately.
- K. Upon completion of all controller cabinets, BBS cabinets, and Meter Service maintenance, each location is then physically walked. Focus is on:
 - a. Traffic Signal, Streetlight, Communication Pullbox Lids are checked and noted if damaged.
 - b. Traffic Signal Anchor Bolts inspected, and if found loose, torqued down and set to Manufacturer specifications.
 - c. Pedestrian Pushbuttons verified clean and operational.
 - d. Pedestrian Signal Head verified clean and operational.
 - e. Vehicle Signal Heads are observed for proper alignment, and verified clean, and operational. Faded signal heads are noted with recommended corrections presented to the City. Signal Head Lens found substandard will be replaced with new LED type lenses.
 - f. Roadway Vehicle Detection Loops are checked for exposure, breaks, and any findings of deterioration, noted, and presented to the City with replacement cost proposals prepared, and present to the City immediately.
 - g. Video Cameras, and Emergency Vehicle Opticom are inspected for alignments, and immediately corrected if found substandard.
 - h. Safety Lighting, Illuminated Street Name Signs are inspected for operations, closure, operations, fading or damage. Any issues are immediately repaired or noted as required.
 - i. All Intersection Regulatory Signs inspected and secured if found loose. Faded Signs are immediately noted, with replacement cost proposals forward to the City.
 - j. Advance Flashing Amber Beacon / Overhead Red Flashing Signals are also inspected, for operations, alignment, and damage.
- L. Prior to departure, Technician(s) will log out from the location, will all findings, and corrections noted on Controller Cabinet Maintenance charts.

Street Light Maintenance

- A. Upon arrival SFE Technicians review and verify operations for day burning, outage, damage or vandalism for visual issues.

- B. Streetlight Poles will be confirmed as having pole (badge) numbers, and if missing utilize City provided numbering maps. Faded out number(s) will be replaced.
- C. Fixtures will be cleaned.
- D. Bird or Wasp Nest(s) will be removed.
- E. Outages will have fuses checked, and upon finding old or blow replaced with new. Included is new pole wiring if found damaged.
- F. Repairs will commence to burning fixtures with new replacement Photo Electric Units (PEC), and or lamps.
- G. PEC requiring a reset of unit sockets found not to point NORTH, will to be corrected.
- H. Burnt out or discolored lamps will be replaced with like lamps or LED's as directed by the City.
- I. Ballast Kits, sockets, found damaged, burnt, of aged will be replaced with new while on-site.
- J. Fixtures found with access panels open will be attended to immediately, and streetlight pole hand hole cover found loose or hanging will also be secured while on-site.
- K. SFE will also begin Night Survey's of all contracted streetlights, and will have identification tape, pole badge / numbers recorded, together with issue found at the rate of 1/3 of all streetlights surveyed at night each quarter. All deficiencies records will be forwarded to the City of Lathrop immediately for scheduling of repairs under Routine Maintenance.

Radar Speed Feedback Sign Maintenance

SFE is experience with a vast array of Speed Radar Signs manufactured products. Our SFE Maintenance Technician are each equipped with Laptops have the required programs allowing for troubleshooting and programming of Information Display Company, Speed Radar Company, Fortel, and or Carmanah type Radar Signs.

- A. Upon arrival our technician will test the signs operations, and discrepancies in operations will found and noted for reports to the City of Lathrop.
- B. Sign Display will be verified operational, and any wear, damage, or vandalism will be cleaned, and addressed.
- C. Controller Cabinets will be cleaned, and all internal wiring will be inspected and corrected if found loose or dislodged.
- D. Power Control Units, or Solar Panels will be cleaned, have voltage testing, and will be recorded on Maintenance Charts placed in cabinets at locations having such.
- E. Radar Sign poles will be inspected for damage, with Sign LED arrays cleared of debris, and cleaned of stickers, vandal paint / markers.
- F. Each location having Meter Service Pedestals or the like, will be thoroughly cleaned, with any and all locks and hinges lubed.
- G. Power readings at each location found with Electrical Service Equipment will be recorded with reading noted on Maintenance Charts left at locations.

Lighted Facilities Maintenance

Upon arrival SFE Technicians review and verify operations for day burning, outage, damage or vandalism for visual issues whether Pole or Building mounted.

- A. Fixtures will be cleaned.

- B. Bird or Wasp Nest(s) will be removed from within shoe box style or luminaire type fixtures.
- C. Should outages have fuses, each location will be inspected and checked, and upon finding old or blow replaced with new. Included is new pole wiring, and switches if found damaged.
- D. Repairs will commence to burning fixtures with new replacement Photo Electric Units (PEC), and or Lamps or Luminaires under the direction of the City as to LED's.
- E. PEC requiring a reset of unit sockets found not to point NORTH, will to be corrected.
- F. Burnt out or discolored lamps will be replaced with like lamps or LED's as directed by the City.
- G. Ballast Kits, sockets, found damaged, burnt, of aged will be replaced with new while on-site.
- H. Fixtures found with access panels open will be attended to immediately, and streetlight pole hand hole cover found loose or hanging will also be secured while on-site.
- I. Power readings at each location found with Electrical Service Equipment will be recorded with reading noted on Maintenance Charts left at locations.
- J. SFE will also conduct Night Surveys of all contracted Lighted Facilities, and will have identification tape, pole badge / numbers, or building addresses recorded, together with issue found at the rate of 1/3 of all streetlights surveyed at night each quarter. All deficiencies records will be forwarded to the City of Lathrop immediately for scheduling of repairs under Routine Maintenance.

Transportation Engineering Services

SFE can offer Transportation Engineering support for the City of Lathrop. SFE's California Professional Engineer in Civil and Traffic Consultant has experiences to address all traffic signal related problems for the City of Lathrop. Including, but not limited to, ITS equipment programing, traffic signal coordination, basic signal timing validation, traffic control plan, and many other traffic signal optional disciplines.

Emergency Response

SFE's response time will be within 2 hours of initial call out. If SFE is notified of an emergency situation a technician will be dispatched immediately. SFE has large warehouse capacity, resources and inventory in San Leandro to support the Districts and enables us to guarantee quick response times. SFE agrees to provide and maintain emergency service response of the City's traffic signals and streetlighting on a twenty-four (24) hour a day, seven (7) days per week basis, including all holidays. SFE has a 24/7/365 telephone service for taking calls for reported outages, knockdowns, etc. All calls will be logged to track repairs at each location: 1-(844)-LIGHT88. SFE will be prepared to provide the District with 24/7 service for the repair of the equipment. At a minimum, SFE will provide services to all items listed in this RFP as described in the following scope of work.

Upon initial notification of an emergency call out, the SFE technician On-Call will call the reporting party upon initial receipt notifying they have received the notification and approximate arrival to location within 2 hours. If during business hours, office staff will also follow up with an email to the reporting party and City staff. If the emergency call is after normal business hours, SFE office staff will follow up with the City the following business day with a report of all work completed. Upon arrival, the technician will assess the site, implement appropriate traffic control, and evaluate the problem. The technician will restore site to a safe and working condition logging via our on-site live portal the time, date, nature of task order/

emergency call, and corrective action. All on-call technicians have backup personnel readily available should the need for additional manpower arise. Also, should a major incident occur requiring the mobilization of a large crew, the St. Francis maintenance department is able to utilize any of our 250+ construction crew.

Reports, Service and Inspections Logs

SFE proposes to maintain an inventory list of the equipment in the controller cabinet at each location. During the first 30 days of contract, SFE will send to the District the inventory list that will include the model, manufacturer, serial number, and quantity of each piece of equipment and installation date. Every year after by March 31, SFE will provide an updated report of the condition of all intersection components.

A printout of the signal control database shall be kept in each controller cabinet. Timing changes shall be indicated on the printout. Only the Districts representative shall authorize timing changes except that SFE may make changes required on a temporary basis due to maintenance operations or to maintain a satisfactory signal operation when there is a detection failure.

Monthly Activity Report

SFE will provide a computerized monthly activity report to the City. A monthly report generated from the database shall be sent (regular mail and email) to the City with the monthly invoice. SFE agrees to keep files and records for work orders, payrolls, material and contractual service invoices and equipment rental invoices. All such records and files shall, upon demand, be made available by the Contractor to the City for inspection.

All invoices for service will be accompanied by reports indicating actual work completed, the site or location of the work, and/ or actual hours worked, charged at the hourly and unit rates included with our cost proposal.

In order to better service the City of Lathrop, SFE will provide an online real-time electronic database service. SFE recognizes that speed, efficiency, and comprehensive service are the keys to customer satisfaction in our industry. With this in mind, we are constantly seeking innovative ways to improve our service delivery. SFE is proud to present Salesforce™, our computerized electronic maintenance and inventory management system. This cloud-based application represents what we believe to be the forefront of customer account management and maintenance tracking in our industry. The Counties Salesforce™ account will include a complete list of all of intersections, equipment inventory, a log of repair and replacement parts, and records of all emergency calls received for the City. Essential key functions of this online database are made available to the City Traffic Engineer and authorized agent(s) to monitor maintenance, service call history, and review all activities performed by SFE technicians working in the County.



The information handled by Salesforce™ includes:

- Service Request Management and Scheduling, including time stamping and dispatching.
- Scheduled Maintenance Management and Scheduling.
- Intersection Details, inventories of equipment, maps, CAD drawing, timing sheets, etc.
- Report Generation: including invoices, materials use, etc.
- Inventory control, including real-time tracking of available and installed equipment.
- Information available to view or download through the Customer Portal, which includes:

Real-time status of Scheduled Maintenance and Service Request calls.

Real-time Intersection Inventories.

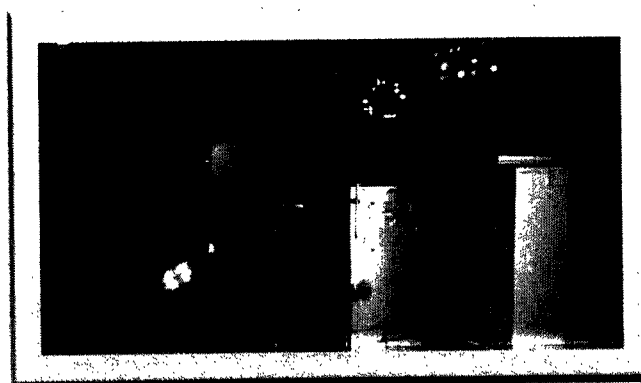
Real-time Equipment Inventories.

Intersection maintenance histories, maps, CAD drawings, digital photographs.

Account information, such as contacts and billing

The most important aspect of the applications described above is the flexible nature of their use and their potential for future development. SFE can work with City staff to customize the applications to maximize their usefulness and provide the level of service the City desires. This flexibility includes types of information collected or viewable, downloading of information, visual representation, means of access, or other conveniences the City wishes.

SFE Testing Facility



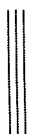
St. Francis Electric headquarters is located on 3.5 acres of land in the City of San Leandro, Alameda County. SFE's headquarters has secured outdoor storage space sufficient for all the contract equipment, parts, components, and inventory. In addition to the outdoor storage, our warehouse has 20,000 square feet of indoor secured storage space for other equipment necessary for the contract. SFE has vast amounts of storage for typical maintenance work and plans to invest adequate office equipment and supplies for this Traffic Signal Maintenance Contract if selected. A testing facility (3rd Party Testing/ Certification Lab) is also available to test all equipment procured for this contract.

Equipment

SFE owns and operates approximately 100 service vehicles of various types and sizes throughout Northern California. To help ensure safety, our maintenance crews use hydraulic "bucket" trucks with aerial lifts which are Occupational Safety and Health Administration (OSHA) approved, inspected and certified as required by law. Our bucket trucks are typically equipped with the most common traffic signal gear, poles, and street light replacement parts to service most emergency responses such as knock downs. In addition, SFE's vehicles are equipped with a permanently mounted arrow board/stick, warning beacon/strobe lights, traffic cones & construction warning signs. Our "bucket truck" hydraulic lift is capable of reaching a height of at least forty (40) feet from the roadway surfaces. Our technicians are equipped with necessary laptops for the programming/testing of traffic signal controllers, CMU/MMU, Camera monitoring (CCTV, Video, etc), and various equipment. In addition, all SFE employees will be equipped with a smartphone/mobile tablet with 4G LTE access capable of email, text, photo, and internet. SFE is committed to maintain an inventory of all signal equipment used by the City of Lathrop. This commitment will ensure the City avoiding long wait time on some equipment such as traffic signal poles.

SFE also has complete stock of 332/NEMA cabinets, service pedestals, poles, DLC, Loop wire, traffic signal wire, signal LEDs in assorted sizes, conduit, pull boxes, lids, etc. SFE's vast inventory of equipment and material enables us to support any maintenance and emergency service needs. This has proven very critical for emergency service such as traffic signal/street light knock downs. In such cases, SFE has the inventory in-house available immediately, as opposed to the typical 3-6 month waiting period for

SFE retains, and will have readily available, in functioning order, all required tools, equipment, facilities, and materials needed to perform all work necessary to maintain and repair the traffic signals and other City equipment; in compliance with Caltrans Standard Plans and Specifications (May 2010), Chapter K of Caltrans Maintenance Manual (July 2014); National Electric Code (NEC) 2011 with California Electric Code Amendments 2013; California Manual of Uniform Traffic Control Devices (MUTCD 2012 edition), and the Districts standards and specifications.



Quantity	Name, Type & Capacity	Condition
8	Bucket Truck, Diesel Gas	Excellent/New
5	Bucket Truck, Diesel Gas	Running Great
3	Crane	Running Great
17	Dump Truck (Ford, GMC, and Ram)	Running Great
3	Bore Machine, American/Vermeer/Ditch Witch	Running Great
2	Bore Truck	Running Great
16	Arrow Board, Bemis Allmand, Eclipse, Wanco, SolarTech, and Arrow Master	Excellent
3	Concrete Saw, Meco and Core Cut	Running Great
23	Flatbed Truck, Ford, GMC, and Chevy	Running Great
4	Generator, Multiequipt	Excellent
3	Saw Truck, Ford	Running Great
6	Trencher, Ditch Witch and Vermeer	Running Great
7	Light Tower	Running Great
1	Conflict Monitor Tester (ATSI/PCMT 8000, CMU/MMU Tester)	Excellent/New
25+	Type-15 Street Light Poles	New
20+	IA, IB, and ID Poles	New
30+	SV and TV Framework Hardware	New
25+	Assorted 6' to 15' Luminaire Arms	New
100+	70w to 400w HPS Luminaires	New
10+	Ped Posts	New
20+	8" 3-section Vehicle Signals	New

5. Cost Proposal

COST PROPOSAL SCHEDULE "A1" - FLATRATE MAINTENANCE SCHEDULE

Proposal Item No.	Description	Annual Quantity	Unit	Unit Price	Total Annual Amount
I.	Routine Maintenance: Traffic Signal System, including Safety Lights and Internally Illuminated Street Name Signs	20	Per Intersection Per Year	\$ <u>960.00</u>	\$ <u>19,200.00</u>
II.	Routine Maintenance: Street Light System	1821	Per Location Per Year	\$ <u>18.60</u>	\$ <u>33,870.60</u>
III.	Routine Maintenance: City Facilities Lighting Fixtures	67	Per Light Fixture Per Year	\$ <u>18.60</u>	\$ <u>1,246.20</u>
IV.	Underground Service Alert – USA: (Dig Alert Service)	50*	Per USA ticket	\$ <u>125.00</u>	\$ <u>6,250.00</u>
Total Proposal Items (I, II, III, and IV) per year (written and numerical value), Base Proposal:		\$ <u>60,566.80</u>			

* There are approximately 50 USAs performed each year. If more than 50 USAs are required within a contract term, the listed USA unit price will be charged for each USA performed (in excess of 50 USAs).

COST PROPOSAL SCHEDULE "A2" – TRAFFIC SIGNAL FLATRATE MAINTENANCE SCHEDULE

<i>Unit Prices for Additional Work</i>		
Item No.	Description	Unit Price
1	Replace Type A Detector Loop (Qty 1-4 min mobilization charge)	\$ <u>2500.00</u> per loop <small>Pricing varies depending on # of loops</small>
2	Replace Type D Detector Loop (Qty 1-4 min mobilization charge)	\$ <u>2500.00</u> per loop <small>Pricing varies depending on # of loops</small>
3	Replace Battery Back-up System Tesco	\$ <u>7150.00</u> per system
4	Replace Traffic Controller Unit (Type 170) McCain includes bi-trans software and 412 prom module	\$ <u>5,670.00</u> per controller
6	Replace LED Bulbs (Round and Arrows)	\$ <u>170.00</u> per bulb/arrow
7	Replace Pedestrian Push Buttons complete assy with Polara bulldog	\$ <u>250.00</u> per button
8	Replace Visors and Signal Head Flanges includes 3 visors and backplate	\$ <u>265.00</u> per signal head
9	Replace Sensors EDI Model 222	\$ <u>180.00</u> per sensor
10	Replace Cameras Iteris - Includes camera, 1ch processor card, hybrid cable, bracket & riser	\$ <u>10,435.00</u> per camera
11	Replace Opticom units includes 762 card, 721 detector & 500' of cable	\$ <u>5170.00</u> per Opticom

COST PROPOSAL SCHEDULE "B" – UNSCHEDULED/EMERGENCY WORK ("EXTRA WORK")

The position titles and descriptions listed hereon may not accurately reflect the position titles and descriptions of employees of your firm. For those positions that are not employed by your firm, cross out and mark as "N/A" to indicate that the position is not applicable to the services to be provided by your firm.

Title	Description	Hourly Straight Time	Hourly Overtime
Operations Superintendent	All repair work, both field and laboratory, subject to his approval and direction	\$ <u>100.00</u>	\$ <u>165.00</u>
Traffic Signal Technician – Field	Primary duties are to field troubleshoot and repair wiring, cabinet wiring, controllers, and perform routine duties of Preventive maintenance.	\$ <u>85.00</u>	\$ <u>150.00</u>
Traffic Signal Technician – Laboratory	Performs complete repair and maintenance of all controllers, detectors, and associated device that are brought from the field for repairs.	\$ <u>85.00</u>	\$ <u>150.00</u>
Street Light Technician – Field	Primary duties are to field troubleshoot and repair wiring, and perform routine duties of Preventive maintenance.	\$ <u>85.00</u>	\$ <u>150.00</u>
Traffic Signal/Street Light Laborer	Primary duties are to assist the signalman and crew in knockdown repairs and modifications as directed.	\$ <u>75.00</u>	\$ <u>105.00</u>

**COST PROPOSAL SCHEDULE "C" - VEHICLE AND EQUIPMENT SCHEDULE
UNSCHEDULED/EMERGENCY WORK ("EXTRA WORK")**

The vehicles and equipment listed hereon may not accurately reflect the rolling stock used by your firm. For those vehicles and equipment that are not used by your firm, cross out and mark as "N/A" to indicate that the vehicle or equipment is not available or necessary for the services provided by your firm.

Description	Unit Rate (per Hour)
Personnel Vehicle	\$ <u>15.00</u> .__
Pickup Truck	\$ <u>25.00</u> .__
Service Truck	\$ <u>30.00</u> .__
Service/Ladder Truck	\$ <u>30.00</u> .__
Boom/Ladder Truck	\$ <u>40.00</u> .__
Crane Truck	\$ <u>65.00</u> .__

Any equipment not listed will be charged per current CalTrans equipment rates. The City will pay a maximum travel time of one hour in each direction.

MATERIAL MARK-UP

Material mark-up will not exceed 15 % of supplier's invoice price (cost) that will be furnished to the City in any cost proposal for unscheduled/emergency work ("Extra Work"), or upgrades.

Contractor "A" and "C10" License



CONTRACTORS
STATE LICENSE BOARD
ACTIVE LICENSE



License Number: **1003811** Entity: **LLC**

Business Name: **ST FRANCIS ELECTRIC LLC**

License Class: **A C10**

Expiration Date: **05/31/2021**

www.cslb.ca.gov



Department of Industrial Relation (SB 854) registration Number: 1000022208

SFE Complies with the requirement of the State of California's Standard Specification Code Section 7-1.021A (2) "Labor non-discrimination" under this contract. SFE pays general prevailing rate of per diem wages to all workers employed under this contract in accordance with California Labor Code 1770 et seq.

Insurance Requirements

SFE carries General Liability and Automotive Liability insurance to meet or exceed the minimum requirements of this RFP. SFE carries Worker's Compensation Insurance per State Law. SFE will meet all additional required Insurance provision said in this RFP.



EXHIBIT B

COUNT	DESCRIPTION / ADDRESS	LAMP SIZE
45	910 "O" STREET	High Pressure- 100W 9500L SL
245	N/S THOMSEN AT CAMBRIDGE LATHROP	High Pressure- 150W 16000L SL
253	E/S CAMBRIDGE AT BELLA COURT LATHROP	High Pressure- 150W 16000L SL
274	E/S CAMBRIDGE 150 FT N/O LOUISE AVE LATHROP	High Pressure- 150W 16000L SL
335	N/S J ST W/O CAMBRIDGE LATHROP	High Pressure- 150W 16000L SL
418	SW COR CHARMAINE & CAMBRIDGE, LATHROP	High Pressure- 150W 16000L SL
456	COR OF MATADOR WAY AND O STREET	High Pressure- 100W 9500L SL
457	SS O ST 240' E/O MATADOR WAY	High Pressure- 100W 9500L SL
458	COR OF O STREET AND 5TH STREET	High Pressure- 100W 9500L SL
459	SS O STREET 140' E/O 5TH STREET	High Pressure- 100W 9500L SL
460	SS O STREET AT 6TH ST	High Pressure- 100W 9500L SL
461	NS LOUISE AVE E/O 5TH STREET	High Pressure- 150W 16000L SL
462	NS LOUISE AVE 310' E/O5TH STREET	High Pressure- 150W 16000L SL
463	5TH ST 200' N/O LOUISEW/S	High Pressure- 100W 9500L SL
464	5TH ST E/S 400' N/O LOUISE AVE	High Pressure- 100W 9500L SL
476	WS OF UP RR SS OF YOSEMITE AVE	240V-High Pressure-200W 22000L
478	ES OF UP RR NS OF YOSEMITE AVE	240V-High Pressure-200W 22000L
481	CORNER OF 5TH AND CANNELLA DR NE	High Pressure- 100W 9500L SL
482	NS CANNELLA DRIVE	High Pressure- 100W 9500L SL
483	END OF CANNELLA DR	High Pressure- 100W 9500L SL
484	5TH ST OPPOSITE SHAWN CT	High Pressure- 100W 9500L SL
485	NS SHAWN CT	High Pressure- 100W 9500L SL
486	END OF SHAWN CT	High Pressure- 100W 9500L SL
487	5TH ST 150' N/O SHNOOPCT E/S	High Pressure- 100W 9500L SL
488	5TH ST OPPOSITE SHNOOPCOURT	High Pressure- 100W 9500L SL
489	END OF SHNOOP COURT	High Pressure- 100W 9500L SL
490	N/S LATHROP RD W/O WOODFIELD DR	240V-High Pressure-200W 22000L
491	E/S WOODFIELD DR N/O LATHROP RD	240V-High Pressure-200W 22000L
492	S/S LATHROP RD E/O 5THST	240V-High Pressure-200W 22000L
493	W/S 5TH ST S/O LATHROP RD	240V-High Pressure-200W 22000L
518	S/S WARREN 260FT W/O STRATFORD	High Pressure- 100W 9500L SL
519	S/S WARREN W/S STRATFORD	High Pressure- 100W 9500L SL
520	W/S STRATFORD 260FT S/O WARREN AVE	High Pressure- 100W 9500L SL
521	LOUISE AV W/O UPRR EASTERLY	High Pressure- 100W 9500L SL
522	LOUISE AV W/O UPRR EASTERLY	High Pressure- 100W 9500L SL
523	LOUISE AV W/O UPRR EASTERLY	High Pressure- 100W 9500L SL
524	LOUISE AV W/O UPRR EASTERLY	High Pressure- 100W 9500L SL
525	LOUISE AV W/O UPRR EASTERLY	High Pressure- 100W 9500L SL
526	MCKINLEY N/O YOSEMITE	High Pressure- 100W 9500L SL
527	MCKINLEY N/O YOSEMITE	High Pressure- 100W 9500L SL
528	MCKINLEY N/O YOSEMITE	High Pressure- 100W 9500L SL
529	MCKINLEY N/O YOSEMITE	High Pressure- 100W 9500L SL
530	MCKINLEY N/O YOSEMITE	High Pressure- 100W 9500L SL
531	MCKINLEY SO LOUISE	High Pressure- 100W 9500L SL
532	W/JASPER ST 200' N/ WARREN AVE	High Pressure- 100W 9500L SL
533	END OF WARREN OPPO JASPER	High Pressure- 100W 9500L SL
534	JASPER 280' S/O WARRENAVE (E/S)	High Pressure- 100W 9500L SL
535	CEDAR VALLEY DR @ JASPER ST, LATHROP	High Pressure- 100W 9500L SL
536	W/S CEDAR VALLEY DR	High Pressure- 100W 9500L SL
537	CEDAR VALLEY DR AT SOUTHPORT STC	High Pressure- 100W 9500L SL
538	E/S SOUTHPORT ST 160' N/O CEDAR VALLEY DR	High Pressure- 100W 9500L SL
539	W/S SOUTHPORT ST 320' N/O CEDAR VALLEY DR	High Pressure- 100W 9500L SL
540	SOUTHPORT AND SAINT ANDREW STREET	High Pressure- 100W 9500L SL
541	N/S SAINT ANDREW ST 160'EO SOUTHPORT ST	High Pressure- 100W 9500L SL
542	N/S SAINT ANDREW ST 240' E/O SOUTHPORT	High Pressure- 100W 9500L SL
543	N/SAINT ANDREW ST & QUAKER RIDGE ST	High Pressure- 100W 9500L SL
544	N/W QUAKER RIDGE CT & QUAKER RIDGE S	High Pressure- 100W 9500L SL
545	S/S QUAKER RIDGE CT APPROX 100'W/POLE 544	High Pressure- 100W 9500L SL
546	WEST END OF QUAKER RIDGE COURT	High Pressure- 100W 9500L SL
547	SS QUAKER RIDGE CT APPROX 100' E/OSL544	High Pressure- 100W 9500L SL
548	EAST END OF QUAKER RIDGE COURT	High Pressure- 100W 9500L SL
549	SS SAINT ANDREW ST 180'W/O PINECREST ST	High Pressure- 100W 9500L SL
550	SS SAINT ANDREW ST AT PINECREST ST	High Pressure- 100W 9500L SL
551	N/E PINECREST ST & PINECREST CT	High Pressure- 100W 9500L SL
552	NS PINECREST COURT 120'E/O PINECREST ST	High Pressure- 100W 9500L SL
553	END OF PINECREST COURT	High Pressure- 100W 9500L SL
554	W/PINECREST ST 100' S/ST ANDREWS ST	High Pressure- 100W 9500L SL
555	W/PINECREST ST 300' S/ST ANDREWS ST	High Pressure- 100W 9500L SL
556	END OF CHANTILLY COURT	High Pressure- 100W 9500L SL
557	WS CHANTILLY COURT 280'N/O PINWOOD DR	High Pressure- 100W 9500L SL
558	ES CHANTILLY CT 160' N/O PINWOOD DR	High Pressure- 100W 9500L SL
559	S/S PINWOOD DR AT CHANTILLY COURT	High Pressure- 100W 9500L SL
560	S/S PINWOOD DR 160' W/O CHANTILLY CT	High Pressure- 100W 9500L SL
561	E/S PINWOOD DR 240' S/O CHANTILLY CT	High Pressure- 100W 9500L SL
562	W/S PINWOOD DR 480' S/O CHANTILLY CT	High Pressure- 100W 9500L SL
563	W/PINWOOD DR 150' N/ PRINCEVILLE ST	High Pressure- 100W 9500L SL
564	SE/PINWOOD DR & PRINCEVILLE ST	High Pressure- 100W 9500L SL
565	JASPER 120' S/O WARRENAVE (W/S)	High Pressure- 100W 9500L SL
566	ES MATADOR WAY 250'N/O SHERRIE COURT	High Pressure- 100W 9500L SL
567	ES MATADOR WAY OPP SHERRIE COURT	High Pressure- 100W 9500L SL
568	NS SHERRIE COURT 225' W/O MATADOR WAY	High Pressure- 100W 9500L SL
569	END OF SHERRIE COURT	High Pressure- 100W 9500L SL
570	WS MATADOR WAY AT DERA WAY	High Pressure- 100W 9500L SL
571	NS CANNELLA DR 150'E/OWILLIAMSTOWNE DR	High Pressure- 100W 9500L SL

572	WS WILLIAMSTOWNE DR ATCANNELLA DR	High Pressure- 100W 9500L SL
573	WS WILLIAMSTOWNE DR OPP LARUE COURT	High Pressure- 100W 9500L SL
574	END OF LARUE COURT	High Pressure- 100W 9500L SL
575	ES WILLIAMSTOWNE DR 100'S/O LARUE COU	High Pressure- 100W 9500L SL
576	END OF MATTHEW COURT	High Pressure- 100W 9500L SL
577	NS MATTHEW COURT 100'E/O WILLIAMSTOWNE	High Pressure- 100W 9500L SL
578	WS WILLIAMSTOWNE DR OPP MATTHEW COURT	High Pressure- 100W 9500L SL
579	SS MINGO WAY AT WILLIAMSTOWNE DR	High Pressure- 100W 9500L SL
580	1137 MINGO WAY E/O WILLIAMSTOWNE DR	High Pressure- 100W 9500L SL
581	SS MINGO WAY 500'E/O WILLIAMSTOWNE DR	High Pressure- 100W 9500L SL
582	AVON ST 15001	240V-High Pressure-200W 22000L
583	MEDIAN OF LOUISE AVE 525 W/O HARLAN RD	240V-High Pressure-250W 25500L
584	MEDIAN OF LOUISE AVE 500 W/O HARLAN RD	240V-High Pressure-250W 25500L
584	MEDIAN OF LOUISE AVE 500 W/O HARLAN RD	240V-High Pressure-250W 25500L
585	MEDIAN OF LOUISE AVE 350 W/O HARLAND RD	240V-High Pressure-250W 25500L
585	MEDIAN OF LOUISE AVE 350 W/O HARLAN RD	240V-High Pressure-250W 25500L
586	MEDIAN OF LOUISE AVE 200 W/O HARLAN RD	240V-High Pressure-250W 25500L
586	MEDIAN OF LOUISE AVE 200 W/O HARLAN RD	240V-High Pressure-250W 25500L
587	HARLAN RD @ LOUISE AV	High Pressure- 150W 16000L SL
587	HARLAN RD @ LOUISE AV	High Pressure- 150W 16000L SL
588	HARLAN RD 200' S/O LOUISE AV	High Pressure- 150W 16000L SL
588	HARLAN RD 200' S/O LOUISE AV	High Pressure- 150W 16000L SL
589	HARLAN RD 400' S/O LOUISE AV	High Pressure- 150W 16000L SL
589	HARLAN RD 400' S/O LOUISE AV	High Pressure- 150W 16000L SL
590	HARLAN RD 500' S/O LOUISE AV	High Pressure- 150W 16000L SL
590	HARLAN RD 500' S/O LOUISE AV	High Pressure- 150W 16000L SL
591	HARLAN RD 600' S/O LOUISE AV	High Pressure- 150W 16000L SL
591	HARLAN RD 600' S/O LOUISE AV	High Pressure- 150W 16000L SL
592	HARLAN RD 100' E/O OLD HARLAN RD	High Pressure- 150W 16000L SL
592	HARLAN RD 100' E/O OLD HARLAN RD	High Pressure- 150W 16000L SL
593	HARLAN RD @ OLD HARLAN RD	High Pressure- 150W 16000L SL
593	HARLAN RD @ OLD HARLAN RD	High Pressure- 150W 16000L SL
596	HARLAN RD 200' S/O OLD HARLAN RD	High Pressure- 150W 16000L SL
596	HARLAN RD 200' S/O OLD HARLAN RD	High Pressure- 150W 16000L SL
597	HARLAN RD 400' S/O OLD HARLAN RD	High Pressure- 150W 16000L SL
597	HARLAN RD 400' S/O OLD HARLAN RD	High Pressure- 150W 16000L SL
598	HARLAN RD 600' S/O OLD HARLAN RD	High Pressure- 150W 16000L SL
598	HARLAN RD 600' S/O OLD HARLAN RD	High Pressure- 150W 16000L SL
599	HARLAN RD 800' S/O OLD HARLAN RD	High Pressure- 150W 16000L SL
599	HARLAN RD 800' S/O OLD HARLAN RD	High Pressure- 150W 16000L SL
600	HARLAN RD 1000' S/O OLD HARLAN RD	High Pressure- 150W 16000L SL
600	HARLAN RD 1000' S/O OLD HARLAN RD	High Pressure- 150W 16000L SL
601	ES HARLAND RD 1100' S/O OLD HARLAN RD	High Pressure- 150W 16000L SL
602	WS HARLAN RD 1200' S/O OLD HARLAN RD	High Pressure- 150W 16000L SL
603	E/S HARLAN RD 300' S/O OLD HARLAN RD	High Pressure- 150W 16000L SL
604	W/S HARLAN RD 400' S/O OLD HARLAN RD	High Pressure- 150W 16000L SL
605	E/S HARLAN RD 1500' S/O OLD HARLAN RD	High Pressure- 150W 16000L SL
606	W/S HARLAN RD 1600' S/O OLD HARLAN RD	High Pressure- 150W 16000L SL
607	E/S HARLAN RD 1700' S/O OLD HARLAN RD	High Pressure- 150W 16000L SL
608	W/S HARLAN RD 1800' S/O OLD HARLAN RD	High Pressure- 150W 16000L SL
609	E/S HARLAN RD 1900' S/O OLDOLD HARLAN RD	High Pressure- 150W 16000L SL
610	W/S HARLAN RD 2000' S/O OLD HARLAN RD	High Pressure- 150W 16000L SL
611	E/S HARLAN RD 2100' S/O OLD HARLAN RD	High Pressure- 150W 16000L SL
612	W/S HARLAN RD 2200' S/O OLD HARLAN RD	High Pressure- 150W 16000L SL
613	E/S HARLAN RD 2300' S/O OLD HARLAN RD	High Pressure- 150W 16000L SL
614	E/S HARLAN RD @ D'ARCY PARKWY	High Pressure- 150W 16000L SL
615	W/S HARLAN RD 100' S/O D'ARCY PARKWAY	High Pressure- 150W 16000L SL
616	E/S HARLAN RD 200' S/O D'ARCY PARKWAY	High Pressure- 150W 16000L SL
617	W/S HARLAN RD 300' S/O D'ARCY PARKWAY	High Pressure- 150W 16000L SL
618	E/S HARLAN RD 400' S/O D'ARCY	High Pressure- 150W 16000L SL
619	W/S HARLAN RD 500' S/O D'ARCY	High Pressure- 150W 16000L SL
620	E/S HARLAN RD 600 S/O D'ARCY PRKWY	High Pressure- 150W 16000L SL
621	W/S HARLAN RD 700' S/O D'ARCY PARKWAY	High Pressure- 150W 16000L SL
622	E/S HARLAN RD 800' S/O D'ARCY PRKWY	High Pressure- 150W 16000L SL
623	W/S HARLAN RD 900' S/O D'ARCY PARKWAY	High Pressure- 150W 16000L SL
624	E/S HARLAN RD 100' S/O D'ARCY PRKWY	High Pressure- 150W 16000L SL
625	W/S HARLAN RD 1100' S/O D'ARCY PARKWAY	High Pressure- 150W 16000L SL
626	W/S HARLAN ACROSS NESTLE WAY	High Pressure- 150W 16000L SL
627	ES HARLAN 150' S/O NESTLE WY	High Pressure- 150W 16000L SL
628	WS HARLAN 300' S/O NESTLE WAY	High Pressure- 150W 16000L SL
630	WS HARLAN 700' S/O NESTLE WAY	High Pressure- 150W 16000L SL
631	ES HARLAN 900' S/O NESTLE WAY	High Pressure- 150W 16000L SL
632	CORNER OF HARLAN ROAD & D'ARCY PARKWAY	High Pressure- 150W 16000L SL
633	N/S D'ARCY PKWY 250' E/O HARLAN RD	High Pressure- 150W 16000L SL
634	S/S D'ARCY PKWY 450' E/O HARLAN RD	High Pressure- 150W 16000L SL
635	N/S D'ARCY PKWY 600' E/O HARLAN RD	High Pressure- 150W 16000L SL
636	S/S D'ARCY PKWY 800' E/O HARLAN RD	High Pressure- 150W 16000L SL
637	N/S D'ARCY PKWY 1000' E/O HARLAN RD	High Pressure- 150W 16000L SL
638	S/S D'ARCY PKWY 1200' E/O HARLAN RD	High Pressure- 150W 16000L SL
639	N/S D'ARCY PKWY 1400' E/O HARLAN RD	High Pressure- 150W 16000L SL
640	S/S D'ARCY PARKWY @ MURPHY PRKWY	High Pressure- 150W 16000L SL
641	N/S D'ARCY PKWY 250' E/O MURPHY PKWY	High Pressure- 150W 16000L SL
642	S/S D'ARCY PKWY 450' E/O MURPHY PKWY	High Pressure- 150W 16000L SL
643	N/S D'ARCY PKWY 650' E/O MURPHY PKWY	High Pressure- 150W 16000L SL
644	NS NESTLE @ HARLAN RD	High Pressure- 150W 16000L SL
645	S/S NESTLE 250' E/O HARLAN	High Pressure- 150W 16000L SL

646	N/S NESTLE 450' E/O HARLAN	High Pressure- 150W 16000L SL
647	S/S NESTLE 600' E/O HARLAN	High Pressure- 150W 16000L SL
648	S/S NESTLE 800' E/O HARLAN	High Pressure- 150W 16000L SL
649	S/S NESTLE 1000' E/O HARLAN	High Pressure- 150W 16000L SL
650	N/S NESTLE 1200' E/O HARLAN	High Pressure- 150W 16000L SL
651	S/S NESTLE 1400' E/O HARLAN	High Pressure- 150W 16000L SL
652	NS NESTLE @ MURPHY PARKWAY	High Pressure- 150W 16000L SL
653	S/S NESTLE 250' E/O MURPHY PKWY	High Pressure- 150W 16000L SL
654	N/S NESTLE 500' E/O MURPHY PKWY	High Pressure- 150W 16000L SL
655	S/S NESTLE 700' E/O MURPHY PKWY	High Pressure- 150W 16000L SL
656	NS NESTLE 900' W/O MURPHY PKWY	High Pressure- 150W 16000L SL
657	W/S MURPHY PARKWAY 700' S/O D'ARCY PKWY	High Pressure- 150W 16000L SL
658	ES MURPHY PARKWAY 500' S/O D'ARCY PRKWY	High Pressure- 150W 16000L SL
659	W/S MURPHY PARKWAY 250' S/O D'ARCY PKWY	High Pressure- 150W 16000L SL
660	ES MURPHY PARKWAY @ D'ARCY PARKWAY	High Pressure- 150W 16000L SL
661	WS MURPHY PARKWAY @ D'ARCY PARKWAY	High Pressure- 150W 16000L SL
662	ES MURPHY PARKWAY 250' N/O D'ARCY	High Pressure- 150W 16000L SL
663	WS MURPHY PARKWAY 450' N/O D'ARCY PRKWY	High Pressure- 150W 16000L SL
664	ES MURPHY PARKWAY 700' N/O D'ARCY PRKWY	High Pressure- 150W 16000L SL
665	ES MURPHY PKWY 700' S/O NESTLE	High Pressure- 150W 16000L SL
666	WS MURPHY PKWY 500' S/O NESTLE	High Pressure- 150W 16000L SL
667	SS MURPHY PKWY 250' S/O NESTLE	High Pressure- 150W 16000L SL
668	NS MURPHY PKWY @ NESTLE	High Pressure- 150W 16000L SL
669	LOUISE AVE @ HARLAN RD	240V-High Pressure-200W 22000L
670	LOUISE AVE @ HARLAN RD	240V-High Pressure-200W 22000L
671	LOUISE AVE @ HARLAN RD	240V-High Pressure-200W 22000L
672	LOUISE AVE @ HARLAN RD	240V-High Pressure-200W 22000L
673	E/S HARLAN RD 350' S/O OLD HARLAN RD	240V-High Pressure-200W 22000L
674	E/S HARLAN RD 400' S/O OLD HARLAN RD	240V-High Pressure-200W 22000L
675	W/S HARLAN RD 400' S/O OLD HARLAN RD	240V-High Pressure-200W 22000L
676	W/S HARLAN RD 350' S/O OLD HARLAN RD	240V-High Pressure-200W 22000L
677	NE COR LOUISE AND CAMBRIDGE	240V-High Pressure-200W 22000L
678	NW COR LOUISE AND CAMBRIDGE	240V-High Pressure-200W 22000L
679	SW COR LOUISE AND CAMBRIDGE	240V-High Pressure-200W 22000L
680	SE COR LOUISE AND CAMBRIDGE	240V-High Pressure-200W 22000L
681	NE COR LOUISE AND 5TH ST	240V-High Pressure-200W 22000L
682	NW COR LOUISE AND 5TH ST	240V-High Pressure-200W 22000L
683	SW COR LOUISE AND HOWLAND	240V-High Pressure-200W 22000L
684	SE COR LOUISE AND HOWLAND	240V-High Pressure-200W 22000L
686	N/S SUGAR PINE DR 180' E/O SOUTHPORT	High Pressure- 100W 9500L SL
687	S/S SUGAR PINE DR 420' E/O SOUTHPORT ST	High Pressure- 100W 9500L SL
688	N/S SUGAR PINE DR OPP GREENHILL	High Pressure- 100W 9500L SL
689	N/S NESTLE 1150' E/O MURPHY	High Pressure- 150W 16000L SL
690	S/S NESTLE 1370' E/O MURPHY	High Pressure- 150W 16000L SL
691	N/S NESTLE 1580' E/O MURPHY	High Pressure- 150W 16000L SL
710	N/S D'ARCY 2650' E/O MURPHY	High Pressure- 150W 16000L SL
711	S/S D'ARCY 2450' E/O MURPHY	High Pressure- 150W 16000L SL
712	N/S D'ARCY 2250' E/O MURPHY	High Pressure- 150W 16000L SL
713	S/S D'ARCY 2050' E/O MURPHY	High Pressure- 150W 16000L SL
714	N/S D'ARCY 1850' E/O MURPHY	High Pressure- 150W 16000L SL
715	S/S D'ARCY 1650' E/O MURPHY	High Pressure- 150W 16000L SL
716	N/S D'ARCY 1450' E/O MURPHY	High Pressure- 150W 16000L SL
717	S/S D'ARCY 1250' E/O MURPHY	High Pressure- 150W 16000L SL
718	N/S D'ARCY 1050' E/O MURPHY	High Pressure- 150W 16000L SL
719	S/S D'ARCY 850' E/O MURPHY	High Pressure- 150W 16000L SL
727	WS CLIFFORD DR 400' W/O KILARNEY DR	High Pressure- 100W 9500L SL
728	SS CLIFFORD DR 200' W/O KILARNEY DR	High Pressure- 100W 9500L SL
729	NS CLIFFORD DR OPPO KILARNEY DR	High Pressure- 100W 9500L SL
730	SS CLIFFORD DR APPROX 400' E/O KILARNEY D	High Pressure- 100W 9500L SL
731	N/S STONEBRIDGE LN 50' E/O HARLAN RD	High Pressure- 150W 16000L SL
732	S/S STONEBRIDGE LN 150' E/O HARLAN RD	High Pressure- 150W 16000L SL
733	N/S STONEBRIDGE LN 175' E/O HARLAN RD	High Pressure- 150W 16000L SL
734	S/S STONEBRIDGE LN 250' E/O HARLAN RD	High Pressure- 150W 16000L SL
735	N/S STONEBRIDGE LN 350' E/O HARLAN RD	High Pressure- 150W 16000L SL
736	S/E/C ROSEWOOD & STONEBRIDGE	High Pressure- 150W 16000L SL
737	E/S ROSEWOOD 150' S/O STONEBRIDGE	High Pressure- 100W 9500L SL
738	S/S CASTLEWOOD 50' S/E OF ROSEWOOD	High Pressure- 100W 9500L SL
739	N/S CASTLEWOOD 30' W/O HAVENWOOD ST	High Pressure- 100W 9500L SL
740	E/S HAVENWOOD ST 200' N/O SHADYWOOD AVE	High Pressure- 100W 9500L SL
741	W/S HAVENWOOD ST 50' N/O SHADYWOOD AVE	High Pressure- 100W 9500L SL
742	W/S HAVENWOOD ST 30' S/O ASPENWOOD AVE	High Pressure- 100W 9500L SL
743	N/S ASPENWOOD AVE 30' E/O HAVENWOOD ST	High Pressure- 100W 9500L SL
744	N/S ASPENWOOD AVE 250' E/O HAVENWOOD ST	High Pressure- 100W 9500L SL
745	E/S ASPENWOOD AVE 300' W/O JASPEN ST	High Pressure- 100W 9500L SL
746	W/S ASPENWOOD AVE 300' W/O JASPEN ST	High Pressure- 100W 9500L SL
747	N/S ASPENWOOD AVE 50' W/O JASPEN ST	High Pressure- 100W 9500L SL
748	E/S JASPEN ST 25' E/O ASPENWOOD AVE	High Pressure- 100W 9500L SL
749	W/S JASPEN ST 100' N/O ASPENWOOD AVE	High Pressure- 100W 9500L SL
750	N/S JASPEN ST 125' N/O WINDWOOD AVE	High Pressure- 100W 9500L SL
751	W/S JASPEN ST 100' N/O SHADYWOOD AVE	High Pressure- 100W 9500L SL
752	E/S JASPEN ST 25' E/O SHADYWOOD AVE	High Pressure- 100W 9500L SL
753	S/S SHADYWOOD AVE 150' W/O JASPEN ST	High Pressure- 100W 9500L SL
754	N/S SHADYWOOD AVE 300' W/O JASPEN ST	High Pressure- 100W 9500L SL
755	S/S SHADYWOOD AVE 10' S/O HAVENWOOD ST	High Pressure- 100W 9500L SL
756	W/S ROSEWOOD 50' N/O CASTLEWOOD	High Pressure- 100W 9500L SL
758	N/E/S CLIFFORD 390' E/O KILARNEY	High Pressure- 100W 9500L SL

759	W/S CLIFFORD N/O PRAIRE DUNES	High Pressure- 100W 9500L SL
760	E END OF KILARNEY CRT	High Pressure- 100W 9500L SL
761	N/E/C KILARNEY DR & KILARNEY CT	High Pressure- 100W 9500L SL
762	W END OF KILARNEY CRT	High Pressure- 100W 9500L SL
763	S/S STONEBRIDGE LN 250' E/O ROSEWOOD	High Pressure- 150W 16000L SL
764	S/S STONEBRIDGE LN 150' E/O ROSEWOOD	High Pressure- 150W 16000L SL
765	S/S STONEBRIDGE LN 825' E/O ROSEWOOD	High Pressure- 150W 16000L SL
766	S/S STONEBRIDGE LN AT E/S OF MARBLE	High Pressure- 150W 16000L SL
767	S/S STONEBRIDGE LN 250' E/O MARBLE	High Pressure- 150W 16000L SL
768	S/S STONEBRIDGE 10'W/OSLATE	High Pressure- 150W 16000L SL
769	NS WINWOOD 100' W/O FLAGSTONE	High Pressure- 100W 9500L SL
770	N/S BOULDER AVE 250' W/O MARBLE	High Pressure- 100W 9500L SL
771	S/S BOULDER AVE S/S AT MARBLE	High Pressure- 100W 9500L SL
772	N/S BOULDER AVE N/S AT OBSIDIAN	High Pressure- 100W 9500L SL
773	N/S BOULDER AVE 150' E/O OBSIDIAN	High Pressure- 100W 9500L SL
774	E/S OBSIDIAN ST 100' S/O BOULDER	High Pressure- 100W 9500L SL
775	E/S FLAGSTONE AT WINDWOOD	High Pressure- 100W 9500L SL
776	W/S FLAGSTONE AT LIMESTONE	High Pressure- 100W 9500L SL
777	S/S LIMESTONE AVE 200' E/O FLAGSTONE	High Pressure- 100W 9500L SL
778	N/S LIMESTONE AVE AT W/S OF OBSIDIAN	High Pressure- 100W 9500L SL
779	S/S LIMESTONE AVE 150' E/O OBSIDIAN	High Pressure- 100W 9500L SL
780	LIMESTONE AVE AT E/S OF PERIDOT	High Pressure- 100W 9500L SL
781	W/S PERIDOT ST 150' S/O LIMESTONE	High Pressure- 100W 9500L SL
782	E/S FLAGSTONE ST 100' S/O LIMESTONE	High Pressure- 100W 9500L SL
783	FLAGSTONE ST AT GRANITE AVE AT S/W CRNR	High Pressure- 100W 9500L SL
784	N/S GRANITE AVE 150' E/O FLAGSTONE ST	High Pressure- 100W 9500L SL
785	S/S GRANITE AVE 250' E/O FLAGSTONE ST	High Pressure- 100W 9500L SL
786	N/S GRANITE AVE 400' E/O FLAGSTONE ST	High Pressure- 100W 9500L SL
787	S/S GRANITE AVE AT LIMESTONE AV	High Pressure- 100W 9500L SL
788	N/S GRANITE AVE AT N/W CRNR OF PINECRST	Induction - 85W 4800L SL
789	W/S PINECREST ST AT ONYX AVE	High Pressure- 100W 9500L SL
790	W/S ONYX CT 50' N/O ONYX AVE	High Pressure- 100W 9500L SL
791	N/W COR ONYX CT 275' N/O ONYX AVE	High Pressure- 100W 9500L SL
792	N/S ONYX AVE 100' E/O PINECREST DT	High Pressure- 100W 9500L SL
793	S/W COR REDSTONE & ONYX	High Pressure- 100W 9500L SL
794	S/E COR REDSTONE CT 175' S/O ONYX AVE	High Pressure- 100W 9500L SL
795	E/S REDSTONE 50' N/O ONYX	High Pressure- 100W 9500L SL
796	E/S REDSTONE AT BOULDER	High Pressure- 100W 9500L SL
797	S/S BOULDER 150' W/O REDSTONE	High Pressure- 100W 9500L SL
798	N/E COR BOULDER & SLATE	High Pressure- 100W 9500L SL
799	S/S BOULDER AVE 100' W/O SLATE	High Pressure- 100W 9500L SL
809	END OF RAVENWOOD CT	High Pressure- 100W 9500L SL
810	NS CASTLEWOOD AVE 160'W/O ROSEWOOD ST	High Pressure- 100W 9500L SL
811	N/S CASTLEWOOD AT TRACEYWOOD	High Pressure- 100W 9500L SL
812	E/S TRACYWOOD 100' S/OCASTLEWOOD	High Pressure- 100W 9500L SL
813	S/S SHADYWOOD 100' E/OTRACYWOOD	High Pressure- 100W 9500L SL
814	S/S SHADYWOOD 250' E/OTRACYWOOD	High Pressure- 100W 9500L SL
815	NS SHADYWOOD AVE 160' W/O HAVENWOOD ST	High Pressure- 100W 9500L SL
815	LOUISE AND MCKINLEY NWC	240V-High Pressure-250W 25500L
816	S/W CORNER LOUISE AVE &MCKINLEY AVE	240V-High Pressure-250W 25500L
817	S/E CORNER LOUISE AVE & MCKINLEY AVE	240V-High Pressure-250W 25500L
818	N/E CORNER LOUISE AVE & MCKINLEY AVE	240V-High Pressure-250W 25500L
820	E/S SHIDELER PKWAY @ YOSEMITE AVE	High Pressure- 150W 16000L SL
821	W/S SHIDELER PKWAY OPPO ENTRANCE	High Pressure- 150W 16000L SL
831	E/S SLATE ST 100' N/O STONEBRIDGE LN	High Pressure- 100W 9500L SL
832	W/S SLATE ST @ 100' S OF IRON WAY	High Pressure- 100W 9500L SL
833	E/S SLATE ST @175' N OF IRON WAY	High Pressure- 100W 9500L SL
834	W/S SLATE ST @ KIRKWOOD	High Pressure- 100W 9500L SL
835	E/S SLATE ST @ 200' N OF KIRKLAND	High Pressure- 100W 9500L SL
836	E/S SLATE ST 425' N/O KIRKWOOD	High Pressure- 100W 9500L SL
837	E/S SLATE ST 150' N/O DEERWOOD WAY	High Pressure- 100W 9500L SL
838	E/S GYPSUM WAY AT IRONWAY	High Pressure- 100W 9500L SL
839	N/W COR PLATINUM AVE &GYPSUM WAY	High Pressure- 100W 9500L SL
840	S/S PLATINUM AVE 180' E/O GYPSUM WAY	High Pressure- 100W 9500L SL
841	N/E COR QUARTZ WAY & PLATINUM AVE	High Pressure- 100W 9500L SL
842	W/S QUARTZ WAY 100' N/O SILVER CT	High Pressure- 100W 9500L SL
843	E/S QUARTZ WAY OPPO SILVER CT	High Pressure- 100W 9500L SL
844	END OF SILVER CT	High Pressure- 100W 9500L SL
845	S/E/C QUARTZ WAY & FLINT AVE	High Pressure- 100W 9500L SL
846	N/S FLINT AVE 160' W/OQUARTZ WAY	High Pressure- 100W 9500L SL
847	S/W/C QUARTZ WAY & GYPSUM WAY	High Pressure- 100W 9500L SL
848	S/S KIRKWOOD WAY END OF BOXWOOD	High Pressure- 100W 9500L SL
849	N/S KIRKWOOD WAY 200' E/O BROOKWOOD WAY	High Pressure- 100W 9500L SL
850	S/S KIRKWOOD WAY END OF BAYWOOD AVE	High Pressure- 100W 9500L SL
851	S/S KIRKWOOD WAY 300' E/O BAYWOOD AVE	High Pressure- 100W 9500L SL
852	FORESTWOOD WY 320' S/O ENGLEWOOD WAY	High Pressure- 100W 9500L SL
853	FORESTWOOD WY 160' S/O ENGLEWOOD WAY	High Pressure- 100W 9500L SL
854	COR ENGLEWOOD WY & FORESTWOOD WAY	High Pressure- 100W 9500L SL
855	N/S ENGLEWOOD WAY EDD OF BAYWOOD AVE	High Pressure- 100W 9500L SL
856	N/S ENGLEWOOD WAY AT APPLEWOOD CT	High Pressure- 100W 9500L SL
857	N/S ENGLEWOOD WAY AT BOXWOOD	High Pressure- 100W 9500L SL
858	E/S BROOKWOOD WAY AT DEERWOOD WAY	High Pressure- 100W 9500L SL
859	N/S DEERWOOD WAY AT SLATE ST	High Pressure- 100W 9500L SL
860	W/S BROOKWOOD WAY 250' N/O KIRKWOOD WAY	High Pressure- 100W 9500L SL
861	E/S BROOKWOOD WAY 160' N/O KIRKWOOD WAY	High Pressure- 100W 9500L SL
862	E/S APPLEWOOD CT 180' S/O ENGLEWOOD WAY	High Pressure- 100W 9500L SL

863	END OF APPLEWOOD CT	High Pressure- 100W 9500L SL
864	E/S BAYWOOD AVE 190' S/O ENGLEWOOD WAY	High Pressure- 100W 9500L SL
865	W/S BAYWOOD AVE 320' S/O ENGLEWOOD WAY	High Pressure- 100W 9500L SL
866	E/S GYPSUM WAY 100' S/O IRON WAY	High Pressure- 100W 9500L SL
867	S/S PARKHAVEN LN @ SLATE ST	High Pressure- 150W 16000L SL
868	N/S PARKHAVEN LN 250' W/O SLATE ST	High Pressure- 150W 16000L SL
869	S/S PARKHAVEN LN 450' W/O SLATE ST	High Pressure- 150W 16000L SL
870	N/S PARKHAVEN LN 650' W/O SLATE ST	High Pressure- 150W 16000L SL
871	S/W/C OPAL ST @ PARKHAVEN LN	High Pressure- 150W 16000L SL
872	E/S OPAL ST 1200' S/O PARKHAVEN LN	High Pressure- 150W 16000L SL
873	W/S OPAL ST 2400' S/O PARKHAVEN LN	High Pressure- 150W 16000L SL
874	E/S OPAL ST 2800' E/O STONEBRIDGE LN	High Pressure- 150W 16000L SL
875	W/S OPAL ST 1700' N/O STONEBRIDGE LN	High Pressure- 150W 16000L SL
876	E/S OPAL ST 550' N/O STONEBRIDGE LN	High Pressure- 150W 16000L SL
877	N/S STONEBRIDGE LN 900'E/O ROSEWOOD ST	High Pressure- 150W 16000L SL
878	N/W/C STONEBRIDGE LN @ OPAL ST	High Pressure- 150W 16000L SL
879	N/S STONEBRIDGE LN BTW ROSEWOOD & MARBLE	High Pressure- 150W 16000L SL
880	N/S STONEBRIDGE LN 100' W/O MARBLE	High Pressure- 150W 16000L SL
881	N/S STONEBRIDGE LN 650' E/O OPAL ST	High Pressure- 150W 16000L SL
882	N/S STONEBRIDGE LN 800' E/O OPAL ST	High Pressure- 150W 16000L SL
883	N/S STONEBRIDGE LN 1050' E/O OPAL ST	High Pressure- 150W 16000L SL
884	W/S SLATE ST OPP WATERMAN AVE	High Pressure- 100W 9500L SL
885	S/S WATERMAN AVE AT CHRISTIE FALLS WY	High Pressure- 100W 9500L SL
886	S/S WATERMAN AVE AT EMERALD BAY CT	High Pressure- 100W 9500L SL
887	NORTH END EMERALD BAY CT	High Pressure- 100W 9500L SL
888	W/S CHRISTIE FALLS WY 250' N/O WATERMAN AVE	High Pressure- 100W 9500L SL
889	S/S WATERMAN AVE OPP LAGOON WY	High Pressure- 100W 9500L SL
890	S/E COR WATERMAN & CEDAR BROOK WY	High Pressure- 100W 9500L SL
891	E/S CEDARBROOK WY @ BROOKFIELD AVE	High Pressure- 100W 9500L SL
892	W/S CEDARBROOK WY S/O BROOKFIELD AVE	High Pressure- 100W 9500L SL
893	N/E COR BROOKFIELD & CEDAR BROOK	High Pressure- 100W 9500L SL
894	N/S BROOKFIELD OPPO LAGOON WY	High Pressure- 100W 9500L SL
895	W/S LAGOON WY 200' S/O BROOKFIELD AVE	Induction- 50W 3500L SL
896	E/S LAGOON WY 400' S/O BROOKFIELD AVE	High Pressure- 100W 9500L SL
897	N/S BROOKFIELD AVE 225' W/O LAGOON WY	High Pressure- 100W 9500L SL
898	N/W COR BROOKFIELD & CHRISTIE FALLS	High Pressure- 100W 9500L SL
899	E/S CHRISTIE FALLS WY AT RIVERDALE AVE	High Pressure- 100W 9500L SL
900	E/S EMERALD BAY CT 200' N/O WATERMAN AVE	High Pressure- 100W 9500L SL
1105	W/S MCKINLEY 50' NO YOSEMITE AVE	240V-High Pressure-200W 22000L
3965	E/S LONG BARN DR 240' S/O PRINCEVILLE	High Pressure- 100W 9500L SL
3966	W/S LONG BARN AT HARBOR CRT	High Pressure- 100W 9500L SL
3967	S/END HARBOR CRT 120' S/O LONG BARN DR	High Pressure- 100W 9500L SL
3968	LONG BARN DR #900 OPP 879	High Pressure- 100W 9500L SL
5789	N/S O ST 50FT W/O MATADOR WAY	High Pressure- 150W 16000L SL
5790	N/S O ST 200FT E/O MATADOR WAY	High Pressure- 150W 16000L SL
5791	N/S O ST 450FT E/O MATADOR WAY	High Pressure- 150W 16000L SL
6010	W/S CARNELIAN LN 50' N/O PARKHAVEN	High Pressure- 100W 9500L SL
6011	E/S CARNELIAN S/O AMETHYST CT	High Pressure- 100W 9500L SL
6012	E/S CARNELIAN ST OPP AMETHYST CT	High Pressure- 100W 9500L SL
6013	N/S CARNELIAN ST 100' E/O TALC CT	High Pressure- 100W 9500L SL
6014	W/S TALC ST 420' N/O PARKHAVEN	High Pressure- 100W 9500L SL
6015	E/S TALC ST 200' N/O PARKHAVEN	High Pressure- 100W 9500L SL
6016	END OF AMETHYST CT	High Pressure- 100W 9500L SL
6017	N/W SIDE CARNELIAN ST 150' N/O AMETHYST CT	High Pressure- 100W 9500L SL
6025	N/S SLATE ST NEAR HARLAN RD	High Pressure- 100W 9500L SL
6026	N/S SLATE ST 190' W/O SPAR ST	High Pressure- 100W 9500L SL
6027	S/S SLATE ST OPP SPAR ST	High Pressure- 100W 9500L SL
6028	N/S SLATE AT OPAL	High Pressure- 100W 9500L SL
6029	S/S SLATE ST 180' E/O OPAL ST	High Pressure- 100W 9500L SL
6030	N/S SLATE 350' E/O OPAL	High Pressure- 100W 9500L SL
6031	S/S SLATE ST @ ENTRANCE TO GOLDSTONE	High Pressure- 100W 9500L SL
6032	W/S SPAR ST OPP OLIVINE ST	High Pressure- 100W 9500L SL
6033	W/S SPAR ST @ CALCITE ST	High Pressure- 100W 9500L SL
6034	S/S CALCITE ST 240' E/O SPAR ST	High Pressure- 100W 9500L SL
6035	N/S CALCITE ST 200' W/O METEORITE ST	High Pressure- 100W 9500L SL
6036	E/S METEORITE ST @ CALCITE ST	High Pressure- 100W 9500L SL
6037	S/S OLIVINE ST 190' E/O SPAR ST	High Pressure- 100W 9500L SL
6038	N/S OLIVINE ST 220' W/O METEORITE	High Pressure- 100W 9500L SL
6039	S/S OLIVINE ST OPP METEORITE ST	High Pressure- 100W 9500L SL
6040	E/S GOLDSTONE ST OPP OLIVINE ST	High Pressure- 100W 9500L SL
6041	W/S GOLDSTONE ST OPP RIVERDALE	High Pressure- 100W 9500L SL
6042	W/S GOLDSTONE CT @ END	High Pressure- 100W 9500L SL
6043	EAST SIDE OF SPAR ST	High Pressure- 100W 9500L SL
6044	E/S OF METEORITE ST	High Pressure- 100W 9500L SL
6045	EAST SIDE OF OPAL ST	High Pressure- 100W 9500L SL
6046	W/S OPAL 350' S/O SLATE	High Pressure- 100W 9500L SL
6047	E/S OPAL 550' S/O SLATE	High Pressure- 100W 9500L SL
6048	NORTH SIDE OF OLIVINE AVE	High Pressure- 100W 9500L SL
6085	NEW HARLAN RD 250' N/O LATHROP RD W/S	240V-High Pressure-250W 25500L
6086	NEW HARLAN RD 250' N/O LATHROP RD E/S	240V-High Pressure-250W 25500L
6087	NEW HARLAN RD 250' S/O LATHROP W/OAD W/S	240V-High Pressure-250W 25500L
6088	NEW HARLAN RD 250' S/O LATHROP RD E/S	240V-High Pressure-250W 25500L
6089	LATHROP RD 250' W/O NEW HARLAND RD N/S	240V-High Pressure-250W 25500L
6165	N/S GAAR AVENUE 25' W/O OPAL ST	High Pressure- 100W 9500L SL
6166	W/S ARKOSE ST 25' N/O GAAR ST	High Pressure- 100W 9500L SL
6167	S/S GAAR CT 125' W/O ARKOSE ST	High Pressure- 100W 9500L SL

6168	END OF GARR CT	High Pressure- 100W 9500L SL
6169	N/E COR ARKOSE ST & HORNFELS AVE	High Pressure- 100W 9500L SL
6170	N/S HORNFELS AVE 100' W/O ARKOSE ST	High Pressure- 100W 9500L SL
6171	S/S HORNFELS AVE 245' W/O ARKOSE ST	High Pressure- 100W 9500L SL
6172	N/S HORNFELS AVE 150' E/O DOLOMITE ST	High Pressure- 100W 9500L SL
6173	N/W COR HORNFELS AVE & DOLOMITE ST	High Pressure- 100W 9500L SL
6174	W/S DOLOMITE ST 145' S/O HORNFELS AVE	High Pressure- 100W 9500L SL
6175	E/S DOLOMITE ST 160' N/O SILTSTONE AVE	High Pressure- 100W 9500L SL
6176	S/E COR DOLOMITE ST & SILTSTONE AVE	High Pressure- 100W 9500L SL
6177	N/S SILTSTONE AVE OPP JET ST	High Pressure- 100W 9500L SL
6178	S/S SILTSTONE AVE 125' E/O JET ST	High Pressure- 100W 9500L SL
6179	N/S SILTSTONE AVE 125' W/O ARKOSE ST	High Pressure- 100W 9500L SL
6180	S/E COR SILTSTONE AVE & ARKOSE ST	High Pressure- 100W 9500L SL
6181	W/S ARKOSE ST 100' S/O GAAR CT	High Pressure- 100W 9500L SL
6212	S/W COR GOLDEN SPIKE TRAIL & BROOKHURST BLVD, (LATHROP 30347422)	High Pressure- 150W 16000L SL
6221	E/S GOLDEN SPIKE TRAIL 20' S/O TOWNE CENTRE DR, (LATHROP 30347422)	High Pressure- 150W 16000L SL
6222	W/S GOLDEN SPIKE TRAIL 235' S/O TOWNE CENTRE DR, (LATHROP 30347422)	High Pressure- 150W 16000L SL
6223	E/S GOLDEN SPIKE TRAIL 310' N/O OPEN RANGE, (LATHROP 30347422)	High Pressure- 150W 16000L SL
6224	W/S GOLDEN SPIKE TRAIL 125' N/O OPEN RANGE, (LATHROP 30347422)	High Pressure- 150W 16000L SL
6225	E/S GOLDEN SPIKE TRAIL OPP OPEN RANGE, (LATHROP 30347422)	High Pressure- 150W 16000L SL
6226	E/S GOLDEN SPIKE TRAIL 620' N/O BROOKHURST BLVD, (LATHROP 30347422)	High Pressure- 150W 16000L SL
6227	E/S GOLDEN SPIKE TRAIL 440' N/O BROOKHURST BLVD, (LATHROP 30347422)	High Pressure- 150W 16000L SL
6228	W/S GOLDEN SPIKE TRAIL 205' N/O BROOKHURST BLVD, (LATHROP 30347422)	High Pressure- 150W 16000L SL
6229	W/S GOLDEN SPIKE TRAIL 25' N/O BROOKHURST BLVD, (LATHROP 30347422)	High Pressure- 150W 16000L SL
6230	S/W COR GOLDEN SPIKE TRAIL & BROOKHURST BLVD, (LATHROP 30347422)	High Pressure- 150W 16000L SL
6231	W/S GOLDEN SPIKE TRAIL 140' S/O BROOKHURST AVE, LATHROP (PM 30339494)	High Pressure- 150W 16000L SL
6232	E/S GOLDEN SPIKE TRAIL 210' N/O WHEAT FIELD STREET, LATHROP (PM 30339494)	High Pressure- 150W 16000L SL
6233	W/S GOLDEN SPIKE 60' N/O WHEAT FIELD STREET, LATHROP (PM 30339494)	High Pressure- 150W 16000L SL
6234	N/S WHEAT FIELD STREET 105' E/O GOLDEN SPIKE TRAIL, LATHROP (PM 30339494)	High Pressure- 100W 9500L SL
6235	W/S GOLDEN SPIKE TRAIL 15' S/O WHEAT FIELD STREET, LATHROP (PM 30339494)	High Pressure- 150W 16000L SL
6236	E/S GOLDEN SPIKE TRAIL OPPOSITE LATE HARVEST PLACE, LATHROP (PM 30339494)	High Pressure- 150W 16000L SL
6237	N/E COR BROOKHURST BLVD & GOLDEN SPIKE TRAIL, (LATHROP 30347422)	High Pressure- 150W 16000L SL
6238	N/S BROOKHURST BLVD OPP DAFFADIL HILL, (LATHROP 30347422)	High Pressure- 150W 16000L SL
6239	S/S BROOKHURST BLVD 45' W/O MCKEE BLVD, (LATHROP 30347422)	High Pressure- 150W 16000L SL
6240	W/S MCKEE BLVD 20' N/O BROOKHURST BLVD, (LATHROP 30347422)	240V-High Pressure-150W 16000L
6241	W/S MCKEE BLVD. 65' S/O BROOKHURST BLVD, LATHROP (PM 30339494)	High Pressure- 150W 16000L SL
6242	E/S MCKEE BLVD. 195' S/O BROOKHURST BLVD, LATHROP (PM 30339494)	High Pressure- 150W 16000L SL
6243	W/S MCKEE BLVD. 365' N/O APPLE GROVE, LATHROP (PM 30339494)	High Pressure- 150W 16000L SL
6244	E/S MCKEE BLVD. 190' N/O APPLE GROVE, LATHROP (PM 30339494)	High Pressure- 150W 16000L SL
6245	W/S MCKEE BLVD. 60' S/O APPLE GROVE, LATHROP (PM 30339494)	High Pressure- 150W 16000L SL
6246	N/S APPLE GROVE 100' E/O DAFFODIL HILL STREET, LATHROP (PM 30339494)	High Pressure- 100W 9500L SL
6247	W/S DAFFODIL HILL STREET 110' S/O WHEAT FIELD STREET, LATHROP (PM 30339494)	High Pressure- 100W 9500L SL
6248	E/S DAFFODIL HILL STREET OPPOSITE WHEAT FIELD STREET, LATHROP (PM 30339494)	High Pressure- 100W 9500L SL
6249	W/S DAFFODIL HILL STREET 160' N/O WHEAT FIELD STREET, LATHROP (PM 30339494)	High Pressure- 100W 9500L SL
6250	E/S DAFFODIL HILL STREET 120' S/O BROOKHURST BLVD, LATHROP (PM 30339494)	High Pressure- 100W 9500L SL
6251	END OF BRAMBLEWOOD CT. 180' E/O ALMOND ORCHARD WAY, LATHROP (PM 30339494)	High Pressure- 100W 9500L SL
6252	S/S BRAMBLEWOOD CT. 60' E/O ALMOND ORCHARD WAY, LATHROP (PM 30339494)	High Pressure- 100W 9500L SL
6253	N/S BRAMBLEWOOD AVE. 140' W/O ALMOND ORCHARD WAY, LATHROP (PM 30339494)	High Pressure- 100W 9500L SL
6254	S/S BRAMBLEWOOD AVE. 200' E/O WHEAT FIELD ST, LATHROP (PM 30339494)	High Pressure- 100W 9500L SL
6255	S/S BRAMBLEWOOD AVE. 55' E/O WHEAT FIELD ST, LATHROP (PM 30339494)	High Pressure- 100W 9500L SL
6256	E/S WHEAT FIELD ST. 15' N/O BRAMBLEWOOD AVE, LATHROP (PM 30339494)	High Pressure- 100W 9500L SL
6257	S/S BRAMBLEWOOD AVE. 100' W/O WHEAT FIELD ST, LATHROP (PM 30339494)	High Pressure- 100W 9500L SL
6258	S/S BRAMBLEWOOD AVE. 85' W/O RED BARLEY CT, LATHROP (PM 30339494)	High Pressure- 100W 9500L SL
6259	W/S INDIAN SUMMER WAY OPPOSITE BRAMBLEWOOD AVENUE, LATHROP (PM 30339494)	High Pressure- 100W 9500L SL
6260	W/S RED BARLEY CT. 65' S/O BRAMBLEWOOD AVE, LATHROP (PM 30339494)	High Pressure- 100W 9500L SL
6261	END OF RED BARLEY CT. 220' S/O BRAMBLEWOOD AVE, LATHROP (PM 30339494)	High Pressure- 100W 9500L SL
6264	S/S BROOKHURST BLVD. 75' E/O ALMOND ORCHARD WAY, LATHROP (PM 30339494)	High Pressure- 150W 16000L SL
6266	S/S BROOKHURST BLVD. 105' W/O ALMOND ORCHARD WAY, LATHROP (PM 30339494)	High Pressure- 150W 16000L SL
6267	N/S BROOKHURST BLVD. OPPOSITE STRAWBERRY GLEN ST, LATHROP (PM 30339494)	High Pressure- 150W 16000L SL
6268	N/S BROOKHURST BLVD. 40' E/O WHEAT FIELD STREET, LATHROP (PM 30339494)	High Pressure- 150W 16000L SL
6269	S/S BROOKHURST BLVD. 20' W/O WHEAT FIELD ST, LATHROP (PM 30339494)	High Pressure- 150W 16000L SL
6270	N/S BROOKHURST BLVD. OPPOSITE LATE HARVEST PL, LATHROP (PM 30339494)	High Pressure- 150W 16000L SL
6271	S/S BROOKHURST BLVD. 80' E/O INDIAN SUMMER WAY, LATHROP (PM 30339494)	High Pressure- 150W 16000L SL
6272	W/S ALMOND ORCHARD WAY 30' S/O BROOKHURST BLVD, LATHROP (PM 30339494)	High Pressure- 100W 9500L SL
6273	E/S ALMOND ORCHARD WAY 140' S/O BROOKHURST BLVD., LATHROP (PM 30339494)	High Pressure- 100W 9500L SL
6274	W/S ALMOND ORCHARD WAY 212' N/O WHEAT FIELD ST, LATHROP (PM 30339494)	High Pressure- 100W 9500L SL
6275	N/S COLD SPRINGS ST. 100' W/O GOLDEN SPIKE TRAIL, LATHROP (PM 30339494)	High Pressure- 100W 9500L SL
6276	S/S COLD SPRINGS STREET OPPOSITE ALMOND ORCHARD WAY, LATHROP (PM 30339494)	High Pressure- 100W 9500L SL
6277	N/S COLD SPRINGS STREET 1482' W/O ALMOND ORCHARD WAY, LATHROP (PM 30339494)	High Pressure- 100W 9500L SL
6278	S/S COLD SPRINGS ST 18' E/O STRAWBERRY GLEN STREET, LATHROP (PM 30339494)	High Pressure- 100W 9500L SL
6279	W/S STRAWBERRY GLEN ST. 185' N/O WHEAT FIELD STREET, LATHROP (PM 30339494)	High Pressure- 100W 9500L SL
6280	E/S STRAWBERRY GLEN ST. 82' S/O BROOKHURST BLVD, LATHROP (PM 30339494)	High Pressure- 100W 9500L SL
6281	E/S WHEAT FIELD STREET 17' N/O STRAWBERRY GLEN STREET, LATHROP (PM 30339494)	High Pressure- 100W 9500L SL
6282	W/S WHEAT FIELD STREET 205' N/O STRAWBERRY GLEN STREET, LATHROP (PM 30339494)	High Pressure- 100W 9500L SL
6283	W/S WHEAT FIELD STREET 75' S/O BROOKHURST BLVD, LATHROP (PM 30339494)	High Pressure- 100W 9500L SL
6284	N/S LATE HARVEST PLACE 80' W/O GOLDEN SPIKE TRAIL, LATHROP (PM 30339494)	High Pressure- 150W 16000L SL
6285	S/S LATE HARVEST PLACE 100' W/O HIDDEN WELL LANE, LATHROP (PM 30339494)	High Pressure- 150W 16000L SL
6286	N/S LATE HARVEST PLACE 27' W/O RUSTY FLOW LANE, LATHROP (PM 30339494)	High Pressure- 150W 16000L SL
6287	N/S BRAMBLEWOOD AVENUE OPPOSITE RED BARLEY COURT, LATHROP (PM 30339494)	High Pressure- 150W 16000L SL
6288	S/S LATE HARVEST PLACE 6' E/O EARLY FROST LANE, LATHROP (PM 30339494)	High Pressure- 150W 16000L SL
6289	N/S BRAMBLEWOOD AVENUE OPPOSITE ALMOND ORCHARD WAY, LATHROP (PM 30339494)	High Pressure- 150W 16000L SL
6290	S/S LATE HARVEST PLACE 50' W/O WINTER WHEAT LANE, LATHROP (PM 30339494)	High Pressure- 150W 16000L SL
6291	W/S ALMOND ORCHARD WAY 70' N/O WHEAT FIELD, LATHROP (PM 30339494)	High Pressure- 150W 16000L SL
6292	N/S LATE HARVEST PLACE 20' W/O STRAWBERRY GLEN STREET, LATHROP (PM 30339494)	High Pressure- 150W 16000L SL
6293	E/S STRAWBERRY GLEN STREET 117' N/O LATE HARVEST PLACE, LATHROP (PM 30339494)	High Pressure- 150W 16000L SL
6294	W/S LATE HARVEST PLACE 95' N/O LONE SUMMIT LANE, LATHROP (PM 30339494)	High Pressure- 150W 16000L SL

6295	W/S STRAWBERRY GLEN STREET 60' N/O WHEAT FIELD STREET, LATHROP (PM 30339494)	High Pressure- 150W 16000L SL
6296	W/S LATE HARVEST PLACE 10' N/O TOBIN LANE, LATHROP (PM 30339494)	High Pressure- 150W 16000L SL
6297	W/S WHEAT STREET 195' S/O BROOKHURST BLVD., LATHROP (PM 30339494)	High Pressure- 150W 16000L SL
6298	W/S LATE HARVEST PLACE 8' S/O EVA LANE, LATHROP (PM 30339494)	High Pressure- 150W 16000L SL
6299	W/S INDIAN SUMMER WAY OPPOSITE BROOKHURST BLVD. LATHROP (PM 30339494)	High Pressure- 150W 16000L SL
6300	E/S LATE HARVEST PLACE 85' S/O BROOKHURST BLVD, LATHROP (PM 30339494)	High Pressure- 150W 16000L SL
6301	W/S LATE HARVEST 15' N/O STRAWBERRY GLEN STREET, LATHROP (PM 30339494)	High Pressure- 150W 16000L SL
6302	E/S STRAWBERRY GLEN STREET 20' N/O INDIAN SUMMER WAY, LATHROP (PM 30339494)	High Pressure- 150W 16000L SL
6303	N/S STRAWBERRY GLEN STREET 80' N/O INDIAN SUMMER WAY, LATHROP (PM 30339494)	High Pressure- 150W 16000L SL
6304	W/S INDIAN SUMMER WAY OPPOSITE STRAWBERRY GLEN STREET, LATHROP (PM 30339494)	High Pressure- 150W 16000L SL
6305	W/S INDIAN SUMMER WAY 118' N/O STRAWBERRY GLEN STREET, LATHROP (PM 30339494)	High Pressure- 150W 16000L SL
6306	W/S INDIAN SUMMER WAY 415' N/O STRAWBERRY GLEN STREET, LATHROP (PM 30339494)	High Pressure- 150W 16000L SL
6307	W/S INDIAN SUMMER WAY 285' S/O BROOKHURST BLVD, LATHROP (PM 30339494)	High Pressure- 150W 16000L SL
6308	W/S INDIAN SUMMER WAY 123' S/O BROOKHURST BLVD, LATHROP (PM 30339494)	High Pressure- 150W 16000L SL
6309	W/S INDIAN SUMMER WAY 115' N/O BROOKHURST BLVD, LATHROP (PM 30339494)	High Pressure- 150W 16000L SL
6310	E/S INDIAN SUMMER 95' S/O BRAMBLEWOOD AVENUE, LATHROP (PM 30339494)	High Pressure- 150W 16000L SL
6311	W/S INDIAN SUMMER 130' N/O BRAMBLEWOOD AVENUE, LATHROP (PM 30339494)	High Pressure- 150W 16000L SL
6313	S/S BROOKHURST BLVD 215' W/O MANTHEY RD, (LATHROP 30347422)	High Pressure- 150W 16000L SL
6314	S/S BROOKHURST BLVD 12' E/O GOLDEN VALLEY PARK, (LATHROP 30347422)	High Pressure- 150W 16000L SL
6315	S/S BROOKHURST BLVD 50' W/O GOLDEN VALLEY PARK, (LATHROP 30347422)	High Pressure- 150W 16000L SL
6316	S/S BROOKHURST BLVD 235' W/O GOLDEN VALLEY PARK, (LATHROP 30347422)	High Pressure- 150W 16000L SL
6317	S/S BROOKHURST BLVD 22' E/O FARM HOUSE, (LATHROP 30347422)	High Pressure- 150W 16000L SL
6318	S/S BROOKHURST BLVD 120' E/O MCKEE BLVD, (LATHROP 30347422)	High Pressure- 150W 16000L SL
6319	S/S RIVER ISLANDS PKWY 2525' E/O MCKEE BLVD, LATHROP	High Pressure- 150W 16000L SL
6320	S/S RIVER ISLANDS PKWY 2325' E/O MCKEE BLVD, LATHROP	High Pressure- 150W 16000L SL
6321	S/S RIVER ISLANDS PKWY 2125' E/O MCKEE BLVD, LATHROP	High Pressure- 150W 16000L SL
6322	W/S MCKEE BLVD 285' S/O CRESCENT MOON DR., LATHROP (PM 30339493)	High Pressure- 100W 9500L SL
6323	W/S MCKEE BLVD 100' S/O CRESCENT MOON DR., LATHROP (PM 30339493)	High Pressure- 150W 16000L SL
6324	W/S MCKEE BLVD OPPOSITE CRESCENT MOON DR, LATHROP (PM 30339493)	High Pressure- 150W 16000L SL
6325	W/S MCKEE BLVD 215' N/O CRESCENT MOON DR, LATHROP (PM 30339493)	High Pressure- 150W 16000L SL
6326	E/S MCKEE BLVD 400' N/O CRESCENT MOON DR., LATHROP (PM 30339493)	High Pressure- 150W 16000L SL
6327	W/S MCKEE BLVD OPPOSITE AUTUMN RAIN DR, LATHROP (PM 30339493)	High Pressure- 150W 16000L SL
6328	N/S AUTUMN RAIN DR OPPOSITE MILL STONE WAY, LATHROP (PM 30339493)	High Pressure- 100W 9500L SL
6329	W/S MILL STONE WAY 85' S/O AUTUMN RAIN DR., LATHROP (PM 30339493)	High Pressure- 100W 9500L SL
6330	W/S MILL STONE WAY 210' N/O CRESCENT MOON DR, LATHROP (PM 30339493)	High Pressure- 100W 9500L SL
6331	E/S MILL STONE WY 50' N/O CRESCENT MOON DR, LATHROP (PM 30339493)	High Pressure- 100W 9500L SL
6332	S/S CRESCENT MOON DR OPP MILL STONE WAY, LATHROP (PM 30339493)	High Pressure- 100W 9500L SL
6333	N/S CRESCENT MOON DR 85' W/O PHEASANT DOWNS RD, LATHROP (PM 30339493)	High Pressure- 100W 9500L SL
6334	S/S CRESCENT MOON DR 55' W/O STONE CELLAR WY, LATHROP (PM 30339493)	High Pressure- 100W 9500L SL
6335	E/S PHEASANT DOWNS RD 50' N/O CRESCENT MOON DR, LATHROP (PM 30339493)	High Pressure- 100W 9500L SL
6336	W/S PHEASANT DOWNS RD OPP PHEASANT DOWNS RD, LATHROP (PM 30339493)	High Pressure- 100W 9500L SL
6337	E/S PHEASANT DOWNS RD 210' S/O AUTUMN RAIN DR, LATHROP (PM 30339493)	High Pressure- 100W 9500L SL
6338	W/S PHEASANT DOWNS RD 58' S/O AUTUMN RAIN DR, LATHROP (PM 30339493)	High Pressure- 100W 9500L SL
6339	S/S AUTUMN RAIN DR 85' W/O PHEASANT DOWNS DR, LATHROP (PM 30339493)	High Pressure- 100W 9500L SL
6340	S/S AUTUMN RAIN DR 80' W/O STONE CELLAR WAY, LATHROP (PM 30339493)	High Pressure- 100W 9500L SL
6341	W/S STONE CELLAR WAY 55' S/O AUTUMN RAIN DR, LATHROP (PM 30339493)	High Pressure- 100W 9500L SL
6342	E/S STONE CELLAR WAY 215' S/O AUTUMN RAIN DR, LATHROP (PM 30339493)	High Pressure- 100W 9500L SL
6343	W/S STONE CELLAR WAY 245' N/O CRESCENT MOON DR, LATHROP (PM 30339493)	High Pressure- 100W 9500L SL
6344	E/S STONE CELLAR WAY 80' N/O CRESCENT MOON DR, LATHROP (PM 30339493)	High Pressure- 100W 9500L SL
6345	S/E COR CRESCENT MOON DR AND FERNDALE STREET, LATHROP (PM 30339493)	High Pressure- 100W 9500L SL
6346	W/S FERNDALE ST 80' N/O CRESCENT MOON DR, LATHROP (PM 30339493)	High Pressure- 100W 9500L SL
6347	E/S FERNDALE ST 245' N/O CRESCENT MOON DR, LATHROP (PM 30339493)	High Pressure- 100W 9500L SL
6348	W/S FERNDALE ST 240' S/O AUTUMN RAIN DR, LATHROP (PM 30339493)	High Pressure- 100W 9500L SL
6349	E/S FERNDALE ST 80' S/O AUTUMN RAIN DR, LATHROP (PM 30339493)	High Pressure- 100W 9500L SL
6350	N/E COR AUTUMN RAIN DR AND FERNDALE STREET, LATHROP (PM 30339493)	High Pressure- 100W 9500L SL
6351	S/S AUTUMN RAIN DR 85' E/O STONE CELLAR WAY, LATHROP (PM 30339493)	High Pressure- 100W 9500L SL
6352	E/S MCKEE BLVD 195' N/O AUTUMN RAIN DR, (LATHROP 30347422)	High Pressure- 150W 16000L SL
6353	S/E COR MCKEE BLVD & TOWNE CENTRE, (LATHROP 30347422)	High Pressure- 150W 16000L SL
6354	S/S COR MCKEE BLVD & TOWNE CENTRE, (LATHROP 30347422)	High Pressure- 150W 16000L SL
6355	S/S TOWNE CENTRE 180' W/O MCKEE BLVD, (LATHROP 30347422)	High Pressure- 150W 16000L SL
6356	S/S TOWNE CENTRE 360' W/O MCKEE BLVD, (LATHROP 30347422)	High Pressure- 150W 16000L SL
6370	CADMI ST 79' S/O SLATE ST PM30348822 STONEBRIDGE UNIT 8	High Pressure- 100W 9500L SL
6371	TRAVERTINE AVE 225' W/O CADMIA ST	High Pressure- 100W 9500L SL
6372	TRAVERTINE AVE 160' E/O CADMIA ST	High Pressure- 100W 9500L SL
6373	TRAVERTINE AVE 337' E/O CADMIA ST	High Pressure- 100W 9500L SL
6374	TRAVERTINE AVE OPP CADMIA ST (PM 30348822)	High Pressure- 100W 9500L SL
6375	PIPESTONE ST 131' N/O DEERWOOD WY (PM 30348822)	High Pressure- 100W 9500L SL
6376	PIPESTONE ST OPP DEERWOOD WY (PM 30348822)	High Pressure- 100W 9500L SL
6377	PIPESTONE ST 188' S/O DEERWOOD WY (PM 30348822)	High Pressure- 100W 9500L SL
6378	S/S PIPESTONE ST AT MAGNETITE AVE (PM 30348822)	High Pressure- 100W 9500L SL
6379	S/S MAGNETITE AVE OPP BASALT CT (PM 30348822)	High Pressure- 100W 9500L SL
6380	N/S MAGNETITE AVE 195' W/O BASALT CT (PM 30348822)	High Pressure- 100W 9500L SL
6381	W/S GALENA ST AT MAGNETITE AVE (PM 30348822)	High Pressure- 100W 9500L SL
6382	E/S GALENA ST 182' N/O MAGNETITE AVE (PM 30348822)	High Pressure- 100W 9500L SL
6383	W/S GALENA ST 69' S/O ARGILLITE AVE (PM 30348822)	High Pressure- 100W 9500L SL
6384	N/S ARGILLITE AVE 43' E/O GALENA ST (PM 30348822)	High Pressure- 100W 9500L SL
6385	S/S ARGILLITE AVE 316' W/O PIPESTONE ST (PM 30348822)	High Pressure- 100W 9500L SL
6386	N/S GALENA ST 88' W/O PIPESTONE ST (PM 30348822)	High Pressure- 100W 9500L SL
6387	W/S BASALT CT 125' N/O MAGNETITE AVE (PM 30348822)	High Pressure- 100W 9500L SL
6388	END OF BASALT CT (PM 30348822)	High Pressure- 100W 9500L SL
6389	SS TOWNE CENTRE 215' W/O GOLDEN SPIKE TRAIL, STOCKTON (LATHROP 30347422)	240V-High Pressure-150W 16000L
6390	S/ S RIVER ISL PKWY 77' E/O GOLDEN VALLEY PKWY	High Pressure- 100W 9500L SL
6391	S/S RIVER ISL PKWY 120' W/O GOLDEN VALLEY PKWY	High Pressure- 150W 16000L SL
6392	MEDIAN, RIVER ISL PK, 280' W/O GOLDEN VALLEY PKV	240V-High Pressure-250W 25500L
6392	MEDIAN, RIVER ISL PKWY, 280' W/O GOLDEN VALLEY PKV	240V-High Pressure-250W 25500L
6393	MEDIAN, RIVER ISL PKWY, 475' W/O GOLDEN VALLEY PKWY	240V-High Pressure-250W 25500L

6393	MEDIAN RIVER ISL PKWY, 475' W/O GOLDEN VALLEY PK PM 30325902	240V-High Pressure-250W 25500L
6394	MEDIAN, RIVER ISL PKWY, 475' W/O GOLDEN VALLEY PKWY	240V-High Pressure-250W 25500L
6394	MEDIAN RIVER ISL PKWY, 670' W/O GOLDEN VALLEY PK PM 30325902	240V-High Pressure-250W 25500L
6395	MEDIAN RIVER ISL PKWY, 670' W/O GOLDEN VALLEY PK PM 30325902	240V-High Pressure-250W 25500L
6395	MEDIAN, RIVER ISL PKWY, 860' W/O GOLDEN VALLEY PK PM 30325902	240V-High Pressure-250W 25500L
6396	MEDIAN, RIVER ISL PKWAY, .920' E/O MCKEE RD PM 30325902	240V-High Pressure-250W 25500L
6396	MEDIAN, RIVER ISL PKWAY, .920' E/O MCKEE RD PM 30325902	240V-High Pressure-250W 25500L
6397	MEDIAN, RIVER ISL PKWY, 710' E/O MCKEE RD PM 30325902	240V-High Pressure-250W 25500L
6397	MEDIAN, RIVER ISL PKWY, 710' E/O MCKEE RD PM 30325902	240V-High Pressure-250W 25500L
6398	MEDIAN, RIVER ISL PKWY, 495' E/O MCKEE RD PM 30325902	240V-High Pressure-250W 25500L
6398	MEDIAN, RIVER ISL PKWY, 495' E/O MCKEE RD PM 30325902	240V-High Pressure-250W 25500L
6399	N/S RIVER ISLANDS PKWY 200' E/O MCKEE BLVD / PM# 30364912	240V-High Pressure-250W 25500L
6399		240V-High Pressure-250W 25500L
6400	E/S MCKEE BLVD @ RIVER ISLANDS PKWY ISLAND, LATHROP	High Pressure- 150W 16000L SL
6400	MEDIAN, RIVER ISL PKWY, 65' E/O MCKEE RD	240V-High Pressure-250W 25500L
6401	W/S MCKEE BLVD @ RIVERS ISLAND PKWY ISLAND, LATHROP	High Pressure- 150W 16000L SL
6401	MEDIAN, RIVER ISL PKWY, 60' W/O MCKEE RD	240V-High Pressure-250W 25500L
6402	CENTER ISLAND MCKEE BLVD @ RIVER ISLANDS PKWY	High Pressure- 150W 16000L SL
6402	MEDIAN, MCKEE 84' N/O RIVER ISL PRKY	240V-High Pressure-250W 25500L
6403	MCKEE BLVD @ RED BARN PL ISLAND, LATHROP	High Pressure- 150W 16000L SL
6403	MEDIAN, MCKEE RD OPP RED BARN PM 30325902	240V-High Pressure-250W 25500L
6404	W/S MCKEE BLVD 25' S/O HOMESTEAD AVE, LATHROP	High Pressure- 150W 16000L SL
6405	E/S MCKEE BLVD 25' N/O HOMESTEAD AVE, LATHROP	High Pressure- 150W 16000L SL
6406	W/S MCKEE BLVD 100' N/O HOMESTEAD AVE, LATHROP	High Pressure- 150W 16000L SL
6407	E/S MCKEE BLVD 50' S/O STAGE COACH DR, LATHROP	High Pressure- 150W 16000L SL
6408	W/S MCKEE BLVD @ STAGE COACH DR, LATHROP	High Pressure- 150W 16000L SL
6409	E/S MCKEE BLVD 50' N/O STAGE COACH DR, LATHROP	High Pressure- 150W 16000L SL
6410	W/S MCKEE BLVD @ PIONEER AVE, LATHROP	High Pressure- 150W 16000L SL
6411	E/S MCKEE BLVD 25' S/O BARBARA TERRY BLVD, LATHROP	High Pressure- 150W 16000L SL
6412	MCKEE BLVD @ S/S RIVER ISLANDS PKWY ISLAND, LATHROP M	High Pressure- 150W 16000L SL
6412	MEDIAN, MCKEE RD 82' S/O RIVER ISL PKWY PM 30325902	240V-High Pressure-250W 25500L
6413	MCKEE BLVD 100' S/O RIVER ISLANDS PKWY ISLAND, LATHROP	High Pressure- 150W 16000L SL
6413	MEDIAN, MCKEE RD 240' S/O RIVER ISL PKWY PM 30325902	240V-High Pressure-250W 25500L
6414	MCKEE BLVD 100' N/O VILLAGE AVE ISLAND, LATHROP	High Pressure- 150W 16000L SL
6414	MEDIAN, MCKEE RD 200' N/O VILLAGE AVE PM 30325902	240V-High Pressure-250W 25500L
6415	MCKEE BLVD @ N/S VILLAGE AVE ISLAND, LATHROP	High Pressure- 150W 16000L SL
6415	MEDIAN, MCKEE RD 40' N/O VILLAGE AVE PM 30325902	240V-High Pressure-250W 25500L
6416	VILLAGE AVE @ E/S MCKEE BLVD, LATHROP	High Pressure- 150W 16000L SL
6416	MEDIAN, MCKEE RD, EAST ENTRANCE VILLAGE AVE PM 30325902	240V-High Pressure-250W 25500L
6417	VILLAGE AVE @ W/S MCKEE BLVD, LATHROP	High Pressure- 150W 16000L SL
6417	MEDIAN, MCKEE RD, WEST ENTRANCE VILLAGE AVE PM 30325902	240V-High Pressure-250W 25500L
6418	MCKEE BLVD @ S/S VILLAGE AVE, LATHROP	High Pressure- 150W 16000L SL
6418	MEDIAN, MCKEE RD, 40' S/O VILLAGE AVE PM 30325902	240V-High Pressure-250W 25500L
6419	MCKEE BLVD 100' S/O VILLAGE AVE, LATHROP	High Pressure- 150W 16000L SL
6419	MEDIAN, MCKEE RD 190' S/O VILLAGE AVE PM 30325902	240V-High Pressure-250W 25500L
6420	CENTER ISLAND MCKEE BLVD 100' N/O JOHNSON FERRY RD	High Pressure- 150W 16000L SL
6420	MEDIAN, MCKEE RD, 190' S/O VILLAGE AVE PM 30325902	240V-High Pressure-250W 25500L
6421	MCKEE BLVD @ N/S JOHNSON FERRY RD, LATHROP	High Pressure- 150W 16000L SL
6421	MEDIAN, MCKEE RD 40' N/O JOHNSON FERRY RD PM 303259052	240V-High Pressure-250W 25500L
6422	ISLAND VILLAGE AVE @ E/S ORE CLAIM TRL, LATHROP	High Pressure- 100W 9500L SL
6422	MEDIAN, VILLAGE AVE E/S ORE CLAIM PM 30325902	240V-High Pressure-250W 25500L
6423	S/S VILLAGE AVE 75' E/O FORTY NINER TRL, LATHROP	High Pressure- 100W 9500L SL
6424	N/S VILLAGE AVE 25' W/O FORTY NINER TRL, LATHROP	High Pressure- 100W 9500L SL
6425	S/S VILLAGE AVE 25' E/O GOLD NUGGET TRL, LATHROP	High Pressure- 100W 9500L SL
6426	N/S VILLAGE AVE 75' W/O GOLD NUGGET TRL, LATHROP	High Pressure- 100W 9500L SL
6427	GREEN PLAZA 75' E/O SETTLER TRL, LATHROP	High Pressure- 100W 9500L SL
6428	GREEN PLAZA 10' W/O SETTLER TRL, LATHROP	High Pressure- 100W 9500L SL
6429	GREEN PLAZA 10' E/O TRAIN STATION CT, LATHROP	High Pressure- 100W 9500L SL
6430	GREEN PLAZA 75' W/O TRAIN STATION CT, LATHROP	High Pressure- 100W 9500L SL
6431	W/S GREEN PLAZA 10' S/O VILLAGE AVE, LATHROP	High Pressure- 100W 9500L SL
6432	S/S GREEN PLAZA 25' W/O GOLDEN SPIKE TRAIL, LATHROP (30394778)	High Pressure- 100W 9500L SL
6432	GREEN PLAZA 10' W/O GOLDEN SPIKE TRL, LATHROP	High Pressure- 100W 9500L SL
6433	GREEN PLAZA 75' GOLD SPIKE TRL, LATHROP	High Pressure- 100W 9500L SL
6434	GREEN PLAZA 10' E/O SIERRA MOUNTAIN TRL, LATHROP	High Pressure- 100W 9500L SL
6435	E/S GREEN PLAZA 10' S/O VILLAGE AVE, LATHROP	High Pressure- 100W 9500L SL
6436	S/S JOHNSON FERRY AT ORE CLAIM (30347422)	240V-High Pressure-150W 16000L
6437	S/S JOHNSON FERRY AT FORTY NINER (30347422)	240V-High Pressure-150W 16000L
6438	S/S JOHNSON FERRY RD 100' E/O FORTY NINER (30347422)	240V-High Pressure-150W 16000L
6439	S/S JOHNSON FERRY RD AT GOLD NUGGET (30347422)	240V-High Pressure-150W 16000L
6440	S/S JOHNSON FERRY RD AT SIERRA MOUNTAIN (30347422)	240V-High Pressure-150W 16000L
6441	N/S JOHNSON FERRY RD 100' E/O GOLDEN SPIKE TRAIL (30347422)	240V-High Pressure-150W 16000L
6442	W/S GOLDEN SPIKE TRAIL AT JOHNSON FERRY RD (30347422)	240V-High Pressure-150W 16000L
6443	W/S GOLDEN SPIKE TRAIL 200' S/O JOHNSON FERRY RD (30347422)	240V-High Pressure-150W 16000L
6444	E/S GOLDEN SPIKE TRAIL 450' S/O JOHNSON FERRY RD (30347422)	240V-High Pressure-150W 16000L
6445	W/S GOLDEN SPIKE TRAIL 40' N/O HAVENCREST TOWN CENTRE (30347422)	240V-High Pressure-150W 16000L
6446	W/S ENGLISH CTRY TRAIL 100' N/O JOHNSON FERRY (PM 30348830)	High Pressure- 100W 9500L SL
6447	E/S ENGLISH CTRY TRAIL 240' N/O JOHNSON FERRY (PM 30348830)	High Pressure- 100W 9500L SL
6448	W/S ENGLISH CTRY TRAIL 140' S/O VILLAGE AVE (PM 30348830)	High Pressure- 100W 9500L SL
6449	E/S ENGLISH CTRY TRAIL OPP VILLAGE AVE (PM 30348830)	High Pressure- 100W 9500L SL
6450	W/S ENGLISH CTRY TRAIL 140' N/O VILLAGE AVE (PM 30348830)	High Pressure- 100W 9500L SL
6451	W/S ENGLISH CTRY TRAIL 60' S/O NEW ENGLAND AVE (PM 30348830)	High Pressure- 100W 9500L SL
6452	N/S NEW ENGLAND AVE OPP VICTORIAN TRAIL (PM 30348830)	High Pressure- 100W 9500L SL
6453	W/S VICTORIAN TRAIL 70' S/O NEW ENGLAND AVE (PM 30348830)	High Pressure- 100W 9500L SL
6454	E/S VICTORIAN TRAIL 230' S/O NEW ENGLAND AVE (PM 30348830)	High Pressure- 100W 9500L SL
6455	W/S VICTORIAN TRAIL 240' N/O JOHNSON FERRY RD (PM 30348830)	High Pressure- 100W 9500L SL
6456	E/S VICTORIAN TRAIL 80' N/O JOHNSON FERRY RD (PM 30348830)	High Pressure- 100W 9500L SL

6457	E/S ORE CLAIM 160' N/O VILLAGE AVE (PM 30348832)	High Pressure- 100W 9500L SL
6458	W/S ORE CLAIM 280' N/O VILLAGE AVE (PM 30348832)	High Pressure- 100W 9500L SL
6459	S/S CLAIM STAKE 150' E/O FORTY NINER (PM 30348832)	High Pressure- 100W 9500L SL
6460	S/S CLAIM STAKE 130' W/O FORTY NINER (PM 30348832)	High Pressure- 100W 9500L SL
6461	S/S CLAIM STAKE 120' W/O GOLD NUGGET (PM 30348832)	High Pressure- 100W 9500L SL
6462	E/S FORTY NINER 200' S/O CLAIM STAKE, LATHROP (PM 30348830)	High Pressure- 100W 9500L SL
6463	W/S FORTY NINER 100' N/O VILLAGE AVE (PM 30348832)	High Pressure- 100W 9500L SL
6464	E/S GOLD NUGGET 90' N/O VILLAGE AVE (PM 30348832)	High Pressure- 100W 9500L SL
6465	W/S GOLD NUGGET 220' N/O VILLAGE AVE, LATHROP (PM 30348830)	High Pressure- 100W 9500L SL
6466	W/S SETTLER 130' S/O CLAIM STAKE (PM 30348832)	High Pressure- 100W 9500L SL
6467	E/S SETTLER 60' N/O VILLAGE CIR DR (PM 30348832)	High Pressure- 100W 9500L SL
6507	W/S MCKEE BLVD. 20' N/O APPLE GROVE, LATHROP (PM 30339494)	High Pressure- 100W 9500L SL
6508	W/S GOLDEN SPIKE TRAIL 85' S/O LATE HARVEST PL, LATHROP (PM 30339494)	High Pressure- 100W 9500L SL
6510	W/S INDIAN SUMMER WAY 290' N/O STRAWBERRY GLEN STREET, LATHROP (PM 30339494)	High Pressure- 100W 9500L SL
6511	E/S ORE CLAIM 160' S/O VILLAGE AVE, LATHROP (PM 30348831)	High Pressure- 100W 9500L SL
6512	W/S ORE CLAIM 280' S/O VILLAGE AVE, LATHROP (PM 30348831)	High Pressure- 100W 9500L SL
6513	W/S FORTY NINER, 180' S/O VILLAGE AVE., LATHROP (PM 30348831)	High Pressure- 100W 9500L SL
6514	W/S FORTY NINER 80' N/O JOHNSON FERRY RD, LATHROP (PM 30348831)	High Pressure- 100W 9500L SL
6515	E/S GOLD NUGGET 90' S/O VILLAGE AVE, LATHROP (PM 30348831)	High Pressure- 100W 9500L SL
6516	W/S GOLD NUGGET 190' S/O VILLAGE AVE, LATHROP (PM 30348831)	High Pressure- 100W 9500L SL
6517	E/S SIERRA MTN 80' S/O VILLAGE AVE, LATHROP (PM 30348831)	High Pressure- 100W 9500L SL
6518	W/S SIERRA MTN 180' S/O VILLAGE AVE, LATHROP (PM 30348831)	High Pressure- 100W 9500L SL
6519	E/S MILL STONE WAY 215' S/O AUTUMN RAIN DRIVE, LATHROP (PM 30339493)	High Pressure- 100W 9500L SL
6520	S/S CRESCENT MOON DR OPP STONE CELLAR WAY, LATHROP (PM 30339493)	High Pressure- 100W 9500L SL
6521	S/W COR. DAFFODIL HILL STREET & APPLE GROVE, LATHROP (PM 30339493)	High Pressure- 100W 9500L SL
6522	N/S AUTUMN RAIN DR OPPOSITE STONE CELLAR WAY, LATHROP (PM 30339493)	High Pressure- 100W 9500L SL
6523	S/S SLATE ST 200' E/O HARLAN RD, LATHROP (30348823)	High Pressure- 100W 9500L SL
6524	E/S HARLAN RD 70' S/O SLATE ST	240V-High Pressure-250W 25500L
6525	E/S HARLAN RD 290' S/O SLATE ST	240V-High Pressure-250W 25500L
6526	E/S HARLAN RD 510' S/O SLATE ST	240V-High Pressure-250W 25500L
6527	E/S HARLAN RD 730' S/O SLATE ST	240V-High Pressure-250W 25500L
6528	E/S HARLAN RD 1170' S/O SLATE ST	240V-High Pressure-250W 25500L
6529	E/S HARLAN RD 1170' S/O SLATE ST	240V-High Pressure-250W 25500L
6530	E/S HARLAN RD 440' N/O STONEBRIDGE LN	240V-High Pressure-250W 25500L
6531	E/S HARLAN RD 220' N/O STONEBRIDGE LN	240V-High Pressure-250W 25500L
6532	E/S HARLAN RD, 170' S/O STONEBRIDGE LANE	240V-High Pressure-250W 25500L
6533	E/S HARLAN RD, 385' S/O STONEBRIDGE LANE	240V-High Pressure-250W 25500L
6534	E/S HARLAN RD, 600' S/O STONEBRIDGE LANE	240V-High Pressure-250W 25500L
6535	E/S HARLAN RD, 815' S/O STONEBRIDGE LANE	240V-High Pressure-250W 25500L
6546	S/S TOWNE CENTRE 80' E/O MCKEE BLVD, (LATHROP 30347422)	High Pressure- 150W 16000L SL
6547	N/E COR TOWNE CENTRE & MCKEE BLVD, (LATHROP 30347422)	High Pressure- 150W 16000L SL
6548	N/W COR TOWNE CENTRE & MCKEE BLVD, (LATHROP 30347422)	High Pressure- 150W 16000L SL
6550	DUPLEX CNTR GOLDEN VALLY PKWY 10' S/O BROOKHURST, (LATHROP 30347422)	240V-High Pressure-250W 25500L
6550	DUPLEX CNTR GOLDEN VALLEY PKWY 10' S/O BROOKHURST, (LATHROP 30347422)	240V-High Pressure-250W 25500L
6551	S/S TOWNE CENTRE 130' W/O MCKEE BLVD, (LATHROP 30347422)	High Pressure- 150W 16000L SL
6552	N/S TOWNE CENTRE DR 100' W/O MCKEE BLVD, LATHROP	240V-High Pressure-150W 16000L
6553	S/S TOWNE CENTRE DR 200' W/O MCKEE BLVD, LATHROP	240V-High Pressure-150W 16000L
6554	N/S TOWNE CENTRE DR 125' W/O RAIL WY, LATHROP	240V-High Pressure-150W 16000L
6555	S/S TOWNE CENTRE DR 50' W/O IRON HORSE TRL, LATHROP	240V-High Pressure-150W 16000L
6556	N/S TOWNE CENTRE DR 150' W/O IRON HORSE TRL, LATHROP	240V-High Pressure-150W 16000L
6557	S/S TOWNE CENTRE DR 250' E/O VILLAGE AVE, LATHROP	240V-High Pressure-150W 16000L
6558	N/S TOWNE CENTRE DR 100' E/O VILLAGE AVE, LATHROP	240V-High Pressure-150W 16000L
6559	S/S TOWNE CENTRE DR @ VILLAGE AVE, LATHROP	240V-High Pressure-150W 16000L
6560	N/S BARBARA TERRY BLVD 25' E/O MCKEE BLVD, LATHROP	240V-High Pressure-150W 16000L
6561	S/S BARBARA TERRY BLVD 150' E/O MCKEE BLVD, LATHROP	240V-High Pressure-150W 16000L
6562	N/S BARBARA TERRY BLVD 250' E/O MCKEE BLVD, LATHROP	240V-High Pressure-150W 16000L
6563	S/S BARBARA TERRY BLVD 150' W/O ADOBE WY, LATHROP	240V-High Pressure-150W 16000L
6564	N/S BARBARA TERRY BLVD @ ADOBE WY, LATHROP	240V-High Pressure-150W 16000L
6565	N/S BARBARA TERRY BLVD 100' W/O MCKEE BLVD, LATHROP	240V-High Pressure-150W 16000L
6566	S/S BARBARA TERRY BLVD 275' W/O MCKEE BLVD, LATHROP	240V-High Pressure-150W 16000L
6567	N/S BARBARA TERRY BLVD 450' W/O MCKEE BLVD, LATHROP	240V-High Pressure-150W 16000L
6568	S/S BARBARA TERRY BLVD 600' W/O MCKEE BLVD, LATHROP	240V-High Pressure-150W 16000L
6569	N/S BARBARA TERRY BLVD 500' E/O MARSH RD, LATHROP	240V-High Pressure-150W 16000L
6570	S/S BARBARA TERRY BLVD 350' E/O MARSH RD, LATHROP	240V-High Pressure-150W 16000L
6571	N/S BARBARA TERRY BLVD 200' E/O MARSH RD, LATHROP	240V-High Pressure-150W 16000L
6572	N/S BARBARA TERRY BLVD 50' E/O MARSH RD, LATHROP	240V-High Pressure-150W 16000L
6573	W/S MARSH RD 75' N/O BARBARA TERRY BLVD, LATHROP	240V-High Pressure-150W 16000L
6574	N/S SHELTERED COVE @ MARSH RD, LATHROP	240V-High Pressure-150W 16000L
6575	N/S BARBARA TERRY BLVD 175' W/O MARSH RD, LATHROP	240V-High Pressure-150W 16000L
6576	N/S BARBARA TERRY BLVD 325' W/O MARSH RD, LATHROP	240V-High Pressure-150W 16000L
6577	N/S BARBARA TERRY BLVD 500' W/O MARSH RD, LATHROP	240V-High Pressure-150W 16000L
6578	N/S BARBARA TERRY BLVD 425' E/O W LATHROP RD, LATHROP	240V-High Pressure-150W 16000L
6579	BARBARA TERRY BLVD 250' E/O W LATHROP RD, LATHROP	240V-High Pressure-150W 16000L
6580	N/S BARBARA TERRY BLVD 100' E/O W LATHROP RD, LATHROP	240V-High Pressure-150W 16000L
6581	N/S BARBARA TERRY BLVD 25' W/O W LATHROP RD, LATHROP	240V-High Pressure-150W 16000L
6582	W/S W LATHROP RD 50' N/O BARBARA TERRY BLVD, LATHROP	240V-High Pressure-150W 16000L
6583	E/S W LATHROP RD 200' N/O BARBARA TERRY BLVD, LATHROP	240V-High Pressure-150W 16000L
6584	E/S W LATHROP RD 350' N/O BARBARA TERRY BLVD, LATHROP	240V-High Pressure-150W 16000L
6585	E/S W LATHROP RD 540' N/O BARBARA TERRY BLVD, LATHROP	240V-High Pressure-150W 16000L
6586	E/S W LATHROP RD 700' N/O BARBARA TERRY BLVD, LATHROP	240V-High Pressure-150W 16000L
6587	E/S W LATHROP RD 850' N/O BARBARA TERRY BLVD, LATHROP	240V-High Pressure-150W 16000L
6588	W/S W LATHROP RD 625' S/O HIDDEN COVE PL, LATHROP	240V-High Pressure-150W 16000L
6589	E/S W LATHROP RD 475' S/O HIDDEN COVE PL, LATHROP	240V-High Pressure-150W 16000L
6590	W/S W LATHROP RD 275' S/O HIDDEN COVE PL, LATHROP	240V-High Pressure-150W 16000L
6590	S/S RIVER ISLANDS PKWY 1935' E/O MCKEE BLVD (TEMPORARY), LATHROP	High Pressure- 150W 16000L SL
6591	E/S W LATHROP RD 150' S/O HIDDEN COVE PL, LATHROP	240V-High Pressure-150W 16000L

6591	S/S RIVER ISLANDS PKWY 1725' E/O MCKEE BLVD (TEMPORARY), LATHROP	High Pressure- 150W 16000L SL
6592	E/S MCKEE BLVD 75' N/O BARBARA TERRY BLVD, LATHROP	240V-High Pressure-150W 16000L
6592	RIVER ISLANDS PKWY 1565' E/O MCKEE BLVD, LATHROP	High Pressure- 150W 16000L SL
6593	N/S CRESCENT PARK CIR @ MCKEE BLVD, LATHROP	240V-High Pressure-150W 16000L
6593	RIVER ISLANDS PKWY 1370' E/O MCKEE BLVD, LATHROP	High Pressure- 150W 16000L SL
6594	RIVER ISLANDS PKWY 1175' E/O MCKEE BLVD, LATHROP	High Pressure- 150W 16000L SL
6594	N/S AUTUMN RAIN DR OPP PLEASANT DOWNS ROAD, LATHROP (PM 30339493)	High Pressure- 100W 9500L SL
6595	RIVER ISLANDS PKWY 975' E/O MCKEE BLVD, LATHROP	High Pressure- 150W 16000L SL
6595	N/S CRESENT MOON DR 80' E/O PLEASANT DOWNS RD, LATHROP (PM 30339493)	High Pressure- 100W 9500L SL
6596	RIVER ISLANDS PKWY 875' E/O MCKEE BLVD, LATHROP	High Pressure- 150W 16000L SL
6596	E/S ORE CLAIM 90' N/O JOHNSON FERRY RD, LATHROP (PM 30348830)	High Pressure- 100W 9500L SL
6597	RIVER ISLANDS PKWY 650' E/O MCKEE BLVD, LATHROP	High Pressure- 150W 16000L SL
6597	E/S FORTY NINER 60' S/O VILLAGE AVE, LATHROP (PM 30348830)	High Pressure- 100W 9500L SL
6598	RIVER ISLANDS PKWY 425' E/O MCKEE BLVD, LATHROP	High Pressure- 150W 16000L SL
6598	E/S FORTY NINER 270' S/O VILLAGE AVE, LATHROP (PM 30348830)	High Pressure- 100W 9500L SL
6599	RIVER ISLANDS PKWY 200' E/O MCKEE BLVD, LATHROP	High Pressure- 150W 16000L SL
6599	E/S GOLD NUGGET 200' N/O JOHNSON FERRY RD, LATHROP (PM 30348830)	High Pressure- 100W 9500L SL
6600	W/S GOLD NUGGET 80' N/O JOHNSON FERRY RD, LATHROP (PM 30348830)	High Pressure- 100W 9500L SL
6601	E/S SIERRA MOUNTAIN 90' N/O JOHNSON FERRY RD, LATHROP (PM 30348830)	High Pressure- 100W 9500L SL
6602	S/S STAGE COACH DR 100' E/O MCKEE BLVD, LATHROP	High Pressure- 100W 9500L SL
6603	N/S STAGE COACH DR 250' E/O MCKEE BLVD	High Pressure- 100W 9500L SL
6604	W/S PONY EXPRESS WAY 50' S/O STAGE COACH DR	High Pressure- 100W 9500L SL
6605	W/S PONY EXPRESS WAY 150' S/O STAGE COACH DR	High Pressure- 100W 9500L SL
6606	W/S OF PONY EXPRESS WY 300' S/O STAGE COACH DR	High Pressure- 100W 9500L SL
6607	S/S STAGE COACH DR 100' E/O PONY EXPRESS WY	High Pressure- 100W 9500L SL
6608	N/S STAGE COACH DR OPP PRAIRIE FIRE CT	High Pressure- 100W 9500L SL
6609	E/S SIDE OF PRAIRIE FIRE CT 75' OF STAGE COACH DR, LATHROP (30367012)	High Pressure- 100W 9500L SL
6610	W/SIDE OF PRAIRIE FIRE CT 225' S/O STAGE COACH, LATHROP (30367012)	High Pressure- 100W 9500L SL
6611	END OF PRAIRIE FIRE CT @ BULB, LATHROP (30367012)	High Pressure- 100W 9500L SL
6612	S/S STAGE COACH DR 50' W/O ADOBE ST	High Pressure- 100W 9500L SL
6613	S/E COR OF STAGE COACH DR / ADOBE WY, LATHROP (30367012)	High Pressure- 100W 9500L SL
6614	W/S ADOBE ST 110' S/O STAGE COACH DR	High Pressure- 100W 9500L SL
6615	E/SIDE OF ADOBE WY 275' OF STAGE COACH DR, LATHROP (30367012)	High Pressure- 100W 9500L SL
6616	W/SIDE OF ADOBE WY 150' N/O HOMESTEAD DR, LATHROP (30367012)	High Pressure- 100W 9500L SL
6617	N/E COR OF ADOBE WY / HOMESTEAD DR, LATHROP (30367012)	High Pressure- 100W 9500L SL
6618	SW COR OF HOMESTEAD DR @ ADOBE WY, LATHROP (30367012)	High Pressure- 100W 9500L SL
6619	SE COR OF NEW WELL AVE AT ADOBE CT, LATHROP (30367012)	High Pressure- 100W 9500L SL
6620	S/E COR NEW WELL AVE @ ADOBE CT, LATHROP (30367012)	High Pressure- 100W 9500L SL
6621	S/S OF NEW WELL AVE 100' W/O ADOBE WY, LATHROP (30367012)	High Pressure- 100W 9500L SL
6622	END OF ADOBE CT 200' OF NEW WELL AVE, LATHROP (30367012)	High Pressure- 100W 9500L SL
6623	W/S ADOBE ST 100' N/O STAGE COACH DR	High Pressure- 100W 9500L SL
6624	E/S ADOBE ST OPP PIONEER DR	High Pressure- 100W 9500L SL
6625	N/S PIONEER DR 60' W/O ADOBE ST	High Pressure- 100W 9500L SL
6626	N/S PIONEER DR 180' W/O ADOBE ST	High Pressure- 100W 9500L SL
6627	S/S PIONEER DR 360' W/O ADOBE ST	High Pressure- 100W 9500L SL
6628	N/S PIONEER DR 160' E/O MCKEE BLVD	High Pressure- 100W 9500L SL
6629	N/S PIONEER DR 60' E/O MCKEE BLVD	High Pressure- 100W 9500L SL
6630	NE COR ORE CLAIM & CLAIM STAKE, LATHROP	High Pressure- 100W 9500L SL
6631	NS CLAIM STAKE OPP FORTY NINER, LATHROP (PM 30348832)	High Pressure- 100W 9500L SL
6632	W/S FORTY NINER, 80' S/O CLAIM STAKE, LATHROP (PM 30348832)	High Pressure- 100W 9500L SL
6633	NS CLAIM STAKE OPP GOLD NUGGET, LATHROP (PM 30348832)	High Pressure- 100W 9500L SL
6634	E/S GOLD NUGGET, 100' N/O VILLAGE AVE, LATHROP (PM 30348832)	High Pressure- 100W 9500L SL
6635	NW CORNER CLAIM STAKE & SETTLER, LATHROP (PM 30348832)	High Pressure- 100W 9500L SL
6636	E/S VICTORIAN TRAIL, 400' N/O JOHNSON FERRY RD, LATHROP (PM 30348832)	High Pressure- 100W 9500L SL
6637	S/S NEW ENGLAND AV, 120' W/O VICTORIAN TRAIL, LATHROP (PM 30348832)	High Pressure- 100W 9500L SL
6638	N/S NEW ENGLAND AVE AT ENGLISH CNTRY TRAIL, LATHROP (PM 30348832)	High Pressure- 100W 9500L SL
6657	W/S ADOBE ST 100' PIONEER DR	High Pressure- 100W 9500L SL
6670	S/E COR HOMESTEAD DR / PONY EXPRESS WY, LATHROP (30367012)	High Pressure- 100W 9500L SL
6671	HOMESTEAD DR SOUTH SIDE 100' W/O MCKEE BOULEVARD	High Pressure- 100W 9500L SL
6672	HOMESTEAD DR NORTH SIDE 200' WEST OF MCKEE BLVD	High Pressure- 100W 9500L SL
6673	HOMESTEAD DR SOUTH SIDE 225' EAST OF UPPER PASTURE	High Pressure- 100W 9500L SL
6674	HOMESTEAD DR NORTH SIDE 100' EAST OF UPPER PASTURE	High Pressure- 100W 9500L SL
6675	UPPER PASTURE TRAIL AT HOMESTEAD DR WEST SIDE	High Pressure- 100W 9500L SL
6676	UPPER PASTURE TRAIL EAST SIDE 100' SOUTH OF HOMESTEAD DR	High Pressure- 100W 9500L SL
6677	UPPER PASTURE TRAIL WEST SIDE AT RED BARN PLACE	High Pressure- 100W 9500L SL
6678	UPPER PASTURE CT EAST SIDE 100' SOUTH OF RED BARN PLACE	High Pressure- 100W 9500L SL
6679	UPPER PASTURE CT AT BULB	High Pressure- 100W 9500L SL
6680	RED BARN PL SOUTH SIDE 200' WEST OF PILGRIM CT	High Pressure- 100W 9500L SL
6681	RED BARN PL NORTH SIDE AT PILGRIM CT	High Pressure- 100W 9500L SL
6682	PILGRIM CT EAST SIDE 50' SOUTH OF RED BARN PL	High Pressure- 100W 9500L SL
6683	SOUTH END OF PILGRAM TRAIL CT.	High Pressure- 100W 9500L SL
6684	RED BARN PL SOUTH SIDE 100' EAST OF PILGRIM CT	High Pressure- 100W 9500L SL
6685	RED BARN PL NORTH SIDE 125' WEST OF MCKEE BLVD	High Pressure- 100W 9500L SL
6686	END OF NEW WELL CT @ BULB, LATHROP (30367012)	High Pressure- 100W 9500L SL
6687	S/S OF NEW WELL CT 300' W/O PONY EXPRESS WY, LATHROP (30367012)	High Pressure- 100W 9500L SL
6688	N/SIDE OF HOMESTEAD DR 130' E/O MCKEE BLVD, LATHROP (30367012)	High Pressure- 100W 9500L SL
6689	N/S OF NEW WELL AVE 125' W/O PONY EXPRESS WY, LATHROP (30367012)	High Pressure- 100W 9500L SL
6690	S/E COR OF PONY EXPRESS / NEW WELL AVE, LATHROP (30367012)	High Pressure- 100W 9500L SL
6691	E/S OF PONY EXPRESS WY 100' N/O NEW WELL AVE, LATHROP (30367012)	High Pressure- 100W 9500L SL
6692	N/S OF NEW WELL AVE 150' E/O PONY EXPRESS WY, LATHROP (30367012)	High Pressure- 100W 9500L SL
6693	S/S OF NEW WELL AVE 300' E/O PONY EXPRESS WY, LATHROP (30367012)	High Pressure- 100W 9500L SL
6694	N/S OF NEW WELL AVE 250' W/O ADOBE WY, LATHROP (30367012)	High Pressure- 100W 9500L SL
6697	N/S OF HOMESTEAD DR 175' W/O HOMESTEAD DR, LATHROP (30367012)	High Pressure- 100W 9500L SL
6698	S/S OF HOMESTEAD D 350' W/O ADOBE WY, LATHROP (30367012)	High Pressure- 100W 9500L SL
6699	N/SIDE OF HOMESTEAD DR 150' OF PONY EXPRESS, LATHROP (30367012)	High Pressure- 100W 9500L SL
6701	N/SIDE OF HOMESTEAD DR 100' W/O PONY EXPRESS, LATHROP (30367012)	High Pressure- 100W 9500L SL

6702	S/S OF HOMESTEAD @ INT OF WAON TRAIN CT, LATHROP (30367012)	High Pressure- 100W 9500L SL
6703	W/SIDE OF WAGON TRAIN CT 75' N/O HOMESTEAD DR, LATHROP (30367012)	High Pressure- 100W 9500L SL
6704	END OF WAGON TRAIN CT @ BULB, LATHROP (30367012)	High Pressure- 100W 9500L SL
6706	YOSEMITE/HWY 120 AND MCKINLEY SEC	240V-High Pressure-200W 22000L
6710	N/S SHELTERED COVE AT FERRY LAUNCH (PM 30378062)	High Pressure- 100W 9500L SL
6711	N/S FERRY LAUNCH 75' W/O ROCKY HARBOR (PM 30378062)	High Pressure- 100W 9500L SL
6712	S/S FERRY LAUNCH AT ROCKY HARBOR (PM 30378062)	High Pressure- 100W 9500L SL
6713	W/S ROCKY HARBOR 625' S/O CLOUDY BAY (PM 30378062)	High Pressure- 100W 9500L SL
6714	E/S ROCKY HARBOR 475' S/O CLOUDY BAY (PM 30378062)	High Pressure- 100W 9500L SL
6715	N/S FERRY LAUNCH AT SHELTERED COVE (PM 30378062)	High Pressure- 100W 9500L SL
6716	W/S SHELTERED COVE 75' N/O FERRY LAUNCH (PM 30378062)	High Pressure- 100W 9500L SL
6717	E/S SHELTERED COVE 175' N/O FERRY LAUNCH (PM 30378062)	High Pressure- 100W 9500L SL
6718	S/S FERRY LAUNCH 225' W/O ROCKY HARBOR (PM 30378062)	High Pressure- 100W 9500L SL
6719	W/S ROCKY HARBOR 325' S/O CLOUDY BAY (PM 30378062)	High Pressure- 100W 9500L SL
6720	E/S ROCKY HARBOR 175' S/O CLOUDY BAY (PM 30378062)	High Pressure- 100W 9500L SL
6721	W/S ROCKY HARBOR 50' S/O CLOUDY BAY (PM 30378062)	High Pressure- 100W 9500L SL
6722	S/S CLOUDY BAY 100' E/O ROCKY HARBOR (PM 30378062)	High Pressure- 100W 9500L SL
6723	E/S ROCKY HARBOR AT CLOUDY BAY (PM 30378062)	High Pressure- 100W 9500L SL
6724	W/S ROCKY HARBOR 225' S/O STEAMBOAT (PM 30378062)	High Pressure- 100W 9500L SL
6725	E/S ROCKY HARBOR 100' S/O STEAMBOAT (PM 30378062)	High Pressure- 100W 9500L SL
6726	S/S STEAMBOAT CRT (PM 30378062)	High Pressure- 100W 9500L SL
6727	E/S ROCKY HARBOR AT STEAMBOAT (PM 30378062)	High Pressure- 100W 9500L SL
6728	S/S RIVERBOAT 100' E/O ROCKY HARBOR (PM 30378062)	High Pressure- 100W 9500L SL
6729	N/S RIVERBOAT 250' E/O ROCKY HARBOR (PM 30378062)	High Pressure- 100W 9500L SL
6730	S/S ROCKY HARBOR AT RIVERBOAT (PM 30378062)	High Pressure- 100W 9500L SL
6731	S/S ROCKY HARBOR 100' E/O MOSSY POINT (PM 30378062)	High Pressure- 100W 9500L SL
6732	W/S MOSSY POINT AT ROCKY HARBOR (PM 30378062)	High Pressure- 100W 9500L SL
6733	W/S MOSSY POINT 350' N/O SHELTERED COVE (PM 30378062)	High Pressure- 100W 9500L SL
6734	E/S MOSSY POINT 200' N/O SHELTERED COVE (PM 30378062)	High Pressure- 100W 9500L SL
6735	MOSSY POINT EAST SIDE 75' NORTH OF SHELTERED COVE	High Pressure- 100W 9500L SL
6736	SHELTERED COVE SOUTH SIDE AT MOSSY POINT	High Pressure- 100W 9500L SL
6737	E/S SHELTERED COVE 275' N/O CLOUDY BAY (PM 30378062)	High Pressure- 100W 9500L SL
6738	E/S SHELTERED COVE 100' N/O CLOUDY BAY (PM 30378062)	High Pressure- 100W 9500L SL
6739	W/S SHELTERED COVE AT CLOUDY BAY (PM 30378062)	High Pressure- 100W 9500L SL
6740	100' E/O SHELTERED COVE ON CLOUDY BAY (PM 30378062)	High Pressure- 100W 9500L SL
6741	E/S SHELTERED COVE 500' N/O FERRY LAUNCH	High Pressure- 100W 9500L SL
6742	W/S SHELTERED COVE 350' N/O FERRY LAUNCH (PM 30378062)	High Pressure- 100W 9500L SL
6743	W/S SHELTERED COVE OPP. OLD WHARF PLACE	High Pressure- 100W 9500L SL
6744	S/O OLD WHARF PLACE 75' W/O SHELTERED COVE WEST	High Pressure- 100W 9500L SL
6745	N/S OF OLD WHARF PLACE 120' W/O SHELTERED COVE	High Pressure- 100W 9500L SL
6746	S/S OF OLD WHARF PLACE 280' W/O SHELTERED COVE	High Pressure- 100W 9500L SL
6747	S/S OF OLD WHARF PLACE 240' E/O SAND BAY WAY	High Pressure- 100W 9500L SL
6748	N/S OF OLD WHARF PLACE 100' E/O SAND BAY WAY	High Pressure- 100W 9500L SL
6749	S/S OF OLD WHARF PLACE OPP. SAND BAY WAY	High Pressure- 100W 9500L SL
6750	W/END OF OLD WHARF CT. 120' W/O SAND BAY WAY	High Pressure- 100W 9500L SL
6751	E/S SAND BAY WAY 100' N/O OLD WHARF PLACE	High Pressure- 100W 9500L SL
6752	W/S SAND BAY WAY OPP. TIDEWATER POINT	High Pressure- 100W 9500L SL
6753	S/S TIDEWATER POINT 80' E/O SAND BAY WAY	High Pressure- 100W 9500L SL
6754	N/S TIDEWATER POINT 180' E/O SAND BAY WAY	High Pressure- 100W 9500L SL
6755	S/S TIDEWATER POINT 330' E/O SAND BAY WAY	High Pressure- 100W 9500L SL
6756	N/S TIDEWATER POINT 80' W/O SHELTERED COVE	High Pressure- 100W 9500L SL
6757	W/S SAND BAY WAY 130' N/O TIDEWATER POINT	High Pressure- 100W 9500L SL
6758	W/S SAND BAY WAY 270' N/O TIDEWATER POINT	High Pressure- 100W 9500L SL
6759	S/S SAND BAY WAY 120' W/O SWEETWATER COURT	High Pressure- 100W 9500L SL
6760	N/S SAND BAY WAY OPP. SWEETWATER COURT	High Pressure- 100W 9500L SL
6761	E/S SWEETWATER COURT 80' S/O SAND BAY WAY	High Pressure- 100W 9500L SL
6762	W/S SWEETWATER COURT 180' S/O SAND BAY WAY	High Pressure- 100W 9500L SL
6763	S/S SAND BAY WAY 100' E/O SWEETWATER COURT	High Pressure- 100W 9500L SL
6764	N/S SAND BAY WAY 200' E/O SWEETWATER COURT	High Pressure- 100W 9500L SL
6765	E/S SHELTERED COVE 180' N/O SAND BAY WAY	High Pressure- 100W 9500L SL
6766	W/S SHELTERED COVE 180' N/O SAND BAY WAY	High Pressure- 100W 9500L SL
6767	SHELTERED COVE OPP. SAND BAY WAY	High Pressure- 100W 9500L SL
6768	W/S SHELTERED COVE 100' S/O SAND BAY WAY	High Pressure- 100W 9500L SL
6769	E/S SHELTERED COVE 216' S/O SAND DAY WAY	High Pressure- 100W 9500L SL
6770	W/S SHELTERED COVE 110' N/O TIDEWATER POINT	High Pressure- 100W 9500L SL
6771	SHELTERED COVE OPP. TIDEWATER POINT	High Pressure- 100W 9500L SL
6772	W/S SHELTERED COVE 100' S/O TIDEWATER POINT	High Pressure- 100W 9500L SL
6773	W/S W LATHROP RD @ HIDDEN COVE PL, LATHROP	240V-High Pressure-150W 16000L
6774	S/S HIDDEN COVE PL 75' E/O W LATHROP RD, LATHROP	240V-High Pressure-150W 16000L
6775	E/S W LATHROP RD 175' N/O HIDDEN COVE PL, LATHROP	240V-High Pressure-150W 16000L
6776	W/S W LATHROP RD 325' N/O HIDDEN COVE PL, LATHROP	240V-High Pressure-150W 16000L
6777	E/S W LATHROP RD 500' N/O HIDDEN COVE PL, LATHROP	240V-High Pressure-150W 16000L
6778	W/S W LATHROP RD 675' N/O HIDDEN COVE PL, LATHROP	240V-High Pressure-150W 16000L
6779	W/S W LATHROP RD 825' W/O HIDDEN COVE PL, LATHROP	240V-High Pressure-150W 16000L
6819	S/S CRESENT PARK CIR AT MC KEE BLVD, LATHROP (30382057)	High Pressure- 100W 9500L SL
6820	S/S CRESENT PARK CIR OPP FERRY LAUNCH RD, LATHROP (30382057)	High Pressure- 100W 9500L SL
6821	S/S FERRY LAUNCH RD 50' W/O CRESENT PARK CIR, LATHROP (30382057)	High Pressure- 100W 9500L SL
6822	N/S FERRY LAUNCH RD. 200' W/O CRESENT PARK CIR, LATHROP (30382057)	High Pressure- 100W 9500L SL
6823	S/S FERRY LAUNCH RD, OPP COVERED BRIDGE WY, LATHROP (30382057)	High Pressure- 100W 9500L SL
6824	N/S FERRY LAUNCH RD, 100' W/O COVERED BRIDGE WY, LATHROP (30382057)	High Pressure- 100W 9500L SL
6825	W/S COVERED BRIDGE WY, 80' N/O FERRY LAUNCH RD, LATHROP (30382057)	High Pressure- 100W 9500L SL
6826	E/S COVERED BRIDGE WY, 200' N/O FERRY LAUNCH RD, LATHROP (30382057)	High Pressure- 100W 9500L SL
6827	W/S COVERED BRIDGE WY, 320' N/O FERRY LAUNCH RD, LATHROP (30382057)	High Pressure- 100W 9500L SL
6828	E/S COVERED BRIDGE WY, 80' S/O CLOUDY BAY, LATHROP (30382057)	High Pressure- 100W 9500L SL
6829	S/S CLOUDY BAY, 100' W/O COVERED BRIDGE WY, LATHROP (30382057)	High Pressure- 100W 9500L SL
6830	N/E COR CLOUDY BAY & COVERED BRIDGE WY, LATHROP (30382057)	High Pressure- 100W 9500L SL

6831	S/S CLOUDY BAY, 120' E/O COVERED BRIDGE WY, LATHROP (30382057)	High Pressure- 100W 9500L SL
6832	W/S COVERED BRIDGE WY, 100' N/O CLOUDY BAY, LATHROP (30382057)	High Pressure- 100W 9500L SL
6833	E/S COVERED BRIDGE WY, 230' N/O CLOUDY BAY, LATHROP (30382057)	High Pressure- 100W 9500L SL
6834	W/S CRESCENT PARK CIR, 100' N/O FERRY LAUNCH RD, LATHROP (30382057)	High Pressure- 100W 9500L SL
6835	E/S CRESCENT PARK CIR, 220' N/O FERRY LAUNCH RD, LATHROP (30382057)	High Pressure- 100W 9500L SL
6836	W/S CRESCENT PARK CIR, 300' N/O FERRY LAUNCH RD, LATHROP (30382057)	High Pressure- 100W 9500L SL
6837	E/S CRESCENT PARK CIR, 120' S/O CLOUDY BAY, LATHROP (30382057)	High Pressure- 100W 9500L SL
6838	N/E COR CRESCENT PARK CIR, & CLOUDY BAY, LATHROP (30382057)	High Pressure- 100W 9500L SL
6839	S/S CLOUDY BAY 110' E/O CRESCENT PARK CIR, LATHROP (30382057)	High Pressure- 100W 9500L SL
6840	W/S CRESCENT PARK CIR 80' N/O CLOUDY BAY, LATHROP (30382057)	High Pressure- 100W 9500L SL
6841	E/S CRESCENT PARK CIR 180' N/O CLOUDY BAY, LATHROP (30382057)	High Pressure- 100W 9500L SL
6842	W/S CRESCENT PARK CIR 300', N/O CLOUDY BAY, LATHROP (30382057)	High Pressure- 100W 9500L SL
6843	S/END OF FOUR CORNERS CTS, LATHROP (30382057)	High Pressure- 100W 9500L SL
6844	W/S FOUR CORNERS CTS, 290' S/O CLOUDY BAY, LATHROP (30382057)	High Pressure- 100W 9500L SL
6845	E/S FOUR CORNERS CTS 180'S/O CLOUDY BAY, LATHROP (30382057)	High Pressure- 100W 9500L SL
6846	W/S FOUR CORNERS CTS, 100' S/O CLOUDY BAY, LATHROP (30382057)	High Pressure- 100W 9500L SL
6847	FOUR CORNERS CTS, OPP CLOUDY BAY, LATHROP (30382057)	High Pressure- 100W 9500L SL
6848	W/S FOUR CORNERS CTS, 150' N/O CLOUDY BAY, LATHROP (30382057)	High Pressure- 100W 9500L SL
6849	N/END OF FOUR CORNERS CTS, LATHROP (30382057)	High Pressure- 100W 9500L SL
6850	E/S CRESENT PARK CIR 30' S/O DRY CREEK PL, LATHROP (30382057)	High Pressure- 100W 9500L SL
6851	N/S DRY CREEK PL 100' W/O CRESCENT PARK CIR, LATHROP (30382057)	High Pressure- 100W 9500L SL
6852	S/S DRY CREEK PL 230' W/O CRESCENT PARK CIR, LATHROP (30382057)	High Pressure- 100W 9500L SL
6853	N/S DRY CREEK PL OPP COVERED BRIDGE WY, LATHROP (30382057)	High Pressure- 100W 9500L SL
6854	W/S COVERED BRIDGE WY, 60' S/O DRY CREEK PL, LATHROP (30382057)	High Pressure- 100W 9500L SL
6855	E/S COVERED BRIDGE WY OPP RIVERBOAT DR, LATHROP (30382057)	High Pressure- 100W 9500L SL
6856	W/S COVERED BRIDGE WY 30' S/O RIVERBOAT DR, LATHROP (30382057)	High Pressure- 100W 9500L SL
6857	S/S DRY CREEK PL 80' W/O COVERED BRIDGE WY, LATHROP (30382057)	High Pressure- 100W 9500L SL
6858	N/S DRY CREEK PL 180' W/O COVERED BRIDGE WY, LATHROP (30382057)	High Pressure- 100W 9500L SL
6859	S/S DRY CREEK PL 100' W/O MOSSY POINT WY, LATHROP (30382057)	High Pressure- 100W 9500L SL
6860	N/S DRY CREEK PL OPP MOSSY POINT WY, LATHROP (30382057)	High Pressure- 100W 9500L SL
6861	E/S MOSSY POINT WY 40' S/O DRY CREEK PL, LATHROP (30382057)	High Pressure- 100W 9500L SL
6862	W/END OF DRY CREEK PL, LATHROP (30382057)	High Pressure- 100W 9500L SL
6871	TRAIN STATION CT 100' W/O GREEN PLAZA (30394778)	High Pressure- 100W 9500L SL
6872	TRAIN STATION CT 300' W/O GREEN PLAZA, LATHROP (30394778)	High Pressure- 100W 9500L SL
6873	S/W CORNER OF VILLAGE AVE AND GREEN PLAZA, LATHROP (30394778)	High Pressure- 100W 9500L SL
6874	S/W CORNER OF GOLDEN SPIKE TRAIL AND GREEN PLAZA, LATHROP (30394778)	High Pressure- 100W 9500L SL
6875	E/S GOLDEN SPIKE TRAIL 200' S/O GREEN PLZA, LATHROP (30394778)	High Pressure- 100W 9500L SL
6876	S/S OF RAILROAD WAY 120' E/O VILLAGE AVE. LATHROP (30394778)	High Pressure- 100W 9500L SL
6877	N/W CORNER FO RAILROAD WAY AND VILLAGE AVE, LATHROP (30394778)	High Pressure- 100W 9500L SL
6878	N/S OF RAILROAD WAY AT TRESTLE DR, LATHROP (30394778)	High Pressure- 100W 9500L SL
6879	E/S OF TRESTLE DR 160' S/O RAILROAD WAY LATHROP (30394778)	High Pressure- 100W 9500L SL
6880	W/S OF TRESTLE DR. 380' S/O RAILROAD WAY LATHROP (30394778)	High Pressure- 100W 9500L SL
6881	N/E CORNER OF VILLAGE WAY AND IRON HORSE TRAIL, LATHROP (30394778)	High Pressure- 100W 9500L SL
6882	E/S OF TRESTLE DR 120' S/O WESTERN COACH DR, LATHROP (30394778)	High Pressure- 100W 9500L SL
6883	CORNER OF TRESTLE DR AND WESTERN COACH DR, LATHROP (30394778)	High Pressure- 100W 9500L SL
6884	S/S CORNER OF WESTERN COACH DR 80' W/O VILLAGE AVE, LATHROP (30394778)	High Pressure- 100W 9500L SL
6885	VILLAGE AVE OPP WESTERN COACH CIRCLE, LATHROP (30394778)	High Pressure- 100W 9500L SL
6886	W/S VILLAGE AVE 200' S/O WESTERN COACH CIRCLE, LATHROP	High Pressure- 100W 9500L SL
6887	W/S VILLAGE AVE 200' N/O WESTERN COACH CIRCLE LATHROP (30394778)	High Pressure- 100W 9500L SL
6888	E/S IRON HORSE TRAIL 180' N/O TOWNE CENTRE, LATHROP (30394778)	High Pressure- 100W 9500L SL
6889	N/W CORNER OF IRON HORSE TRAIL AND DEPOT CT	High Pressure- 100W 9500L SL
6890	S/S OF DEPOT CT 105' W/O IRON HORSE TRAIL	High Pressure- 100W 9500L SL
6891	WEST END OF DEPOT CT	High Pressure- 100W 9500L SL
6892	E/S IRON HORSE TRAIL 200' N/O DEPOT CT	High Pressure- 100W 9500L SL
6893	E/S RAILWAY 350' S/O VILLAGE AVE, LATHROP	High Pressure- 100W 9500L SL
6894	E/S RAILROAD WY 450' N/O TOWNE CENTER CT, LATHROP	High Pressure- 100W 9500L SL
6895	W/S RAILWAY 200' N/O TOWNE CENTRE DR, LATHROP (30394778)	High Pressure- 100W 9500L SL
6910	E/S HARLAN RD 200' N/O LOUISE	High Pressure- 150W 16000L SL
6911	E/S HARLAN RD 400' N/O LOUISE	High Pressure- 150W 16000L SL
6920	S/S RIVER ISL PKWY 470' E/O GOLDEN VALLEY PKWY	High Pressure- 150W 16000L SL
6921	S/S RIVER ISL PKWY, 275' E/O GOLDEN VALLEY PKWY	High Pressure- 150W 16000L SL
6923	S/W RETURN LATHROP RD AT WESTERN ACCESS RD AR	High Pressure- 150W 16000L SL
6924	W/S WESTERN ACCESS RD AR1150' S/O LATHROP RD LATHROP RD OVERPASS PM 30415264	High Pressure- 150W 16000L SL
6925	N/S WESTERN ACCESS RD AR1 100' E/O KNUCKLE LATHROP OVERPASS PM 30415264	High Pressure- 150W 16000L SL
6926	S/S WESTERN ACCESS RD AR1 AT BULB LATHROP RD OVERPASS PM 30415264	High Pressure- 150W 16000L SL
6927	S/LATHROP RD @ WESTERN TOE OF OVERPASS PM 30415264	High Pressure- 150W 16000L SL
6928	N/S LATHROP RD @ WESTERN TOE OF OVERPASS PM 30415264	High Pressure- 150W 16000L SL
6929	N/S LATHROP RD 150' E/O WESTERN TOE OF OVERPASS PM 30415264	High Pressure- 150W 16000L SL
6930	S/S LATHROP RD 150' E/O WESTERN TOE OF OVERPASS PM 30415264	High Pressure- 150W 16000L SL
6931	S/S LATHROP RD 1000' E/O WESTERN TOE OF OVERPASS PM 30415264	High Pressure- 150W 16000L SL
6932	N/S LATHROP RD 1000' E/O WESTERN TOE OF OVERPASS PM 30415264	High Pressure- 150W 16000L SL
6933	N/S LATHROP RD AT TOP OF OVERPASS PM 30415264	High Pressure- 150W 16000L SL
6934	S/S LATHROP RD AT TOP OF OVERPASS PM 30415264	High Pressure- 150W 16000L SL
6935	S/S LATHROP RD 700' W/O EASTERN TOE OF OVERPASS PM 30415264	High Pressure- 150W 16000L SL
6936	N/S LATHROP RD 700' W/O EASTERN TOE OF OVERPASS PM 30415264	High Pressure- 150W 16000L SL
6937	N/S LATHROP RD 200' W/O EASTERN TOE OF OVERPASS PM 30415264	High Pressure- 150W 16000L SL
6938	S/S LATHROP RD 200' W/O EASTERN TOE OF OVERPASS PM 30415264	High Pressure- 150W 16000L SL
6939	S/S LATHROP RD AT EASTERN TOE OF OVERPASS PM 30415264	High Pressure- 150W 16000L SL
6940	N/S LATHROP RD AT EASTERN TOE OF OVERPASS PM 30415264	High Pressure- 150W 16000L SL
6941	N/S LATHROP RD UNDER OVERPASS AT RR PM 30415264	High Pressure- 150W 16000L SL
6942	S/S LATHROP RD UNDER OVERPASS AT RR PM 30415264	High Pressure- 150W 16000L SL
6996	S/W COR MCKEE BLVD & DANBURY PL, LATHROP (30409730)	High Pressure- 150W 16000L SL
6997	N/E COR OF MCKEE & DANBURY PLACE (30409730)	High Pressure- 150W 16000L SL
6998	200' N/O DANBURY ON MCKEE (30409730)	High Pressure- 150W 16000L SL
6999	E/O MCKEE 75' S/O ROSEBRIAR PL (30409730)	High Pressure- 150W 16000L SL
7000	E/O MCKEE AT ROSEBRIAR PL (ON MEDIAN)	High Pressure- 150W 16000L SL

7001	W/O MCKEE BLVD AT ROSEBRIAR PL (ON MEDIAN) 30409730	High Pressure- 150W 16000L SL
7002	W/O MCKEE BLVD 125' N/O ROSEBRIAR PL (30409730)	High Pressure- 150W 16000L SL
7003	E/O MCKEE BLVD 200' S/O JOHNSON FERRY RD (30409730)	High Pressure- 150W 16000L SL
7004	N/W COR OF MCKEE BLVD & JOHNSON FERRY RD (30409730)	High Pressure- 150W 16000L SL
7005	N/S JOHNSON FERRY RD @ COLONIAL TRAIL, LATHROP (30409730)	High Pressure- 100W 9500L SL
7006	S/S JOHNSON FERRY RD 200' E/O COLONIAL, LATHROP (30409730)	High Pressure- 100W 9500L SL
7007	S/S JOHNSON FERRY RD 200' W/O LOGANBERRY, LATHROP (30409730)	High Pressure- 100W 9500L SL
7008	N/S JOHNSON FERRY @ LOGANBERRY, LATHROP (30409730)	High Pressure- 100W 9500L SL
7009	W/S LOGANBERRY50' S/O JOHNSON FERRY, LATHROP (30409730)	High Pressure- 100W 9500L SL
7010	E/S LOGANBERRY 225' S/O JOHNSON FERRY, LATHROP (30409730)	High Pressure- 100W 9500L SL
7011	E/S LOGANBERRY 100' N/O COLONIAL TRAIL, LATHROP (30409730)	High Pressure- 100W 9500L SL
7012	N/S COLONIAL TRAIL @ LOGANBERRY, LATHROP (30409730)	High Pressure- 100W 9500L SL
7013	E/S LORINA CT 50' N/O COLONIAL TRAIL, LATHROP (30409730)	High Pressure- 100W 9500L SL
7014	NORTH END OF LORINA CT, LATHROP (30409730)	High Pressure- 100W 9500L SL
7015	S/S COLONIAL TRAIL @ LORINA CT, LATHROP (30409730)	High Pressure- 100W 9500L SL
7016	N/S COLONIAL TRAIL @ PECAN HOLLOW, LATHROP (30409730)	High Pressure- 100W 9500L SL
7017	S/W/C JOHNSON FERRY & COLONIAL TRAIL, LATHROP (30409730)	High Pressure- 100W 9500L SL
7018	E/S VICTORIAN TR @ SHADY MILL WY, LATHROP	240V-High Pressure -100W 9500L
7019	VICTORIAN TRAIL SOUTH SIDE 125' SOUTH OF SHADY MILL WAY	High Pressure- 100W 9500L SL
7020	NW COR VICTORIAN & PECAN HOLLOW, LATHROP (30409730)	High Pressure- 100W 9500L SL
7021	S/E/C VICTORIAN & PECAN HOLLOW, LATHROP (30409730)	High Pressure- 100W 9500L SL
7022	NW COR TULIP TREE WY & VICTORIAN TRAIL, LATHROP (30409730)	High Pressure- 100W 9500L SL
7023	S/S VICTORIAN TRAIL @ COBBL CREEK WY, LATHROP (30409730)	High Pressure- 100W 9500L SL
7024	W/S COBBLE CREEK WY 200' N/O SHADOWBERRY PL, LATHROP (30409730)	High Pressure- 100W 9500L SL
7025	COBBLE CREEK WAY EAST SIDE 50' NORTH OF SHADOWBERRY PL	High Pressure- 100W 9500L SL
7026	SHADOWBERRY PL AND TULIP TREE WAY NWC	High Pressure- 100W 9500L SL
7027	E/S COBBLE CREEK WY 250' N/O FINCHWOOD DR, LATHROP (30409730)	High Pressure- 100W 9500L SL
7029	E/S COBBLE CREEK WY N/O DANBURY PL, LATHROP	High Pressure- 100W 9500L SL
7030	S/S DANBURY PL @ COBBLE CREEK WY, LATHROP (30409730)	High Pressure- 100W 9500L SL
7031	S/S DANBURY PL 150' W/O PECAN HOLLOW WY, LATHROP (30409730)	High Pressure- 100W 9500L SL
7032	DANBURY PL SOUTH SIDE AT PECAN HOLLOW WAY	High Pressure- 100W 9500L SL
7033	S/O DANBURY 225' E/O MCKEE BLVD (30409730)	High Pressure- 150W 16000L SL
7034	S/O DANBURY 100' E/O MCKEE BLVD (30409730)	High Pressure- 150W 16000L SL
7035	PECAN HOLLOW WAY EAST SIDE 50' NORTH OF DANBURY PL	High Pressure- 100W 9500L SL
7036	N/E COR PECAN HOLLOW WY & FINCHWOOD DR, LATHROP (30409730)	High Pressure- 100W 9500L SL
7037	N/E COR FINCHWOOD DR & TULIP TREE WY, LATHROP (30409730)	High Pressure- 100W 9500L SL
7038	N/W COR PECAN HOLLOW WY & FINCHWOOD DR, LATHROP (30409730)	High Pressure- 100W 9500L SL
7039	N/O FINCHWOOD DR 125' W/O PECAN HOLLOW WAY (30409730)	High Pressure- 150W 16000L SL
7040	S/O FINCHWOOD DR 50' E/O TEMPLETON LANE (30409730)	High Pressure- 150W 16000L SL
7041	E/O SHADY MILL WY 75' N/O FINCHWOOD DR (30409730)	High Pressure- 150W 16000L SL
7042	S/O ROSEBRIAR PL 75' E/O SHADY MILL PL (30409730)	High Pressure- 150W 16000L SL
7043	N/O ROSEBRIAR PL 250' E/O SHADY MILL PL	High Pressure- 150W 16000L SL
7044	E/S PECAN HOLLOW WY @ ROSEBRIAR PL, LATHROP (30409730)	High Pressure- 100W 9500L SL
7045	W/S TULIP TREE WY 200' N/O FINCHWOOD, LATHROP (30409730)	High Pressure- 100W 9500L SL
7046	PECAN HOLLOW WAY AND SHADOWBERRY PL SWC	High Pressure- 100W 9500L SL
7047	S/O SHADOWBERRY PL 100' E/O SHADY MILL PL (30409730)	High Pressure- 150W 16000L SL
7048	E/O SHADY MILL PL 150' N/O ROSEBRIAR PL (30409730)	High Pressure- 150W 16000L SL
7049	S/E CORNER OF ROSEBRIAR PL & SHADY MILL WY (30409730)	High Pressure- 150W 16000L SL
7050	N/O SHADOWBERRY PL 75' W/O PECAN HOLLOW WY (30409730)	High Pressure- 150W 16000L SL
7051	N/E COR PECAN HOLLOW WY & SHADOWBERRY PL, LATHROP (30409730)	High Pressure- 100W 9500L SL
7052	SHADOWBERRY PL SOUTH SIDE 75' EAST OF PECAN HOLLOW WAY	High Pressure- 100W 9500L SL
7053	N/W COR SHADOWBERRY PL & TULIP TREE WY, LATHROP (30409730)	High Pressure- 100W 9500L SL
7054	S/E COR SHADOWBERRY PL & TULIP TREE WY, LATHROP (30409730)	High Pressure- 100W 9500L SL
7055	S/S SHADOWBERRY 75' E/O TULIP TREE WY, LATHROP (30409730)	High Pressure- 100W 9500L SL
7056	W/O SHADY MILL WY 25' N/O ROSEBRIAR PL (30409730)	High Pressure- 150W 16000L SL
7057	N/O AMERICANA WY 150' E/O SHADY MILL WY (30409730)	High Pressure- 150W 16000L SL
7058	S/S AMERICANA WY 50' W/O PECAN HOLLOW WY, LATHROP	High Pressure- 100W 9500L SL
7059	E/S PECAN HOLLOW WY & AMERICANA WY, LATHROP (30409730)	High Pressure- 100W 9500L SL
7060	E/S TULIP TREE WY 200' N/O SHADOWBERRY PL, LATHROP (30409730)	High Pressure- 100W 9500L SL
7061	E/O SHADY MILL WY 100' N/O AMERICANA WY (30409730)	High Pressure- 150W 16000L SL
7062	N/O SHADY MILL WY 125' W/O VICTORIAN TRL (30409730)	High Pressure- 150W 16000L SL
7063	E/O ANDOVER WY 100' N/O TOWN CENTER DR (30409730)	High Pressure- 150W 16000L SL
7064	W/O ANDOVER WY AT DANBURY PL (30409730)	High Pressure- 150W 16000L SL
7065	S/O DANBURY PL 575' W/O MCKEE BLVD (30409730)	High Pressure- 150W 16000L SL
7066	S/O DANBURY PL 375' W/O MCKEE BLVD (30409730)	High Pressure- 150W 16000L SL
7067	S/O DANBURY PL 175' W/O MCKEE BLVD (30409730)	High Pressure- 150W 16000L SL
7068	E/O ANDOVER WY 200' N/O DANBURY PL (30409730)	High Pressure- 150W 16000L SL
7069	S/O MILLPOND AVE 100' E/O CARNABY RD (30409730)	High Pressure- 150W 16000L SL
7070	N/O MILLPOND AVE 200' E/O CARNABY RD (30409730)	High Pressure- 150W 16000L SL
7071	S/O MILLPOND AVE & BELLCHASE RD (30409730)	High Pressure- 150W 16000L SL
7072	W/O BELLCHASE RD 150' S/O ROSEBRIAR PL (30409730)	High Pressure- 150W 16000L SL
7073	W/O BELLCHASE RD 50' N/O ROSEBRIAR PL (30409730)	High Pressure- 150W 16000L SL
7074	E/O BELLCHASE RD 150' N/O ROSEBRIAR PL (30409730)	High Pressure- 150W 16000L SL
7075	S/O CARNABY RD 50' W/O BELLCHASE RD (30409730)	High Pressure- 150W 16000L SL
7076	N/O CARNABY ACROSS FROM CARNABY ISLAND (30409730)	High Pressure- 150W 16000L SL
7077	ON CARNABY RD & LANDSCAPE ISLAND (30409730)	High Pressure- 150W 16000L SL
7078	S/O CARNABY RD ISLAND 150' E/O MILLPOND AVE (30409730)	High Pressure- 150W 16000L SL
7079	N/O CARNABY RD AT MILLPOINT AVE (30409730)	High Pressure- 150W 16000L SL
7080	N/SIDE AMERICAN FARMS AVE @ WATERMILL ST, LATHROP (30424227)	High Pressure- 100W 9500L SL
7081	S/SIDE AMERICAN FARMS 125' E/O WATERMILL ST, LATHROP (30424227)	High Pressure- 100W 9500L SL
7082	N/SIDE AMERICAN FARMS 250' E/O WATERMILL ST, LATHROP (30424227)	High Pressure- 100W 9500L SL
7083	S/SIDE AMERICAN FARMS 125' W/O GARDEN GLADE ST, LATHROP (30424227)	High Pressure- 100W 9500L SL
7084	E/SIDE GARDEN GLADE ST @ AMERICAN FARMS AVE, LATHROP (30424227)	High Pressure- 100W 9500L SL
7085	W/SIDE GARDEN GLADE ST @ MID BLOCK, LATHROP (30424227)	High Pressure- 100W 9500L SL
7086	E/SIDE GARDEN GLADE ST @ LAZY RIDGE AVE, LATHROP (30424227)	High Pressure- 100W 9500L SL
7087	N/SIDE LAZY RIDGE AVE 125' W/O GARDEN GLADE ST, LATHROP (30424227)	High Pressure- 100W 9500L SL

7088	S/SIDE LAZY RIDGE AVE 125' E/O FARM HOUSE RD, LATHROP (30424227)	High Pressure- 100W 9500L SL
7089	N/SIDE LAZY RIDGE AVE @ FARM HOUSE RD, LATHROP (30424227)	High Pressure- 100W 9500L SL
7090	W/SIDE WATERMILL ST @ LAZY RIDGE AVE, LATHROP (30424227)	High Pressure- 100W 9500L SL
7117	S/S TOWNE CENTRE DR 24' E/O WOOD CREEK LN	High Pressure- 100W 9500L SL
7118	S/S TOWNE CENTRE DR 34' E/O CANTON GATE LN	High Pressure- 100W 9500L SL
7119	S/S TOWNE CENTRE DR 28' W/O FOX HATCH LN	High Pressure- 100W 9500L SL
7120	S/S TOWNE CENTRE DR 34' E/O STONY BROOK LN	High Pressure- 100W 9500L SL
7121	E/END NUT TREE CT	240V-High Pressure -100W 9500L
7122	N/E CRNR NUT TREE CT & TIMBER CREEK LN	240V-High Pressure -100W 9500L
7123	S/W CRNR NUT TREE CT & EVENING BREEZE LN	High Pressure- 100W 9500L SL
7124	N/S NUT TREE CT 54' E/O BARN HILL LN	High Pressure- 100W 9500L SL
7125	S/E CRNR NUT TREE CT & GENTLE WINDS LN	High Pressure- 100W 9500L SL
7128	S/S LATHROP RD @ 150' E/O POLE 6930 LATHROP RD OVERPASS PM 30415264	High Pressure- 150W 16000L SL
7129	S/S LATHROP RD @ 300' E/O POLE 6930 LATHROP RD OVERPASS PM 30415264	High Pressure- 150W 16000L SL
7130	S/S LATHROP RD @ 450' E/O POLE 6930 LATHROP RD OVERPASS PM 30415264	High Pressure- 150W 16000L SL
7131	S/S LATHROP RD @ 600' E/O POLE 6930 LATHROP RD OVERPASS PM 30415264	High Pressure- 150W 16000L SL
7132	S/S LATHROP RD 750' E/O POLE 6930 LATHROP RD OVERPASS PM 30415264	High Pressure- 150W 16000L SL
7133	N/S LATHROP RD 150' E/O POLE 6929 LATHROP RD OVERPASS PM 30415264	High Pressure- 150W 16000L SL
7134	N/S LATHROP RD 300' E/O POLE 6929 LATHROP RD OVERPASS PM 30415264	High Pressure- 150W 16000L SL
7135	N/S LATHROP RD 450' E/O POLE 6929 LATHROP RD OVERPASS PM 30415264	High Pressure- 150W 16000L SL
7136	N/S LATHROP RD 600' E/O POLE 6929 LATHROP RD OVERPASS PM 30415264	High Pressure- 150W 16000L SL
7137	N/S LATHROP RD @ 750' E/O POLE 6929 LATHROP RD OVERPASS PM 30415264	High Pressure- 150W 16000L SL
7138	S/S LATHROP RD 150' E/O POLE 6935 LATHROP RD OVERPASS PM 30415264	High Pressure- 150W 16000L SL
7139	S/S LATHROP RD 300' E/O POLE 6935 LATHROP RD OVERPASS PM 30415264	High Pressure- 150W 16000L SL
7140	S/S LATHROP RD @ 450' E/O POLE 6935 LATHROP RD OVERPASS PM 30415264	High Pressure- 150W 16000L SL
7141	N/S LATHROP RD 150' E/O POLE 6936 LATHROP RD OVERPASS PM 30415264	High Pressure- 150W 16000L SL
7142	N/S LATHROP RD 300' E/O POLE 6936 LATHROP RD OVERPASS PM 30415264	High Pressure- 150W 16000L SL
7143	N/S LATHROP RD 450' E/O POLE 6936 LATHROP RD OVERPASS PM 30415264	High Pressure- 150W 16000L SL
7144	S/S TOWNE CENTRE 150' E/O MCKEE BLVD, LATHROP (30396797)	High Pressure - 70W 5800L SL
7145	S/S TOWNE CENTRE 250' E/O MCKEE BLVD, LATHROP	High Pressure - 70W 5800L SL
7146	S/S TOWNE CENTRE 315' E/O MCKEE BLVD, LATHROP	High Pressure - 70W 5800L SL
7147	S/S TOWNE CENTRE 380' E/O MCKEE BLVD, LATHROP	High Pressure - 70W 5800L SL
7148	S/S TOWNE CENTRE 460' E/O MCKEE BLVD, LATHROP	High Pressure - 70W 5800L SL
7149	S/S TOWNE CENTRE 535' E/O MCKEE BLVD, LATHROP	High Pressure - 70W 5800L SL
7150	S/S TOWNE CENTRE 610' E/O MCKEE BLVD, LATHROP	High Pressure - 70W 5800L SL
7151	S/S TOWNE CENTRE 685' E/O MCKEE BLVD, LATHROP	High Pressure - 70W 5800L SL
7152	S/S TOWNE CENTRE 255' W/O GOLDEN VALLEY PKWY, LATHROP	High Pressure - 70W 5800L SL
7153	S/S TOWNE CENTRE 205' W/O GOLDEN VALLEY PKWY	High Pressure - 70W 5800L SL
7154	S/S TOWNE CENTRE 145' W/O GOLDEN VALLEY PKWY, LATHROP	High Pressure - 70W 5800L SL
7155	S/S TOWNE CENTRE 90' W/O GOLDEN VALLEY PKWY, LATHROP	High Pressure - 70W 5800L SL
7156	S/S TOWNE CENTRE 100' E/O GOLDEN VALLEY PKWY, LATHROP	High Pressure- 150W 16000L SL
7157	S/S TOWNE CENTRE 275' E/O GOLDEN VALLEY PKWY, LATHROP	High Pressure- 150W 16000L SL
7158	S/S TOWNE CENTRE 50' W/O GOLDEN VALLEY PKWY, LATHROP	High Pressure- 150W 16000L SL
7159	E/S GARDEN GLADE ST 50' S/O AMERICAN FARMS AVE, LATHROP (30424227)	High Pressure- 100W 9500L SL
7234	S/S O ST @ HARLAN RD	High Pressure- 150W 16000L SL
7235	E/S HARLAN RD 170' S/O O ST	High Pressure- 150W 16000L SL
7236	E/S HARLAN RD 340' S/O O ST	High Pressure- 150W 16000L SL
7237	E/S HARLAN RD 535' S/O O ST	High Pressure- 150W 16000L SL
7238	E/S HARLAN RD 730' S/O O ST	High Pressure- 150W 16000L SL
7239	N/S O STREET AT SEDONA LN, LATHROP (30428744)	High Pressure- 100W 9500L SL
7240	E/S SEDONA LN 180' S/O O ST	High Pressure- 100W 9500L SL
7241	W/S SEDONA LN @ CAMELBACK ST, LATHROP	High Pressure- 100W 9500L SL
7243	SEDONA & CAMELBACK	High Pressure- 100W 9500L SL
7244	W/S GRAYSON RD 25' S/O THOMSEN RD, LATHROP (30431247)	High Pressure- 100W 9500L SL
7245	E/S GRAYSON RD 25' N/O PENNANT, LATHROP (30431247)	High Pressure- 100W 9500L SL
7246	W/S GRAYSON RD 100' S/O PENNANT AVE, LATHROP (30431247)	High Pressure- 100W 9500L SL
7247	S/S BLUE SKY DR @ GRAYSON RD, LATHROP (30431247)	High Pressure- 100W 9500L SL
7248	N/S BLUE SKY RD MID BLOCK, LATHROP (30431247)	High Pressure- 100W 9500L SL
7249	S/S BLUE SKY D @ FAIRVIEW WY, LATHROP (30431247)	High Pressure- 100W 9500L SL
7250	W/S FAIRVIEW WY 100' N/O BLUE SKY DR, LATHROP (30431247)	High Pressure- 100W 9500L SL
7251	E/S FAIRVIEW WY @ PENNANT AVE, LATHROP (30431247)	High Pressure- 100W 9500L SL
7252	W/S FAIRVIEW WY 25' S/O THOMPSON RD, LATHROP (30431247)	High Pressure- 100W 9500L SL
7253	S/S PENNANT AVE 100' E/O GRAYSON RD, LATHROP (30431247)	High Pressure- 100W 9500L SL
7254	N/S PENNANT AVE 100' W/O FAIRVIEW WY, LATHROP (30431247)	High Pressure- 100W 9500L SL
7255	E/S HARLAN RD 500' S/O LATHROP RD. PM30424323	High Pressure- 150W 16000L SL
7256	W/S HARLAN RD 500' S/O LATHROP RD. PM30424323	High Pressure- 150W 16000L SL
7257	E/S HARLAN RD 680' S/O LATHROP RD. PM30424323	High Pressure- 150W 16000L SL
7258	E/S HARLAN RD 860' LATHROP RD. PM30424323	High Pressure- 150W 16000L SL
7259	E/S HARLAND RD 1040' S/O LATHROP RD. PM30424323	High Pressure- 150W 16000L SL
7260	E/S HARLAND RD 1220' S/O LATHROP RD. PM30424323	High Pressure- 150W 16000L SL
7304	N/S LOUISE AVE 208' W/O NEW HARLAN RD, LATHROP	High Pressure- 150W 16000L SL
7305	W/S NEW HARLAN RD 100' N/O LOUISE AVE, LATHROP	High Pressure- 150W 16000L SL
7306	W/S NEW HARLAN RD 250' N/O LOUISE AVE, LATHROP	High Pressure- 150W 16000L SL
7307	W/S NEW HARLAN RD 400' N/O LOUISE AVE, LATHROP	High Pressure- 150W 16000L SL
7308	MEDIAN GOLDEN VALLEY 260' S/O TOWN CENTER DR	240V-High Pressure-250W 25500L
7308	MEDIAN GOLDEN VALLEY 260' S/O TOWN CENTER DR	240V-High Pressure-250W 25500L
7309	MEDIAN GOLDEN VALLEY 420' S/O TOWN CENTER DR	240V-High Pressure-250W 25500L
7309	MEDIAN GOLDEN VALLEY PKY 420' S/O TOWN CENTER DR	240V-High Pressure-250W 25500L
7310	MEDIAN GOLDEN VALLEY PKY 630' S/O TOWN CENTER DR	240V-High Pressure-250W 25500L
7310	MEDIAN GOLDEN VALLEY PKY 630' S/O TOWN CENTER DR	240V-High Pressure-250W 25500L
7311	MEDIAN GOLDEN VALLEY PKY 840' S/O TOWN CENTER DR	240V-High Pressure-250W 25500L
7311	MEDIAN GOLDEN VALLEY PKY 840' S/O TOWN CENTER DR	240V-High Pressure-250W 25500L
7312	MEDIAN GOLDEN VALLEY PKY 600' N/O BROOKHURST	240V-High Pressure-250W 25500L
7312	MEDIAN GOLDEN VALLEY PKY 600' N/O BROOKHURST	240V-High Pressure-250W 25500L
7313	MEDIAN GOLDEN VALLEY PKY 600' N/O BROOKHURST	240V-High Pressure-250W 25500L
7313	MEDIAN GOLDEN VALLEY PKY 600' N/O BROOKHURST	240V-High Pressure-250W 25500L

7314	MEDIAN GOLDEN VALLEY PKY 210' N/O BROOKHURST	240V-High Pressure-250W 25500L
7314	MEDIAN GOLDEN VALLEY PKY 210' N/O BROOKHURST	240V-High Pressure-250W 25500L
7434	N/SIDE LOUISE AVE 223'E/O HARLAN RD, LATHROP (30429031)	High Pressure- 150W 16000L SL
7435	N/SIDE LOUISE AVE 40' E/O HARLAN RD, LATHROP (30429031)	High Pressure- 150W 16000L SL
7436	E/SIDE OLD HARLAN RD 95' N/O LOUISE AVE, LATHROP (30429031)	High Pressure- 150W 16000L SL
7437	E/SIDE OLD HARLAN RD 100' S/O NEW HARLAN RD, LATHROP (30429031)	High Pressure- 150W 16000L SL
7438	S/SIDE NEW HARLAN RD 50' E/O OLD HARLAN RD, LATHROP (30429031)	High Pressure- 150W 16000L SL
7439	S/SIDE NEW HARLAN RD 220' E/O OLD HARLAN RD, LATHROP (30429031)	High Pressure- 150W 16000L SL
7440	S/S ISLAND PASSAGE WY 755' N/O GOLDEN SPIKE TRL, LATHROP	High Pressure- 100W 9500L SL
7441	S/S INLAND PASSAGE WY 645' N/O GOLDEN SPIKE TRL, LATHROP	High Pressure- 100W 9500L SL
7442	S/S INLAND PASSAGE WY 495' N/O GOLDEN SPIKE TRL, LATHROP	High Pressure- 100W 9500L SL
7443	S/S INLAND PASSAGE WY 330' N/O GOLDEN SPIKE TRL, LATHROP	High Pressure- 100W 9500L SL
7444	S/S INLAND PASSAGE WY 180' N/O GOLDEN SPIKE TRL, LATHROP	High Pressure- 100W 9500L SL
7445	S/S INLAND PASSAGE WY @ GOLDEN SPIKE TRL, LATHROP	High Pressure- 100W 9500L SL
7446	S/S INLAND PASSAGE WY 110' S/O GOLDEN SPIKE TRL, LATHROP	High Pressure- 100W 9500L SL
7447	S/S INLAND PASSAGE WY 330' S/O GOLDEN SPIKE TRL, LATHROP	High Pressure- 100W 9500L SL
7448	S/S INLAND PASSAGE WY @ EMERY OAK PL, LATHROP	High Pressure- 100W 9500L SL
7449	S/S INLAND PASSAGE WY 150' S/O EMERY OAK PL, LATHROP	High Pressure- 100W 9500L SL
7450	S/S INLAND PASSAGE WY 225' N/O EMERY OAK PL, LATHROP	High Pressure- 100W 9500L SL
7451	S/S INLAND PASSAGE WY 75' N/O SADLER OAK DR, LATHROP	High Pressure- 100W 9500L SL
7452	N/S SADLER OAK DR 50' E/O INLAND PASSAGE WY, LATHROP	High Pressure- 100W 9500L SL
7453	N/S SADLER OAK DR 140 E/O SCHUMARD OAK RD, LATHROP	High Pressure- 100W 9500L SL
7457	E/S SCHUMARD OAK LANE, 50' N/O CORNUCOPIA, PM 30485096	High Pressure- 100W 9500L SL
7458	W/S SCHUMARD OAK LANE, 50' N/O GARRY OAK PL, PM30485096	High Pressure- 100W 9500L SL
7459	E/S SCHUMARD OAK LANE 50' EMORY OAK PL, PM30485096	High Pressure- 100W 9500L SL
7460	E/S SCHUMARD OAK LANE, 50' EMORY OAK PL, PM30485096	High Pressure- 100W 9500L SL
7461	S/S EMORY OAK PLACE, 50' E/O INLAND PASSAGE WAY, PM 30486096	High Pressure- 100W 9500L SL
7462	N/S EMORY OAK PL, OPP LEATHER OAK RD, PM 30485096	High Pressure- 100W 9500L SL
7463	S/S EMORY OAK PLACE, 160' E/O LEATHER OAK RD	High Pressure- 100W 9500L SL
7464	S/S EMORY OAK PLACE, 115' E/O SCHUMARD OAK LANE, PM 30485096	High Pressure- 100W 9500L SL
7465	E/S GARMETTA WAY, 310' N/O GARRY OAK PLACE, PM30485096	High Pressure- 100W 9500L SL
7466	E/S GARMETTA WAY, 175' N/O GARRY OAK PL, PM 30485096	High Pressure- 100W 9500L SL
7467	W/S GARMETTA WAY, AT GARRY OAK PL, PM 30485096	High Pressure- 100W 9500L SL
7468	S/S GARMETTA WAY, 120' W/O SCHUMARD OAK LANE, PM 30485096	High Pressure- 100W 9500L SL
7469	W/S LEATHER OAK RD, 325' S/O EMORY OAK PL, PM30485096	High Pressure- 100W 9500L SL
7470	E/S LEATHER RD, 150' S/O EMORY OAK PLACE, PM 30485096	High Pressure- 100W 9500L SL
7471	S/E CORNER TOWNE CENTRE & GOLDEN SPIKE TRAIL, LATHROP (30347422)	High Pressure- 70W 5800L SL
7472	E/S MCKEE BLVD 85' N/O BROOKHURST BLVD, LATHROP (30347422)	240V-High Pressure-150W 16000L
7473	SW COR CANYON GATE LANE & TOWNE CENTRE, LATHROP (30347422)	High Pressure- 70W 5800L SL
7474	S/E COR IRON GATE & TOWNE CENTRE, LATHROP (30347422)	High Pressure- 70W 5800L SL
7475	S/S TOWNE CENTRE 55' W/O STONY BROOK LN, LATHROP (30347422)	High Pressure- 70W 5800L SL
7476	S/S TOWNE CENTRE 90' N/O STONY BROOK LN, LATHROP (30347422)	High Pressure- 70W 5800L SL
7477	S/E CORNER TOWNE CENTRE & MCKEE, LATHROP (30347422)	High Pressure- 70W 5800L SL
7478	N/W COR TOWNE CENTRE & MCKEE, LATHROP (30347422)	High Pressure- 70W 5800L SL
7479	N/E CORNER TOWNE CENTRE & MCKEE, LATHROP (30347422)	High Pressure- 70W 5800L SL
7480	E/S MCKEE BLVD 100' S/O AMERICAN FARMS AVE, LATHROP (30347422)	240V-High Pressure-150W 16000L
7481	E/S MCKEE BLVD 62' N/O AMERICAN FARMS, LATHROP (30347422)	240V-High Pressure-150W 16000L
7482	W/S MCKEE BLVD 10' N/O CRESCENT MOON DR, LATHROP (30347422)	240V-High Pressure-150W 16000L
7483	W/S MCKEE BLVD 180' N/O CRESCENT MOON DR, LATHROP (30347422)	240V-High Pressure-150W 16000L
7484	E/S MCKEE BLVD 180' S/O AUTUMN RAIN DR, LATHROP (30347422)	240V-High Pressure-150W 16000L
7485	W/S MCKEE BLVD @ AUTUMN RAIN DR, LATHROP (30347422)	240V-High Pressure-150W 16000L
7486	WARREN AVE 135	High Pressure- 100W 9500L SL
7487	WARREN AVE 91	High Pressure- 100W 9500L SL
7488	WARREN AVE 48	High Pressure- 100W 9500L SL
7489	WARREN AVE 19	High Pressure- 100W 9500L SL
7490	BLOOM WY 13715	High Pressure- 100W 9500L SL
7491	FLEURETTE LN 130	High Pressure- 100W 9500L SL
7492	FLEURETTE LN 135	High Pressure- 100W 9500L SL
7493	STRATFORD AVE 13737	High Pressure- 100W 9500L SL
7544	N/S SADLER OAK DR 175' E/O GOLDEN VALLEY PKWY, LATHROP	High Pressure- 100W 9500L SL
7619	N/S SADLER OAK DR 65' W/O SCHUMARD OAK RD, LATHROP	High Pressure- 100W 9500L SL
7620	N/S EMERY OAK PL @ SCHUMORD OAK RD, LATHROP	High Pressure- 100W 9500L SL
7621	S/S EMERY OAK PL @ GORMETTA WY, LATHROP	High Pressure- 100W 9500L SL
7622	E/S LEATHER OAK RD @ GARRY OAK PL, LATHROP	High Pressure- 100W 9500L SL
7623	E/S GARRY OAK PL 65' E/O SCHUMORD OAK DR, LATHROP	High Pressure- 100W 9500L SL
7658	SW CORNER NEW ENGLAND & COLONIAL TRAIL	High Pressure- 100W 9500L SL
7659	ES COLONIAL TRAIL 120' N/O RENAISSANCE AVE	High Pressure- 100W 9500L SL
7660	WS OF COLONIAL TRAIL @ RENAISSANCE AVE	High Pressure- 100W 9500L SL
7661	WS COLONIAL TRAIL @ CRAFTSMAN DRIVE	High Pressure- 100W 9500L SL
7662	SS RENAISSANCE AVE 140' E/O COLONIAL TRAIL	High Pressure- 100W 9500L SL
7663	NS RENAISSANCE AVE 290' E/O COLONIAL TRAIL	High Pressure- 100W 9500L SL
7664	SS RENAISSANCE AVE 480' E/O COLONIAL TRAIL	High Pressure- 100W 9500L SL
7665	NS CRAFTSMAN DR 140' E/O COLONIAL TRAIL	High Pressure- 100W 9500L SL
7666	SS CRAFTSMAN DR 290' E/O COLONIAL TRAIL	High Pressure- 100W 9500L SL
7667	NS CRAFTSMAN DR 140' E/O LOGANBERRY WY	High Pressure- 100W 9500L SL
7668	ES LOGANBERRY 140' N/O CRAFTSMAN DRIVE	High Pressure- 100W 9500L SL
7669	SE CORNER CRAFTSMAN DRIVE & LOGANBERRY WY	High Pressure- 100W 9500L SL
7670	E/END CRAFTSMAN CT E/O LOGANBERRY WY, LATHROP	High Pressure- 100W 9500L SL
7671	west side of Golden Spike Trail 80' N/O Inland Passage	High Pressure- 100W 9500L SL
7672	west side of Golden Spike Trail 230' N/O Inland Passage	High Pressure- 100W 9500L SL
7673	west side of Golden Spike Trail 480' N/O Inland Passage	High Pressure- 100W 9500L SL
7674	N/S Wild Oak 100' E/O Inland Passage	High Pressure- 100W 9500L SL
7675	S/S Wild Oak 230' E/O Inland Passage	High Pressure- 100W 9500L SL
7676	S/S Wild Oak 360' E/O Inland Passage	High Pressure- 100W 9500L SL
7677	S/S Scrub Oak 100' E/O Inland Passage	High Pressure- 100W 9500L SL
7678	S/S Scrub Oak 230' E/O Inland Passage	High Pressure- 100W 9500L SL

51476	W/S STRATFORD RD 353' N/O LATHROP RD / PM# 30554259	High Pressure- 150W 16000L SL
51477	W/S STRATFORD RD 541' N/O LATHROP RD / PM# 30554259	High Pressure- 150W 16000L SL
51570	W/S HARLAN RD 183' S/O J ST	High Pressure- 150W 16000L SL
51571	W/S HARLAN RD 355' S/O J ST	High Pressure- 150W 16000L SL
51572	W/S HARLAN RD 527' S/O J ST	High Pressure- 150W 16000L SL
51668	J ST 56	High Pressure- 150W 16000L SL
51669	S HARLAN RD 15353	High Pressure- 150W 16000L SL
51670	S HARLAN RD 15319	High Pressure- 150W 16000L SL
51671	S HARLAN RD 15291	High Pressure- 150W 16000L SL
52649	APPROX 200' S/O 7314	240V-High Pressure-250W 25500L
52649	APPROX 200' S/O 7314	240V-High Pressure-250W 25500L
52722	EAST SIDE HARLAN RD 200' SOUTH OF J ST	240V-High Pressure-250W 25500L
52723	EAST SIDE HARLAN RD 400' S/O J ST	240V-High Pressure-250W 25500L
52724	EAST SIDE HARLAN RD 600' SOUTH OF J ST	240V-High Pressure-250W 25500L
52806	N/S INDEPENDENCE AVE 100' NORTH OF HISTORIC AVE	High Pressure- 100W 9500L SL
52807	S/S INDEPENDENCE AVE @ HISTORIC	High Pressure- 100W 9500L SL
52808	E/S INDEPENDENCE AVE 150' S/O HISTORIC AVE	High Pressure- 100W 9500L SL
52809	W/S INDEPENDENCE AVE @ ROSE ARBOR POINT	High Pressure- 100W 9500L SL
52810	E/S INDEPENDENCE AVE 130' S/O ROSE ARBOR POINT	High Pressure- 100W 9500L SL
52811	W/S INDEPENDENCE AVE @ LIBERTY POINT	High Pressure- 100W 9500L SL
52812	W/S INDEPENDENCE AVE 60' N/O LANDMARK POINT	High Pressure- 100W 9500L SL
52813	W/S INDEPENDENCE AVE 30' N/O TOWN SQUARE	High Pressure- 100W 9500L SL
52814	S/S TOWN SQUARE 100' W/O INDEPENDENCE AVE	High Pressure- 100W 9500L SL
52815	N/S TOWN SQUARE 150' W/O OLD GLORY WY	High Pressure- 100W 9500L SL
52816	E/S OLD GLORY WY 50' N/O TOWN SQUARE	High Pressure- 100W 9500L SL
52817	SOUTH END OF OLD GLORY WY	High Pressure- 100W 9500L SL
52818	E/S OLD GLORY WY 200' N/O TOWN SQUARE	High Pressure- 100W 9500L SL
52819	S/S LANDMARK POINT 150' E/O OLD GLORY WY	High Pressure- 100W 9500L SL
52820	N/S LANDMARK POINT 280' E/O OLD GLORY WY	High Pressure- 100W 9500L SL
52821	W/S OLD GLORY WY 120' N/O LANDMARK POINT	High Pressure- 100W 9500L SL
52822	E/S OLD GLORY WY 80' N/O LIBERTY POINT	High Pressure- 100W 9500L SL
52823	N/S LIBERTY POINT 180' W/O OLD GLORY WY	High Pressure- 100W 9500L SL
52824	W/S OLD GLORY WY 60' S/O ROSE ARBOR POINT	High Pressure- 100W 9500L SL
52825	E/S OLD GLORY WY 40' N/O ROSE ARBOR POINT	High Pressure- 100W 9500L SL
52826	N/S ROSE ARBOR POINT 180' W/O OLD GLORY WY	High Pressure- 100W 9500L SL
52827	E/S OLD GLORY WY @ HISTORIC	High Pressure- 100W 9500L SL
52828	N/S HISTORIC AVE 190' W/O OLD GLORY WY	High Pressure- 100W 9500L SL
52829	S/S HISTORIC AVE 320' W/O OLD GLORY WY	High Pressure- 100W 9500L SL
52839	E/S GOLDEN VALLEY PKWY MED 35' S/O LATHROP RD, LATHROP	240V-High Pressure-250W 25500L
52839	E/S GOLDEN VALLEY PKWY MED 35' S/O LATHROP RD, LATHROP	240V-High Pressure-250W 25500L
53599	N/S LATHROP RD 260' WO WOODFIELD	High Pressure- 250W 26000L SL
53600	S/S LATHROP RD 260' WO WOODFIELD	High Pressure- 250W 26000L SL
53601	N/S LATHROP RD 125' WO WOODFIELD	High Pressure- 250W 26000L SL
53602	S/S LATHROP RD 125' WO WOODFIELD	High Pressure- 250W 26000L SL
53603	NWC LATHROP RD & WOODFIELD	High Pressure- 250W 26000L SL
53604	NEC LATHROP RD & WOODFIELD	High Pressure- 250W 26000L SL
53605	SEC LATHROP RD & WOODFIELD	High Pressure- 250W 26000L SL
53606	SWC LATHROP RD & WOODFIELD	High Pressure- 250W 26000L SL
53607	N/S LATHROP RD 120' EO WOODFIELD	High Pressure- 250W 26000L SL
53608	S/S LATHROP RD 120' EO WOODFIELD	High Pressure- 250W 26000L SL
53609	N/S LATHROP RD 260' EO WOODFIELD	High Pressure- 250W 26000L SL
53610	S/S LATHROP RD 260' EO WOODFIELD	High Pressure- 250W 26000L SL
53611	N/S LATHROP RD 395' EO WOODFIELD	High Pressure- 250W 26000L SL
53612	S/S LATHROP RD 395' EO WOODFIELD	High Pressure- 250W 26000L SL
53613	N/S LATHROP RD 530' EO WOODFIELD	High Pressure- 250W 26000L SL
53614	S/S LATHROP RD 530' EO WOODFIELD	High Pressure- 250W 26000L SL
53615	N/S LATHROP RD 665' EO WOODFIELD	High Pressure- 250W 26000L SL
53616	S/S LATHROP RD 665' EO WOODFIELD	High Pressure- 250W 26000L SL
53617	N/S LATHROP RD 805' EO WOODFIELD	High Pressure- 250W 26000L SL
53618	S/S LATHROP RD 805' EO WOODFIELD	High Pressure- 250W 26000L SL
53619	N/S LATHROP RD 925' EO WOODFIELD	High Pressure- 250W 26000L SL
53620	S/S LATHROP RD 925' EO WOODFIELD	High Pressure- 250W 26000L SL
53621	N/S LATHROP RD 1070' EO WOODFIELD	High Pressure- 250W 26000L SL
53622	S/S LATHROP RD 1070' EO WOODFIELD	High Pressure- 250W 26000L SL
53623	N/S LATHROP RD 1215' EO WOODFIELD	High Pressure- 250W 26000L SL
53624	S/S LATHROP RD 1215' EO WOODFIELD	High Pressure- 250W 26000L SL
53625	N/S LATHROP RD 1355' EO WOODFIELD	High Pressure- 250W 26000L SL
53626	S/S LATHROP RD 1355' EO WOODFIELD	High Pressure- 250W 26000L SL
53627	N/S LATHROP RD 1495' EO WOODFIELD	High Pressure- 250W 26000L SL
53628	S/S LATHROP RD 1495' EO WOODFIELD	High Pressure- 250W 26000L SL
53629	N/S LATHROP RD 190' EO MCKINLEY DR	High Pressure- 250W 26000L SL
53630	S/S LATHROP RD 190' EO MCKINLEY DR	High Pressure- 250W 26000L SL
53631	N/S LATHROP RD 333' EO MCKINLEY DR	High Pressure- 250W 26000L SL
53632	S/S LATHROP RD 330' EO MCKINLEY DR	High Pressure- 250W 26000L SL
53633	N/S LATHROP RD 460' EO MCKINLEY DR	High Pressure- 250W 26000L SL
53634	S/S LATHROP RD 460' EO MCKINLEY DR	High Pressure- 250W 26000L SL
53635	N/S LATHROP RD 605' EO MCKINLEY DR	High Pressure- 250W 26000L SL
53636	S/S LATHROP RD 605' EO MCKINLEY DR	High Pressure- 250W 26000L SL
53637	N/S LATHROP RD 740' EO MCKINLEY DR	High Pressure- 250W 26000L SL
53638	S/S LATHROP RD 740' EO MCKINLEY DR	High Pressure- 250W 26000L SL
53639	N/S LATHROP RD 885' EO MCKINLEY DR	High Pressure- 250W 26000L SL
53640	S/S LATHROP RD 885' EO MCKINLEY DR	High Pressure- 250W 26000L SL
53641	N/S LATHROP RD 1015' EO MCKINLEY DR	High Pressure- 250W 26000L SL
53642	S/S LATHROP RD 1015' EO MCKINLEY DR	High Pressure- 250W 26000L SL
53643	N/S LATHROP RD 1160' EO MCKINLEY DR	High Pressure- 250W 26000L SL
53644	S/S LATHROP RD 1160' EO MCKINLEY DR	High Pressure- 250W 26000L SL

53645	N/S LATHROP RD 1300' EO MCKINLEY DR	High Pressure- 250W 26000L SL
53646	NW CORNER OF DAISY ST / G ST	High Pressure- 250W 26000L SL
53647	N/S G ST 110' EO DAISY ST	High Pressure- 100W 9500L SL
53648	N/S G ST 240' EO DAISY ST	High Pressure- 100W 9500L SL
53649	N/S G ST 370' EO DAISY ST	High Pressure- 100W 9500L SL
53650	N/S G ST 50' W/O 7TH ST	High Pressure- 100W 9500L SL
53651	W/S DAISY 170' N/O H ST	High Pressure- 100W 9500L SL
53652	NE CORNER H ST. / DAISY ST	High Pressure- 100W 9500L SL
53653	N/S H ST 100' E/O 5TH ST	High Pressure- 100W 9500L SL
53654	E/S 5TH ST 145' SO LATHROP RD	High Pressure- 100W 9500L SL
53655	N/S H ST 10' E/O 5TH ST	High Pressure- 200W 22000L SL
53656	NWC LATHROP RD & MCKINLEY RD	High Pressure- 200W 22000L SL
53657	NEC LATHROP RD & MCKINLEY RD	High Pressure- 200W 22000L SL
53658	SEC LATHROP RD & MCKINLEY RD	High Pressure- 200W 22000L SL
53659	SWC LATHROP RD & MCKINLEY RD	High Pressure- 200W 22000L SL
53933	SEC H ST & 6TH ST	LED - 95.01 to 100.00W SL
53934	SWC I ST & 6TH ST	LED - 95.01 to 100.00W SL
53935	SWC J ST & 6TH ST	LED - 95.01 to 100.00W SL
53936	SEC K ST & 6TH ST	LED - 95.01 to 100.00W SL
53937	NEC L S & 6TH ST	LED - 95.01 to 100.00W SL
53938	SWC THOMSEN ST & 6TH ST	LED - 95.01 to 100.00W SL
53939	SWC N ST & 6TH ST	LED - 95.01 to 100.00W SL
53956	N/S OPEN RANGE AVE 400' E/O WHEAT FIELD ST	High Pressure- 100W 9500L SL
53957	S/S OPEN RANGE AVE 200' E/O WHEAT FIELD ST	High Pressure- 100W 9500L SL
53958	N/S OPEN RANGE AVE @ WHEAT FIELD ST	High Pressure- 100W 9500L SL
53959	N/S OPEN RANGE AVE 300' E/O INLAND PASSAGE WAY	High Pressure- 100W 9500L SL
53960	N/S OPEN RANGE AVE 100' E/O INLAND PASSAGE WAY	High Pressure- 100W 9500L SL
53961	E/S INLAND PASSAGE AVE 600' N/O BRAMBLEWOOD AVE	High Pressure- 100W 9500L SL
53962	E/S INLAND PASSAGE AVE 400' N/O BRAMBLEWOOD AVE	High Pressure- 100W 9500L SL
53963	N/S PASTURE AVE 800' W/O FARMERS DELL WAY	High Pressure- 100W 9500L SL
53964	N/S PASTURE AVE 600' W/O FARMERS DELL WAY	High Pressure- 100W 9500L SL
53965	W/S WHEAT FIELD ST @ PASTURE	High Pressure- 100W 9500L SL
53966	E/S WHEAT FIELD ST 200' N/O PASTURE AVE	High Pressure- 100W 9500L SL
53967	S/S PASTURE 400' W/O FARMERS DELL WAY	High Pressure- 100W 9500L SL
53968	N/S PASTURE AVE 200' W/O FARMERS DELL WAY	High Pressure- 100W 9500L SL
53969	SE CORNER FARMERS DELL WAY / PASTURE AVE	High Pressure- 100W 9500L SL
53970	W/S FARMERS DELL WAY 200' S/O OPEN RANGE AVE	High Pressure- 100W 9500L SL
53973	ES OLD HARLAN RD SO LATHROP RD	LED - 95.01 to 100.00W SL
56745	68' E/O Adobe Way on S/S of Barbara Terry Blvd	LED - 55W
56746	195' N/E of Adobe Way on N/S of Barbara Terry Blvd	LED - 55W
56747	330' N/E of Adobe Way on S/S of Barbara Terry Blvd	LED - 55W
56748	462' N/E of Adobe Way on N/S of Barbara Terry Blvd	LED - 55W
56749	585' N/O Adobe Way on E/S of Barbara Terry Blvd	LED - 55W
56750	702' N/O Adobe Way on W/S of Barbara Terry Blvd	LED - 55W
56751	816' N/O Adobe Way on E/S of Barbara Terry Blvd	LED - 55W
56752	936' N/O Adobe Way on W/S of Barbara Terry Blvd	LED - 55W
56753	1053' N/O Adobe way on E/S of Barbara Terry Blvd	LED - 55W
56754	1018' S/O Stanford Crossing on W/S of Barbara Terry Blvd	LED - 55W
56755	889' S/O Stanford Crossing on E/S of Barbara Terry Blvd	LED - 55W
56756	753' S/O Stanford Crossing on W/S of Barbara Terry Blvd	LED - 55W
56757	622' S/O Stanford Crossing on E/S of Barbara Terry Blvd	LED - 55W
56758	488' S/O Barbara Terry Blvd on W/S of Barbara Terry Blvd	LED - 55W
56759	375' S/O Stanford Crossing on E/S of Barbara Terry Blvd	LED - 55W
56760	255' S/O Stanford Crossing on W/S of Barbara Terry Blvd	LED - 55W
56761	143' S/O Stanford Crossing on E/S of Barbara Terry Blvd	LED - 55W
56762	150' W/O Golden Valley Parkway on S/S of Stanford Crossing	LED - 55W
56763	284' W/O Golden Valley Parkway on N/S of Stanford Crossing	LED - 55W
56764	419' W/O Golden Valley Parkway on S/S of Stanford Crossing	LED - 55W
56765	526' E/O Barbara Terry Blvd on N/S of Stanford Crossing	LED - 55W
56766	410' E/O Barbara Terry Blvd on S/S of Stanford Crossing	LED - 55W
56767	302' E/O Barbara Terry Blvd on N/S of Stanford Crossing	LED - 55W
56768	194' E/O Barbara Terry Blvd on S/S of Stanford Crossing	LED - 55W
56769	86' E/O Barbara Terry Blvd on N/S of Stanford Crossing	LED - 55W
56770	Intersection of Barbara Terry Blvd and Stanford Crossing on S/E corner	LED - 72W
56771	Intersection of Barbara Terry Blvd and Stanford Crossing on N/E corner	LED - 72W
56772	Intersection of Barbara Terry Blvd and Stanford Crossing on N/W corner	LED - 72W
56773	Intersection of Barbara Terry Blvd and Stanford Crossing on S/W corner	LED - 72W
56774	86' W/O Barbara Terry Blvd on S/S of Stanford Crossing	LED - 55W
56775	220' W/O Barbara Terry Blvd on N/S of Stanford Crossing	LED - 55W
56776	346' W/O Barbara Terry Blvd on S/S of Stanford Crossing	LED - 55W
56777	475' W/O Barbara Terry Blvd on N/S of Stanford Crossing	LED - 55W
56778	600' W/O Barbara Terry Blvd on S/S of Stanford Crossing	LED - 55W
56779	732' W/O Barbara Terry Blvd on N/S of Stanford Crossing	LED - 55W
56780	856' W/O Barbara Terry Blvd on S/S of Stanford Crossing	LED - 55W
56781	685' S/O Spartan Way on N/S of Stanford Crossing	LED - 55W
56782	558' S/O Spartan way on S/S of Stanford Crossing	LED - 55W
56783	445' S/O Spartan Way on N/S of Stanford Crossing	LED - 55W
56784	326' S/O Spartan Way on S/S of Stanford Crossing	LED - 55W
56785	200' S/O Spartan way on N/S of Stanford Crossing	LED - 55W
56786	80' S/O Spartan Way on S/S of Stanford Crossing	LED - 55W
56787	143' N/O Stanford Crossing on E/S of Barbara Terry Blvd	LED - 55W
56788	97' S/O of Sunol St on W/S of Barbara Terry Blvd	LED - 55W
56789	25' N/O Sunol St on E/S of Barbara Terry Blvd	LED - 55W
56790	30' S/O Central Pacific St on W/S of Barbara Terry Blvd	LED - 55W
56791	80' N/O Central Pacific St on W/S of Barbara Terry Blvd	LED - 55W
56792	27' S/O Telegraph St on W/S of Barbara Terry Blvd	LED - 55W

56793	162' S/O Locomotive St on E/S of Barbara Terry Blvd	LED - 55W
56794	30' S/O Locomotive St on E/S of Barbara Terry Blvd	LED - 55W
56795	43' S/E of Bacarra St on N/E side of Locomotive St	LED - 55W
56796	222' S/E of Bacarra St on N/E side of Locomotive St	LED - 55W
56797	81' W/O Barbara Terry Blvd on N/S of Locomotive St	LED - 55W
56798	114' E/O Barbara Terry Blvd on N/S of Locomotive St	LED - 55W
56799	25' N/O Locomotive St on E/S of Crespi St	LED - 55W
56800	131' W/O Jewel St on S/S of Locomotive St	LED - 55W
56801	83' E/O Jewel St on N/S of Locomotive St	LED - 55W
56802	Intersection of Saybrook St on S/S of Locomotive St	LED - 55W
56803	95' E/O Saybrook St on N/S of Locomotive St	LED - 55W
56804	98' W/O Barbara Terry Blvd on N/S of Telegraph St	LED - 55W
56805	287' W/O Barbara Terry Blvd on S/S of Telegraph St	LED - 55W
56806	424' W/O Barbara Terry Blvd on S/S of Telegraph St	LED - 55W
56807	100' S/O Madrone St on W/S of Central Pacific St	LED - 55W
56808	234' S/O Madrone St on W/S of Central Pacific St	LED - 55W
56809	92' W/O Barbara Terry Blvd St on N/S of Central Pacific St	LED - 55W
56810	266' W/O Barbara Terry Blvd St on S/S of Central Pacific St	LED - 55W
56811	241' S/O Madrone St on N/S of Sunol St	LED - 55W
56812	269' W/O Post St on N/S of Sunol St	LED - 55W
56813	65' E/O Post St on N/S of Sunol St	LED - 55W
56814	45' S/W of Sunol St on W/S of Post St	LED - 55W
56815	210' S/W of Sunol St on E/S of Post St	LED - 55W
56816	90' W/O Post St on S/S of Chimes St	LED - 55W
56817	236' W/O Post St on S/S of Chimes St	LED - 55W
56818	411' W/O Post St on S/S of Chimes St	LED - 55W
56819	263' S/E of Madrone St on N/S of Chimes St	LED - 55W
56820	96' S/E of Madrone St on S/S of Chimes St	LED - 55W
56821	27' S/O Locomotive St on W/S of Jewel St	LED - 55W
56822	85' W/O Post St on N/S of Sunol St	LED - 55W
56823	85' N/W of Madrone St on E/S of Chimes St	LED - 55W
56824	225' N/W of Madrone St on W/S of Chimes St	LED - 55W
56825	92' N/W of Bacarra St on E/S of Chimes St	LED - 55W
56826	W/S of Chimes St intersection with Albany St	LED - 55W
56827	139' N/O Albany St at end of Chimes St.	LED - 55W
56828	105' S/O Madrone St on W/S of Central Pacific St	LED - 55W
56829	118' N/O Madrone St on E/S of Central Pacific St	LED - 55W
56830	120' N/O Bacarra St on E/S of Central Pacific St	LED - 55W
56831	101' N/O Albany St on E/S of Central Pacific St	LED - 55W
56832	70' W/O Chimes St on N/S of Madrone St	LED - 55W
56833	28' E/O Chimes St on S/S of Madrone St	LED - 55W
56834	186' E/O Chimes St on S/S of Madrone St	LED - 55W
56835	100' S/O Madrone St on E/S of Sunol St	LED - 55W
56836	23' E/O Sunol St on N/S of Madrone St	LED - 55W
56837	164' E/O Sunol St on S/S of Madrone St	LED - 55W
56838	25' W/O Central Pacific St on N/S of Madrone St	LED - 55W
56839	108' E/O Chimes St on S/S of Bacarra St	LED - 55W
56840	274' E/O Chimes St on N/S of Bacarra St	LED - 55W
56841	299' W/O Central Pacific St on S/S of Bacarra St	LED - 55W
56842	158' W/O Central Pacific St on N/S of Bacarra St	LED - 55W
56843	29' W/O Central Pacific St on S/S of Bacarra St	LED - 55W
56844	86' E/O Central Pacific St on N/S of Bacarra St	LED - 55W
56845	220' E/O Central Pacific St on S/S of Bacarra St	LED - 55W
56846	35' W/O Locomotive St on N/S of Bacarra St	LED - 55W
56847	115' N/O Bacarra St on E/S of Locomotive St	LED - 55W
56848	W/S of Intersection of Locomotive St on Albany St	LED - 55W
56849	152' W/O Locomotive St on S/S of Albany St	LED - 55W
56850	90' E/O Central Pacific St on S/S of Albany St	LED - 55W
56851	28' W/O Central Pacific St on N/S of Albany St	LED - 55W
56852	155' W/O Central Pacific St on S/S of Albany St	LED - 55W
56853	288' W/O Central Pacific St on N/S of Albany St	LED - 55W
56854	422' W/O Central Pacific St on S/S of Albany St	LED - 55W
56855	245' E/O Chimes St on N/S of Albany St	LED - 55W
56856	86' E/O Chimes St on S/S of Albany St	LED - 55W
56857	195' N/O Locomotive St on E/S of Crespi St	LED - 55W
56858	365' N/O Locomotive St on E/S of Crespi St	LED - 55W
56859	E/S of Turnstile on S/S of Senator St	LED - 55W
56860	25' E/O Leland St on N/S of Senator St	LED - 55W
56861	175' E/O Leland St on N/S of Senator St	LED - 55W
56862	90' W/O Saybrook St on S/S of Senator St	LED - 55W
56863	125' E/O Leland St on S/S of Panama St	LED - 55W
56864	92' W/O Saybrook St on S/S of Panama St	LED - 55W
56865	119' N/O Locomotive St on E/S of Saybrook St	LED - 55W
56866	112' N/O Pico St on W/S of Saybrook St	LED - 55W
56867	Intersection of Panama St on E/S of Saybrook St	LED - 55W
56868	133' N/O Panama St on W/S of Saybrook St	LED - 55W
56869	14' N/O Senator St on E/S of Saybrook St	LED - 55W
56870	157' N/O Senator St on W/S of Saybrook St	LED - 55W
56871	99' W/O Saybrook St on S/S of Mercantile St	LED - 55W
56872	243' W/O Saybrook St on N/S of Mercantile St	LED - 55W
56873	393' W/O Saybrook St on N/S of Mercantile St	LED - 55W
56874	64' S/O Mercantile St on W/S of Leland St	LED - 55W
56875	89' N/O Panama St on E/S of Leland St	LED - 55W
56876	36' S/O Panama St on W/S of Leland St	LED - 55W
56877	W/S of Leland St and Pico St intersection	LED - 55W
56878	122' E/O Leland St on N/S of Pico St	LED - 55W

56879	68' W/O Saybrook St on S/S of Pico St	LED - 55W
56880	77' S/E of Barbara Terry Blvd on S/S of Central Pacific St	LED - 55W
56881	Intersection of Athena St on S/S of Central Pacific St	LED - 55W
56882	116' S/E of Athena St on N/S of Central Pacific St	LED - 55W
56883	Intersection of Jewel St on S/S of Central Pacific St	LED - 55W
56884	96' W/O Port Washington St on N/S of Central Pacific St	LED - 55W
56885	Intersection of Central Pacific St on E/S of Port Washington St	LED - 55W
56886	133' N/O Central Pacific St on E/S of Port Washington St	LED - 55W
56887	284' N/O Central Pacific St on W/S of Port Washington St	LED - 55W
56888	452' N/O Central Pacific St on W/S of Port Washington St	LED - 55W
56889	113' E/O Jewel St on S/S of George St	LED - 55W
56890	126' W/O Jewel St on S/S of George St	LED - 55W
56891	111' N/O Central Pacific St on E/S of Athena St	LED - 55W
56892	258' N/O Central Pacific St on E/S of Athena St	LED - 55W
56893	407' N/O Central Pacific St on W/S of Athena St	LED - 55W
56894	127' N/O Central Pacific St on W/S of Jewel St	LED - 55W
56895	276' N/O Central Pacific St on W/S of Jewel St	LED - 55W
56896	24' S/O George St on W/S of Jewel St	LED - 55W
56897	104' N/O George St on E/S of Jewel St	LED - 55W
56932	131' E/O Barbara Terry Blvd on N/S of Sunol St	LED - 55W
56933	127' E/O Railway St on S/S of Sunol St	LED - 55W
56934	287' E/O Railway St on N/S of Sunol St	LED - 55W
56935	183' W/O Port Washington St on S/S of Sunol St	LED - 55W
56936	28' W/O Port Washington St on S/S of Sunol St	LED - 55W
56937	88' N/O Sunol St on E/S of Port Washington St	LED - 55W
56938	124' S/O Sunol St on E/S of Port Washington St	LED - 55W
56939	37' W/O Port Washington St on N/S of Sacramento St	LED - 55W
56940	206' W/O Port Washington St on S/S of Sacramento St	LED - 55W
56941	362' W/O Port Washington St on S/S of Sacramento St	LED - 55W
56942	537' W/O Port Washington St on N/S of Sacramento St	LED - 55W
56943	Intersection on Railway St on W/S of Sacramento St	LED - 55W
56944	111' S/O Sunol St on E/S of Railway St	LED - 55W
57863	118' S/W of Stanford Crossing on S/S of Spartan Way	LED - 55W
57864	228' S/W of Stanford Crossing on N/S of Spartan Way	LED - 55W
57865	352' S/W of Stanford Crossing on S/S of Spartan Way	LED - 55W
57866	462' S/W of Stanford Crossing on N/S of Spartan Way	LED - 55W
57867	586' S/W of Stanford Crossing on N/S of Spartan Way	LED - 55W
57868	704' S/W of Stanford Crossing on S/S of Spartan Way	LED - 55W
57869	814' S/W of Stanford Crossing on N/S of Spartan Way	LED - 55W
57870	957' S/W of Stanford Crossing on S/S of Spartan Way	LED - 55W
57871	1085' S/W of Stanford Crossing on N/S of Spartan Way	LED - 55W
57872	1226' S/W of Stanford Crossing on S/S of Spartan Way	LED - 55W
57873	1355' S/W of Stanford Crossing on N/S of Spartan Way	LED - 55W
57874	1485' S/W of Stanford Crossing on N/S of Spartan Way	LED - 55W
57875	1633' S/W of Stanford Crossing on S/E side of Spartan Way	LED - 55W
57876	1750' S/W of Stanford Crossing on N/W side of Spartan Way	LED - 55W
57877	1880' S/W of Stanford Crossing on S/E side of Spartan Way	LED - 55W
57878	2010' S/W of Stanford Crossing on N/W side of Spartan Way	LED - 55W
57879	2138' S/W of Stanford Crossing on N/W side of Spartan Way	LED - 55W
57880	2257' S/W of Stanford Crossing on S/E side of Spartan Way	LED - 55W
57881	2385' S/E of Stanford Crossing on W/side of Spartan Way	LED - 55W
57882	2502' S/W of Stanford Crossing on E/side of Spartan Way	LED - 55W
57883	2617' S/W of Stanford Crossing on W/side of Spartan Way	LED - 55W
57884	2736' S/W of Stanford Crossing on E/side of Spartan Way	LED - 55W
57885	2850' S/W of Stanford Crossing on W/Side of Spartan Way	LED - 55W
57886	2973' S/W of Stanford Crossing on E/side of Spartan Way	LED - 55W
58087	SLSP - DESCRIPTIONS TO BE PROVIDED BY PG&E AND INSERT ASAP	LED - 101W
58088	SLSP - DESCRIPTIONS TO BE PROVIDED BY PG&E AND INSERT ASAP	LED - 101W
58089	SLSP - DESCRIPTIONS TO BE PROVIDED BY PG&E AND INSERT ASAP	LED - 101W
58090	SLSP - DESCRIPTIONS TO BE PROVIDED BY PG&E AND INSERT ASAP	LED - 101W
58091	SLSP - DESCRIPTIONS TO BE PROVIDED BY PG&E AND INSERT ASAP	LED - 101W
58092	SLSP - DESCRIPTIONS TO BE PROVIDED BY PG&E AND INSERT ASAP	LED - 101W
58093	SLSP - DESCRIPTIONS TO BE PROVIDED BY PG&E AND INSERT ASAP	LED - 101W
58094	SLSP - DESCRIPTIONS TO BE PROVIDED BY PG&E AND INSERT ASAP	LED - 101W
58095	SLSP - DESCRIPTIONS TO BE PROVIDED BY PG&E AND INSERT ASAP	LED - 101W
58096	SLSP - DESCRIPTIONS TO BE PROVIDED BY PG&E AND INSERT ASAP	LED - 101W
58097	SLSP - DESCRIPTIONS TO BE PROVIDED BY PG&E AND INSERT ASAP	LED - 101W
58098	SLSP - DESCRIPTIONS TO BE PROVIDED BY PG&E AND INSERT ASAP	LED - 101W
58099	SLSP - DESCRIPTIONS TO BE PROVIDED BY PG&E AND INSERT ASAP	LED - 101W
58100	SLSP - DESCRIPTIONS TO BE PROVIDED BY PG&E AND INSERT ASAP	LED - 101W
58101	SLSP - DESCRIPTIONS TO BE PROVIDED BY PG&E AND INSERT ASAP	LED - 101W
58102	SLSP - DESCRIPTIONS TO BE PROVIDED BY PG&E AND INSERT ASAP	LED - 101W
58103	SLSP - DESCRIPTIONS TO BE PROVIDED BY PG&E AND INSERT ASAP	LED - 101W
58104	SLSP - DESCRIPTIONS TO BE PROVIDED BY PG&E AND INSERT ASAP	LED - 101W
58105	SLSP - DESCRIPTIONS TO BE PROVIDED BY PG&E AND INSERT ASAP	LED - 101W
58106	SLSP - DESCRIPTIONS TO BE PROVIDED BY PG&E AND INSERT ASAP	LED - 101W
58107	SLSP - DESCRIPTIONS TO BE PROVIDED BY PG&E AND INSERT ASAP	LED - 101W
58108	SLSP - DESCRIPTIONS TO BE PROVIDED BY PG&E AND INSERT ASAP	LED - 101W
58109	SLSP - DESCRIPTIONS TO BE PROVIDED BY PG&E AND INSERT ASAP	LED - 101W
58110	SLSP - DESCRIPTIONS TO BE PROVIDED BY PG&E AND INSERT ASAP	LED - 101W
58111	SLSP - DESCRIPTIONS TO BE PROVIDED BY PG&E AND INSERT ASAP	LED - 101W
58112	SLSP - DESCRIPTIONS TO BE PROVIDED BY PG&E AND INSERT ASAP	LED - 101W
58113	SLSP - DESCRIPTIONS TO BE PROVIDED BY PG&E AND INSERT ASAP	LED - 101W
58114	SLSP - DESCRIPTIONS TO BE PROVIDED BY PG&E AND INSERT ASAP	LED - 101W
58115	SLSP - DESCRIPTIONS TO BE PROVIDED BY PG&E AND INSERT ASAP	LED - 101W
58116	SLSP - DESCRIPTIONS TO BE PROVIDED BY PG&E AND INSERT ASAP	LED - 101W

ITEM 4.14

CITY MANAGER'S REPORT JUNE 8, 2020 CITY COUNCIL REGULAR MEETING

ITEM: INDUSTRIAL SOLID WASTE LICENSE RENEWAL FOR FISCAL YEAR 2020-21

RECOMMENDATION: Adopt Resolution Approving Annual Industrial Solid Waste License Renewal for Stockton Scavengers Association and Delta Container Corporation for Fiscal Year 2020-21

SUMMARY:

The Legislature of the State of California, by enactment of the California Integrated Waste Management Act of 1989 (AB939), has acknowledged that it is within the public interest to authorize and require local agencies to make adequate provisions for solid waste management. The process requires cities and other local agencies to implement plans for source reduction, reuse, and recycling as part of their integrated waste management practices.

In an effort to comply with said legislation, the City of Lathrop adopted Municipal Code Chapter 8.16 (Garbage Collection and Disposal). Lathrop Municipal Code Section 8.16.140 requires any company that collects industrial solid waste in the City of Lathrop to annually apply for an Industrial Solid Waste Removal License. The City's current industrial solid waste haulers are Stockton Scavengers Association (subsidiary of Waste Management, Inc.) and Delta Container Corporation (subsidiary of Allied Waste of San Joaquin County dba Republic Services, Inc.). Staff requests approval of the annual industrial solid waste license renewals for Stockton Scavengers Association and Delta Container Corporation.

BACKGROUND:

Lathrop Municipal Code 8.16.140, Section (A) requires any company who collects and removes industrial solid waste within the City of Lathrop to apply annually for an industrial solid waste removal license. Lathrop Municipal Code 8.16.140 also states that the contractor who provides both residential and commercial waste removal service shall not be required to pay the annual license fee.

Delta Container is a subsidiary of Allied Waste dba Republic Services, Inc., which provides both residential and commercial waste collection service and therefore is not required to pay the annual license fee in the sum of two thousand five hundred dollars (\$2,500). However, Delta Container is required to pay the standard eleven percent (11%) of their annual gross receipts and \$92 administration fee, which is set forth by Lathrop Municipal Code 8.16.140.

**CITY MANAGER'S REPORT
JUNE 8, 2020 CITY COUNCIL REGULAR MEETING
INDUSTRIAL SOLID WASTE LICENSE RENEWAL FOR FY 2020-21**

PAGE 2

Stockton Scavengers Association does not provide residential waste removal service within the City of Lathrop. Therefore, they are required to pay an annual license fee in the sum of two thousand five hundred dollars (\$2,500) and the standard eleven percent (11%) of their annual gross receipts and \$92 administration fee, which is set forth by Lathrop Municipal Code 8.16.140.

Our current haulers, Stockton Scavengers Association and Delta Container Corporation, have submitted their annual license renewal application, fee, bonds, insurance, locations serviced, and their financial status report.

REASON FOR RECOMMENDATION:

To continue our efforts to meet the terms of the AB939 legislation, and continue implementing plans for source reduction, reuse, and recycling as part of our integrated waste management practices, staff recommends that City Council approve the Industrial Solid Waste Removal License renewals for Stockton Scavenger Association and Delta Container Corporation.

FISCAL IMPACT:

Annual gross receipt monies received from these companies will be deposited into the Franchise Tax-Solid Waste Industrial revenue account number 1010-15-10-319-05-05.

The license administration fee(s) in the sum of ninety-two dollars (\$92) received from each company will be deposited into Public Works Administration account number 1010-50-01-341-01-01.


The annual license fee in the sum of two thousand five hundred dollars (\$2,500) received from Stockton Scavenger Association will be deposited into the Franchise Tax-Solid Waste Industrial revenue account number 1010-15-10-319-05-05.

ATTACHMENTS:

- A. Resolution Approving Annual Industrial Solid Waste License Renewal for Stockton Scavengers Association and Delta Container Corporation for Fiscal Year 2020-21

**CITY MANAGER'S REPORT
JUNE 8, 2020 CITY COUNCIL REGULAR MEETING
INDUSTRIAL SOLID WASTE LICENSE RENEWAL FOR FY 2020-21**

APPROVALS:



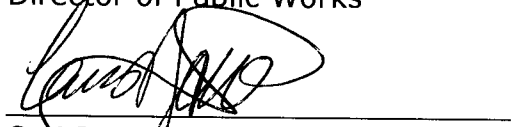
Sandra Lewis
Executive Administrative Assistant

5-26-2020
Date



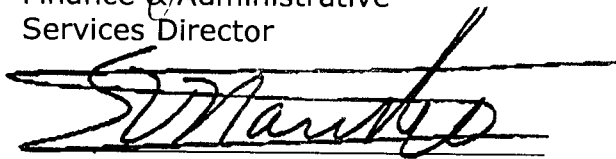
Michael King
Director of Public Works

5-26-2020
Date



Cari James
Finance & Administrative
Services Director

5-27-2020
Date



Salvador Navarrete
City Attorney

5/26/2020
Date



Stephen J. Salvatore
City Manager

6.3.2020
Date

RESOLUTION NO. 20-

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LATHROP APPROVING ANNUAL INDUSTRIAL SOLID WASTE LICENSE RENEWAL FOR STOCKTON SCAVENGERS ASSOCIATION AND DELTA CONTAINER CORPORATION FOR FISCAL YEAR 2020-21

WHEREAS, Lathrop Municipal Code 8.16.140, Section (A) requires any company which collects and removes industrial solid waste within the City of Lathrop to annually apply for an industrial solid waste removal license; and

WHEREAS, the City's current haulers are Stockton Scavengers Association and Delta Container Corporation; and

WHEREAS, Delta Container is a subsidiary of Allied Waste dba Republic Services, Inc., which provides both residential and commercial waste removal service for the City of Lathrop and therefore is not required to pay the annual license fee; and

WHEREAS, Delta Container is required to pay the standard eleven percent (11%) of their annual gross receipts and \$92 administration fee, which is by Lathrop Municipal Code 8.16.140; and

WHEREAS, Stockton Scavengers Association does not provide residential waste removal service within the City of Lathrop and therefore are required to pay an annual license fee in the sum of two thousand five hundred dollars (\$2,500); and

WHEREAS, Stockton Scavengers Association is required to pay the standard eleven percent (11%) of their annual gross receipts and \$92 administration fee, which is by Lathrop Municipal Code 8.16.140; and

WHEREAS, to continue our efforts to meet the terms of the AB939 legislation and continue implementing plans for source reduction, reuse, and recycling as part of their integrated solid waste management practices, staff recommends that City Council approve the Industrial Solid Waste Removal License renewals for Stockton Scavenger Association and Delta Container Corporation; and

WHEREAS, the following monies received from these companies will be deposited as follows:

- Annual gross receipt monies received from these companies will be deposited into the Franchise Tax-Solid Waste Industrial revenue account number 1010-15-10-319-05-05;
- License administration fee in the sum of ninety-two dollars (\$92) received from these companies will be deposited into Public Works Administration account number 1010-50-01-341-01-01;
- Annual license fee in the sum of two thousand five hundred dollars (\$2,500) received from Stockton Scavenger Association will be deposited into the Franchise Tax-Solid Waste Industrial revenue account number 1010-15-10-319-05-05.

NOW, THEREFORE, BE IT RESOLVED, that the City Council of the City of Lathrop authorizes the Industrial Solid Waste Licenses renewals for FY 20-21 with Stockton Scavengers Association and Delta Containers Corporation.

The foregoing resolution was passed and adopted this 8th day of June 2020, by the following vote of the City Council, to wit:

AYES:

NOES:

ABSENT:

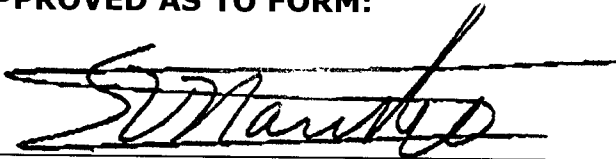
ABSTAIN:

Sonny Dhaliwal, Mayor

ATTEST:

Teresa Vargas, City Clerk

APPROVED AS TO FORM:



Salvador Navarrete, City Attorney

ITEM 4.15

CITY MANAGER'S REPORT JUNE 8, 2020 CITY COUNCIL REGULAR MEETING

ITEM: **AUTHORIZE ADJUSTMENT TO THE REPUBLIC SERVICES SOLID WASTE COLLECTION RATES FOR FISCAL YEAR 2020-2021 AND RELATED BUDGET AMENDMENT**

RECOMMENDATION: **Adopt Resolution Authorizing an Increase to Republic Services Collection Rates Based on the Consumer Price Index for San Francisco-Oakland-San Jose for All Urban Consumers for Fiscal Year 2020-2021, Six Month Deferral, and Related Budget Amendment**

SUMMARY:

The City of Lathrop is responsible for the collection and the transport of solid waste within City limits. Since 2003, the City has contracted for these services with Lathrop Sunrise Sanitation, now doing business as Republic Services. The Agreement between the City of Lathrop and Republic Services allows for an annual rate adjustment based on the Consumer Price Index for All Urban Consumers (CPI-U) for the San Francisco-Oakland-San Jose, California area, not to exceed 4.0%.

On April 21, 2020, Republic Services submitted their annual CPI-U adjustment for commercial and residential rates. The current index is 2.9% for the upcoming fiscal year beginning July 1, 2020 and is below the maximum threshold established in their contract of 4.0%. The annual CPI-U increase would apply to all customer classes and amounts to approximately \$90,000.

As part of the established consumer rates, Republic Services collects a franchise fee from all customers to cover the cost of state mandated solid waste outreach. Franchise fees are remitted to the City and staff uses those funds to maintain compliance with state regulations. Due to the Governor's "stay at home order" in response to the Coronavirus (COVID-19), staff has been unable to spend those funds on outreach over the past several months.

To assist our residents with rising cost of services in the midst of the COVID-19 pandemic, we propose to utilize the unspent funds towards the proposed annual rate increase. Unspent funds are estimated to be \$45,000 which will cover the rate increase for the first six (6) months. A budget amendment is required to increase appropriations to the Solid Waste Expense Fund (2400).

If approved, this item will adjust the annual CPI-U by 2.9% for the upcoming fiscal year beginning July 1, 2020 in accordance with the contract terms, authorize the use of \$45,000 unspent franchise fees to offset the rate increase to the residents for the first 6 months and amend the budget for the solid waste fund (2400).

BACKGROUND:

The Lathrop Municipal Code Section 8.16.090 gives the City the exclusive right and duty to collect and transport solid waste or provide for the collection and transportation thereof within the City limits under such terms and conditions, as it deems necessary for the public health, safety and well-being, and it may contract for the provision of those services.

On October 21, 2003, City Council approved an Agreement between the City of Lathrop and Lathrop Sunrise Sanitation (Agreement), now doing business as Republic Services, to provide the necessary collection, transportation and disposal of solid waste generated within the City limit and for compliance with the source reduction and recycling elements of the City's Waste Management Plan.

On June 2, 2009, City Council approved Amendment No. 1 to the Agreement with Republic Services extending the contract term for an additional 5 years to June 30, 2014.

On June 2, 2014, City Council approved Amendment No. 2 to the Agreement with Republic Services extending the contract term for an additional 5 years to June 30, 2019.

On June 10, 2019, City Council approved Amendment No. 3 to the Agreement with Republic Services extending the contract term for an additional 5 years to June 30, 2024 with renewable language clause and rate increase adjustment.

Lathrop Municipal Code Section 8.16.170 and Section 26 of the Agreement provide the City Council shall determine the maximum solid waste collection rates.

Section 26 of the Agreement also provides collection rates shall be reviewed annually and any adjustment to the maximum solid waste collection rates is to be based on the Consumer Price Index for All Urban Consumers (CPI-U) for the San Francisco-Oakland-San Jose, California area, not to exceed 4.0%.

On April 21, 2020, staff received a request from Republic Services to adjust their commercial and residential rates. The proposed 2.9% increase is based on the annual CPI-U percentage change over the last year, ending February 1, 2020. The increase would apply to all customer classes effective on July 1, 2020.

The maximum allowable rate request is as follows:

STANDARD RESIDENTIAL RATES:

Container Size	Current Rate	Proposed 2.9% Rate Increase	Difference
Small – 30 gal	\$34.19	\$35.18	\$0.99
Medium – 60 gal	\$36.82	\$37.89	\$1.07
Large – 90 gal	\$41.81	\$43.02	\$1.21

SENIOR RESIDENTIAL RATES:

Container Size	Current Rate	Proposed 2.9% Rate Increase	Difference
Small – 30 gal	\$25.85	\$26.60	\$0.75
Medium – 60 gal	\$27.76	\$28.57	\$0.81
Large – 90 gal	\$31.33	\$32.24	\$0.91

MOBILE HOME/TRAILER PARK RATES:

Container Size	Current Rate	Proposed 2.9% Rate Increase	Difference
Small – 30 gal	\$28.58	\$29.41	\$0.83
Medium – 60 gal	\$29.14	\$29.99	\$0.85
Large – 90 gal	\$33.54	\$34.51	\$0.97

SENIOR MOBILE HOME/TRAILER PARK RATES:

Container Size	Current Rate	Proposed 2.9% Rate Increase	Difference
Small – 30 gal	\$21.79	\$22.42	\$0.63
Medium – 60 gal	\$22.19	\$22.83	\$0.64
Large – 90 gal	\$25.38	\$26.12	\$0.74

COMMERCIAL RATES – CURRENT RATES:

Container Size	One/Wk	Two/Wk	Three/Wk	Four/Wk	Five/Wk	Max/Wt
1 Cu. Yd	\$86.35	\$131.59	\$176.80	\$221.97	\$267.19	100 lbs.
2 Cu. Yd	\$111.01	\$170.52	\$234.22	\$289.59	\$349.11	200 lbs.
3 Cu. Yd	\$140.74	\$224.91	\$324.46	\$442.88	\$561.39	350 lbs.
4 Cu. Yd	\$175.66	\$289.59	\$447.20	\$604.89	\$759.69	400 lbs.
5 Cu. Yd	\$217.43	\$417.74	\$618.04	\$818.35	\$1,018.69	600 lbs.
6 Cu. Yd	\$257.80	\$503.01	\$748.55	\$994.02	\$1,239.55	650 lbs.
Lg. Cart	\$36.78	N/A	N/A	N/A	N/A	N/A

COMMERCIAL RATES – PROPOSED RATES:

Container Size	One/Wk	Two/Wk	Three/Wk	Four/Wk	Five/Wk	Max/Wt*
1 Cu. Yd	\$88.85	\$135.41	\$181.93	\$228.41	\$274.94	100 lbs.
2 Cu. Yd	\$114.23	\$175.47	\$241.01	\$297.99	\$359.23	200 lbs.
3 Cu. Yd	\$144.82	\$231.43	\$333.87	\$455.72	\$577.67	350 lbs.
4 Cu. Yd	\$214.18	\$411.49	\$608.80	\$806.11	\$1,003.45	400 lbs.
5 Cu. Yd	\$223.74	\$429.85	\$635.96	\$842.08	\$1,048.23	600 lbs.
6 Cu. Yd	\$265.28	\$517.60	\$770.26	\$1022.85	\$1,275.50	650 lbs.
Lg. Cart	\$37.85	N/A	N/A	N/A	N/A	N/A

**Weights in excess of these maximum amounts per bin per pick up will be charged an additional \$8.00 per extra 100 pounds.*

FISCAL IMPACT:

To assist our residents with rising cost of services in the midst of the COVID-19 pandemic, we propose to utilize the unspent funds towards the proposed annual rate increase. Unspent funds are estimated to be \$45,000 which will cover the rate increase for the first six (6) months. A budget amendment is required to increase appropriations to the Solid Waste Expense Fund (2400) as follows:

Increase Appropriation

2400-5040-420-16-00 \$45,000

ATTACHMENT:

- A. Resolution Authorizing an Increase to Republic Services Collection Rates Based on the Consumer Price Index for San Francisco-Oakland-San Jose for All Urban Consumers for Fiscal Year 2020-2021, Six Month Deferral, and Related Budget Amendment
- B. Letter from Republic Services dated April 21, 2020

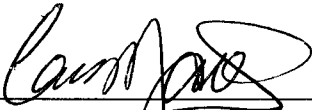
**CITY MANAGER'S REPORT
JUNE 8, 2020 CITY COUNCIL REGULAR MEETING
REPUBLIC SERVICES CPI-U ADJUSTMENT FOR FY 2020-2021**

APPROVALS:



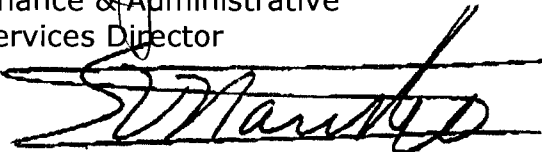
Michael King
Director of Public Works

5-21-20
Date



Cari James
Finance & Administrative
Services Director

5-26-2020
Date



Salvador Navarrete
City Attorney

5/21/2020
Date



Stephen J. Salvatore
City Manager

6-3-2020
Date

RESOLUTION NO. 20 –

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LATHROP AUTHORIZING AN INCREASE TO REPUBLIC SERVICES COLLECTION RATES BASED ON THE CONSUMER PRICE INDEX FOR SAN FRANCISCO-OAKLAND-SAN JOSE FOR ALL URBAN CONSUMERS FOR FISCAL YEAR 2020-2021, SIX MONTH DEFERRAL, AND RELATED BUDGET AMENDMENT

WHEREAS, on October 21, 2003, City Council approved an Agreement between the City of Lathrop and Lathrop Sunrise Sanitation (Agreement), now doing business as Republic Services, to provide the necessary collection, transportation and disposal of solid waste generated within the City limit and for compliance with the source reduction and recycling elements of the City’s Waste Management Plan; and

WHEREAS, on June 2, 2009, City Council approved Amendment No. 1 to the Agreement with Republic Services extending the contract term for an additional 5 years to June 30, 2014; and

WHEREAS, on June 2, 2014 City Council approved Amendment No. 2 to the Agreement with Republic Services extending the contract term for an additional 5 years to June 30, 2019; and

WHEREAS, on June 10, 2019, City Council approved Amendment No. 3 to the Agreement with Republic Services extending the contract term for an additional 5 years to June 30, 2024 with renewable language clause and rate increase adjustment; and

WHEREAS, Lathrop Municipal Code Section 8.16.170 and Section 26 of the original Agreement provide the City Council shall determine the maximum solid waste collection rates; and

WHEREAS, Section 26 of the Agreement also provides collection rates shall be reviewed annually and any adjustment to the maximum solid waste collection rates is to be based on the Consumer Price Index for All Urban Consumers (CPI-U) for the San Francisco-Oakland-San Jose, California area, not to exceed 4.0%; and

WHEREAS, on April 21, 2020, staff received a request from Republic Services to adjust their commercial and residential rates pursuant to Section 26 of the Agreement; and

WHEREAS, The current index is 2.9% for the upcoming fiscal year beginning July 1, 2020 and is below the maximum threshold established in their contract of 4.0%; and

WHEREAS, the annual CPI-U increase would apply to all customer classes and amounts to approximately \$90,000; and

WHEREAS, as part of the established consumer rates, Republic Services collects a franchise fee from all customers to cover the cost of state mandated solid waste outreach and franchise fees are remitted to the City and staff uses those funds to maintain compliance with state regulations; and

WHEREAS, due to the Governor's "stay at home order" in response to the Coronavirus (COVID-19), staff has been unable to spend those funds on outreach over the past several months; and

WHEREAS, to assist our residents with rising cost of services in the midst of the COVID-19 pandemic, we propose to utilize the unspent funds towards the proposed annual rate increase; and

WHEREAS, unspent funds are estimated to be \$45,000 which will cover the rate increase for the first six (6) months and a budget amendment is required to increase appropriations to the Solid Waste Expense Fund (2400); and

NOW, THEREFORE, BE IT RESOLVED, that to the extent that the solid waste hauler gives notice pursuant to Section 26 of the Agreement, and pursuant to Lathrop Municipal Code Section 8.16.170, the City's franchised solid waste hauler shall not be permitted to charge fees any higher than specified for each customer type listed:

STANDARD RESIDENTIAL RATES:

<i>Container Size</i>	<i>Current Rate</i>	<i>Proposed 2.9% Rate Increase</i>	<i>Difference</i>
Small – 30 gal	\$34.19	\$35.18	\$0.99
Medium – 60 gal	\$36.82	\$37.89	\$1.07
Large – 90 gal	\$41.81	\$43.02	\$1.21

SENIOR RESIDENTIAL RATES:

<i>Container Size</i>	<i>Current Rate</i>	<i>Proposed 2.9% Rate Increase</i>	<i>Difference</i>
Small – 30 gal	\$25.85	\$26.60	\$0.75
Medium – 60 gal	\$27.76	\$28.57	\$0.81
Large – 90 gal	\$31.33	\$32.24	\$0.91

MOBILE HOME/TRAILER PARK RATES:

<i>Container Size</i>	<i>Current Rate</i>	<i>Proposed 2.9% Rate Increase</i>	<i>Difference</i>
Small – 30 gal	\$28.58	\$29.41	\$0.83
Medium – 60 gal	\$29.14	\$29.99	\$0.85
Large – 90 gal	\$33.54	\$34.51	\$0.97

SENIOR MOBILE HOME/TRAILER PARK RATES:

Container Size	Current Rate	Proposed 2.9% Rate Increase	Difference
Small – 30 gal	\$21.79	\$22.42	\$0.63
Medium – 60 gal	\$22.19	\$22.83	\$0.64
Large – 90 gal	\$25.38	\$26.12	\$0.74

COMMERCIAL RATES – CURRENT RATES:

Container Size	One/Wk	Two/Wk	Three/Wk	Four/Wk	Five/Wk	Max/Wt
1 Cu. Yd	\$86.35	\$131.59	\$176.80	\$221.97	\$267.19	100 lbs.
2 Cu. Yd	\$111.01	\$170.52	\$234.22	\$289.59	\$349.11	200 lbs.
3 Cu. Yd	\$140.74	\$224.91	\$324.46	\$442.88	\$561.39	350 lbs.
4 Cu. Yd	\$175.66	\$289.59	\$447.20	\$604.89	\$759.69	400 lbs.
5 Cu. Yd	\$217.43	\$417.74	\$618.04	\$818.35	\$1,018.69	600 lbs.
6 Cu. Yd	\$257.80	\$503.01	\$748.55	\$994.02	\$1,239.55	650 lbs.
Lg. Cart	\$36.78	N/A	N/A	N/A	N/A	N/A

COMMERCIAL RATES – PROPOSED RATES:

Container Size	One/Wk	Two/Wk	Three/Wk	Four/Wk	Five/Wk	Max/Wt*
1 Cu. Yd	\$88.85	\$135.41	\$181.93	\$228.41	\$274.94	100 lbs.
2 Cu. Yd	\$114.23	\$175.47	\$241.01	\$297.99	\$359.23	200 lbs.
3 Cu. Yd	\$144.82	\$231.43	\$333.87	\$455.72	\$577.67	350 lbs.
4 Cu. Yd	\$214.18	\$411.49	\$608.80	\$806.11	\$1,003.45	400 lbs.
5 Cu. Yd	\$223.74	\$429.85	\$635.96	\$842.08	\$1,048.23	600 lbs.
6 Cu. Yd	\$265.28	\$517.60	\$770.26	\$1022.85	\$1,275.50	650 lbs.
Lg. Cart	\$37.85	N/A	N/A	N/A	N/A	N/A

**Weights in excess of these maximum amounts per bin per pick up will be charged an additional \$8.00 per extra 100 pounds.*

BE IT FURTHER RESOLVED, that the City Council of the City of Lathrop authorizes the use of \$45,000 in unspent franchise fees to offset the rate increase to the residents for the first six (6) months;

BE IT FURTHER RESOLVED, that the City Council of the City of Lathrop authorizes a budget amendment to the Solid Waste Fund (2400) as follows:

Increase Appropriation
2400-5040-420-16-00 \$45,000

The foregoing resolution was passed and adopted this 8th day of June, 2020, by the following vote of the City Council, to wit:

AYES:

NOES:

ABSENT:

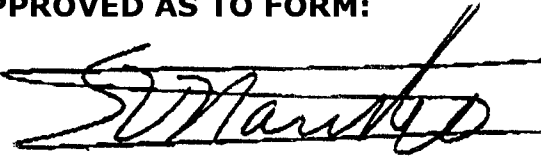
ABSTAIN:

Sonny Dhaliwal, Mayor

ATTEST:

APPROVED AS TO FORM:

Teresa Vargas, City Clerk


Salvador Navarrete, City Attorney



1145 W. Charter Way, Stockton, CA 95206
© 2009-466-5192 / (909) 466-0631 / republicservices.com

April 21, 2020

Teresa Vargas
City of Lathrop
390 Towne Centre Dr.
Lathrop, CA 95330

Dear Ms. Vargas,

Pursuant to Section 26 of the "Agreement Between the City of Lathrop and Lathrop Sunrise Sanitation Corporation" the collection rates shall be reviewed annually during the month of May and adjusted effective July 1. The agreement allows for an adjustment based on the prior year change in the Consumer Price Index for the San Francisco-Oakland-San Jose, all urban consumer as published by the United States Department of Labor, Bureau of Labor Statistics. The change in the CPI for the period February 1, 2019 through February 1, 2020 was 2.9%.

Attached please find the proposed new collection rates effective July 1, 2020. Thank you for the continued confidence in Republic Services of Lathrop, as always we will continue to strive to provide professional solid waste services. Should you have any questions, please do not hesitate to call me at (209) 547-7531.

Sincerely,

Republic Services of Lathrop

A handwritten signature in black ink that reads "Molly Gomez". The signature is written in a cursive, flowing style.

Molly Gomez
Municipal Manager

Enclosure



Lathrop Sunrise Sanitation Rates Effective 7/1/19 (Current)

	1/WK	2/WK	3/WK	4/WK	5/WK
1 YD	\$86.35	\$131.59	\$176.80	\$221.97	\$267.19
2 YD	\$111.01	\$170.52	\$234.22	\$289.59	\$349.11
3 YD	\$140.74	\$224.91	\$324.46	\$442.88	\$561.39
4 YD	\$175.66	\$289.59	\$447.20	\$604.89	\$759.69
5 YD	\$217.43	\$417.74	\$618.04	\$818.35	\$1,018.69
6 YD	\$257.80	\$503.01	\$748.55	\$994.02	\$1,239.55
LG Cart	\$36.78				

Residential Service Weekly Recycling and Green Waste

	Standard	Senior	MHP/Trailer	MHP Senior
30 gallon	\$34.19	\$25.85	\$28.58	\$21.79
60 gallon	\$36.82	\$27.76	\$29.14	\$22.19
90 gallon	\$41.81	\$31.33	\$33.54	\$25.38

Lathrop Sunrise Sanitation Rates Effective 7/1/20 (Proposed)

	1/WK	2/WK	3/WK	4/WK	5/WK
1 YD	\$88.85	\$135.41	\$181.93	\$228.41	\$274.94
2 YD	\$114.23	\$175.47	\$241.01	\$297.99	\$359.23
3 YD	\$144.82	\$231.43	\$333.87	\$455.72	\$577.67
4 YD	\$180.75	\$297.99	\$460.17	\$622.43	\$781.72
5 YD	\$223.74	\$429.85	\$635.96	\$842.08	\$1,048.23
6 YD	\$265.28	\$517.60	\$770.26	\$1,022.85	\$1,275.50
LG. CART	\$37.85				

Residential Service Weekly Recycling and Green Waste

	Standard	Senior	MHP/Trailer	MHP Senior
30 gallon	\$35.18	\$26.60	\$29.41	\$22.42
60 gallon	\$37.89	\$28.57	\$29.99	\$22.83
90 gallon	\$43.02	\$32.24	\$34.51	\$26.12

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ITEM 4.16

CITY MANAGER'S REPORT JUNE 8, 2020 CITY COUNCIL REGULAR MEETING

ITEM: **APPROVAL OF A LARGE LOT FINAL MAP AND SUBDIVISION IMPROVEMENT AGREEMENT FOR 20 NON-BUILDABLE PARCELS (TRACT 4032) WITHIN LAKESIDE WEST DISTRICT OF RIVER ISLANDS**

RECOMMENDATION: **Adopt Resolution Approving a Large Lot Final Map for Tract 4032 within Lakeside West District, Totaling 20 Non-Buildable Parcels, a Subdivision Improvement Agreement with River Islands Stage 2B, LLC and Abandonment of a Portion of Paradise Road and Cohen Road**

SUMMARY:

On June 1, 2015, the City approved an amendment to Vesting Tentative Map Tract 3694 (VTM 3694), Phase 1 of River Islands at Lathrop, which included a Neighborhood Design Plan (NDP), Architectural Guidelines, Design Standards (AG/DS) and Parks Master Plan for the East Village neighborhood located west of the Community South River Bend (CSRB) neighborhood, by Resolution No. 15-3912 and an Amendment to the West Lathrop Specific Plan and River Islands Urban Design Concept by Ordinance No. 15-344.

On October 2018, The Community Development Director approved a Finding of Substantial Conformance for the Stage 2B sub-planning area. This allowed minor changes in the land use pattern for VTM 3694 at River Islands Development, LLC's request. The City Planning Commission will be considering approval of an NDP for the Lakeside West District and an AG/DS document for the Lakeside West District. Approval of these plans are required before a small lot final map can be subsequently approved as a result of the Tract 4032 large lot map.

Tract 4032 (Attachment "B") is a large lot final map consistent with conditions of approval for VTM 3694. This large lot final map will create large "blocks" of land that are consistent with future proposed small lot final maps associated with the Lakeside West planning District. This will provide River Islands Stage 2B, LLC ("River Islands"), the ability to process small lot final maps in an orderly fashion where one small map does not depend on another. This provides River Islands with greater flexibility in the order in which they sell neighborhoods within Lakeside West District. The City approved Tract 3876, a large lot final map for the East Village District and Tract 3908, a large lot final map for the Lakeside East District (Stage 2A) for the same purpose.

In April of this year, the Council approved an amendment to the adopted Preliminary Development Plan (PDP) for the Stage 2B area, which reflects the lots that can be developed in Phase 1 of River Islands versus Phase 2. Since a large lot map creates unbuildable lots, the large lot map will divide both districts of Stage 2B (Lakeside West – Phase 1 and Old River – Phase 2 (Attachment "C")).

JUNE 8, 2020 CITY COUNCIL REGULAR MEETING**FINAL MAP FOR TRACT 4032 TOTALING 20 PARCELS FOR THE LAKESIDE WEST DISTRICT**

Large lot final map 4032 includes both the Lakeside West and Old River Districts which are entirely within the physical limits of VTM 3694, but the Old River District exceeds the total number of lots allowed within VTM 3694. For that reason, non-buildable large lot parcels 12, 14, 15, 16, 17 and 19 within the Old River District cannot be further subdivided into buildable parcels until the Phase 2 entitlements (specifically CEQA project level review) is approved by City Council. The Lakeside West District portion can be developed with small lot maps at this time.

Security for the unfinished portion of River Islands Parkway from the Stage 2A boundary to its terminus at Paradise Road is required for this tract, since this section of River Islands Parkway will be required to be dedicated to the City and provide access to the proposed parcels. Security will also be necessary for Walera Drive, Irish Meadow Way and Bellaterra Drive, the collector roads in Stage 2B that will provide access to many of the proposed parcels created with Tract 4032; all proposed parcels will need access from a public street in accordance with the Subdivision Ordinance and River Islands Parkway and the collector roads will be necessary for this access. The balance of public improvements associated with the Lakeside West District will be dedicated and guaranteed with each small lot final map recorded in the future. The Subdivision Improvement Agreement (Attachment "D") associated with Tract 4032 is focused on the guarantee of this portion of River Islands Parkway and the collector roads as a result.

A portion of Paradise Road and Cohen Road within Tract 4032 are being replaced with River Islands Parkway. River Islands Parkway is dedicated on this map and its construction is guaranteed with the SIA, and so these portions of Paradise Road and Cohen Road are being abandoned on the Tract 4032 map.

Staff recommends that the City Council approve the proposed Final Map Tract 4032 as a large lot final map and the related Subdivision Improvement Agreement.

BACKGROUND:

On March 27, 2007, the City Council approved VTM 3694 and amended VTM 3694 on June 1, 2015, with updated conditions of approval. Further entitlements specific to the Stage 2A (Lakeside East District) planning area are proposed for Planning Commission Tract 3874 as proposed by River Islands Stage 2B, LLC, as the subdivider, complies with the most current conditions of approval.

A revised PDP was approved by the Council in March of this year. The PDP sets the boundary between those units that can be developed in Phase 1 of the project and those that will need further project level approvals with Phase 2. The PDP also shows the proposed circulation (streets) and open space area for Stage 2B.

An NDP and AG/DS will be pending Planning Commission approval and are required to be finalized prior to the approval of a small lot final map in Stage 2B.

JUNE 8, 2020 CITY COUNCIL REGULAR MEETING

FINAL MAP FOR TRACT 4032 TOTALING 20 PARCELS FOR THE LAKESIDE WEST DISTRICT

All subdivision maps are required by the City’s subdivision ordinance to include a Subdivision Improvement Agreement (SIA) to guarantee certain off-site and on-site improvements. Tract 4032 also has an associated SIA for the guarantee of unfinished portions of River Islands Parkway, Walera Drive, Irish Meadow Way and Bellaterra Drive. A maintenance bond or similar guarantee will be required for these streets the future when they are accepted by the City. Prior to the recordation of the Tract 4032 Final Map, River Islands must also satisfy the Escrow Instructions (Attachment “E”) that guarantee all required fees are paid prior to closing.

REASON FOR RECOMMENDATION:

The applicant and the City mutually agree that a large lot subdivision map for each new district within the River Islands project is beneficial, since it allows for the orderly recordation of small lot final maps that create buildable lots in the future. Since River Islands does not know which tracts (villages) with the Lakeside West District will record first, the large lot map allows for a small lot final map to be recorded in any order, with proper performance guarantees and security and any easements necessary for access. As stated, all final maps that create buildable lots will require an SIA and will require security for unfinished and/or deferred improvements associated with each tract/village. River Islands has also completed the following required items necessary for approval:

Documents		Status
1.	Final Map ready for signature	Completed
2.	Subdivision Improvement Agreement	Completed
3.	Performance Security – Uncompleted Landscaping and Miscellaneous Improvements provided with Tract 4032	Completed
4.	Labor and Materials Security – Uncompleted Landscaping and Miscellaneous Improvements provided with Tract 4032	Completed
5.	Street Improvement, Landscape Plans	Completed
6.	Street Light, Joint Trench Plans	Completed
7.	Geotechnical Report	Completed
8.	2013 Agreement for Backbone Improvements and Parks (Agreement for Dedication, Inspection and Guarantee of Streets and Public Improvements)	Completed
9.	Submitted Certificate of Insurance	Completed
10.	Submitted Preliminary Guarantee of Title	Completed
11.	Escrow Instructions	Completed
Fees		Status
1.	Final Map plan check fee	Paid

CITY MANAGER'S REPORT **Page 4**
JUNE 8, 2020 CITY COUNCIL REGULAR MEETING
FINAL MAP FOR TRACT 4032 TOTALING 20 PARCELS FOR THE LAKESIDE WEST DISTRICT

2.	Improvement Plans - Plan check and inspection fees	Paid
3.	Sierra Club Settlement fee	N/A

The above-noted documents and fees are required by the VTM 3694 conditions of approval prior to approval of the Final Map by City Council. The guarantee is in the form of the Subdivision Improvement Agreement with security and improvement plans.

Large lot Final Map 4032 includes both the Lakeside West and Old River Districts which are entirely within the physical limits of VTM 3694, but the Old River District exceeds the total number of lots allowed within VTM 3694. For that reason, non-buildable large lot parcels 12, 14, 15, 16, 17 and 19 within the Old River District cannot be further subdivided into buildable parcels until the Phase 2 entitlements (specifically CEQA project level review) is approved by City Council. The Lakeside West District portion can be developed with small lot maps at this time. However, an NDP and AG/DS are pending Planning Commission approval and are required to be finalized prior to the approval of a small lot final map in Stage 2B.

Extensive off-site improvements to serve Lakeside West District (Stage 2B) have already been completed; including construction of levees, participation in construction of a Wastewater Treatment Plant (Consolidated Treatment Facility) and related storage ponds and sprayfields, the purchase of SSJID surface water and construction of utility and roadway infrastructure to serve the proposed development area.

A portion of Paradise Road and Cohen Road within Tract 4032 are being replaced with River Islands Parkway. River Islands Parkway is dedicated on this map and its construction is guaranteed with the SIA, and so these portions of Paradise Road and Cohen Road are being abandoned on the Tract 4032 map. A quitclaim deed for these portions of roadways to be abandoned is included as Attachment "F".

Before the Tract 4032 Final Map is recorded, River Islands must also satisfy the Escrow Instructions.

BUDGET IMPACT:

There is no budget impact to the City. All City costs are covered by development fees, and any shortfalls in City maintenance and operating costs are covered by the CFD's for maintenance. River Islands is also providing funds necessary to defray any staff time required to process their request.

ATTACHMENTS:

- A. Resolution Approving a Large Lot Final Map for Tract 4032 within Lakeside West District, Totaling 20 Non-Buildable Parcels, a Subdivision Improvement Agreement with River Islands Stage 2B, LLC and Abandonment of a Portion of Paradise Road and Cohen Road
- B. Large Lot Final Map for Tract 4032
- C. Stage 2B District Map
- D. Subdivision Improvement Agreement for Tract 4032
- E. Escrow Instructions for Final Map Tract 4032
- F. Quitclaim deed for portions of Paradise Road and Cohen Road as shown on Tract 4032


CITY MANAGER'S REPORT
JUNE 8, 2020 CITY COUNCIL REGULAR MEETING
FINAL MAP FOR TRACT 4032 TOTALING 20 PARCELS FOR THE LAKESIDE WEST DISTRICT

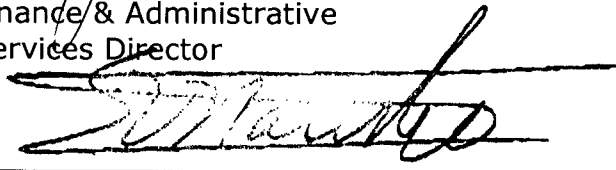
APPROVALS:


 FOR _____
Brad Taylor
Associate Engineer
Date 5-27-2020

 _____
Michael King
Director of Public Works
Date 5-27-2020

 FOR _____
Glenn Gebhardt
City Engineer
Date 5-27-2020

 _____
Cari James
Finance & Administrative Services Director
Date 5-29-2020

 _____
Salvador Navarrete
City Attorney
Date 5/29/2020

 _____
Stephen J. Salvatore
City Manager
Date 6-3-2020

RESOLUTION NO. 20-

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LATHROP APPROVING A LARGE LOT FINAL MAP FOR TRACT 4032 WITHIN LAKESIDE WEST DISTRICT, TOTALING 20 NON-BUILDABLE PARCELS, AND A SUBDIVISION IMPROVEMENT AGREEMENT WITH RIVER ISLANDS STAGE 2B, LLC AND ABANDONMENT OF A PORTION OF PARADISE ROAD AND COHEN ROAD

WHEREAS, on March 27, 2007, the City Council approved Vesting Tentative Map (VTM) No. 3694 with Conditions of Approval for a residential and commercial development that is consistent with the West Lathrop Specific Plan (WLSP) and the River Islands Urban Design Concept (UDC); and

WHEREAS, on June 1, 2015, the City Council approved amendments to the VTM, WLSP and UDC, with amended conditions of approval; and

WHEREAS, On April 13, 2020, the City Council approved an amendment to the Stage 2B Preliminary Development Plan (PDP) that shows the proposed lot program for both districts of Stage 2B; and

WHEREAS, Tract 4032, the proposed subdivision would create 20 non-buildable lots covered by the Stage 2B area of VTM No. 3694, located on the west side of the San Joaquin River, north of Union Pacific Railroad; and

WHEREAS, River Islands Stage 2B, LLC, has completed or has guaranteed completion of public improvements for a portion of River Islands Parkway from the Stage 2A boundary to its terminus and for proposed Orchid Ranch Road, a collector street in Stage 2B, with both roads required for access to proposed lots within Tract Map 4032, as identified on the approved improvement plans, and has completed or guaranteed completion of all required documents and payment of all fees; and

WHEREAS, a Subdivision Improvement Agreement between the City and River Islands Stage 2B, LLC, and provision of security by River Islands Stage 2B, LLC, for unfinished and deferred improvements for River Islands Parkway, Walera Drive, Irish Meadow Way and Bellaterra Drive are required prior to final map approval per the Lathrop Municipal Code Section 16.16.190; and

WHEREAS, a Subdivision Improvement Agreement has been signed by River Islands Stage 2B, LLC, and presented to the City for approval and signature; and

WHEREAS, upon acceptance of all improvements as complete, a one-year maintenance and repair bond will be required to secure the River Islands Stage 2B, LLC, obligation to maintain all improvements and repair or correct any defective work; and

WHEREAS, large lot final map 4032 does not create buildable lots; it only configures them for future subdivisions and creates the backbone circulation elements (streets) for the planning area; and

WHEREAS, the large lot final map 4032 includes both the Lakeside West and Old River Districts which are entirely within the physical limits of VTM 3694, but the Old River District exceeds the total number of lots allowed within VTM 3694, and for that reason, non-buildable large lot parcels 12, 14, 15, 16, 17 and 19 within the Old River District cannot be further subdivided into buildable parcels until the Phase 2 entitlements (specifically CEQA project level review) is approved by City Council; and

WHEREAS, the proposed Neighborhood Design Plan and Architectural Guidelines/Design Standards must be approved concurrently or before the filing of the first small lot map in Lakeside West; and

WHEREAS, several conditions of approval of VTM 3694 are satisfied by the 3rd Amendment to the Development Agreement between the City and Califia, LLC, which the City Council approved on October 7, 2013; and

WHEREAS, off-site improvements were guaranteed with the Dedication, Inspection and Guarantee of Streets and Public Improvements (Off-site Agreement), approved by City Council on September 30, 2013; and

WHEREAS, City staff has confirmed that all Conditions of Approval of VTM 3694 required for approval of Final Map 4032 have been met, including those Conditions of Approval satisfied under the Subdivision Improvement Agreement and Off-Site Agreement; and

WHEREAS, the City Engineer has confirmed that the Final Map for Tract 4032 is in conformance with VTM No. 3694, is technically correct and complies with the requirements of the Subdivision Map Act and Lathrop Municipal Code, Chapter 16.16; and

WHEREAS, portions of Paradise Road and Cohen Road within Tract 4032 are being replaced with River Islands Parkway which is dedicated on this map and whose construction is guaranteed with the SIA, and so these portions of Paradise Road and Cohen Road are being abandoned on the Tract 4032 map; and

WHEREAS, River Islands Stage 2B, LLC, will satisfy the escrow requirements prior to recordation of the Final Map for Tract 4032; and

WHEREAS, Agricultural Mitigation Fees (Sierra Club Fees) are not required to be paid with Tract 4032, since it will not result in buildable lots; and

WHEREAS, Capital Facilities Fees are not required until such time as the builder applies for building permits.

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of Lathrop approves the following actions:

1. The City Clerk is authorized to execute Large Lot Final Map for Tract 4032 and is hereby approved as submitted as part of the public record with the San Joaquin County Assessor/Recorder/County Clerk Office. The recorded executed copy will be filed with the City Clerk.

2. That the City Manager is authorized to execute a quitclaim deed for portions of Paradise Road and Cohen Road.

3. That the City Manager, or their designee, is authorized to execute a Subdivision Improvement Agreement with River Islands Development in substantially the form as attached to the June 8, 2020 staff report.

PASSED AND ADOPTED by the City Council of the City of Lathrop this 8th day of June 2020, by the following vote:

AYES:

NOES:

ABSENT:

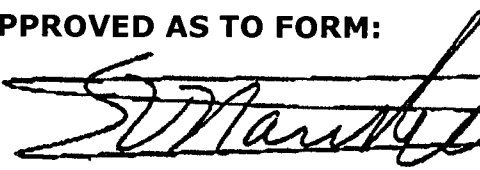
ABSTAIN:

Sonny Dhaliwal, Mayor

ATTEST:

Teresa Vargas, City Clerk

APPROVED AS TO FORM:



Salvador Navarrete, City Attorney

TRACT 4032
RIVER ISLANDS - STAGE 2B
LARGE LOT FINAL MAP

A PORTION OF RANCHO EL PESCADERO, BEING
A SUBDIVISION OF PARCEL 16 OF TRACT 3008 (43 MAP 52),
AND TRACTS 8, 9, 10, 11, 40, 41 AND A PORTION OF TRACTS 7, 12 AND 13
AS SHOWN ON THE RECORD OF SURVEY (35 RS 142),
CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA
APRIL 2020



OWNERS STATEMENT

THE UNDERSIGNED DOES HEREBY STATE THAT THEY ARE THE OWNERS OF ALL THE LAND, BELIEVED AND
EMBODIED WITHIN THE EXTERIOR BOUNDARY LINE OF THE HEREIN EMBODIED FINAL MAP ENTITLED, "TRACT 4032,
RIVER ISLANDS, STAGE 2A, LARGE LOT FINAL MAP", CITY OF LATHROP, CALIFORNIA, CONSISTING OF
TWENTY-FIVE (25) SHEETS, AND WE HEREBY CONSENT TO THE PREPARATION AND FILING OF THIS FINAL MAP IN
THE OFFICE OF THE COUNTY RECORDER OF SAN JOAQUIN COUNTY, CALIFORNIA.

THE UNDERSIGNED DOES HEREBY DEDICATE AN EASEMENT TO THE CITY OF LATHROP FOR PUBLIC
RIGHT-OF-WAY PURPOSES, THAT PORTION OF SAID LAND DESCRIBED ON SAID MAP AS RIVER ISLANDS
PARKWAY, AS SHOWN ON THIS FINAL MAP.

THE UNDERSIGNED DOES HEREBY RESERVE PARCELS 1 THROUGH 20 FOR FUTURE DEVELOPMENT.

OWNER: RIVER ISLANDS STAGE 2B, LLC, A DELAWARE LIMITED LIABILITY COMPANY.

BY: _____ DATE _____
ITS: SUSAN ODELL OSOSSO PRESIDENT

DATED THIS _____ DAY OF _____, 2020.

OLD REPUBLIC TITLE COMPANY, AS TRUSTEE, UNDER THE DEED OF TRUST RECORDED DECEMBER 22, 2016,
AS DOCUMENT NUMBER 2016-160896, OFFICIAL RECORDS OF SAN JOAQUIN COUNTY, AND AMENDED BY
DOCUMENT NUMBER 2017-150771 RECORDED DECEMBER 26, 2017, OFFICIAL RECORDS OF SAN JOAQUIN
COUNTY.

BY: _____
ITS: _____

ACKNOWLEDGEMENT CERTIFICATE (OWNERS)

A NOTARY PUBLIC OR OTHER OFFICER COMPLETING THIS CERTIFICATE VERIFIES ONLY THE IDENTITY
OF THE INDIVIDUAL WHO SIGNED THE DOCUMENT TO WHICH THIS CERTIFICATE IS ATTACHED, AND
NOT THE TRUTHFULNESS, ACCURACY, OR VALIDITY OF THAT DOCUMENT

STATE OF CALIFORNIA }
COUNTY OF SAN JOAQUIN }

ON _____, 2020 BEFORE ME,

A NOTARY PUBLIC, PERSONALLY APPEARED, _____ WHO PROVED TO
ME, ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO
THIS INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE/SHE/IT/HEY EXECUTED THE SAME IN HIS/HER/HEIR
AUTHORIZED CAPACITIES, AND THAT HE/SHE/IT/HEY (THEIR SIGNATURE(S)) ON THE INSTRUMENT THE PERSON(S), OR
THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THE INSTRUMENT.

I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING
PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND:

SIGNATURE: _____
NAME (PRINT): _____
PRINCIPAL COUNTY OF BUSINESS: _____
MY COMMISSION NUMBER: _____
MY COMMISSION EXPIRES: _____

CITY CLERK'S STATEMENT

I, TERESA VARGAS, CITY CLERK AND CLERK OF THE CITY COUNCIL OF THE CITY OF LATHROP, STATE OF
CALIFORNIA, DO HEREBY STATE THAT THE HEREIN EMBODIED MAP ENTITLED "TRACT 4032, RIVER ISLANDS,
STAGE 2B, LARGE LOT FINAL MAP", CITY OF LATHROP, CALIFORNIA, CONSISTING OF TWENTY-FIVE (25)
SHEETS, THESE SHEETS WERE PRESENTED TO SAID CITY COUNCIL, AS PROVIDED BY LAW, AT A REGULAR
MEETING, HELD ON _____ DAY OF _____, 2020, AT SAID CITY
COUNCIL DID THEREUPON BY RESOLUTION NO. _____ DOUBLY PASSED THE
AT SAID MEETING, APPROVE SAID MAP, AND AUTHORIZED ITS RECORDATION, AND REJECTED THE OFFER OF
DEDICATION OF ALL ROADWAYS AS SHOWN ON SAID MAP UNTIL THEIR IMPROVEMENTS HAVE BEEN
COMPLETED IN ACCORDANCE WITH CHAPTER 16, TITLE 16.16 OF THE CITY OF LATHROP MUNICIPAL CODE.

I FURTHER STATE THAT ALL BONDS AS REQUIRED BY LAW TO ACCOMPANY THE WITHIN MAP, IF APPLICABLE,
HAVE BEEN APPROVED BY THE CITY COUNCIL OF LATHROP AND FILED IN MY OFFICE.

TERESA VARGAS AND CLERK OF THE CITY COUNCIL OF THE CITY OF LATHROP, COUNTY OF SAN JOAQUIN, STATE
OF CALIFORNIA

ACKNOWLEDGEMENT CERTIFICATE (TRUSTEE)

A NOTARY PUBLIC OR OTHER OFFICER COMPLETING THIS CERTIFICATE VERIFIES ONLY THE IDENTITY
OF THE INDIVIDUAL WHO SIGNED THE DOCUMENT TO WHICH THIS CERTIFICATE IS ATTACHED, AND
NOT THE TRUTHFULNESS, ACCURACY, OR VALIDITY OF THAT DOCUMENT

STATE OF CALIFORNIA }
COUNTY OF SAN JOAQUIN }

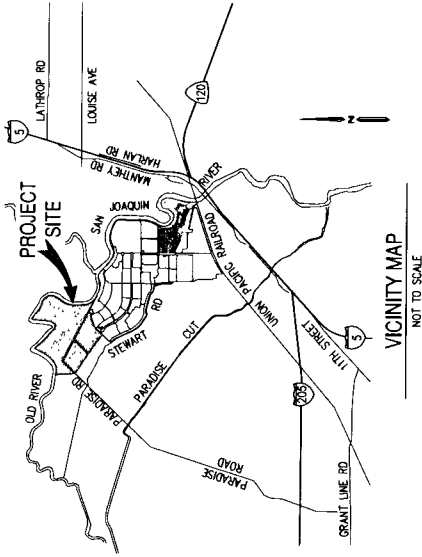
ON _____, 2020 BEFORE ME,

A NOTARY PUBLIC, PERSONALLY APPEARED, _____ WHO PROVED TO
ME, ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO
THIS INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE/SHE/IT/HEY EXECUTED THE SAME IN HIS/HER/HEIR
AUTHORIZED CAPACITIES, AND THAT HE/SHE/IT/HEY (THEIR SIGNATURE(S)) ON THE INSTRUMENT THE PERSON(S), OR
THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THE INSTRUMENT.

I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING
PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND:

SIGNATURE: _____
NAME (PRINT): _____
PRINCIPAL COUNTY OF BUSINESS: _____
MY COMMISSION NUMBER: _____
MY COMMISSION EXPIRES: _____



SECRETARY OF THE PLANNING COMMISSION'S STATEMENT

THIS MAP CONFORMS TO TENTATIVE MAP NO. 3594 APPROVED BY THE PLANNING COMMISSION.

DATED THIS _____ DAY OF _____, 2020

MARK MEISSNER, COMMUNITY DEVELOPMENT ASSISTANT DIRECTOR
CITY OF LATHROP

CITY ENGINEERS STATEMENT

I, GLENN GEBHARDT, HEREBY STATE THAT I AM THE CITY ENGINEER OF THE CITY OF LATHROP,
CALIFORNIA AND THAT I HAVE EXAMINED THIS FINAL MAP OF "TRACT 4032, RIVER ISLANDS, STAGE 2B,
LARGE LOT FINAL MAP", CITY OF LATHROP, CALIFORNIA, AND THAT THE SUBDIVISION SHOWN HEREON IS
IN ACCORDANCE WITH THE APPLICABLE ORDINANCES OF THE CITY OF LATHROP, CALIFORNIA, AND ANY
APPROVED AMENDMENTS THEREOF. FURTHER STATE THAT THE MAP DOES NOT VIOLATE ANY
APPLICABLE ORDINANCES OF THE CITY OF LATHROP, AND ANY AMENDMENTS THEREOF, APPLICABLE AT
THE TIME OF APPROVAL OF THIS TENTATIVE MAP.

DATED THIS _____ DAY OF _____, 2020.

GLENN GEBHARDT, R.C.E. 34681
CITY ENGINEER OF THE CITY OF LATHROP, CALIFORNIA



RECORDER'S STATEMENT

FILED THIS _____ DAY OF _____, 2020, AT _____ M
IN BOOK _____ OF MAPS AND PLATS, AT PAGE _____, AT THE REQUEST OF OLD REPUBLIC
TITLE COMPANY.

FEES: \$ _____

BY: _____ ASSISTANT/DEPUTY RECORDER
STEVE BESTOURDES ASSESSOR-RECORDER-COUNTY CLERK
SAN JOAQUIN COUNTY, CALIFORNIA

**TRACT 4032
RIVER ISLANDS - STAGE 2B
LARGE LOT FINAL MAP**

A PORTION OF RANCHO EL PESQUERO, BEING
A SUBDIVISION OF PARCEL 16 OF TRACT 3908 (43 MAP 32),
AND TRACTS 8, 9, 10, 11, 40, 41 AND A PORTION OF TRACTS 7, 12 AND 13
AS SHOWN ON THE RECORD OF SURVEY (S3 RS 142),
CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA
APRIL 2020



SURVEYOR'S STATEMENT

THIS MAP WAS PREPARED BY ME OR UNDER MY DIRECTION AND IS BASED UPON A FIELD SURVEY IN
CONFORMANCE WITH THE REQUIREMENTS OF THE SUBDIVISION MAP ACT AND LOCAL ORDINANCE AT THE
COMMENCEMENT OF THE SURVEY ON MARCH 16, 2020. I HEREBY STATE ALL THE
MONUMENTS ARE OF THE CHARACTER AND LOCATION SHOWN ON THIS MAP, AND THAT THE MONUMENTS BE
SET IN THOSE POSITIONS BEFORE DECEMBER 31, 2021, AND THAT THE MONUMENTS ARE OR THAT THEY
WILL BE SUFFICIENT TO ENABLE THIS SURVEY TO BE RETRACED, AND THAT THIS FINAL MAP
SUBSTANTIALLY CONFORMS TO THE CONDITIONALLY APPROVED TENTATIVE MAP.

DATED THIS _____ DAY OF _____, 2020.

OTILAN CRAWFORD, P.L.S. NO 7798



CITY SURVEYOR'S STATEMENT

I, LAWRENCE GOSSETT, HEREBY STATE THAT I HAVE EXAMINED THIS FINAL MAP OF "TRACT 4032 RIVER
ISLANDS, STAGE 2B, LARGE LOT FINAL MAP", CITY OF LATHROP, CALIFORNIA, AND THAT THE SUBDIVISION
SHOWN HEREON COMPLIES WITH ALL THE PROVISIONS OF CHAPTER 2 OF THE CALIFORNIA SUBDIVISION
MAP ACT, AS AMENDED, AND THAT THIS FINAL MAP IS TECHNICALLY CORRECT.

DATED THIS _____ DAY OF _____, 2020.

LAWRENCE GOSSETT, P.E. 31695



NOTES

- RIGHT TO FARM STATEMENT:
PER CITY OF LATHROP MUNICIPAL CODE OF ORDINANCES, TITLE 15, CHAPTER 15.48.04, THE CITY OF LATHROP PERMITS
OPERATION OF PROPERLY CONDUCTED AGRICULTURAL OPERATIONS WITHIN THE CITY LIMITS, INCLUDING THOSE THAT UTILIZE
CHEMICAL FERTILIZERS AND PESTICIDES. YOU ARE HEREBY NOTIFIED THAT THE PROPERTY YOU ARE PURCHASING MAY BE
LOCATED CLOSE TO AGRICULTURAL LANDS AND OPERATIONS. YOU MAY BE SUBJECT TO INCONVENIENCE OR DISCOMFORT
FROM AGRICULTURAL ACTIVITIES, INCLUDING WITHOUT LIMITATION: AGRICULTURAL CHEMICALS AND PESTICIDES AND FROM OTHER
ACTIVITIES ASSOCIATED WITH AGRICULTURE, INCLUDING HARVESTING, PLANTING, CULTIVATING, WEEDING, TILLAGE, FERTILIZING,
IRRIGATION, PLANTING, HARVESTING, BURNING OF AGRICULTURAL WASTE PRODUCTS, PROTECTION OF CROPS AND ANIMALS FROM PREDATION, AND
OTHER ACTIVITIES WHICH MAY GENERATE DUST, SMOKE, NOISE, ODOR, RODENTS AND PESTS. BE AWARE ALSO, THAT THIS
PROPERTY MAY BE LOCATED ADJACENT TO AGRICULTURAL OPERATIONS OUTSIDE THE CITY'S JURISDICTION. CONSEQUENTLY,
INCONVENIENCES OR DISCOMFORT AS NORMAL, AND NECESSARY ASPECT OF LIVING IN AN AGRICULTURALLY ACTIVE REGION.
PROJECT NO. 5444-S2020. THE CITY OF LATHROP HAS REVIEWED THE TENTATIVE MAP FOR THIS PROJECT BY ENDED, INCORPORATED, AS
JOSEF L. TOOTLE, S.E. NO. 2877, AND IS ON FILE WITH THE CITY OF LATHROP.
- TRACT 4032, RIVER ISLANDS, STAGE 2B, LARGE LOT FINAL MAP, CONTAINS PARCELS 1 THROUGH 19 AND STREET DEDICATION,
CONTAINING 439.33 ACRES, MORE OR LESS.
- BASED ON INFORMATION CONTAINED IN THE PRELIMINARY TITLE REPORT ORDER NUMBER 1214020942-LR (VERSION 1),
DATED MARCH 13, 2020, PROVIDED BY OLD REPUBLIC TITLE COMPANY.
- TRACT 4032, RIVER ISLANDS - STAGE 2B, LARGE LOT FINAL MAP, IS TO FACILITATE THE ORDERLY
DEVELOPMENT OF THE RIVER ISLANDS PROJECT, AND IS SUBJECT TO SUBSEQUENT SUBDIVISION IN ACCORDANCE WITH THE
APPROVED TENTATIVE MAP.

SIGNATURE OMISSIONS

PURSUANT TO SECTION 66439 OF THE CALIFORNIA SUBDIVISION MAP ACT, THE SIGNATURES OF THE FOLLOWING PARTIES HAVE BEEN
OMITTED:

- RECLAIMED ISLANDS LAND COMPANY, RESERVATION FOR OIL, GAS, MINERALS, AND OTHER
HYDROCARBON SUBSTANCES LYING BELOW A DEPTH OF 500 FEET PER DOCUMENT NUMBER 2001-046177, S.J.C.R.
LEVEE EASEMENTS IN FAVOR OF SACRAMENTO-SAN JOAQUIN ORANGE DISTRICT PER: 2004 OR 595; 2143 OR 464 AND
2720 OR 483, S.J.C.R.
- POWER LINE EASEMENT IN FAVOR OF CITY OF LATHROP PER 408 OR 95, S.J.C.R.
- POWER LINE EASEMENT IN FAVOR OF CITY OF LATHROP PER 433 OR 202, S.J.C.R.
- POLE LINE EASEMENT PER 433 OR 202, S.J.C.R.
- POLE DISTRIBUTION OF ELECTRICITY PER DOCUMENT NUMBER 2017-01819, S.J.C.R.
- LEVEE EASEMENTS IN FAVOR OF RECLAMATION DISTRICT 2082 PER DOCUMENT NUMBERS 2018-060092, 2018-060093,
2018-060094 AND 2018-060095, S.J.C.R.
- PUBLIC UTILITY EASEMENT IN FAVOR OF THE CITY OF LATHROP PER TRACT 3908, FILED SEPTEMBER 20, 2018, IN BOOK 43 OF
MAPS AND PLATS, AT PAGE 92, S.J.C.R.

REFERENCES

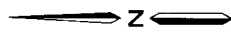
- RECORD OF SURVEY FILED AUGUST 4, 2004, IN BOOK 35 OF SURVEYS, PAGE 142, AS CORRECTED BY CERTIFICATE
OF CORRECTION RECORDED JULY 15, 2005 AS DOCUMENT NUMBER 2005-17184, S.J.C.R. (S3 SURVEYS 142)
- TRACT 3876, FILED MARCH 31, 2016, IN BOOK 42 OF MAPS AND PLATS, PAGE 56, S.J.C.R. (42 MAP 56)
 - GRANT DEED RECORDED MARCH 30, 2001, AS DOCUMENT NUMBER 2001-046177, S.J.C.R.
 - GRANT DEED RECORDED JANUARY 11, 2016, AS DOCUMENT NUMBER 2016-063982, S.J.C.R.
 - GRANT DEED RECORDED JUNE 3, 2016, AS DOCUMENT NUMBER 2016-064077, S.J.C.R.
 - GRANT DEED RECORDED JUNE 6, 2005, AS DOCUMENT NUMBER 2005-14736, S.J.C.R.
 - GRANT DEED RECORDED JUNE 6, 2005, AS DOCUMENT NUMBER 2005-14736, S.J.C.R.
 - TRACT 3828, FILED SEPTEMBER 1, 2016, IN BOOK 42 OF MAPS AND PLATS, PAGE 67, S.J.C.R. (42 MAP 67)
 - TRACT 3828, FILED SEPTEMBER 1, 2016, IN BOOK 42 OF MAPS AND PLATS, PAGE 65, AS CORRECTED BY CERTIFICATE
OF CORRECTION RECORDED AUGUST 31, 2016, AS DOCUMENT NUMBER 2016-102979, S.J.C.R. (42 MAP 65)
 - TRACT 3832, FILED DECEMBER 21, 2016, IN BOOK 42 OF MAPS AND PLATS, PAGE 66, S.J.C.R. (42 MAP 66)
 - TRACT 3834, FILED DECEMBER 21, 2016, IN BOOK 42 OF MAPS AND PLATS, PAGE 72, S.J.C.R. (42 MAP 72)
 - UNFILED MAP ENTITLED "CALIFORNIA IRRIGATED FARMS, UNIT NO. 3, PESQUERO COLONY BEING RECLAMATION
DISTRICT NO. 2082, SURVEYED APRIL AND MAY 1939 BY OHM AND HAAB, DATED NOVEMBER 7, 1939, FILED IN
THE OFFICE OF THE SAN JOAQUIN COUNTY SURVEYOR.
 - PARCEL MAP 06-03-PM, FILED OCTOBER 23, 2006, IN BOOK 24 OF PARCEL MAPS, PAGE 51, S.J.C.R. (24 PM 51)
 - TRACT 3836, FILED MARCH 15, 2017, IN BOOK 42 OF MAPS AND PLATS, PAGE 84, S.J.C.R. (42 MAP 84)
 - TRACT 3893, FILED JUNE 1, 2017, IN BOOK 42 OF MAPS AND PLATS, PAGE 86, S.J.C.R. (42 MAP 86)
 - TRACT 3893, FILED JUNE 20, 2017, IN BOOK 42 OF MAPS AND PLATS, PAGE 88, S.J.C.R. (42 MAP 88)
 - TRACT 3875, FILED NOVEMBER 22, 2017, IN BOOK 43 OF MAPS AND PLATS, PAGE 100, S.J.C.R. (43 MAP 100)
 - TRACT 3875, FILED SEPTEMBER 22, 2017, IN BOOK 43 OF MAPS AND PLATS, PAGE 100, S.J.C.R. (43 MAP 100)
 - TRACT 3831, FILED JANUARY 23, 2018, IN BOOK 43 OF MAPS AND PLATS, PAGE 16, S.J.C.R. (43 MAP 16)
 - TRACT 3872, FILED FEBRUARY 7, 2018, IN BOOK 43 OF MAPS AND PLATS, PAGE 19, S.J.C.R. (43 MAP 19)
 - GRANT DEED RECORDED JUNE 3, 2016, AS DOCUMENT NUMBER 2016-063983, S.J.C.R.

TRACT 4032 RIVER ISLANDS - STAGE 2B LARGE LOT FINAL MAP

A PORTION OF RANCHO EL PESQUERO, BEING
A SUBDIVISION OF PARCEL 18 OF TRACT 3999 (AS MAP 63)
AND TRACTS 8, 9, 10, 11, 40, 41 AND A PORTION OF TRACTS 7, 12 AND 13
AS SHOWN ON THE RECORD OF SURVEY (33 RS 142),
CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA
APRIL 2020



0" = 250' 500' 1000'
SCALE: 1" = 500'

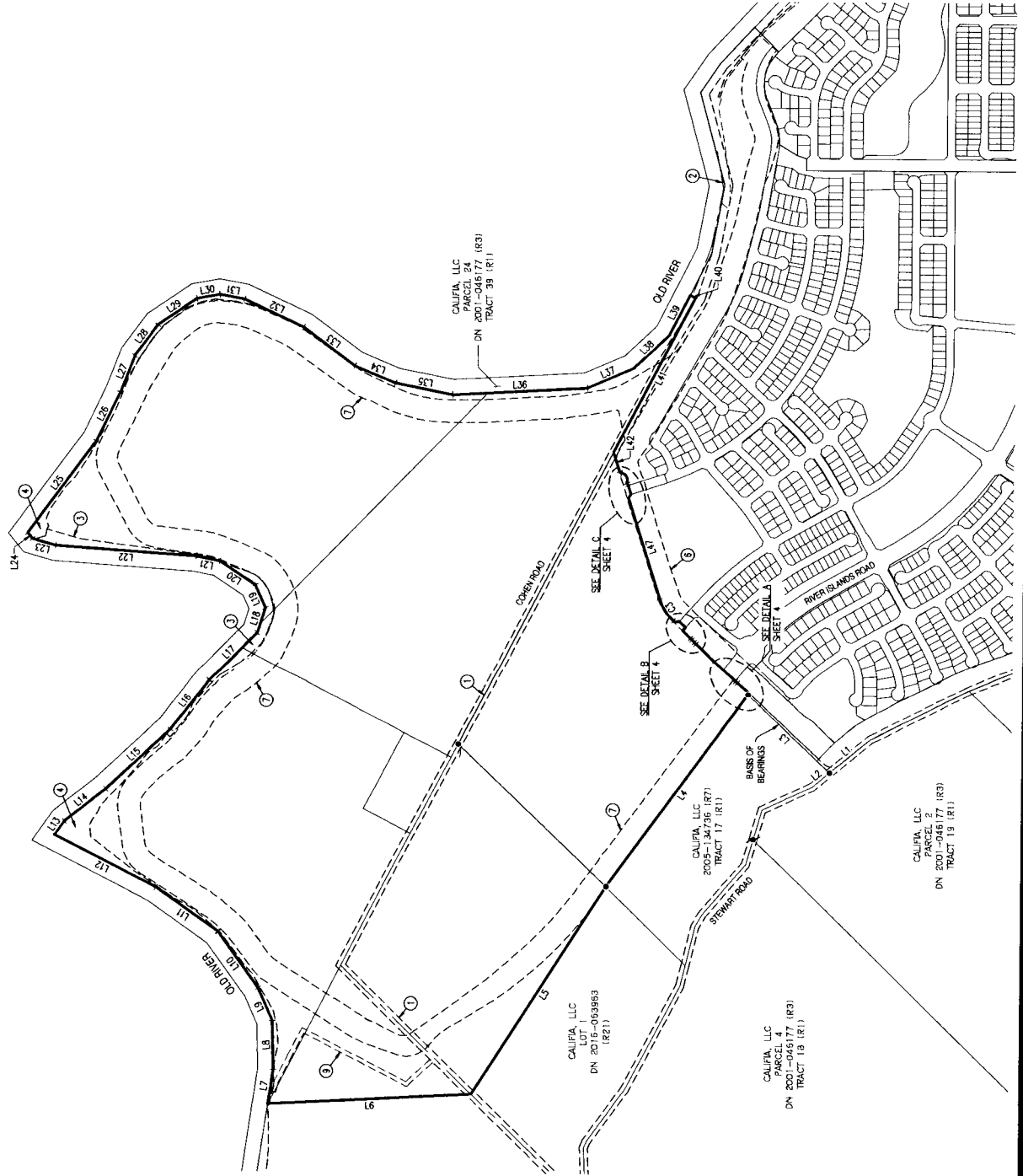


LEGEND

- FOUND MONUMENT STAMPED "PLS 7788" PER (R3)
- ⊗ FOUND MONUMENT STAMPED "PLS 7788" PER (R6)
- ⊗ MONUMENT TO BE SET PER (R1)
- ⊗ MONUMENT TO BE SET PER (R9)
- ⊗ MONUMENT TO BE SET PER (R3)
- BOUNDARY
- LOT LINE OR RIGHT-OF-WAY LINE
- EASEMENT LINE
- MONUMENT LINE
- CENTERLINE
- 200.00' (R1)
- (R1) MEASURED AND RECORD DATA PER REFERENCE (R1)
- (R1) DENOTES REFERENCE (R1)- SEE REFERENCE LIST ON THIS SHEET
- (M-W) MONUMENT TO MONUMENT
- (R) RADIAL BEARING
- (T) TOTAL
- (B) BOUNDARY
- CL CENTERLINE
- CL INTX CENTERLINE INTERSECTION TO CENTERLINE INTERSECTION
- M-CL INTX MONUMENT TO CENTERLINE INTERSECTION
- DN DOCUMENT NUMBER
- L.O.D. IRREVOCABLE OFFER OF DEDICATION
- P.A.E. PUBLIC ACCESS EASEMENT
- P.U.E. PUBLIC UTILITY EASEMENT
- ① EASEMENT REFERENCE NUMBER

NOTES

1. SEE SHEET 2 FOR ADDITIONAL NOTES, AND FOR THE LINE TABLE
2. CURVE TABLE OF COURSES SHOWN ON THIS SHEET ONLY.
3. SEE SHEET 4 FOR REFERENCES.



TRACT 4032 RIVER ISLANDS - STAGE 2B LARGE LOT FINAL MAP

A PORTION OF RANCHO EL PESCADERO, BEING
A SUBDIVISION OF PARCEL 16 OF TRACT 3928 (AS MAP 53)
AND TRACTS 8, 9, 10, 11, 40, 41 AND A PORTION OF TRACTS 7, 12 AND 13
AS SHOWN ON THE RECORD OF SURVEY (S3 RS 142)
CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA
APRIL 2020



BASIS OF BEARINGS

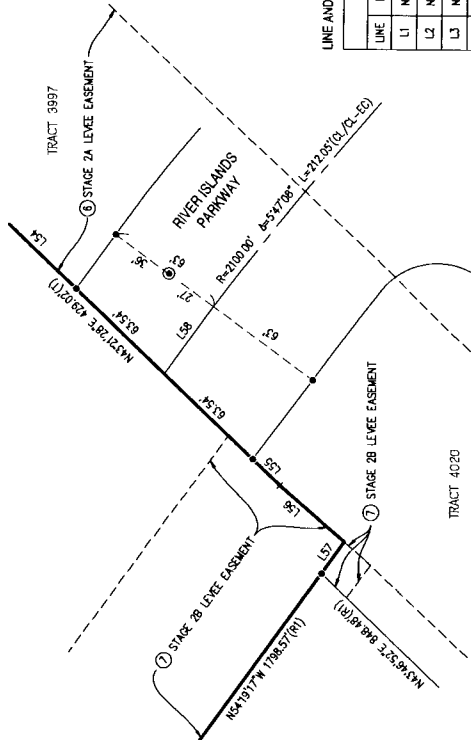
THE BEARING OF EAST BETWEEN FOUND MONUMENTS ALONG THE MONUMENT LINE OF ACADEMY DRIVE AS SHOWN ON TRACT 3791, FILED MAY 8, 2015, IN BOOK 42 OF MAPS AND PLATS, AT PAGE 36, OFFICIAL RECORDS OF THE COUNTY OF SAN JOAQUIN, WAS TAKEN AS THE BASIS OF BEARINGS SHOWN ON THIS MAP (ZONE 3, NAD83). ALL DISTANCES SHOWN HEREIN ARE GROUND DISTANCES.

EASEMENTS

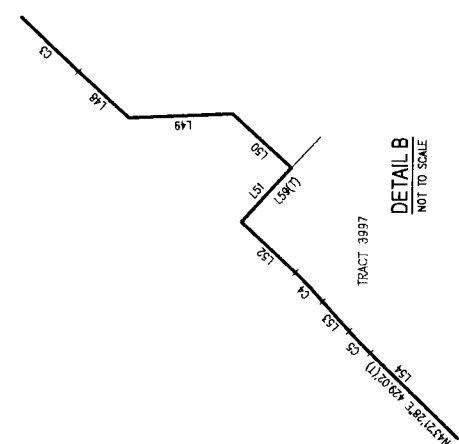
1. ROADWAY EASEMENT (CORNEN ROAD) IN FAVOR OF SAN JOAQUIN COUNTY PER BOOK 408, OFFICIAL RECORDS, PAGE 95, S.J.C.R.
2. PACIFIC GAS & ELECTRIC COMPANY EASEMENT PER BOOK 533, OFFICIAL RECORDS, PAGE 14, S.J.C.R.
3. SACRAMENTO AND SAN JOAQUIN DRAINAGE DISTRICT EASEMENT PER BOOK 2141, OFFICIAL RECORDS, PAGE 464, S.J.C.R.
4. SACRAMENTO AND SAN JOAQUIN DRAINAGE DISTRICT EASEMENT PER BOOK 2720, OFFICIAL RECORDS, PAGE 483, S.J.C.R.
5. LEVEE EASEMENT IN FAVOR OF SACRAMENTO & SAN JOAQUIN DRAINAGE DISTRICT PER 2094 OFFICIAL RECORDS 545, S.J.C.R. (EXACT LOCATION NOT DEFINED OF RECORD).
6. STAGE 2A LEVEE EASEMENT IN FAVOR OF ISLAND RECLAMATION DISTRICT 2062 PER DN 2016-060092, S.J.C.R.
7. STAGE 2B LEVEE EASEMENT IN FAVOR OF ISLAND RECLAMATION DISTRICT 2062 PER DN 2016-060095, S.J.C.R.
8. COVENANTS AND CONDITIONS AS DISCLOSED PER DN 2001-046777, S.J.C.R.
9. PACIFIC GAS & ELECTRIC COMPANY EASEMENT PER DN 2017-101819, S.J.C.R.

LINE AND CURVE TABLES FOR COURSES SHOWN ON SHEETS 3 THROUGH 5 ONLY

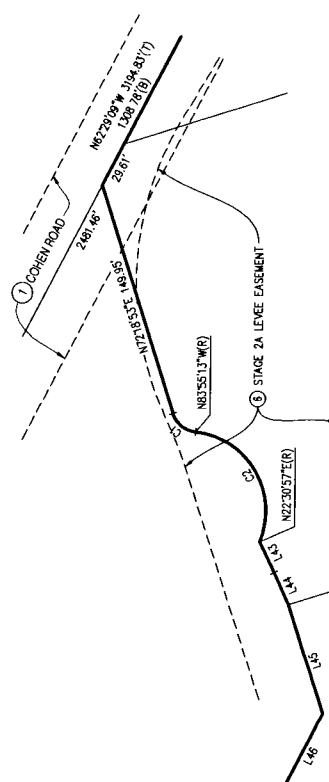
LINE TABLE		LINE TABLE		CURVE TABLE					
LINE	DIRECTION	LENGTH	LINE	DIRECTION	LENGTH	CURVE	RADIUS	DELTA	LENGTH
L1	N39°51'02"W	331.64'	L33	N36°30'51"E	481.17'	C1	17.00'	86°14'06"	19.65'
L2	N39°51'02"W	189.70'	L34	N22°20'51"E	329.01'	C2	50.00'	106°26'10"	92.85'
L3	N43°46'32"E	848.48'	L35	N11°26'51"E	439.05'	C3	369.00'	29°56'01"	192.78'
L4	N54°19'17"W	1788.57'	L36	N43°11'09"W	1012.45'	C4	230.00'	4°02'41"	18.24'
L5	N57°02'24"W	1834.67'	L37	N33°11'09"W	374.33'	C5	270.00'	4°02'41"	19.06'
L6	N3°07'38"W	1525.52'	L38	N43°11'09"W	364.33'				
L7	N81°49'09"W	261.07'	L39	N65°21'09"W	540.22'				
L8	N88°30'51"E	361.33'	L40	N27°30'51"E	46.89'				
L9	N65°30'51"E	262.39'	L41	N62°29'09"W	1308.78'				
L10	N63°30'51"E	511.08'	L42	N72°16'53"E	149.95'				
L11	N34°20'51"E	569.50'	L43	N64°33'00"E	5.44'				
L12	N27°00'51"E	857.30'	L44	N65°33'04"E	17.63'				
L13	N55°29'09"W	128.44'	L45	N72°16'53"E	70.00'				
L14	N39°29'09"W	395.64'	L46	N62°41'07"W	35.36'				
L15	N43°29'09"W	665.03'	L47	N72°16'53"E	788.16'				
L16	N52°29'09"W	472.77'	L48	M42°22'52"E	9.65'				
L17	N45°29'09"W	507.38'	L49	N23°08'W	35.36'				
L18	N72°29'09"W	195.07'	L50	M42°22'52"E	66.00'				
L19	N65°30'51"E	186.97'	L51	M47°37'08"W	33.27'				
L20	N33°30'51"E	319.41'	L52	M43°21'26"E	82.37'				
L21	N11°30'51"E	180.56'	L53	M47°24'09"E	24.88'				
L22	N3°30'51"E	1061.37'	L54	M43°21'26"E	282.37'				
L23	N15°30'51"E	183.96'	L55	M43°21'26"E	19.57'				
L24	N50°30'51"E	56.12'	L56	M40°39'30"E	117.83'				
L25	N33°29'09"W	662.90'	L57	N54°38'13"W	14.93'				
L26	N64°29'09"W	405.44'	L58	N54°05'19"W	43.17'				
L27	N68°29'09"W	296.20'	L59	M47°37'08"W	136.55'				
L28	N53°29'09"W	288.10'							
L29	N34°29'09"W	354.32'							
L30	N10°30'51"E	174.16'							
L31	N10°30'51"E	187.57'							
L32	N25°10'51"E	491.07'							



DETAIL A
NOT TO SCALE



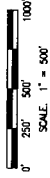
DETAIL B
NOT TO SCALE



DETAIL C
NOT TO SCALE

TRACT 4032 RIVER ISLANDS - STAGE 2B LARGE LOT FINAL MAP

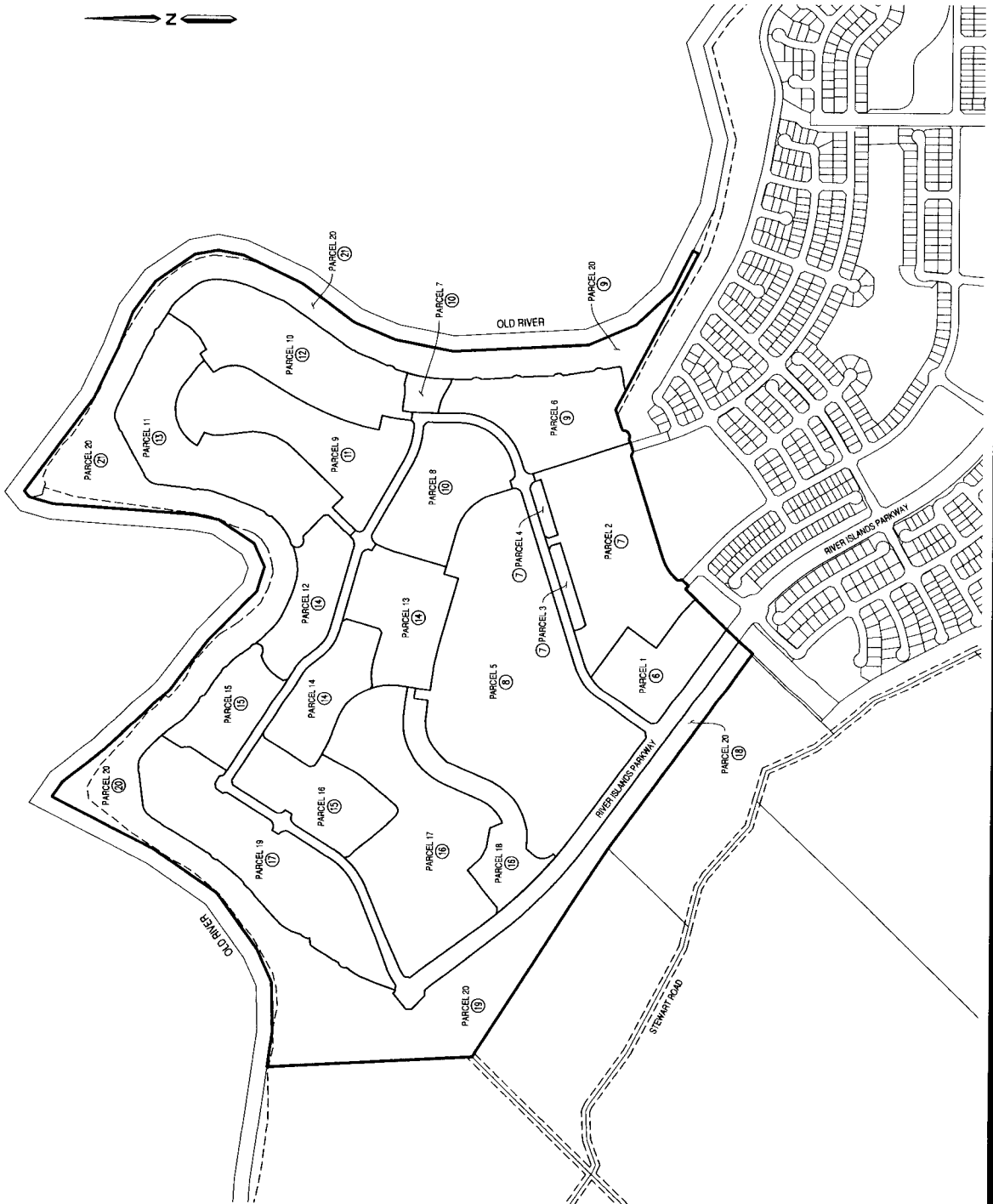
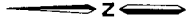
A PORTION OF RANCHO EL PESCADERO, BEING
A SUBDIVISION OF PARCEL 16 OF TRACT 3928 (AS MAP 52)
AND TRACTS 8, 9, 10, 11, 40, 41 AND A PORTION OF TRACTS 7, 12 AND 13
AS SHOWN ON THE RECORD OF SURVEY (33 RS 142),
CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA
APRIL 2020



SHEET INDEX

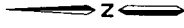
LEGEND

- BOUNDARY
- LOT LINE
- EXISTING ROADWAY EASEMENT
- SHEET NUMBER



TRACT 4032 RIVER ISLANDS - STAGE 2B LARGE LOT FINAL MAP

A PORTION OF RANCHO EL PESCADERO, BEING
A SUBDIVISION OF PARCEL 18 OF TRACT 3928 (AS MAP 52),
AND TRACTS 8, 9, 10, 11, 40, 41 AND A PORTION OF TRACTS 7, 12 AND 13
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CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA
APRIL 2020

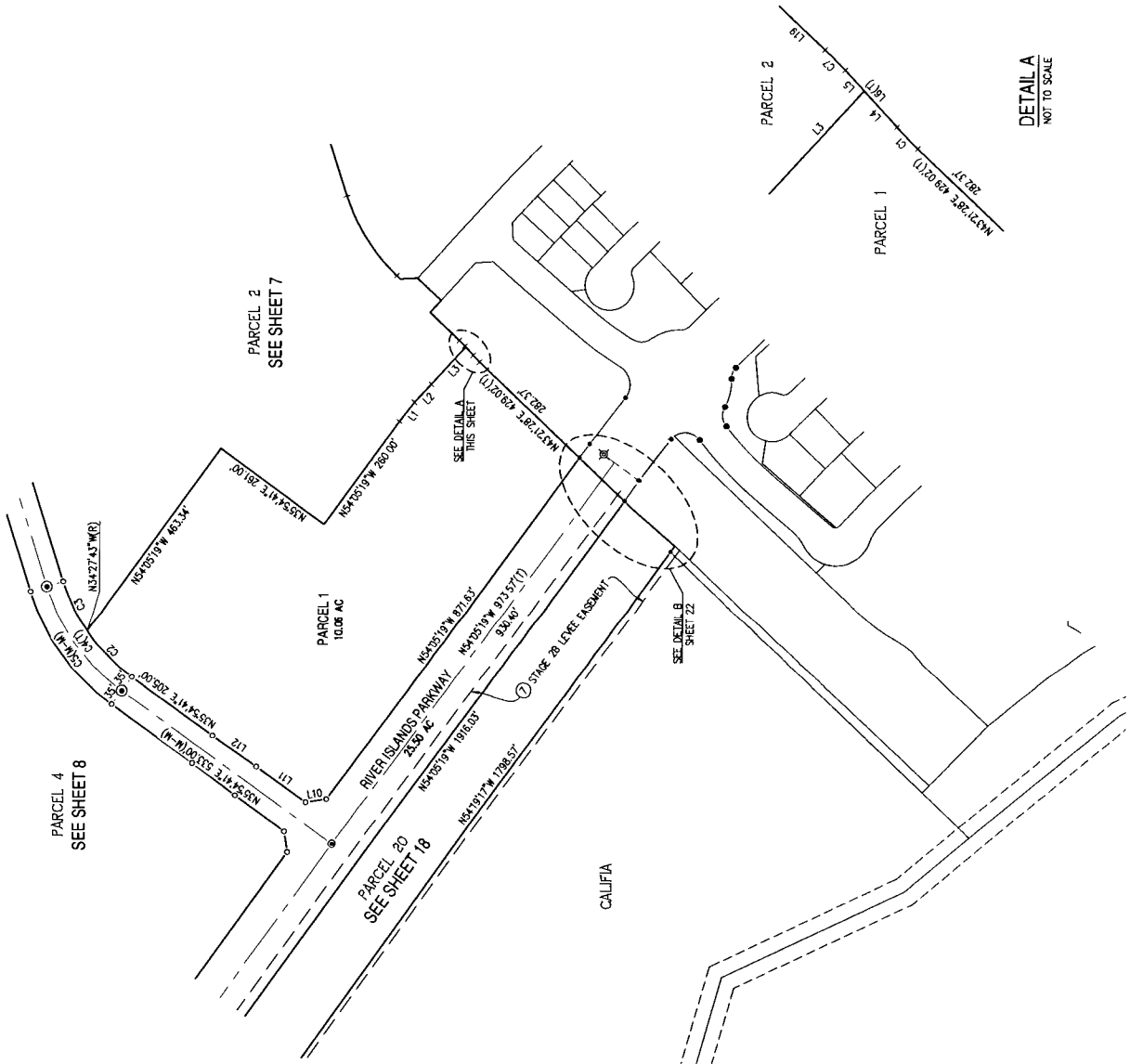


LEGEND

- SET 5/8" REBAR WITH CAP STAMPED "PLS 7788"
- △ SET 2-1/2" BRASS DISK STAMPED "PLS 7788"
- FOUND 5/8" REBAR WITH CAP STAMPED "PLS 7788" PER (R2), UNLESS OTHERWISE NOTED
- ⊗ 3/4" IRON PIPE TO BE SET PER (R9)
- ⊗ MONUMENT TO BE SET, STAMPED "PLS 7788" PER (R9)
- ⊗ MONUMENT TO BE SET PER (R17), UNLESS OTHERWISE NOTED
- ⊗ SET STANDARD CITY OF LATHROP MONUMENT WELL STAMPED "PLS 7788"
- ⊗ MONUMENT TO BE SET, STAMPED "PLS 7788" PER (R11)
- ⊗ FOUND MONUMENT PER (R1) AS NOTED
- 200.00' (R1) MEASURED AND RECORD DATA PER REFERENCE (R1)
- (R1) DENOTES REFERENCE (R1) - SEE REFERENCE LIST ON SHEET 2
- (M-M) MONUMENT TO MONUMENT
- (R) RADIAL BEARING
- (R7) REFERENCE NUMBER
- (T) TOTAL
- (B) BOUNDARY
- CL CENTER LINE
- DN DOCUMENT NUMBER
- MON MONUMENT
- P.U.E. PUBLIC UTILITY EASEMENT
- ① EASEMENT REFERENCE NUMBER - SEE SHEET 3 FOR REFERENCE LIST
- LOT LINE
- BOUNDARY
- EASEMENT LINE
- CENTERLINE
- MONUMENT LINE
- ① 1.17" BRASS DISK STAMPED "PLS 7788" ON 1 FOOT OFFSET PER (R17)
- ② 3/4" IRON PIPE WITH CAP "PLS 7788" PER (R17)
- ③ 5/8" REBAR WITH CAP "PLS 7788" PER (R17)

NOTES

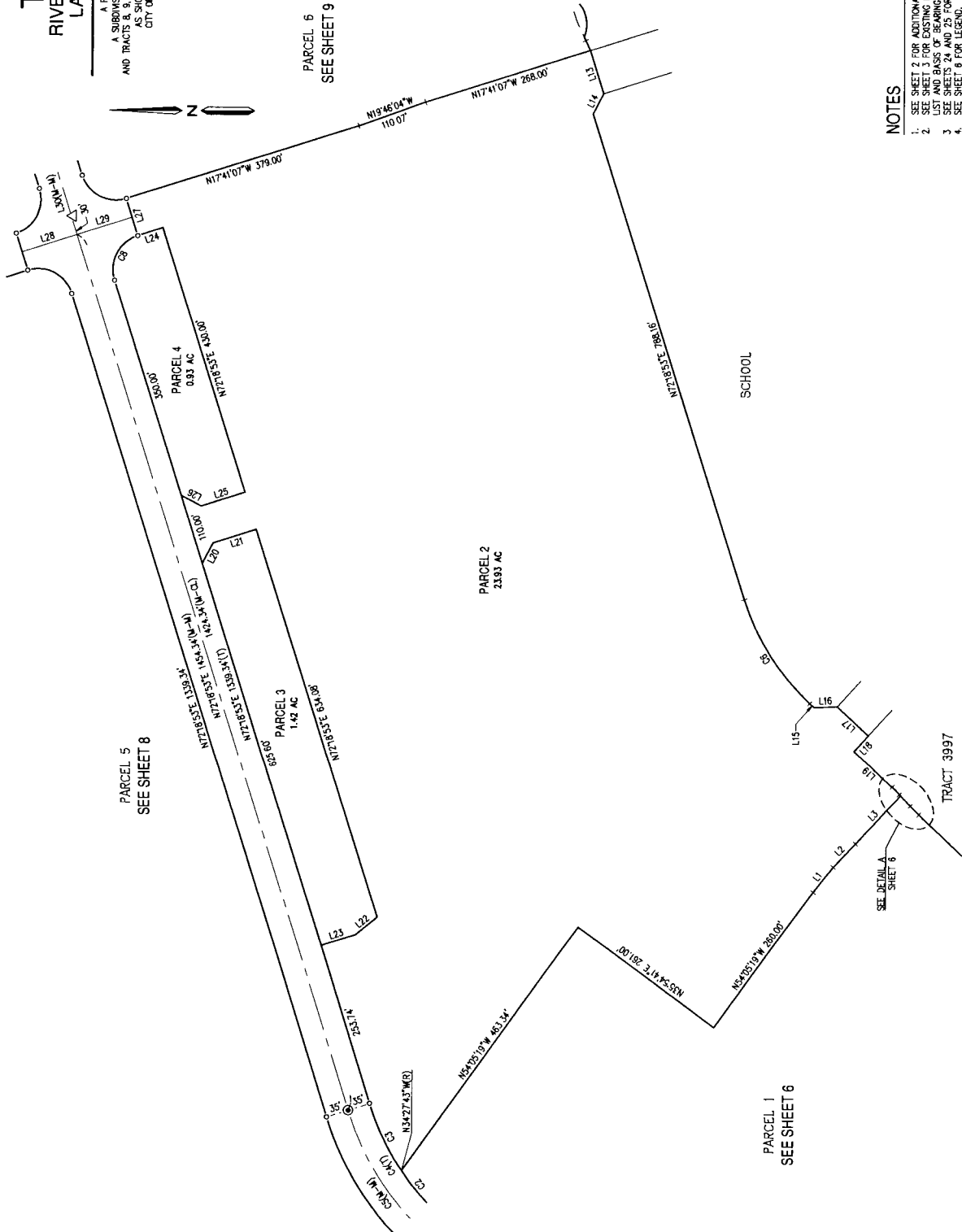
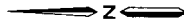
1. SEE SHEET 2 FOR ADDITIONAL NOTES AND REFERENCES
2. SEE SHEET 3 FOR CURVE DATA, EASEMENTS, EASEMENT REFERENCE LIST AND BASIS OF BEARINGS
3. SEE SHEETS 24 AND 25 FOR LINE AND CURVE TABLES.



DETAIL A
NOT TO SCALE

TRACT 4032 RIVER ISLANDS - STAGE 2B LARGE LOT FINAL MAP

A PORTION OF RANCHO EL ESCADERO, BEING
A SUBDIVISION OF PARCEL 18 OF TRACT 3908 (AS MAP 52)
AND TRACTS 8, 9, 10, 11, 40, 41 AND A PORTION OF TRACTS 7, 12, AND 13
AS SHOWN ON THE RECORD OF SURVEY (35 RS 142),
CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA
APRIL 2020



NOTES

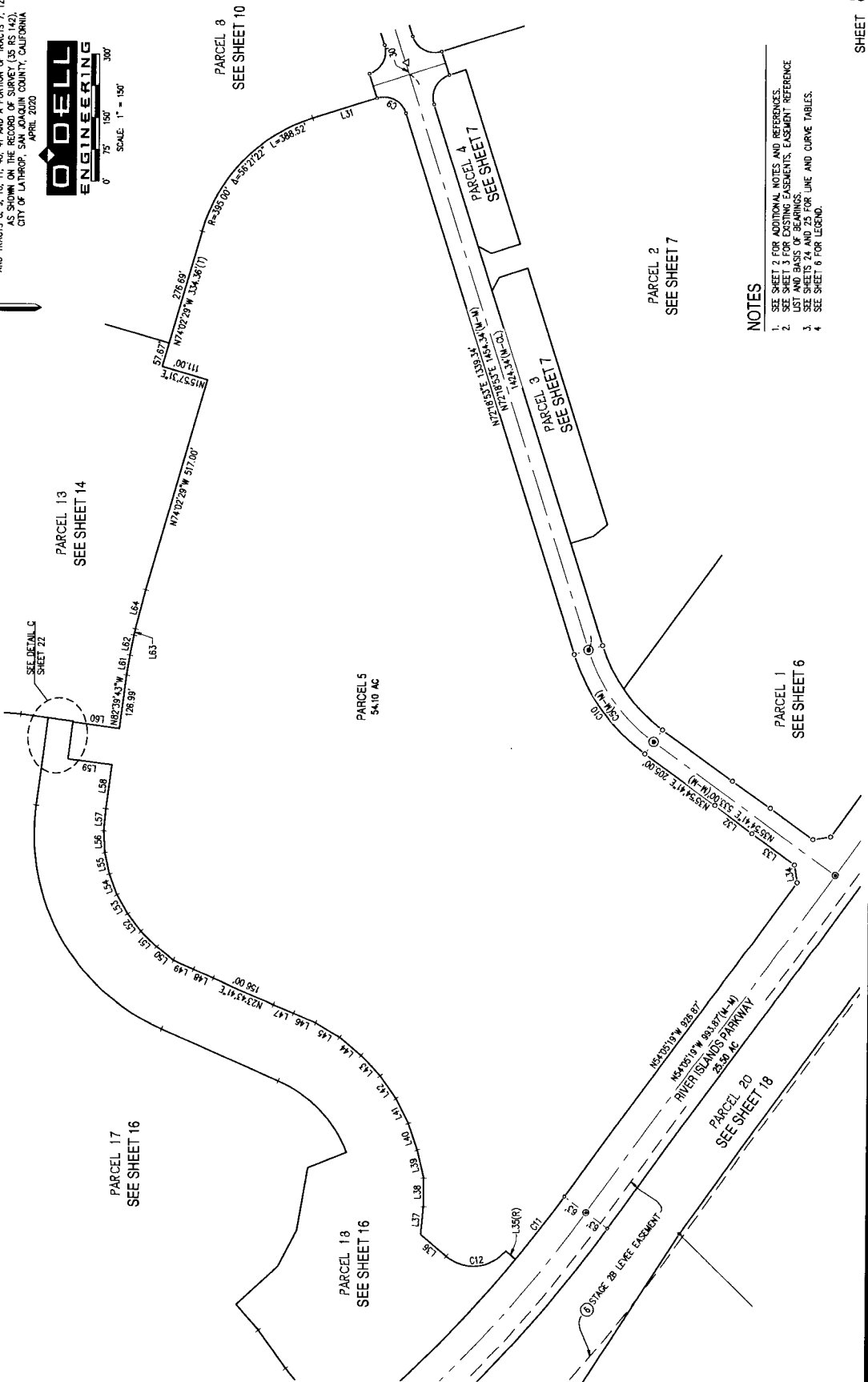
1. SEE SHEET 6 FOR ADDITIONAL NOTES AND REFERENCES.
2. SEE SHEET 7 FOR EASEMENTS, EASEMENT REFERENCE LIST AND BASIS OF BEARINGS.
3. SEE SHEETS 24 AND 25 FOR LINE AND CURVE TABLES.
4. SEE SHEET 6 FOR LEGEND.

TRACT 4032
RIVER ISLANDS - STAGE 2B
LARGE LOT FINAL MAP

A PORTION OF RANCHO EL PESQUERO, BEING
 A SUBMISSION OF PARCEL 16 OF TRACT 3908 (43 MAP 52)
 AND TRACTS 8, 9, 10, 11, 40, 41 AND A PORTION OF TRACTS 7, 12 AND 13
 AS SHOWN ON THE RECORD OF SURVEY (35 RS 142),
 CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA
 APRIL 2020



0 75 150 300
 SCALE: 1" = 150'



NOTES

1. SEE SHEET 2 FOR ADDITIONAL NOTES AND REFERENCES.
2. SEE SHEET 1 FOR EASEMENTS, EASEMENT REFERENCE LIST AND BASIS OF BEARINGS.
3. SEE SHEETS 24 AND 25 FOR LINE AND CURVE TABLES.
4. SEE SHEET 6 FOR LEGEND.

TRACT 4032 RIVER ISLANDS - STAGE 2B LARGE LOT FINAL MAP

A PORTION OF RANCHO EL PESCADERO, BEING
A SUBDIVISION OF PARCEL 18 OF TRACT 3908 (AS MAP 52),
AND TRACTS 8, 9, 10, 11, 40, 41 AND A PORTION OF TRACTS 7, 12 AND 13
AS SHOWN ON THE RECORD OF SURVEY (SS RS 142),
CITY OF LAHROP, SAN JOAQUIN COUNTY, CALIFORNIA
APRIL 2020

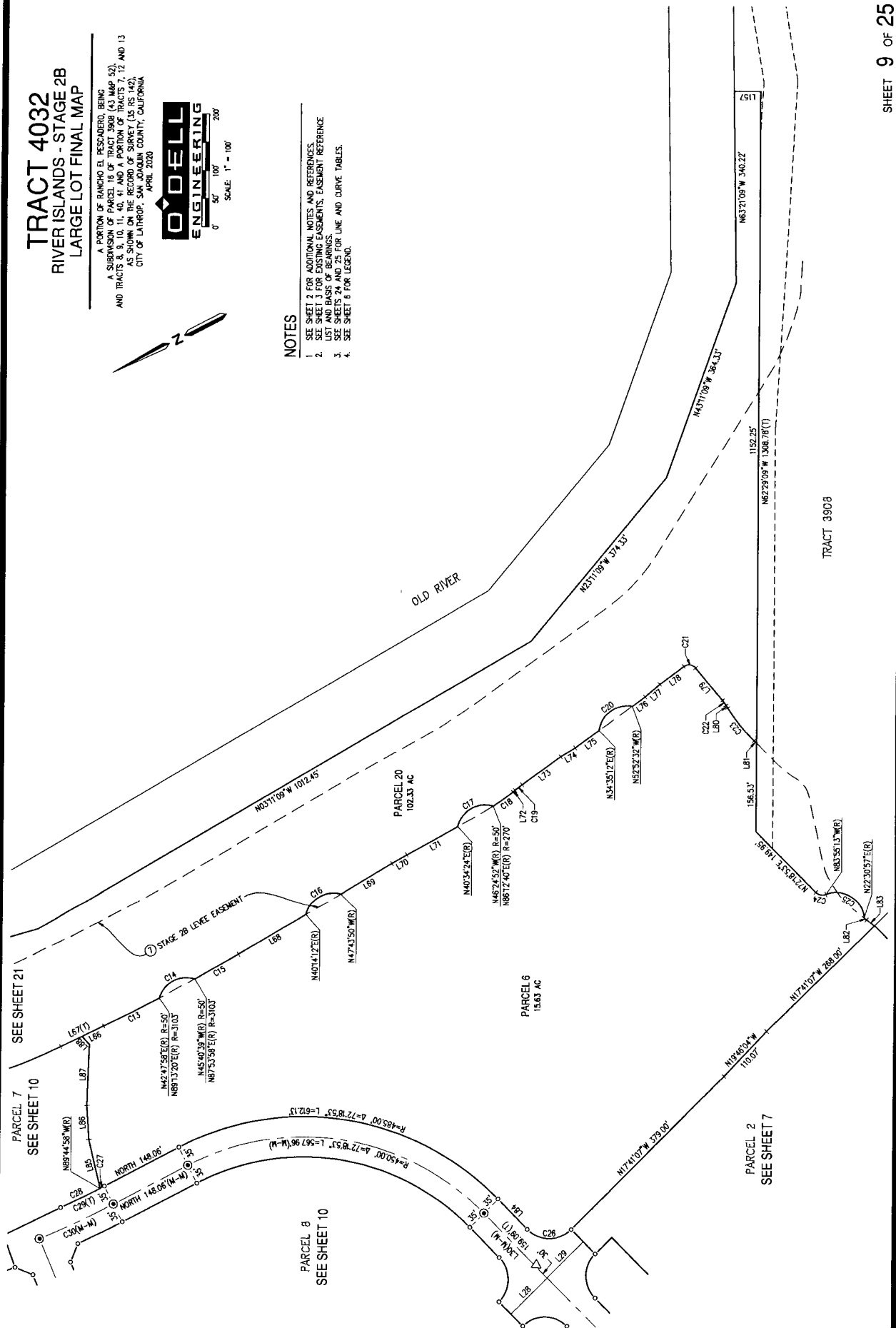


0 50 100 200
SCALE: 1" = 100'



NOTES

1. SEE SHEET 2 FOR ADDITIONAL NOTES AND REFERENCES.
2. SEE SHEET 3 FOR EXISTING EASEMENTS, EASEMENT REFERENCE AND EXISTING UTILITIES.
3. SEE SHEET 4 FOR BEARINGS, DISTANCES AND CURVE DATA FOR LINE AND CURVE TABLES.
4. SEE SHEET 6 FOR LEGEND.



TRACT 4032 RIVER ISLANDS - STAGE 2B LARGE LOT FINAL MAP

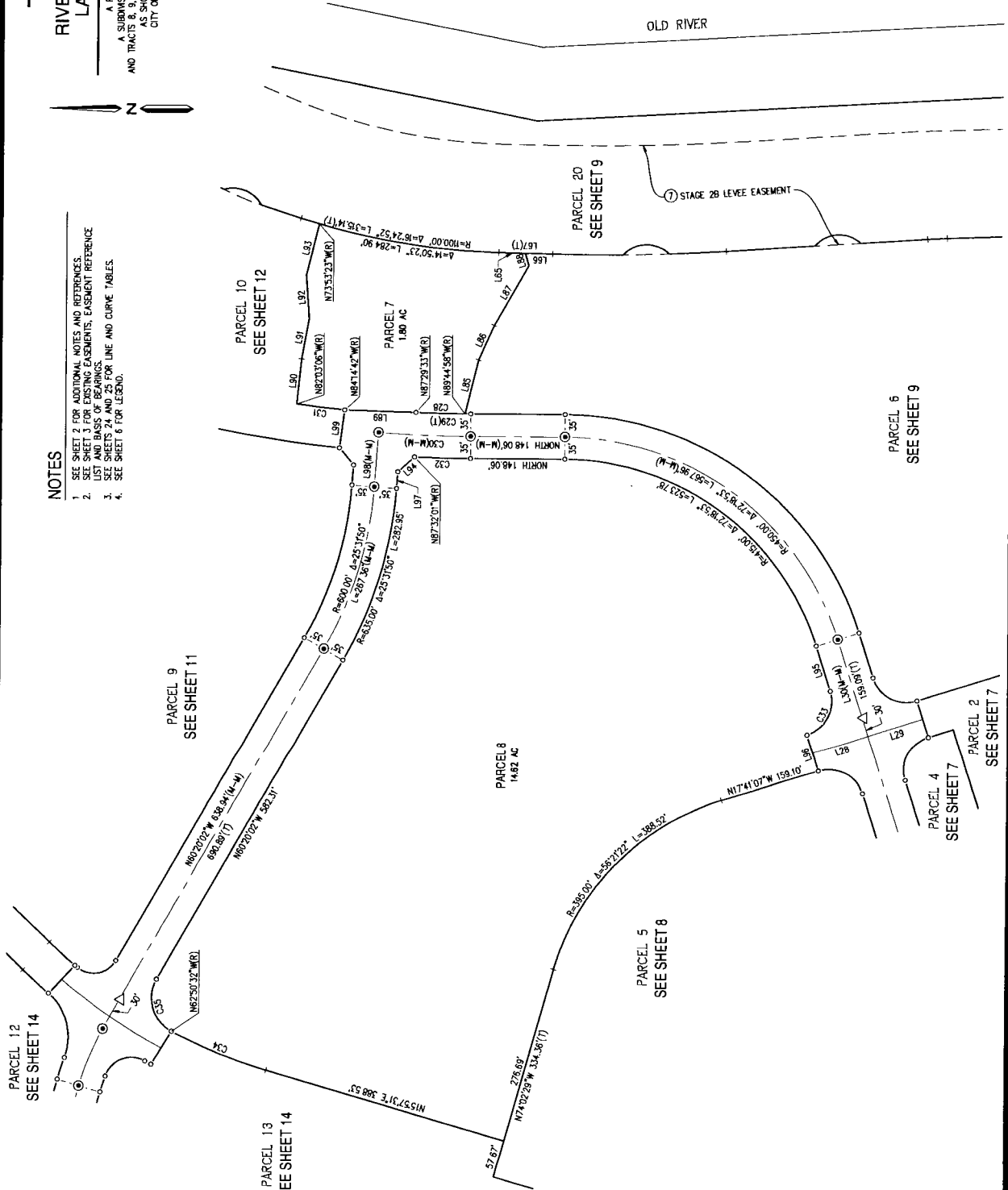
A PORTION OF RANCHO EL PESCADERO, BEING
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CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA
APRIL 2020



SCALE: 1" = 100'
0 50' 100' 200'

NOTES

1. SEE SHEET 4 FOR ADDITIONAL NOTES AND REFERENCES.
2. SEE SHEET 4 FOR EASEMENTS, EASEMENT REFERENCE LIST AND BASIS OF BEARINGS.
3. SEE SHEETS 24 AND 25 FOR LINE AND CURVE TABLES.
4. SEE SHEET 6 FOR LEGEND.

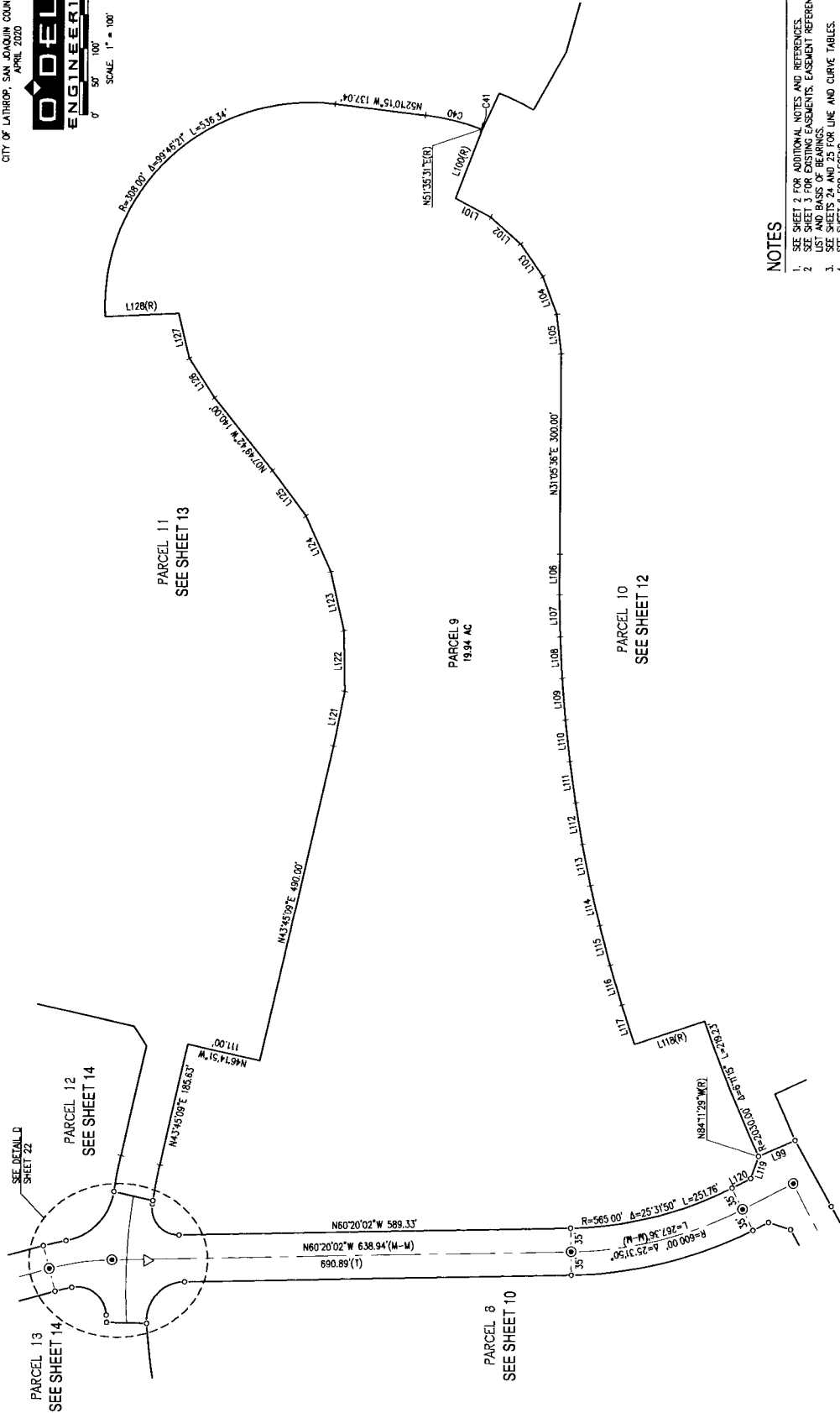


TRACT 4032 RIVER ISLANDS - STAGE 2B LARGE LOT FINAL MAP

A PORTION OF RANCHO EL PESCADERO, BEING
A SUBDIVISION OF PARCEL 18 OF TRACT 3908 (AS MAP 52),
AND TRACTS 8, 9, 10, 11, 40, 41, AND A PORTION OF TRACTS 7, 12 AND 13
AS SHOWN ON THE RECORD OF SURVEY (S.S. RS 142),
CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA
APRIL 2020



0 50' 100' 200'
SCALE: 1" = 100'



NOTES

1. SEE SHEET 2 FOR ADDITIONAL NOTES AND REFERENCES.
2. SEE SHEET 3 FOR CURVE CALCULATIONS, EASEMENT REFERENCE LIST AND BASIS OF BEARINGS.
3. SEE SHEETS 24 AND 25 FOR LINE AND CURVE TABLES.
4. SEE SHEET 6 FOR LEGEND.

TRACT 4032
RIVER ISLANDS - STAGE 2B
LARGE LOT FINAL MAP



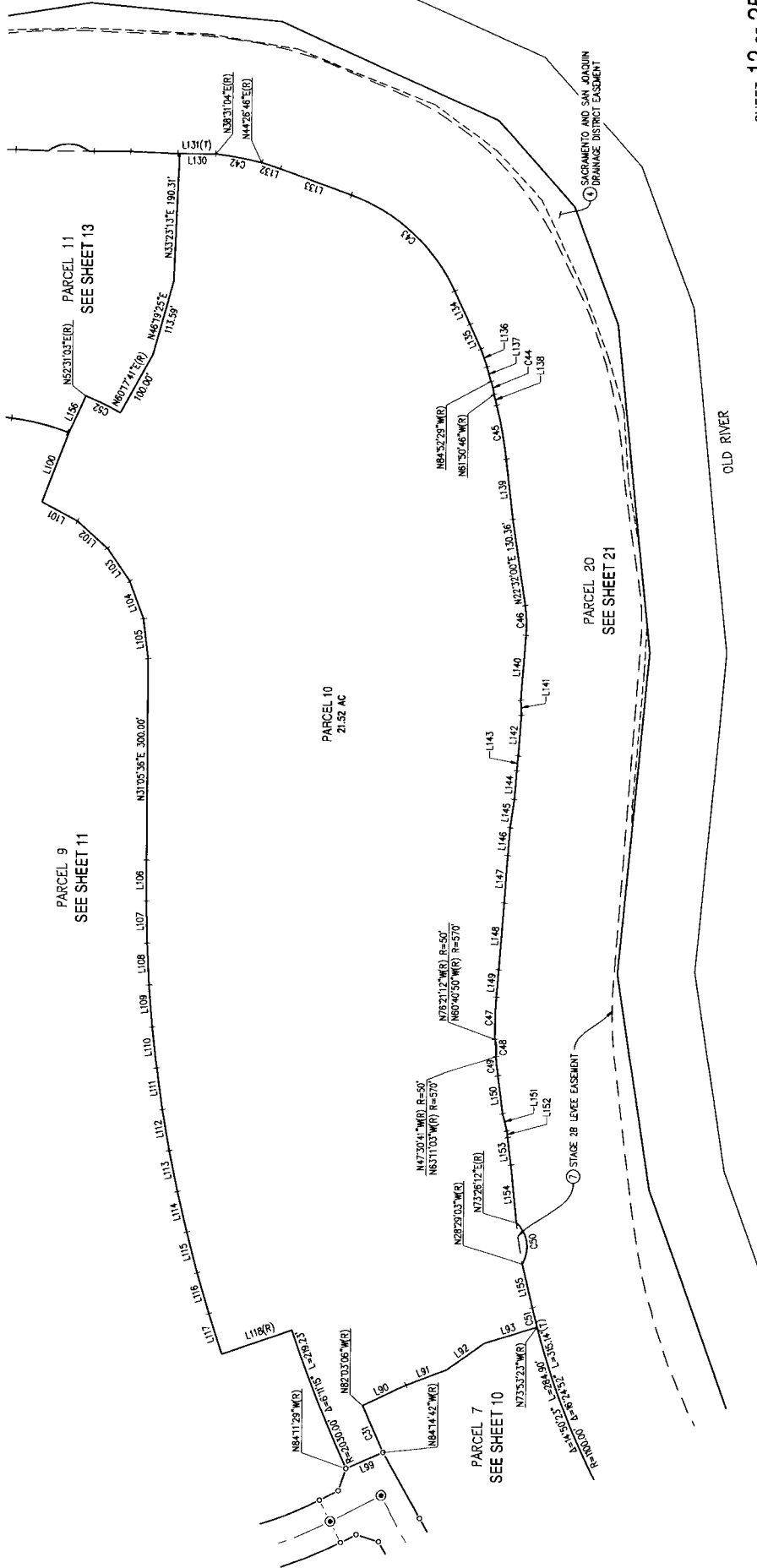
A PORTION OF RANCHO EL PESCADEIRO, BEING
 A SUBDIVISION OF PARCEL 16 OF TRACT 3908 (AS MAP 52),
 AND TRACTS 8, 9, 10, 11, 40, 41 AND A PORTION OF TRACTS 7, 12 AND 13
 AS SHOWN ON THE RECORD OF SURVEY (S.R. 142),
 CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA
 APRIL 2020



0 50 100 200'
 SCALE: 1" = 100'

NOTES

1. SEE SHEET 2 FOR ADDITIONAL NOTES AND REFERENCES.
2. SEE SHEET 3 FOR EXISTING EASEMENTS, EASEMENT REFERENCE LIST AND BASIS OF BEARINGS.
3. SEE SHEETS 24 AND 25 FOR LINE AND CURVE TABLES.
4. SEE SHEET 6 FOR LEGEND.



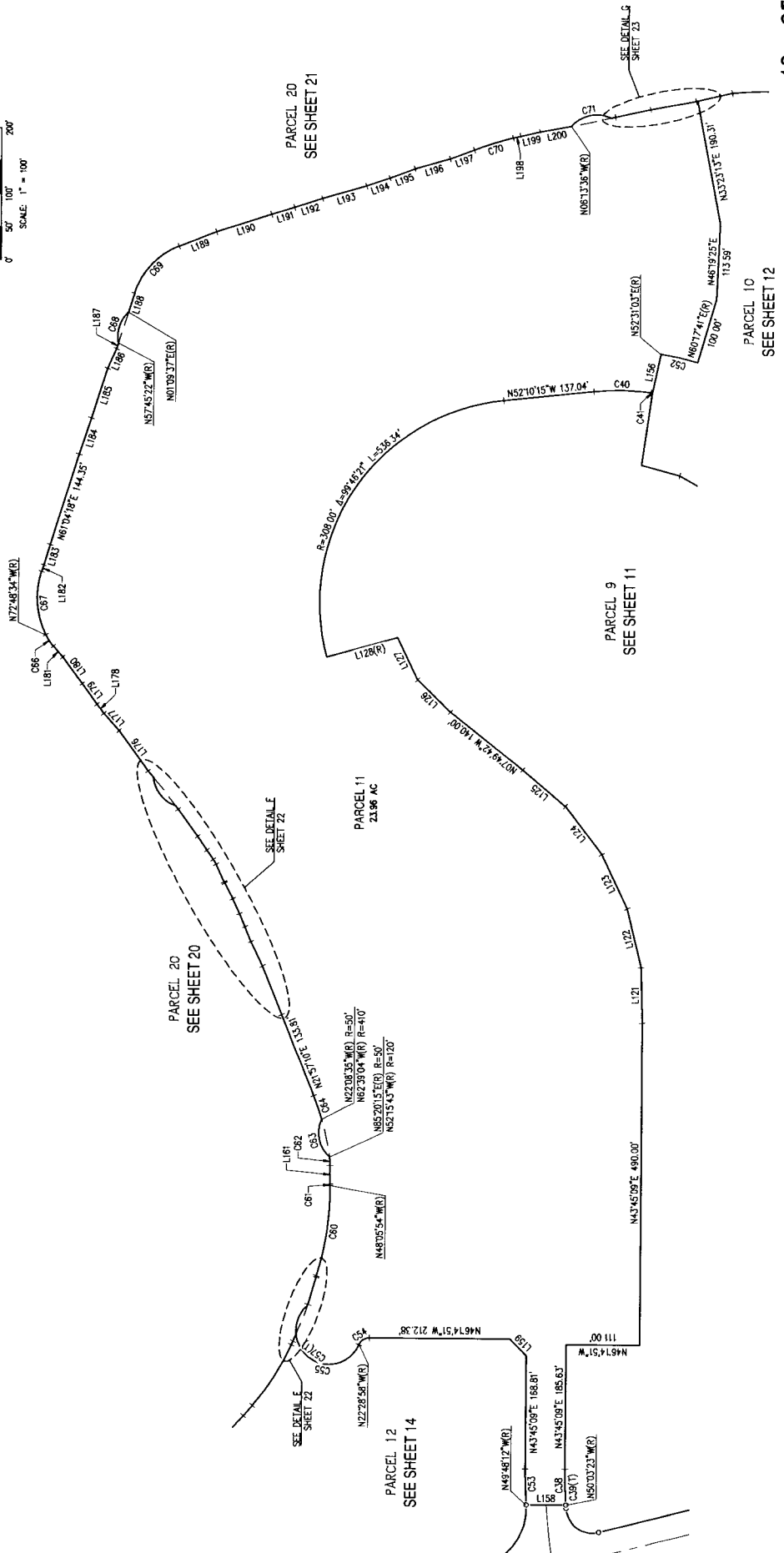
TRACT 4032 RIVER ISLANDS - STAGE 2B LARGE LOT FINAL MAP

A PORTION OF RANCHO EL PESCADERO, BEING
A SUBDIVISION OF PARCEL 16 OF TRACT 3508 (43 MAP 52),
AND TRACTS 8, 9, 10, 11, 40, 41 AND A PORTION OF TRACTS 7, 12 AND 13
AS SHOWN ON THE RECORD OF SURVEY (35 RS 142),
CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA
APRIL 2020



NOTES

1. SEE SHEET 2 FOR ADDITIONAL NOTES AND REFERENCES.
2. SEE SHEET 2 FOR EASEMENTS, EASEMENT REFERENCE LIST AND BASIS OF BEING AS.
3. SEE SHEETS 24 AND 25 FOR LINE AND CURVE TABLES.
4. SEE SHEET 6 FOR LEGEND.

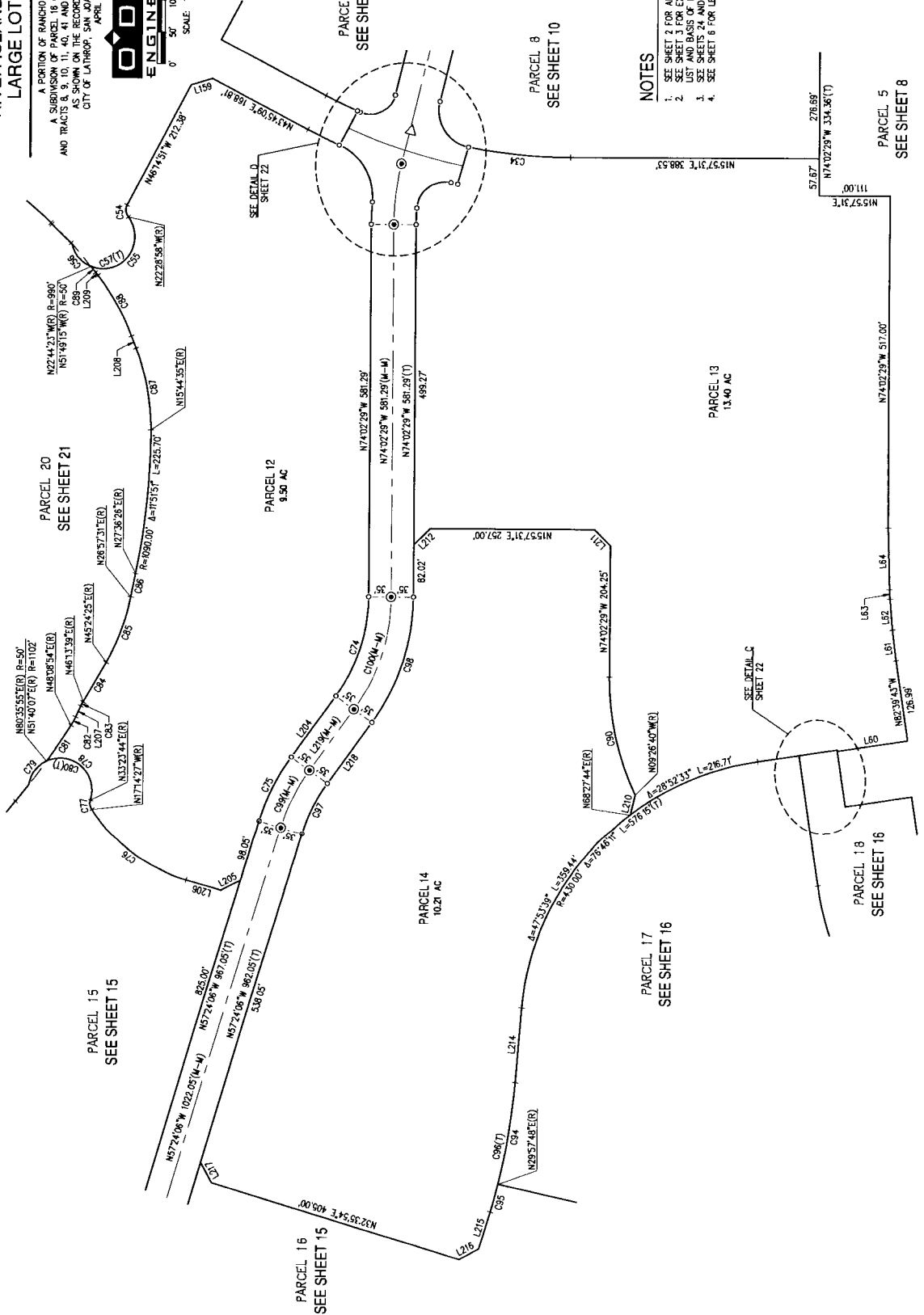


TRACT 4032 RIVER ISLANDS - STAGE 2B LARGE LOT FINAL MAP

A PORTION OF RANCHO EL PESCADERO, BEING
A SUBDIVISION OF PARCEL 18 OF TRACT 3908 (AS MAP 52),
AND TRACTS 8, 9, 10, 11, 40, 41 AND A PORTION OF TRACTS 7, 12 AND 13
AS SHOWN ON THE RECORD OF SURVEY (S.S. RS 142),
CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA
APRIL 2020



SCALE: 1" = 100'



NOTES

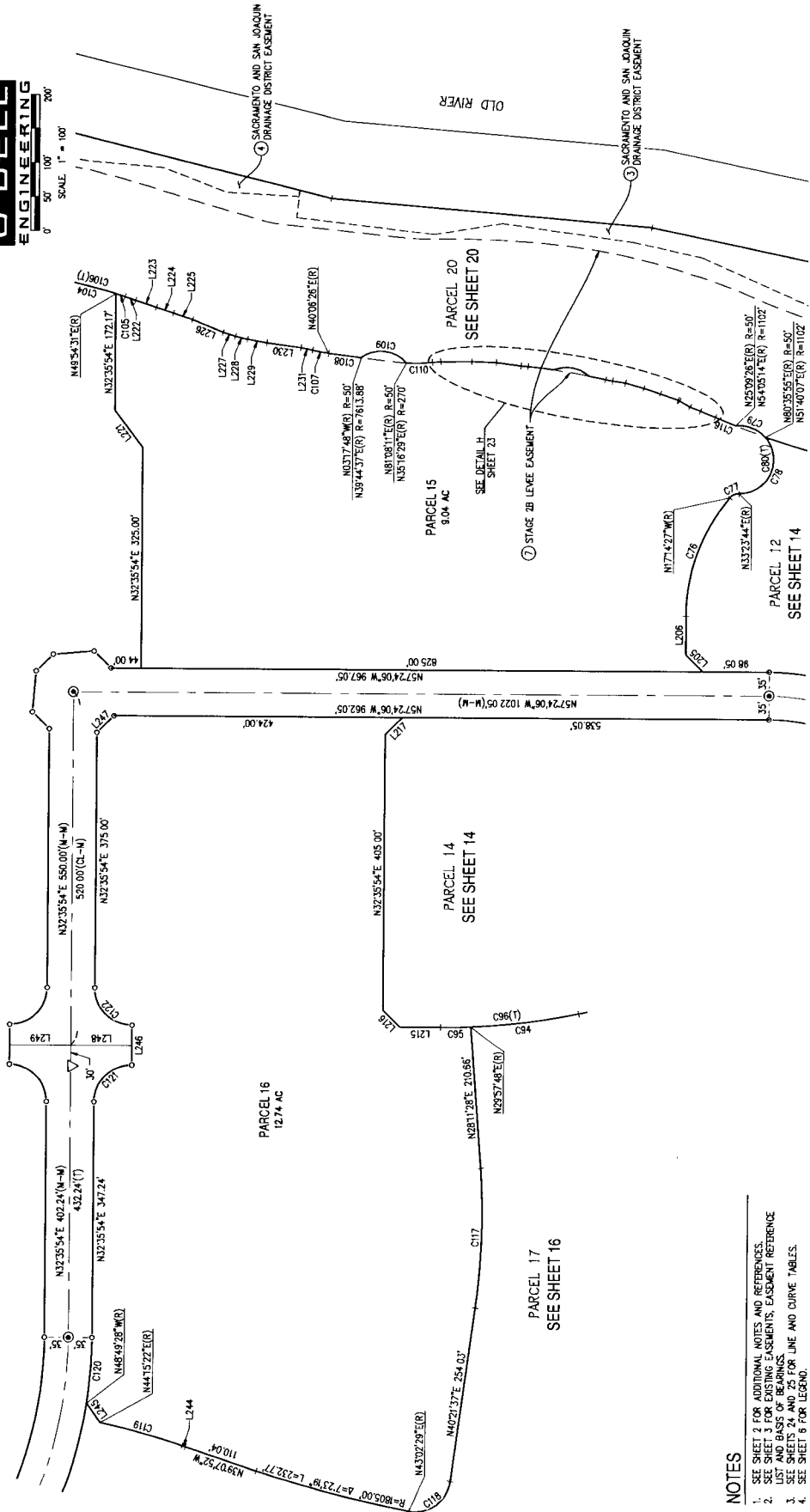
1. SEE SHEET 2 FOR ADDITIONAL NOTES AND REFERENCES.
2. SEE SHEET 3 FOR EXISTING EASEMENTS, EASEMENT REFERENCE LIST AND BASIS OF BEARINGS.
3. SEE SHEETS 24 AND 25 FOR LINE AND CURVE TABLES.
4. SEE SHEET 6 FOR LEGEND.

TRACT 4032 RIVER ISLANDS - STAGE 2B LARGE LOT FINAL MAP

A PORTION OF RANCHO EL PESCADERO, BEING
A SUBDIVISION OF PARCEL 16 OF TRACT 3508 (43 MAP 52),
AND TRACTS 8, 9, 10, 11, 40, 41 AND A PORTION OF TRACTS 7, 12 AND 13
AS SHOWN ON THE RECORD OF SURVEY (15 RS 142),
CITY OF LAHOP, SAN JOAQUIN COUNTY, CALIFORNIA
APRIL 2020



SCALE 1" = 100'



- NOTES**
1. SEE SHEET 2 FOR ADDITIONAL NOTES AND REFERENCES.
 2. SEE SHEET 3 FOR EXISTING EASEMENTS, EASEMENT REFERENCE AND BASIS OF BEARINGS.
 3. SEE SHEET 4 FOR CURVE DATA FOR LINE AND CURVE TABLES.
 4. SEE SHEET 6 FOR LEGEND.

TRACT 4032 RIVER ISLANDS - STAGE 2B LARGE LOT FINAL MAP

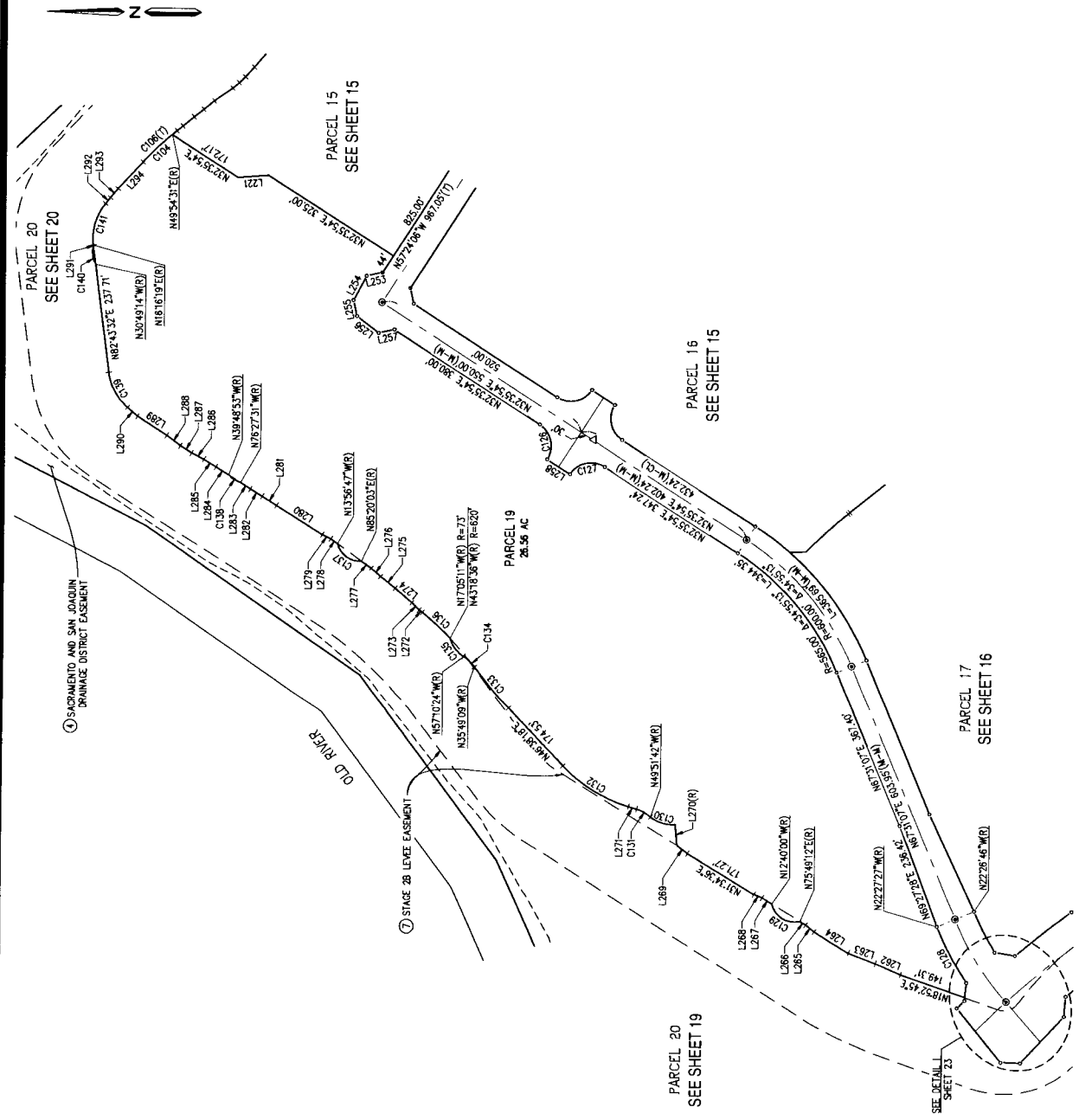
A PORTION OF RANCHO EL PESCADERO, BEING
A SUBDIVISION OF PARCEL 18 OF TRACT 3809 (43 MAP 52),
AND TRACTS 8, 9, 10, 11, 40, 41, AND A PORTION OF TRACTS 7, 12 AND 13
AS SHOWN ON THE RECORD OF SURVEY (35 RS 142),
CITY OF LAHARBOR, SAN JOAQUIN COUNTY, CALIFORNIA
APRIL 2020



SCALE: 1" = 150'

NOTES

1. SEE SHEET 2 FOR ADDITIONAL NOTES AND REFERENCES.
2. SEE SHEET 3 FOR EXISTING EASEMENTS, EASEMENT REFERENCE LIST AND BASIS OF BEARINGS.
3. SEE SHEETS 24 AND 25 FOR LINE AND CURVE TABLES.
4. SEE SHEET 6 FOR LEGEND.



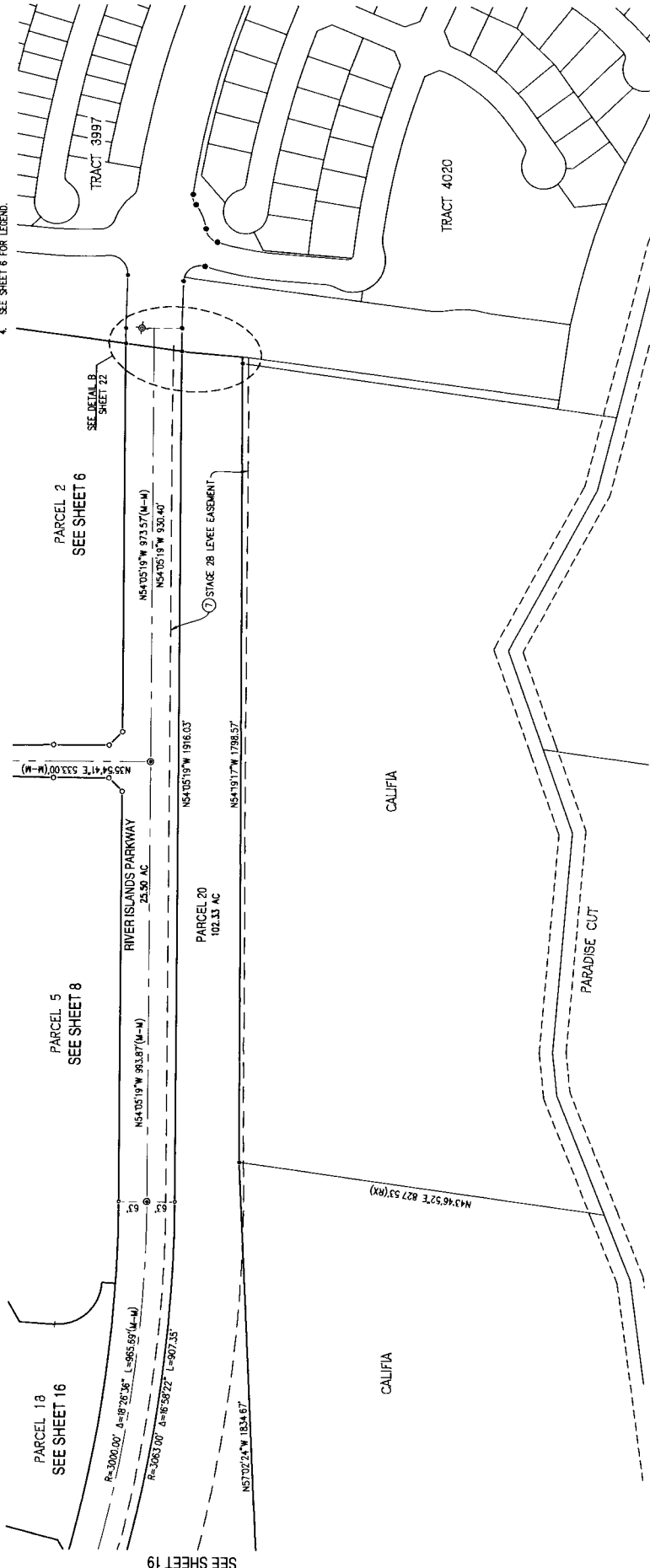
TRACT 4032 RIVER ISLANDS - STAGE 2B LARGE LOT FINAL MAP

A PORTION OF RANCHO EL PESCADERO, BEING
A SUBDIVISION OF PARCEL 18 OF TRACT 3908 (43 MAP 52),
AND TRACTS 8, 9, 10, 11, 40, 41 AND A PORTION OF TRACTS 7, 12 AND 13
AS SHOWN ON THE RECORD OF SURVEY (35 RS 142),
CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA
APRIL 2020



NOTES

1. SEE SHEET 2 FOR ADDITIONAL NOTES AND REFERENCES.
2. SEE SHEET 3 FOR EXISTING EASEMENTS, EASEMENT REFERENCE OR EASEMENT RECORDS.
3. SEE SHEETS 24 AND 25 FOR LINE AND CURVE TABLES.
4. SEE SHEET 6 FOR LEGEND.

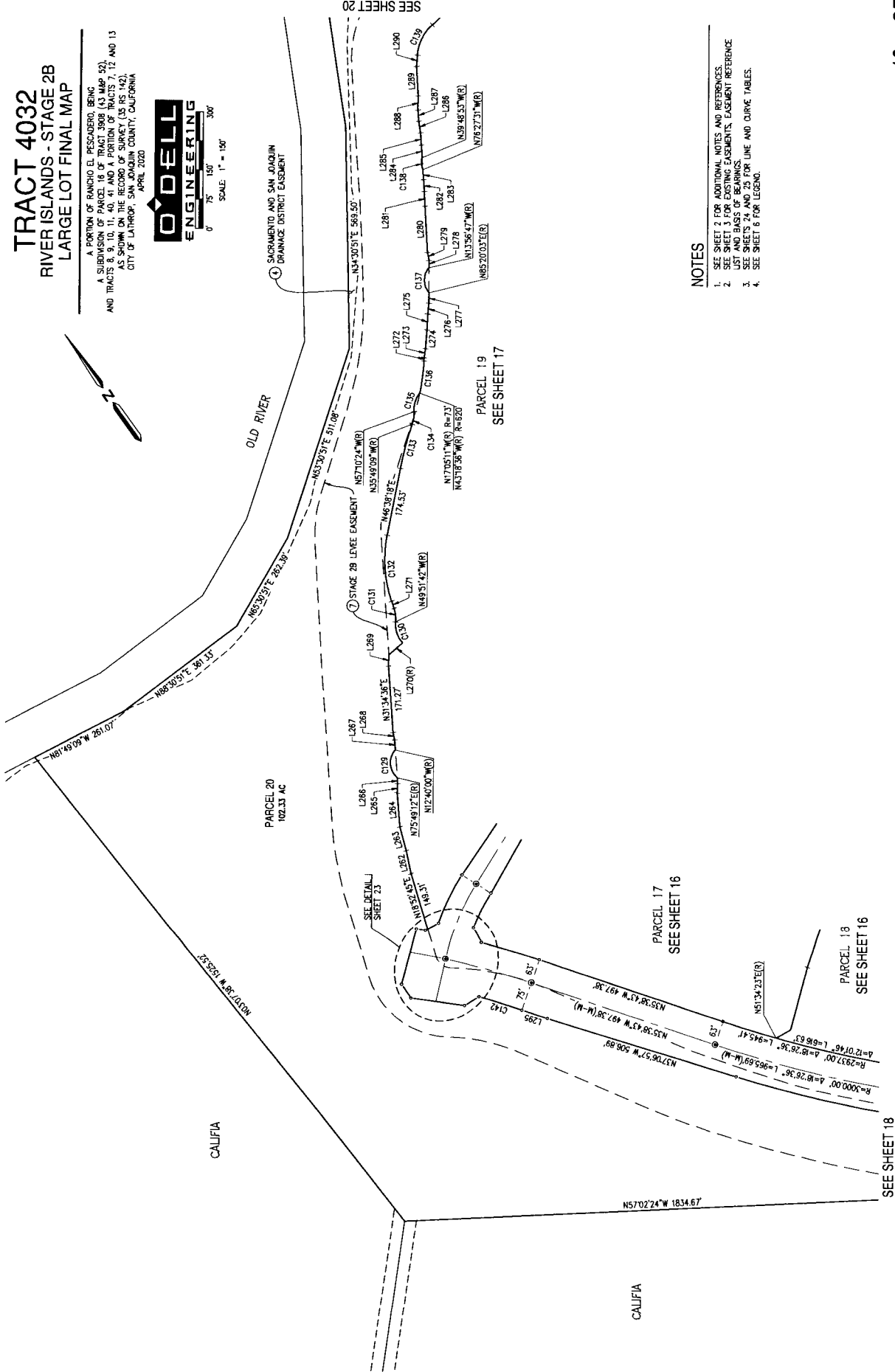
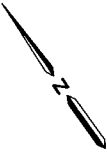


TRACT 4032 RIVER ISLANDS - STAGE 2B LARGE LOT FINAL MAP

A PORTION OF RANCHO EL PESCADERO, BEING
A SUBDIVISION OF PARCEL 18 OF TRACT 3908 (43 MAP 32)
AND TRACTS 8, 9, 10, 11, 40, 41 AND A PORTION OF TRACTS 7, 12 AND 13
AS SHOWN ON THE RECORD OF SURVEY (SRS 142),
CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA
APRIL 2020



0 75 150 300'
SCALE: 1" = 150'



NOTES

1. SEE SHEET 2 FOR ADDITIONAL NOTES AND REFERENCES.
2. SEE SHEET 3 FOR EXISTING EASEMENTS, EASEMENT REFERENCE LIST AND BASIS OF BEARINGS.
3. SEE SHEETS 24 AND 25 FOR LINE AND CURVE TABLES.
4. SEE SHEET 6 FOR LEGEND.

TRACT 4032 RIVER ISLANDS - STAGE 2B LARGE LOT FINAL MAP

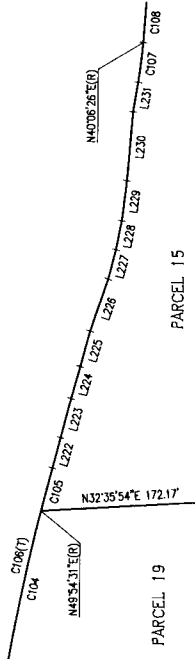
A PORTION OF RANCHO EL PESCADERO, BEING A SUBDIVISION OF PARCEL 16 OF TRACT 3508 (43 MAP 52), AND TRACTS 8, 9, 10, 11, 40, 41 AND A PORTION OF TRACTS 7, 12 AND 13 AS SHOWN ON THE RECORD OF SURVEY (15 RS 142), CITY OF LAHROP, SAN JOAQUIN COUNTY, CALIFORNIA
APRIL 2020



SCALE: 1" = 150'
0 75 150 300

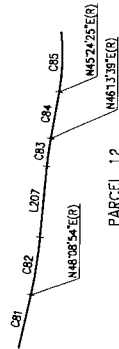
NOTES

- SEE SHEET 2 FOR ADDITIONAL NOTES AND REFERENCES.
- SEE SHEET 2 FOR EXISTING EASEMENTS, EASEMENT REFERENCE AND LEGENDS.
- SEE SHEETS 24 AND 25 FOR LINE AND CURVE TABLES.
- SEE SHEET 6 FOR LEGEND.



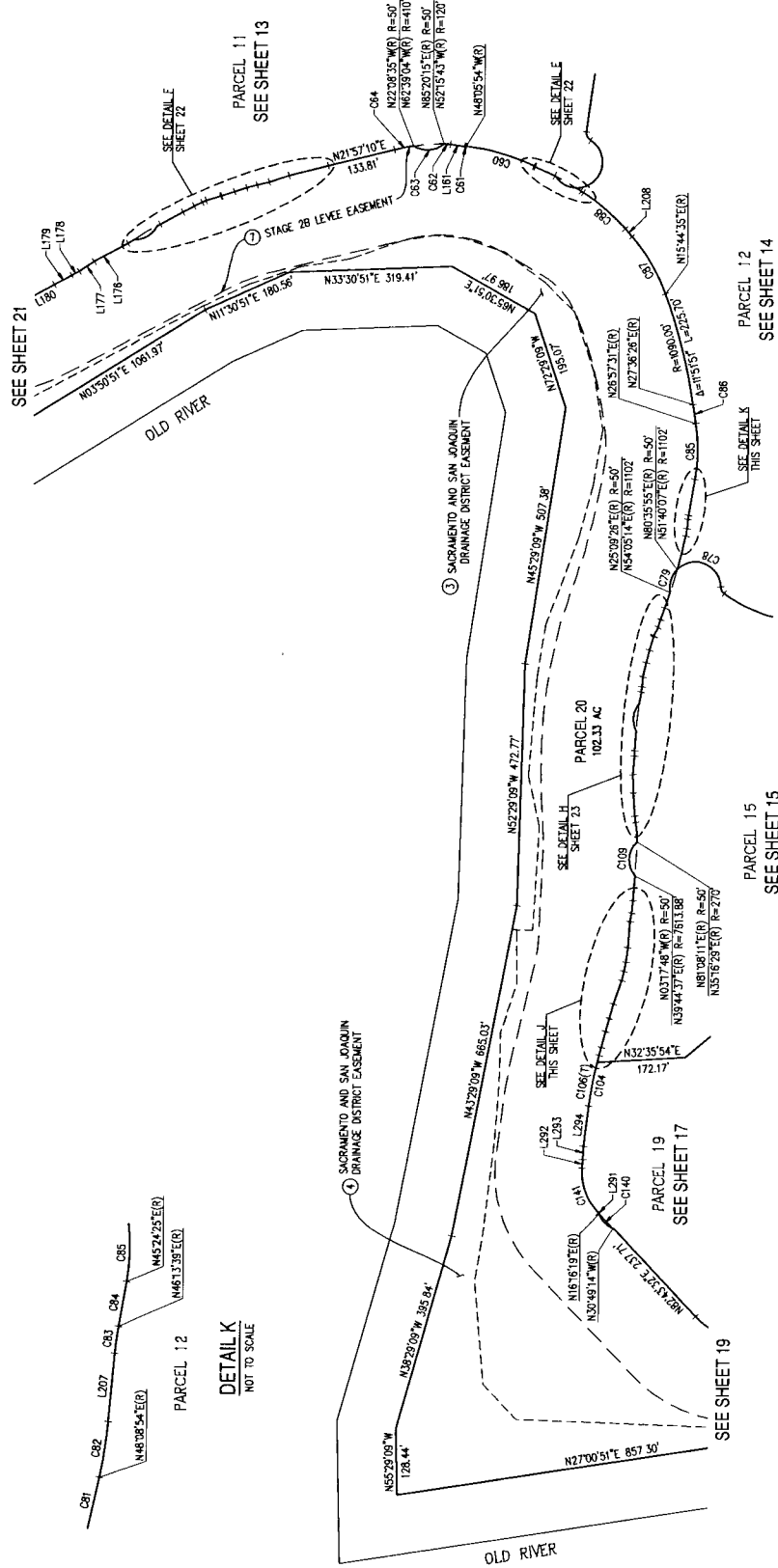
PARCEL 19

DETAIL J
NOT TO SCALE



PARCEL 12

DETAIL K
NOT TO SCALE



TRACT 4032 RIVER ISLANDS - STAGE 2B LARGE LOT FINAL MAP

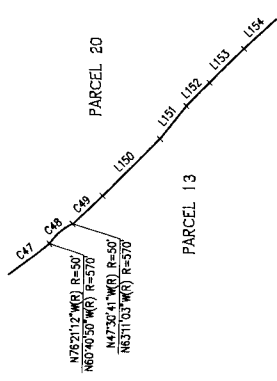
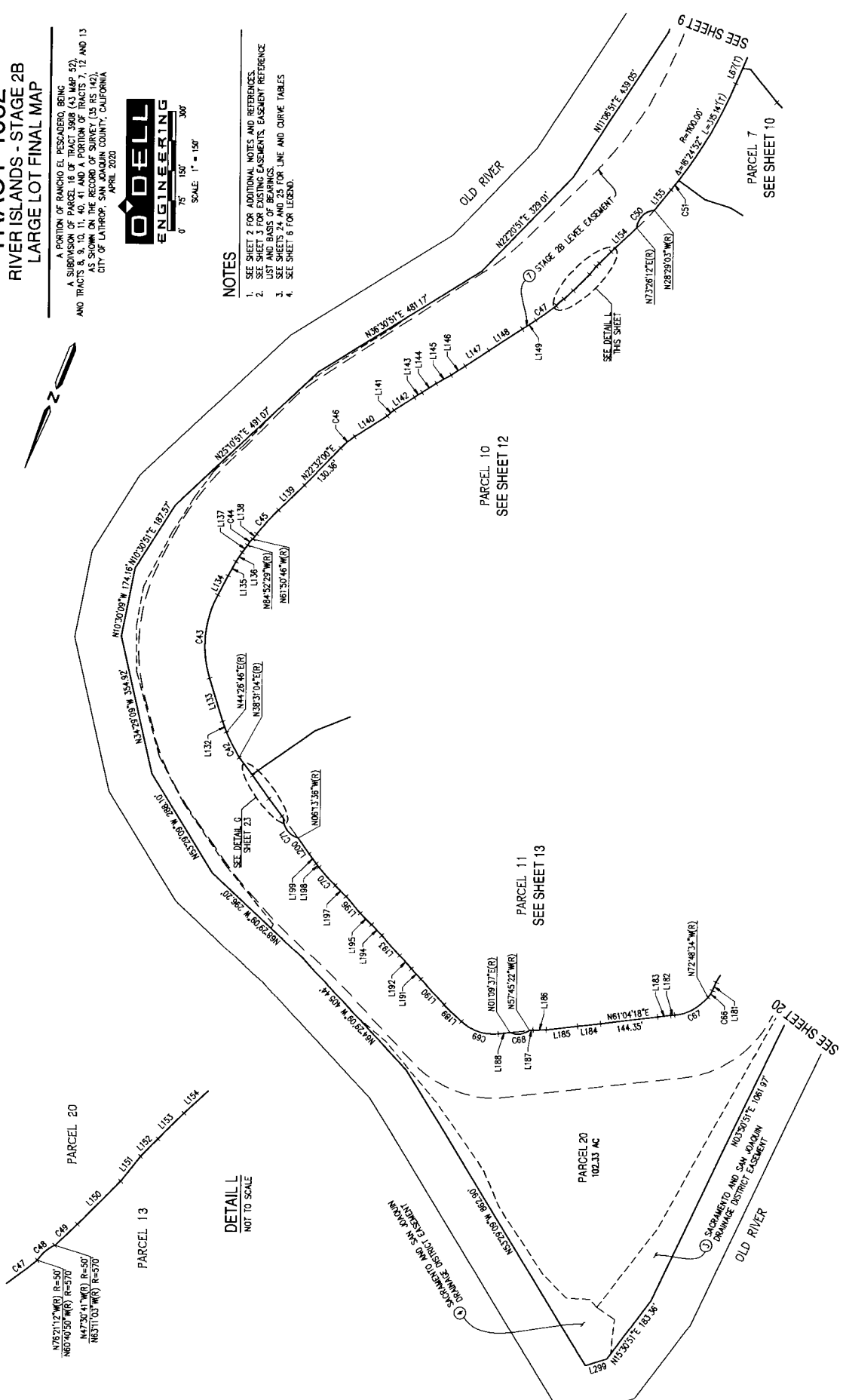
A PORTION OF RANCHO EL PESCADERO, BEING
A SUBDIVISION OF PARCEL 16 OF TRACT 3808 (43 MAP 42)
AND TRACTS 8, 9, 10, 11, 40, 41 AND A PORTION OF TRACTS 7, 12, AND 13
AS SHOWN ON THE RECORD OF SURVEY (35 RS 142),
CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA
APRIL 2020



SCALE: 1" = 150'

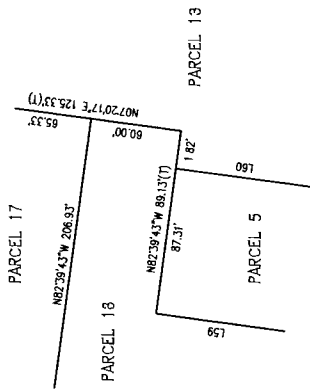
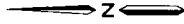
NOTES

1. SEE SHEET 2 FOR ADDITIONAL NOTES AND REFERENCES.
2. SEE SHEET 3 FOR EXISTING EASEMENTS, EASEMENT REFERENCE LIST AND BASIS OF BEARINGS.
3. SEE SHEETS 24 AND 25 FOR LINE AND CURVE TABLES
4. SEE SHEET 6 FOR LEGEND.

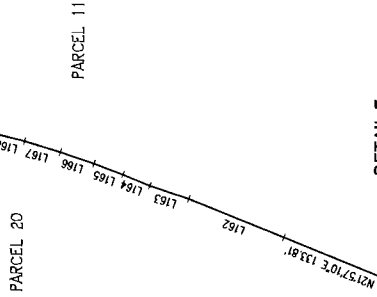


TRACT 4032 RIVER ISLANDS - STAGE 2B LARGE LOT FINAL MAP

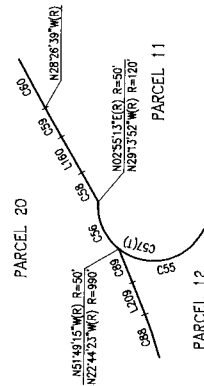
A PORTION OF RANCHO EL PESCADERO, BEING
A SUBDIVISION OF PARCEL 16 OF TRACT 3508 (43 MAP 52)
AND TRACTS 8, 9, 10, 11, 40, 41 AND A PORTION OF TRACTS 7, 12 AND 13
AS SHOWN ON THE RECORD OF SURVEY (35 RS 142),
CITY OF LAHOP, SAN JOAQUIN COUNTY, CALIFORNIA
APRIL 2020



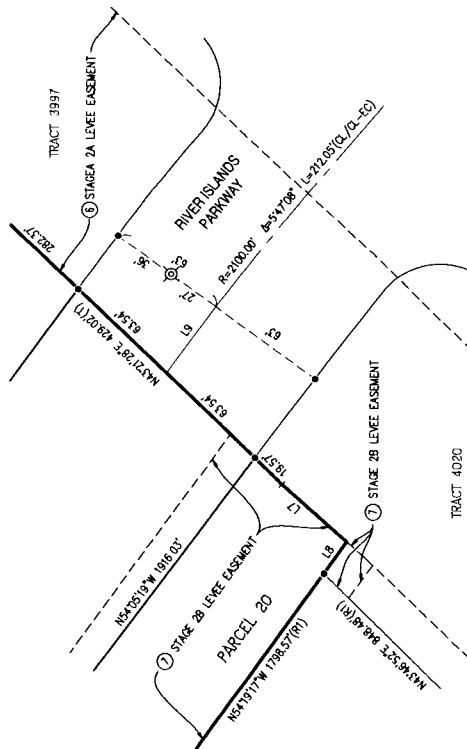
DETAIL A
(FROM SHEETS 8, 14 & 16)
NOT TO SCALE



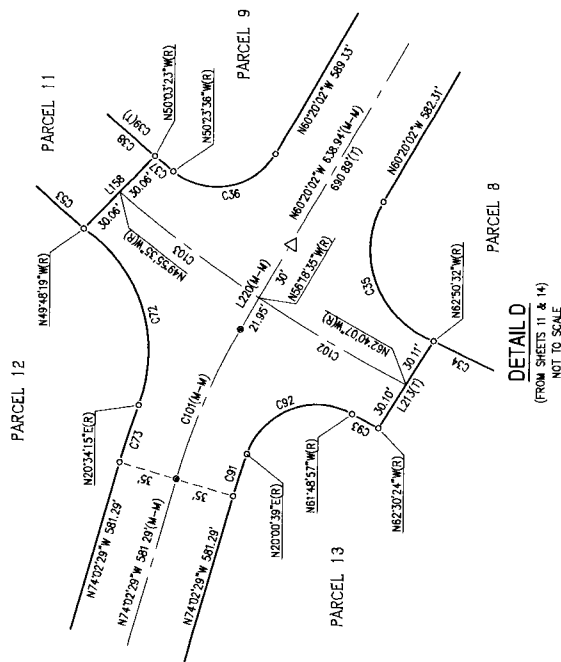
DETAIL B
(FROM SHEETS 13 & 20)
NOT TO SCALE



DETAIL C
(FROM SHEETS 13 & 20)
NOT TO SCALE



DETAIL D
(FROM SHEETS 8 & 18)
NOT TO SCALE



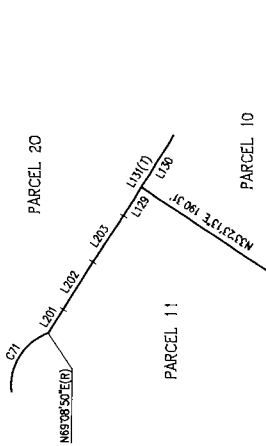
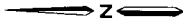
DETAIL E
(FROM SHEETS 11 & 14)
NOT TO SCALE

NOTES

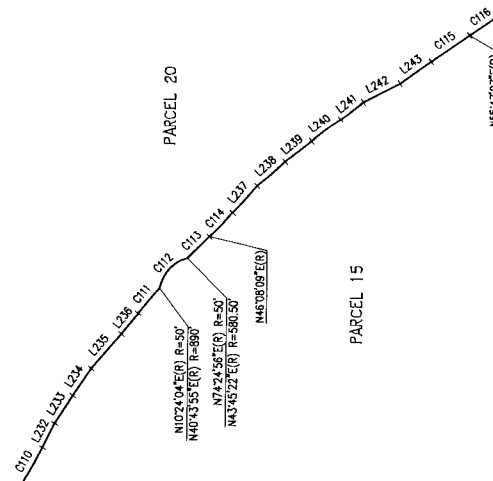
1. SEE SHEET 9 FOR ADDITIONAL NOTES AND REFERENCES.
2. SEE SHEET 1 FOR EXISTING EASEMENTS, EASEMENT REFERENCE LIST AND BASIS OF BEARINGS.
3. SEE SHEETS 24 AND 25 FOR LINE AND CURVE TABLES.
4. SEE SHEET 6 FOR LEGEND.

TRACT 4032
RIVER ISLANDS - STAGE 2B
LARGE LOT FINAL MAP

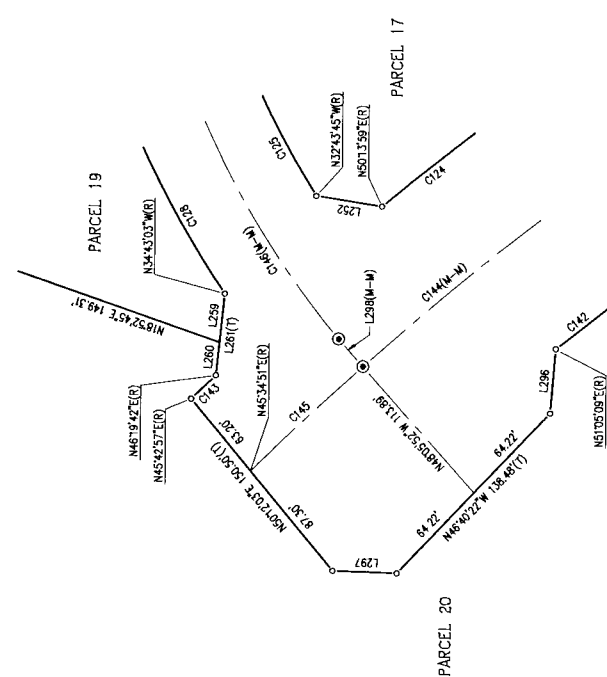
A PORTION OF RANCHO EL PESCADERO, BEING
 A SUBDIVISION OF PARCEL 16 OF TRACT 3809 (43 MAP 52)
 AND TRACTS 8, 9, 10, 11, 40, 41 AND A PORTION OF TRACTS 7, 12 AND 13
 AS SHOWN ON THE RECORD OF SURVEY (35 RIS 142),
 CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA
 APRIL 2020



DETAIL G
 (FROM SHEETS 13 & 21)
 NOT TO SCALE



DETAIL H
 (FROM SHEETS 15 & 20)
 NOT TO SCALE



DETAIL I
 (FROM SHEETS 17 & 19)
 NOT TO SCALE

NOTES

1. SEE SHEET 7 FOR ADDITIONAL NOTES AND REFERENCES.
2. LIST AND BASIS OF BEARINGS, EASEMENT REFERENCE
3. SEE SHEETS 24 AND 25 FOR LINE AND CURVE TABLES.
4. SEE SHEET 6 FOR LEGEND.

TRACT 4032 RIVER ISLANDS - STAGE 2B LARGE LOT FINAL MAP

A PORTION OF RANCHO EL PESCADERO, BEING
A SUBDIVISION OF PARCEL 16 OF TRACT 3908 (13 MAP 52)
AND TRACTS 8, 9, 10, 11, 40, 41 AND A PORTION OF TRACTS 7, 12 AND 13
AS SHOWN ON THE RECORD OF SURVEY (S.S. RS 142),
CITY OF LAHROP, SAN JOAQUIN COUNTY, CALIFORNIA
APRIL 2020

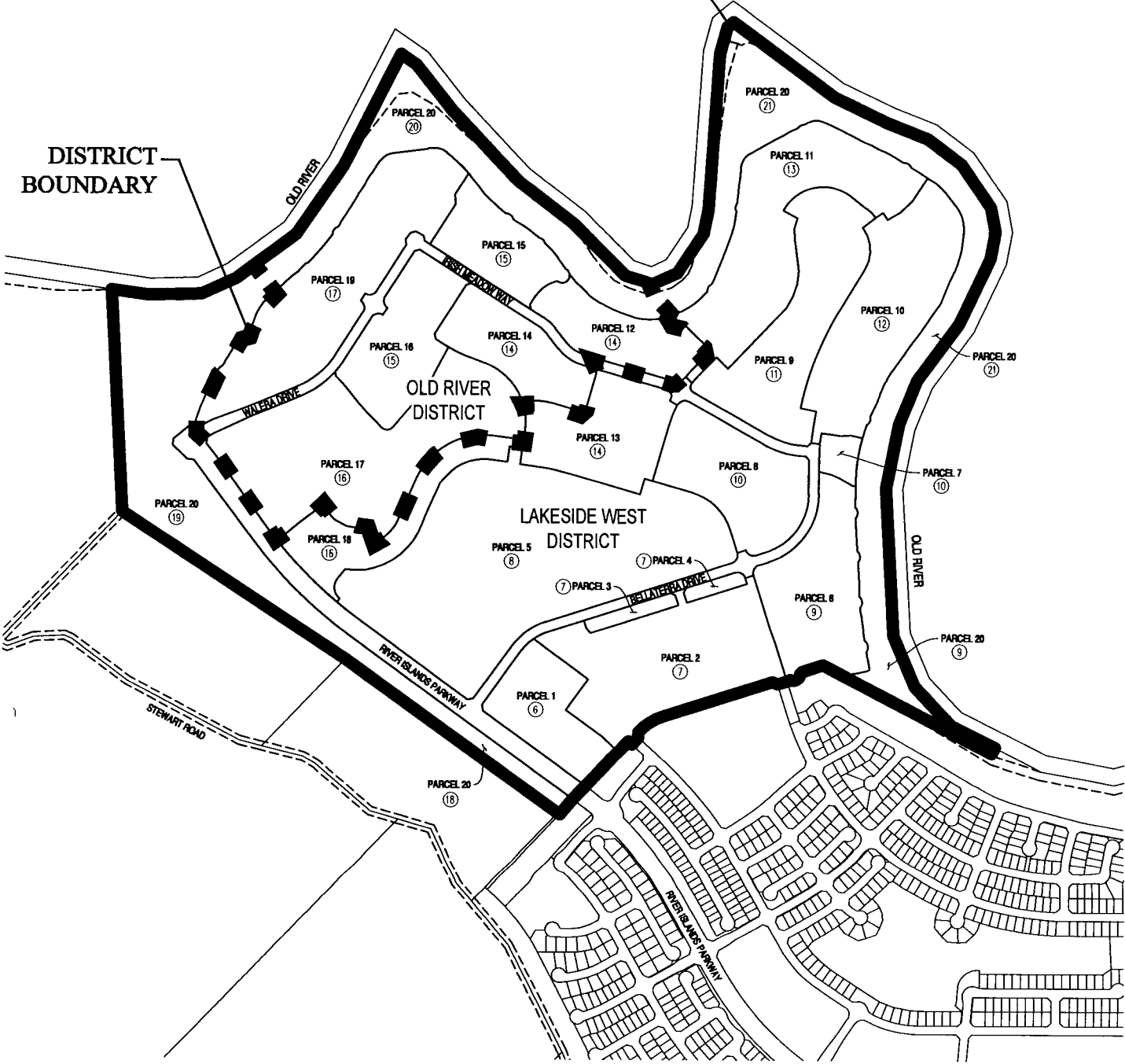


CURVE TABLES FOR COURSES SHOWN ON SHEETS X THROUGH XX ONLY

CURVE TABLE				CURVE TABLE				CURVE TABLE			
CURVE	RADIUS	DELTA	LENGTH	CURVE	RADIUS	DELTA	LENGTH	CURVE	RADIUS	DELTA	LENGTH
C1	270.00	192°41'	19.06'	C46	200.00	12°49'45"	44.78'	C91	365.00	4°03'08"	25.81'
C2	390.00	193°36'	133.59'	C47	570.00	6°22'10"	63.36'	C92	44.00	89°10'23"	75.39'
C3	390.00	16°46'36"	114.20'	C48	50.00	28°50'32"	25.17'	C93	880.00	0°41'27"	10.81'
C4	390.00	36°24'12"	247.79'	C49	570.00	3°09'41"	31.45'	C94	970.00	97°13'42"	159.06'
C5	423.00	36°24'12"	270.03'	C50	50.00	78°04'44"	68.14'	C95	970.00	2°38'06"	44.61'
C6	369.00	29°36'01"	192.76'	C51	1100.00	1°34'30"	30.24'	C96	970.00	12°01'48"	203.87'
C7	230.00	402°41'	16.24'	C52	420.00	7°46'38"	57.01'	C97	265.00	19°12'02"	88.80'
C8	55.00	90°00'00"	86.39'	C53	880.00	3°33'28"	54.64'	C98	335.00	35°50'24"	208.55'
C9	55.00	90°00'00"	86.39'	C54	17.00	66°1'06"	19.65'	C99	300.00	19°12'02"	100.53'
C10	460.00	36°24'12"	292.26'	C55	50.00	150°39'42"	131.48'	C100	300.00	35°50'24"	187.86'
C11	2937.00	3°37'56"	186.19'	C56	50.00	54°14'28"	47.77'	C101	400.00	15°42'26"	95.69'
C12	100.00	90°05'53"	157.25'	C57	50.00	205°24'11"	179.25'	C102	850.00	6°21'32"	94.34'
C13	3103.00	2°02'54"	110.93'	C58	120.00	0°50'41"	1.77'	C103	850.00	6°23'00"	94.70'
C14	50.00	91°31'23"	79.87'	C59	80.00	1°37'54"	2.26'	C104	730.00	6°50'44"	87.22'
C15	3103.00	1°36'47"	88.16'	C60	465.00	19°39'15"	138.93'	C105	700.00	10°27'26"	14.32'
C16	50.00	92°01'58"	80.31'	C61	80.00	1°46'48"	2.49'	C106	730.00	7°58'10"	101.54'
C17	50.00	93°00'44"	81.17'	C62	120.00	5°56'37"	12.45'	C107	270.00	5°02'37"	24.00'
C18	270.00	9°08'43"	43.10'	C63	50.00	72°31'07"	63.29'	C108	7613.88	0°21'56"	48.35'
C19	230.00	3°59'22"	16.01'	C64	410.00	5°23'46"	38.61'	C109	50.00	84°25'59"	73.68'
C20	50.00	92°32'16"	80.75'	C65	50.00	65°31'14"	57.18'	C110	270.00	8°06'13"	38.19'
C21	15.00	86°35'24"	22.67'	C66	80.00	14°32'51"	20.78'	C111	890.00	2°27'00"	38.06'
C22	80.00	7°41'41"	10.74'	C67	125.00	45°07'50"	99.48'	C112	50.00	64°00'51"	55.86'
C23	320.00	1°25'39"	74.99'	C68	50.00	58°55'00"	51.41'	C113	580.50	2°27'48"	24.11'
C24	17.00	66°14'06"	19.65'	C69	115.00	50°26'18"	101.24'	C114	120.00	5°04'44"	10.64'
C25	50.00	108°26'10"	92.88'	C70	570.00	6°10'10"	61.38'	C115	300.00	12°27'05"	23.56'
C26	55.00	90°00'00"	86.39'	C71	50.00	75°22'26"	65.76'	C116	1102.00	1°41'53"	32.86'
C27	1965.00	0°15'02"	77.41'	C72	89.00	70°22'34"	108.37'	C117	970.00	12°10'09"	206.02'
C28	1965.00	2°30'27"	86.00'	C73	435.00	4°36'44"	35.02'	C118	50.00	92°40'52"	84.11'
C29	1965.00	2°30'27"	86.00'	C74	265.00	35°30'24"	165.76'	C119	1080.00	6°39'32"	125.21'
C30	2000.00	4°08'07"	144.35'	C75	335.00	19°12'02"	112.26'	C120	635.00	8°34'38"	93.06'
C31	1970.00	2°11'35"	75.41'	C76	270.00	40°09'38"	188.25'	C121	55.00	90°00'00"	86.39'
C32	2035.00	2°27'59"	87.80'	C77	17.00	50°38'11"	15.02'	C122	55.00	90°00'00"	86.39'
C33	55.00	90°00'00"	86.39'	C78	50.00	132°47'49"	115.88'	C123	2937.00	2°46'54"	142.80'
C34	820.00	1°11'56"	160.28'	C79	50.00	55°28'29"	48.38'	C124	2163.00	4°07'18"	155.60'
C35	580.00	92°30'30"	93.65'	C80	50.00	186°47'48"	164.27'	C125	555.00	10°16'58"	99.61'
C36	40.00	99°56'27"	69.77'	C81	1102.00	3°31'13"	67.71'	C126	55.00	90°00'00"	86.39'
C37	820.00	0°20'12"	4.82'	C82	120.00	7°10'16"	15.02'	C127	55.00	90°00'00"	86.39'
C38	820.00	5°46'32"	54.51'	C83	80.00	5°19'01"	7.33'	C128	643.00	12°15'36"	137.59'
C39	820.00	4°08'44"	59.33'	C84	5020.00	0°49'13"	71.88'	C129	50.00	91°30'48"	79.86'
C40	360.00	1°16'16"	86.47'	C85	340.00	18°26'55"	109.48'	C130	73.00	45°39'42"	56.16'
C41	360.00	0°21'54"	2.26'	C86	3315.00	0°38'55"	37.53'	C131	87.00	2°15'22"	35.31'
C42	680.00	5°55'41"	70.36'	C87	355.00	21°02'24"	130.36'	C132	330.00	29°45'22"	171.36'
C43	275.00	45°02'32"	218.19'	C88	370.00	16°46'08"	108.28'	C133	903.00	7°23'33"	118.87'
C44	50.00	23°01'42"	20.10'	C89	990.00	0°40'28"	11.65'	C134	87.00	21°20'15"	32.42'
C45	600.00	7°46'15"	81.37'	C90	430.00	25°24'12"	190.85'	C135	73.00	40°05'13"	51.07'

STAGE 2B
BOUNDARY

DISTRICT
BOUNDARY



STAGE 2B AREA
LAKESIDE WEST/OLD RIVER
DISTRICTS
JUNE 2020

**SUBDIVISION IMPROVEMENT AGREEMENT
BETWEEN THE CITY OF LATHROP AND
RIVER ISLANDS STAGE 2B, LLC,
A DELAWARE LIMITED LIABILITY COMPANY, FOR
20 LARGE LOTS IN TRACT 4032
(LAKESIDE WEST AND OLD RIVER DISTRICTS)**

RECITALS

A. This Agreement is made and entered into this **8th day of June, 2020**, by and between the CITY OF LATHROP, a municipal corporation of the State of California (“CITY”), and River Islands Stage 2B, LLC, a Delaware limited liability company (“SUBDIVIDER”).

B. Pursuant to Division 2 of Title 7 of the Government Code of the State of California and CITY’s Subdivision Regulations (City of Lathrop, Code of Ordinances, Chapter 16), SUBDIVIDER is required to make dedications and improve Tract 4032. However, SUBDIVIDER has completed a significant portion of public infrastructure improvements associated with River Islands Parkway from the Stage 2A boundary to its terminus and for the backbone collector streets within the Stage 2B development area, both of which are required to provide public roadway access to Tract 4032 of the Lakeside West and Old River Districts of River Islands. The unfinished portion of improvements total \$5,427,750 and security in the form of performance bonds have been provided to the City and will be required to be held by CITY as outlined in this Tract 4032 Subdivision Improvement Agreement unless otherwise substituted with other security as outlined in this Agreement.

C. SUBDIVIDER has completed the entirety of underground utilities and joint trench improvements for River Islands Parkway and backbone collector roads in accordance with the plans from O’Dell Engineering (underground utilities) and Power Systems Design (joint trench and street light plans). The River Islands Parkway and backbone collector streets (Walera Drive, Irish Meadow Way and Bellaterra Drive) improvements in total, include street, sidewalk, underground utility, storm drainage, streetlight, and joint trench improvements (hereinafter “Improvements”) are required to be constructed as part of the required infrastructure for Tract 4032. Since not all of the Improvements are completed, security in the form of performance and labor and materials bonds shall be required for Tract 4032. The performance bonds shall equal 110% of the amount of the unfinished improvements as shown in Exhibit D ($\$5,427,750 \times 110\% = \$5,970,525$) and the labor and materials bond shall equal 50% of the performance bond amount ($\$5,970,525 \times 50\% = \$2,985,263$).

D. The term “Improvements” as used in this Agreement means all improvements necessary for River Islands Parkway and the backbone collector roads associated with Tract 4032. As a result, the total value of public improvements for Tract 4032, as River Islands Parkway and backbone collector roads, is \$10,293,000 as shown in Exhibit E to this Agreement. The required Maintenance

Bond for Tract 4032 shall be equal to 10% of the cost of Improvements as shown in Exhibit E; \$10,293,000X 10% = \$1,029,300 – maintenance bond amount). The maintenance bond shall be posted to guarantee maintenance of all improvements for a full year following acceptance by CITY.

NOW THEREFORE in consideration of CITY'S pending approval and acceptance of the Improvements upon their satisfactory completion and in consideration of SUBDIVIDER'S construction of Improvements in strict accordance with the terms of this Agreement, all applicable laws, statutes, ordinances, rules and regulations currently in force and effect in CITY, the terms and conditions of which are incorporated herein by this reference, the parties hereto mutually covenant and agree as follows:

1. SUBDIVIDER shall complete construction of, or cause construction to be completed at its sole cost and expense, the Improvements described herein for Tract 4032, to the limits identified on Exhibit A. All improvements shall be constructed to the satisfaction and approval of the City Engineer, in a good and workmanlike manner in accordance with the above-referenced improvement plans and specifications, the improvement standards and specifications of CITY'S Department of Public Works, the applicable Ordinances of the City of Lathrop and the California Subdivision Map Act.
2. SUBDIVIDER shall complete the Improvements, including all deferred and unfinished improvements, prior to occupancy of the first home occupied associated with the first small lot final map recorded in the Lakeside West District. Such occupancy shall be documented by CITY in the form of a Certificate of Occupancy or Final Building Permit.
3. CITY or its agents shall, at any time during the progress of the Improvements, have free access thereto and shall be allowed to examine the same and all material to be used therein. If the Improvements or any part thereof are not completed in strict compliance with the standards set forth in Paragraph 1 above, CITY may refuse to accept and may reject the defective Improvements and/or materials therein.
4. SUBDIVIDER shall secure the services of skilled personnel necessary to construct the Improvements. CITY is not skilled in these matters and relies upon the skill of SUBDIVIDER to ensure that the construction of the Improvements is in the most skillful and durable manner.
5. CITY'S acceptance of the Improvements does not operate as a release of SUBDIVIDER from any guarantee hereunder.
6. SUBDIVIDER guarantees and warrants that the Improvements shall be constructed in compliance with the standards set forth in Paragraph 1 above, free from any defects in work or labor done and from any defects in materials furnished. Further, SUBDIVIDER shall repair and maintain the Improvements in good condition and in accordance with CITY specifications for one (1) year after CITY'S acceptance of the Improvements. Prior to acceptance of the Improvements, SUBDIVIDER shall deposit with the City Engineer a Maintenance Bond in the amount of \$1,029,300 equal to 10% of the estimated cost of the Improvements for the entire area as summarized in Recital E, to insure SUBDIVIDER'S repair and maintenance of the Improvements

in accordance with the terms of this Agreement. The Maintenance Bond shall be released at the end of the one (1) year guarantee period, provided there are no claims against it are then outstanding.

7. Because some of the backbone improvements referenced in Recital "C" were required to provide access and required utilities to Tract 4032 and are associated with adjacent tracts as otherwise described in this Agreement, as well as backbone roads associated with the Agreement for Dedication, Inspection and Guarantee of Public Streets and Improvements referenced in Recital "C", the security required by the Agreement for Dedication, Inspection and Guarantee of Public Streets and Improvements shall remain in place until the backbone improvements associated with that agreement are complete and accepted by CITY or as is further described by the conditions below:

a. Rehabilitation of the pavement on Stewart/Cohen and Paradise Roads within the limits of Stewart Tract, as detailed on the attached Exhibit C are required, and rehabilitation is guaranteed by a performance bond. Full improvement and acceptance of these streets shall be completed prior to release of security previously posted by SUBDIVIDER.

8. If SUBDIVIDER, in whole or in part, abandons the Improvements, unnecessarily or unreasonably delays construction of the Improvements, fails to complete construction of the Improvements within the time specified in this Agreement or fails to repair, replace or reconstruct any defects, as set forth in Paragraph 6 above, CITY may but is not required to proceed to complete and/or repair, replace or reconstruct the Improvements, either by itself or by contract for such service, and CITY may cause to be forfeited such portion of any security deposited therein as is necessary to cover the costs of completion, repair, replacement or reconstruction incurred by CITY. Once action is taken by CITY to complete, repair, replace and/or reconstruct the Improvements, SUBDIVIDER shall be responsible for all costs incurred by CITY even if SUBDIVIDER subsequently completes the work.

CITY shall have recourse against SUBDIVIDER for any and all amounts necessary to complete the obligations of SUBDIVIDER in the event the security (including but not limited to any Letter of Guarantee, Certificate of Deposit, cash, bond for performance, labor and materials, repair and maintenance, letter of credit or cash deposit) therefore is insufficient to pay such amounts. All administrative costs, including reasonable attorney's fees pursuant to Government Code Section 66499.4, incurred by CITY in addition to the costs of the improvements shall be a proper charge against the security and SUBDIVIDER.

In the event it becomes necessary for CITY to bring an action to compel performance of this Agreement or to recover costs of completing such improvements, SUBDIVIDER shall pay reasonable attorney's fees, costs of suit and all other expenses of litigation incurred by CITY in connection therewith.

9. Because the Improvements are partially complete, SUBDIVIDER is required to only post security to guarantee the deferred and unfinished improvements associated with Tract 4032 as included and described in Exhibit D of this Agreement. The amount of security, as evidenced by performance bonds provided by SUBDIVIDER are as included as Exhibit D and as indicated in

Recital E shall be \$5,970,525 for the performance bond and \$2,985,263 for the labor and materials bond. Further, SUBDIVIDER shall also comply with CITY'S insurance requirements set forth on Exhibit B attached hereto and incorporated herein with a new certificate of insurance required.

10. Any alterations made to the plans and specifications, which are a part of this Agreement, or any provision of this Agreement shall not operate to release any surety or sureties from liability on any bond or bonds attached hereto and made a part hereof. The above-referenced sureties hereby consent to such alterations and waive the provisions of California Civil Code Section 2819.

11. Neither CITY nor any of its officers, employees or agents shall be liable to SUBDIVIDER and/or SUBDIVIDER'S agents, contractors or subcontractors for any error or omission arising out of or in connection with any work to be performed under this Agreement.

12. Neither CITY nor any of its officers, employees or agents shall be liable to SUBDIVIDER or to any person, entity or organization for any injury or damage that may result to any person or property by or from any cause in, on or about the subdivision of all or any part of the land covered by this Agreement.

13. SUBDIVIDER hereby agrees to and shall hold CITY, its elective and appointive boards, commissions, officers, agents and employees (collectively "Indemnitees") harmless from any liability for damage or claims which may arise from SUBDIVIDER and/or SUBDIVIDER'S contractors, subcontractors, agents or employees' operations under this Agreement, whether such operations be by SUBDIVIDER or by any SUBDIVIDER contractors, subcontractors or by any one or more persons directly or indirectly employed by or acting as agent for SUBDIVIDER or any of SUBDIVIDER'S contractors or subcontractors.

SUBDIVIDER shall, at its own cost and expense, defend any and all actions, suits or legal proceedings or any type that may be brought or instituted against CITY and indemnities on any claim or demand, of any nature whatsoever, and pay or satisfy any judgment that may be rendered against CITY and the Indemnitees in any such action, suit or legal proceedings resulting from or alleged to have resulted from SUBDIVIDER'S performance or non-performance of its duties and obligations under this Agreement or from the negligent act or omission of itself, its agents, contractors, representatives, servants or employees. The promises and Agreement to indemnify and hold harmless set forth in this section is not conditioned or dependent on whether or not any indemnity has prepared, supplied or approved any plan or specification in connection with this work or subdivision whether or not any such indemnity has insurance or indemnification covering any of these matters. CITY does not and shall not waive any rights against SUBDIVIDER which it may have by reason of the aforesaid hold harmless agreement because of the acceptance by CITY of any deposit with CITY by SUBDIVIDER. The aforesaid hold harmless agreement by SUBDIVIDER shall apply to all damages and claims for damages of every kind suffered or alleged to have been suffered by reason of any of the aforesaid operations referred to in this paragraph regardless of whether or not CITY has prepared, supplied or approved of plans and/or specifications for the subdivision.

14. Neither SUBDIVIDER nor any of SUBDIVIDER'S agents, contractors or subcontractors are or shall be considered to be agents of CITY in connection with the performance of SUBDIVIDER'S obligations under this Agreement.

15. Prior to acceptance of the Improvements by the City Council, SUBDIVIDER shall be solely responsible for maintaining the quality of the Improvements and maintaining safety at the project site. SUBDIVIDER'S obligation to provide the Improvements shall not be satisfied until after the City Engineer has made a written determination that all obligations of the Agreement have been satisfied, all outstanding fees and charges have been paid and the City Council has accepted the Improvements as complete. CITY and SUBDIVIDER have formed Community Facilities Districts ("CFD") to finance maintenance and improvements. CITY expects to preserve the ability to use future special taxes of the CFD for payment of the cost of acquisition of the Improvements which may require that acceptance of improvements by CITY be subject to the provisions of an acquisition agreement to be entered into by CITY and SUBDIVIDER providing that CITY expects to be paid or reimbursed acquisition costs through future CFD special taxes. SUBDIVIDER shall cooperate to facilitate such method of acquisition.

16. SUBDIVIDER shall pay service fees for the utility services from the time the Improvements are accepted by CITY to the end of the fiscal year or up to a one (1) year period, whichever is needed to ensure an opportunity for the Improvements to be included in the next fiscal year annual assessment.

17. SUBDIVIDER shall be responsible to sweep streets within the subdivision every two weeks as directed by the City Engineer on all streets where lots are occupied and all streets providing access to occupied lots until the Improvements are accepted by CITY.

18. SUBDIVIDER shall not assign this Agreement without the prior written consent of CITY. If such consent is given, the terms of this Agreement shall apply to and bind the heirs, successors, executors, administrators and assignees of SUBDIVIDER and any heirs, successors, executors, administrators and assignees of SUBDIVIDER and shall be jointly and severally liable hereunder.

19. SUBDIVIDER shall, at SUBDIVIDER'S expense, obtain and maintain all necessary permits and licenses for construction of the Improvements. Prior to the commencement of Improvement construction, SUBDIVIDER shall obtain a City of Lathrop Business License. SUBDIVIDER shall comply with all local, state and federal laws whether or not said laws are expressly stated in this Agreement.

20. This Agreement and any amendments hereto comprise the entire understanding and agreement between the parties regarding the improvements to be constructed and dedications for Tract 4023.

21. The following miscellaneous provisions are applicable to this Agreement:

a. Controlling Law. The parties agree that this Agreement shall be governed and construed by and in accordance with the laws of the State of California.

- b. Definitions. The definitions and terms are as defined in this Agreement.
- c. Force Majeure. Neither party shall be deemed to be in default on account of any delay or failure to perform its obligations under this Agreement which directly results from an Act of God or an act of a superior governmental authority.
- d. Headings. The paragraph headings are not a part of this Agreement and shall have no effect upon the construction or interpretation of any part of this Agreement.
- e. Incorporation of Documents. All documents referred to herein and all documents which may, from time to time, be referred to in any duly executed amendment hereto are by such reference incorporated herein and shall be deemed to be part of this Agreement.
- f. Modification of Agreement. This Agreement shall not be modified or be binding upon the parties unless such modification is agreed to in writing and signed by the parties.
- g. Severability. If a court of competent jurisdiction finds or rules that any provision of this Agreement is void or unenforceable, the provisions of this Agreement not so affected shall remain in full force and effect.
- h. Successors and Assigns. Except as otherwise expressly provided herein, the provisions of this Agreement shall inure to the benefit of and shall apply to and bind the successors and assigns of the parties.
- i. Time of the Essence. Time is of the essence of this Agreement and each of its provisions. In the calculation of time hereunder, the time in which an act is to be performed shall be computed by excluding the first day and including the last day. If the time in which an act is to be performed falls on a Saturday, Sunday or any day observed as a legal holiday by CITY, the time for performance shall be extended to the following business day.
- j. Venue. In the event either party brings suit hereunder, the parties agree that trial of such action shall be vested exclusively in the state courts of California in the County of San Joaquin.

ATTACHMENTS:

- EXHIBIT A: FINAL MAP - TRACT 4032
- EXHIBIT B: CITY INSURANCE REQUIREMENTS
- EXHIBIT C: COHEN/PARADISE/STEWART REHABILITATION MAP
- EXHIBIT D: TRACT 4032 ENGINEER'S ESTIMATE FOR UNFINISHED PORTIONS OF RIVER ISLANDS PARKWAY AND BACKBONE COLLECTOR ROADS
- EXHIBIT E: TRACT 4032 ENGINEER'S ESTIMATE FOR RIVER ISLANDS PARKWAY AND BACKBONE COLLECTOR ROADS

EXHIBIT A

FINAL MAP - TRACT 4032

TRACT 4032 RIVER ISLANDS - STAGE 2B LARGE LOT FINAL MAP

A PORTION OF RANCHO EL PESCADERO, BEING
A SUBDIVISION OF PARCEL 16 OF TRACT 3888 (43 MAP 52),
AND TRACTS 8, 9, 10, 11, 40, 41 AND A PORTION OF TRACTS 7, 12 AND 13
AS SHOWN ON THE RECORD OF SURVEY (OS RS 142),
CITY OF LATHROP, SHERMAN COUNTY, CALIFORNIA
APRIL 2020



0 250' 500' 1000'
SCALE 1" = 500'

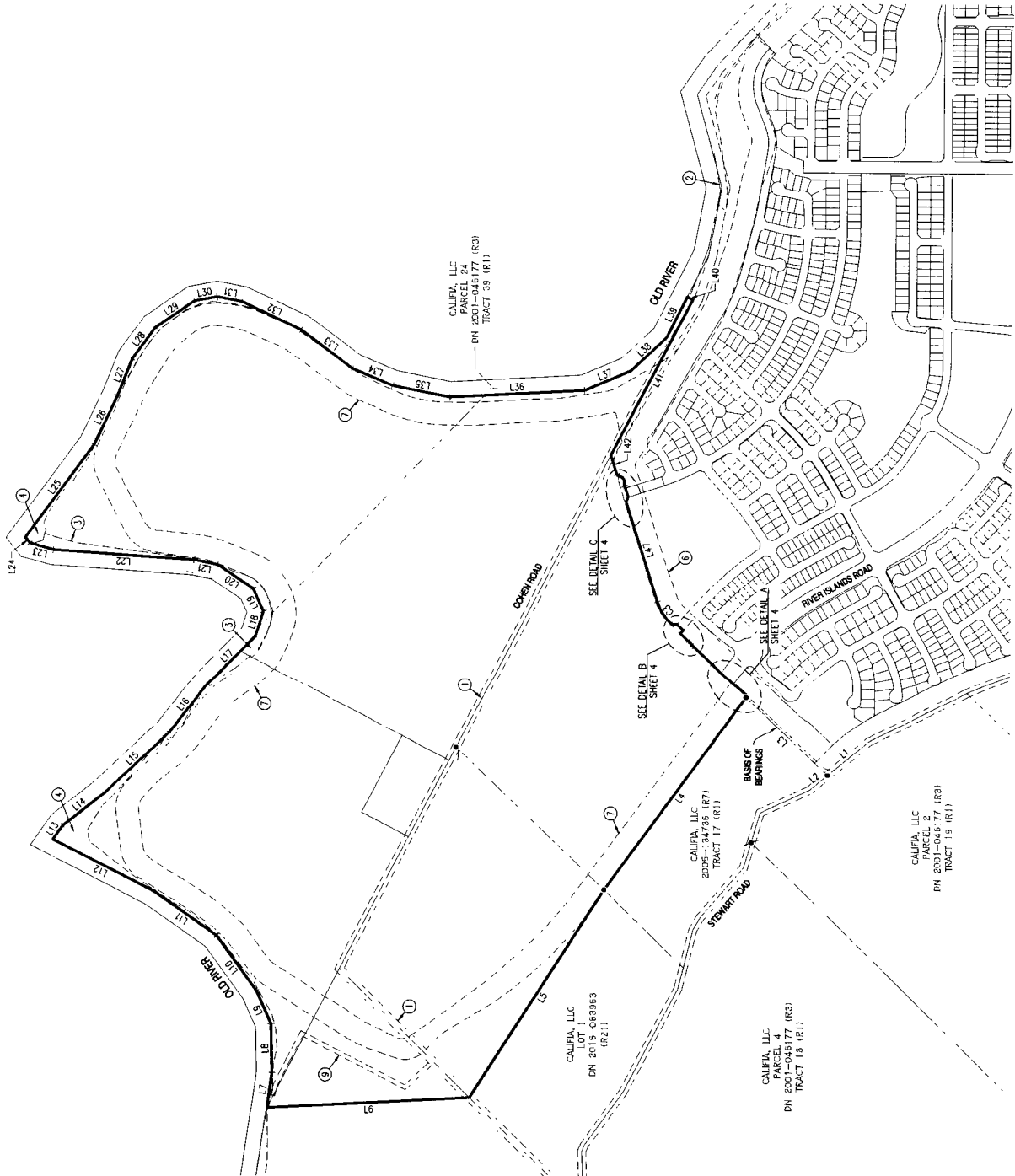


LEGEND

- FOUND MONUMENT STAMPED "PLS 7788" PER (R3)
- ⊙ FOUND MONUMENT STAMPED "PLS 7788" PER (R5)
- ⊙ MONUMENT TO BE SET PER (R1)
- ⊙ MONUMENT TO BE SET PER (R9)
- ⊙ MONUMENT TO BE SET PER (R2)
- BOUNDARY
- LOT LINE OR RIGHT-OF-WAY LINE
- EASEMENT LINE
- MONUMENT LINE
- CENTERLINE
- 200.00' (R1)
- (R1) MEASURED AND RECORD DATA PER REFERENCE (R1)
- (M-4) DENOTES REFERENCE (R1) - SEE REFERENCE LIST ON THIS SHEET
- (R) MONUMENT TO MONUMENT
- (1) RADIAL BEARING
- (B) TOTAL
- (B) BOUNDARY
- CL CENTERLINE
- CL INTX-CL INTX CENTERLINE INTERSECTION TO CENTERLINE INTERSECTION
- M-CL INTX MONUMENT TO CENTERLINE INTERSECTION
- DN DOCUMENT NUMBER
- 100 IRREVOCABLE OFFER OF DEDICATION
- P.A.E PUBLIC ACCESS EASEMENT
- P.U.E PUBLIC UTILITY EASEMENT
- ① EASEMENT REFERENCE NUMBER

NOTES

- 1 SEE SHEET 2 FOR ADDITIONAL NOTES, AND FOR THE LINE TABLE AND CURVE TABLE OF COURSES SHOWN ON THIS SHEET ONLY.
- 2 SEE SHEET 4 FOR REFERENCES



TRACT 4032
RIVER ISLANDS - STAGE 2B
LARGE LOT FINAL MAP

A PORTION OF RANCHO EL PESQUERO, BEING A SUBDIVISION OF PARCEL 16 OF TRACT 3908 (43 MAP 52), AND TRACTS 8, 9, 10, 11, 40, 41 AND A PORTION OF TRACTS 7, 12 AND 13 AS SHOWN ON THE RECORD OF SURVEY (05 RS 142), SAN JOAQUIN COUNTY, CALIFORNIA, APRIL 2020

BASES OF BEARINGS

- 1 ROADWAY EASEMENT (COHEN ROAD) IN FAVOR OF SAN JOAQUIN COUNTY PER BOOK 408, OFFICIAL RECORDS, PAGE 95, S.J.C.R.
- 2 PACIFIC GAS & ELECTRIC COMPANY EASEMENT PER BOOK 533, OFFICIAL RECORDS, PAGE 203, S.J.C.R.
- 3 SACRAMENTO AND SAN JOAQUIN DRAINAGE DISTRICT EASEMENT PER BOOK 2143, OFFICIAL RECORDS, PAGE 464, S.J.C.R.
- 4 SACRAMENTO AND SAN JOAQUIN DRAINAGE DISTRICT EASEMENT PER BOOK 2720, OFFICIAL RECORDS, PAGE 483, S.J.C.R.
- 5 LEVEE EASEMENT IN FAVOR OF SACRAMENTO & SAN JOAQUIN DRAINAGE DISTRICT PER 2094 OFFICIAL RECORDS 585, S.J.C.R. (EXACT LOCATION NOT DEFINED OF RECORD)
- 6 STAGE 2A LEVEE EASEMENT IN FAVOR OF ISLAND RECLAMATION DISTRICT 2082 PER DN 2018-060092, S.J.C.R.
- 7 STAGE 2B LEVEE EASEMENT IN FAVOR OF ISLAND RECLAMATION DISTRICT 2082 PER DN 2018-060095, S.J.C.R.
- 8 COVENANTS AND CONDITIONS AS DISCLOSED PER DN 2001-046177, S.J.C.R.
- 9 PACIFIC GAS & ELECTRIC COMPANY EASEMENT PER DN 2017-101819, S.J.C.R.

EASEMENTS

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- 2 PACIFIC GAS & ELECTRIC COMPANY EASEMENT PER BOOK 533, OFFICIAL RECORDS, PAGE 203, S.J.C.R.
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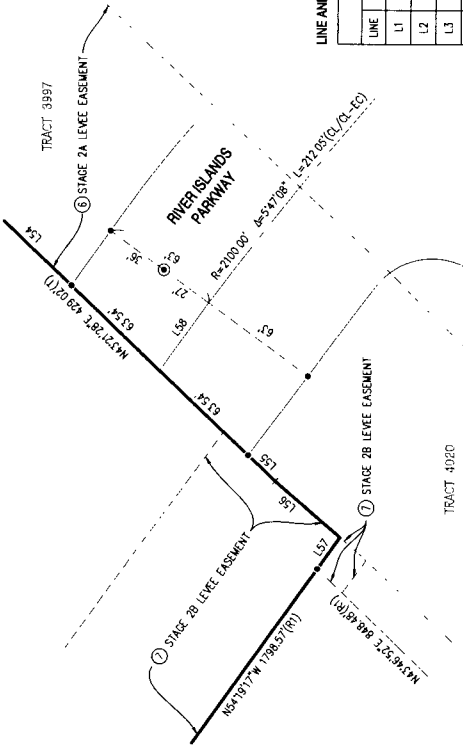
TRACT 4032
RIVER ISLANDS - STAGE 2B
LARGE LOT FINAL MAP



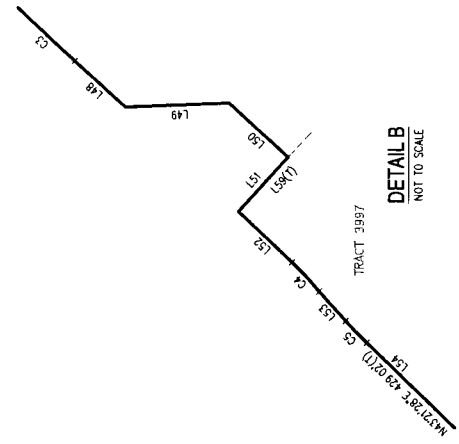
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LINE AND CURVE TABLES FOR COURSES SHOWN ON SHEETS 3 THROUGH 5 ONLY

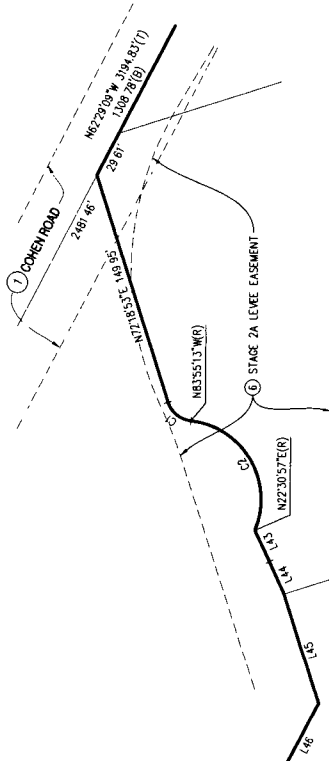
LINE TABLE			LINE TABLE			CURVE TABLE			
LINE	DIRECTION	LENGTH	LINE	DIRECTION	LENGTH	CURVE	RADIUS	DELTA	LENGTH
L1	N49°51'02"W	337.64'	L33	N36°20'51"E	481.17'	C1	17.00	68°14'06"	19.65'
L2	N49°51'02"W	169.70'	L34	N22°20'51"E	328.01'	C2	50.00	108°26'10"	92.88'
L3	N43°46'52"E	848.48'	L35	N11°06'51"E	439.05'	C3	369.00	29°56'01"	192.78'
L4	N54°18'17"W	1798.57'	L36	N31°108"W	1012.45'	C4	230.00	4°02'41"	16.24'
L5	N57°02'24"W	1834.67'	L37	N23°11'08"W	374.33'	C5	270.00	4°02'41"	18.06'
L6	N307°38"W	1525.52'	L38	N43°11'08"W	364.33'				
L7	N81°49'09"W	261.07'	L39	N63°11'08"W	340.22'				
L8	N88°30'51"E	361.33'	L40	N27°30'51"E	46.89'				
L9	N85°30'51"E	262.39'	L41	N62°29'09"W	1308.78'				
L10	N53°30'51"E	511.08'	L42	N72°16'53"E	148.95'				
L11	N44°30'51"E	569.50'	L43	N64°33'00"E	5.44'				
L12	N27°00'51"E	857.30'	L44	N65°33'04"E	17.63'				
L13	N55°29'09"W	128.44'	L45	N72°16'53"E	70.00'				
L14	N38°29'09"W	395.84'	L46	N62°41'07"W	35.36'				
L15	N43°29'09"W	665.03'	L47	N72°16'53"E	788.16'				
L16	N52°29'09"W	472.77'	L48	N42°22'52"E	9.65'				
L17	N45°29'09"W	507.38'	L49	N23°11'08"W	35.36'				
L18	N72°29'09"W	195.07'	L50	N42°22'52"E	66.00'				
L19	N65°30'51"E	186.97'	L51	N47°37'08"W	33.27'				
L20	N33°30'51"E	319.41'	L52	N43°21'28"E	82.37'				
L21	N11°30'51"E	180.56'	L53	N47°24'09"E	24.88'				
L22	N35°50'51"E	1081.97'	L54	N43°21'28"E	288.37'				
L23	N15°30'51"E	181.36'	L55	N43°21'28"E	19.57'				
L24	N50°30'51"E	56.12'	L56	N40°39'30"E	117.83'				
L25	N53°29'09"W	862.90'	L57	N54°38'13"W	14.93'				
L26	N62°29'09"W	405.44'	L58	N54°05'19"W	43.17'				
L27	N62°29'09"W	296.20'	L59	N47°37'08"W	136.55'				
L28	N53°29'09"W	288.10'							
L29	N34°29'09"W	354.92'							
L30	N10°30'51"E	174.16'							
L31	N10°30'51"E	187.57'							
L32	N25°10'51"E	491.07'							



DETAIL A
 NOT TO SCALE



DETAIL B
 NOT TO SCALE



DETAIL C
 NOT TO SCALE

TRACT 4032 RIVER ISLANDS - STAGE 2B LARGE LOT FINAL MAP

A PORTION OF RANCHO EL PESCAUERO, BEING
A SUBDIVISION OF PARCEL 16 OF TRACT 3008 (43 MAP 52),
AND TRACTS 8, 9, 10, 11, 40, 41 AND A PORTION OF TRACTS 7, 12 AND 13
AS SHOWN ON THE RECORD OF SURVEY (35 RS 142),
CITY OF LAHADA, SAN JOAQUIN COUNTY, CALIFORNIA
APRIL 2020

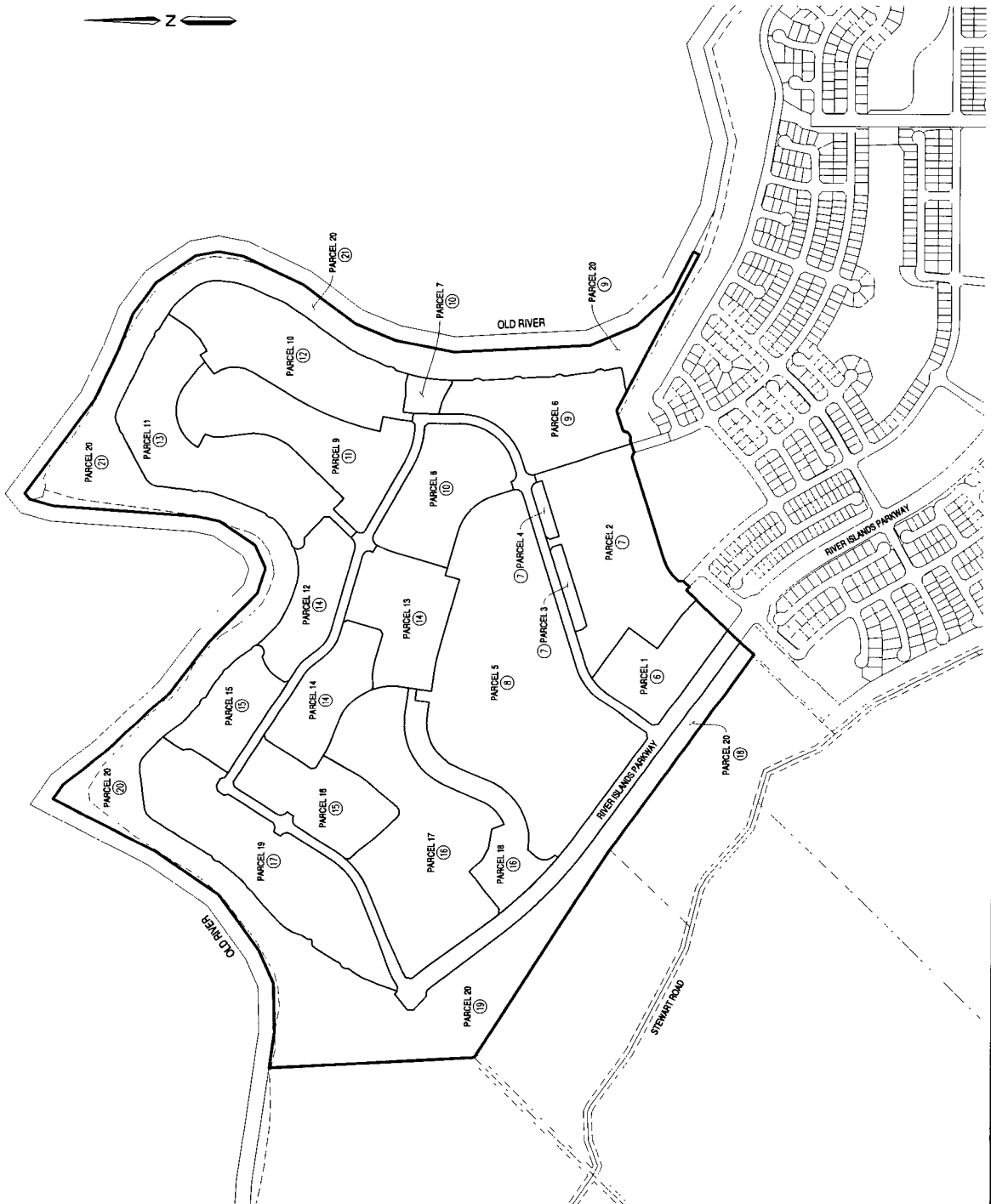
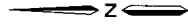


0' 250' 500' 1000'
SCALE 1" = 500'

SHEET INDEX

LEGEND

- BOUNDARY
- LOT LINE
- EXISTING ROADWAY EASEMENT
- SHEET NUMBER



TRACT 4032
RIVER ISLANDS - STAGE 2B
LARGE LOT FINAL MAP

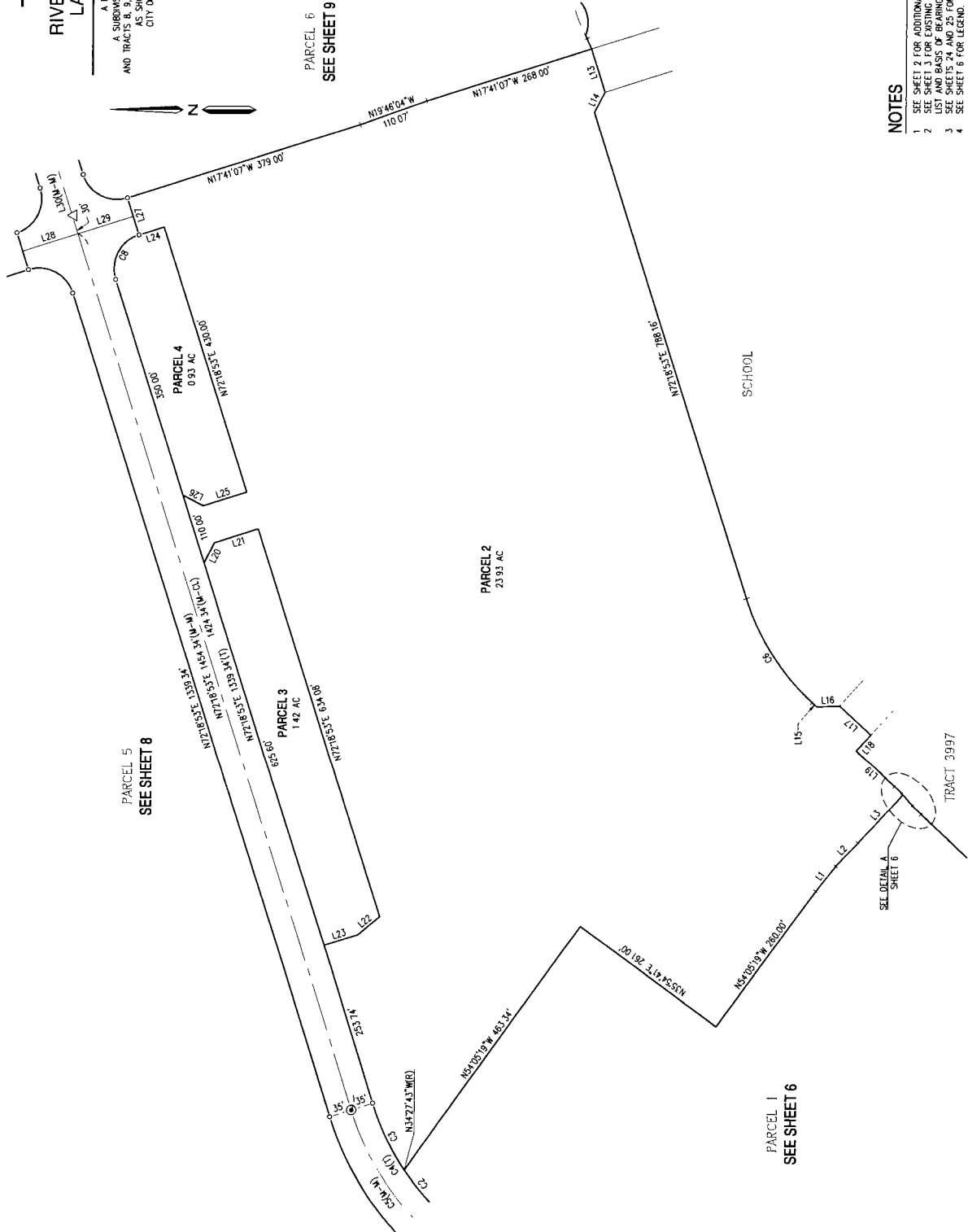
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 APRIL 2020



0 50' 100' 200'
 SCALE 1" = 100'



PARCEL 6
 SEE SHEET 9



NOTES

1. SEE SHEET 2 FOR ADDITIONAL NOTES AND REFERENCES.
2. SEE SHEET 3 FOR EXISTING EASEMENTS, EASEMENT REFERENCE LIST AND BASIS OF BEARINGS.
3. SEE SHEETS 24 AND 25 FOR LINE AND CURVE TABLES.
4. SEE SHEET 6 FOR LEGEND.

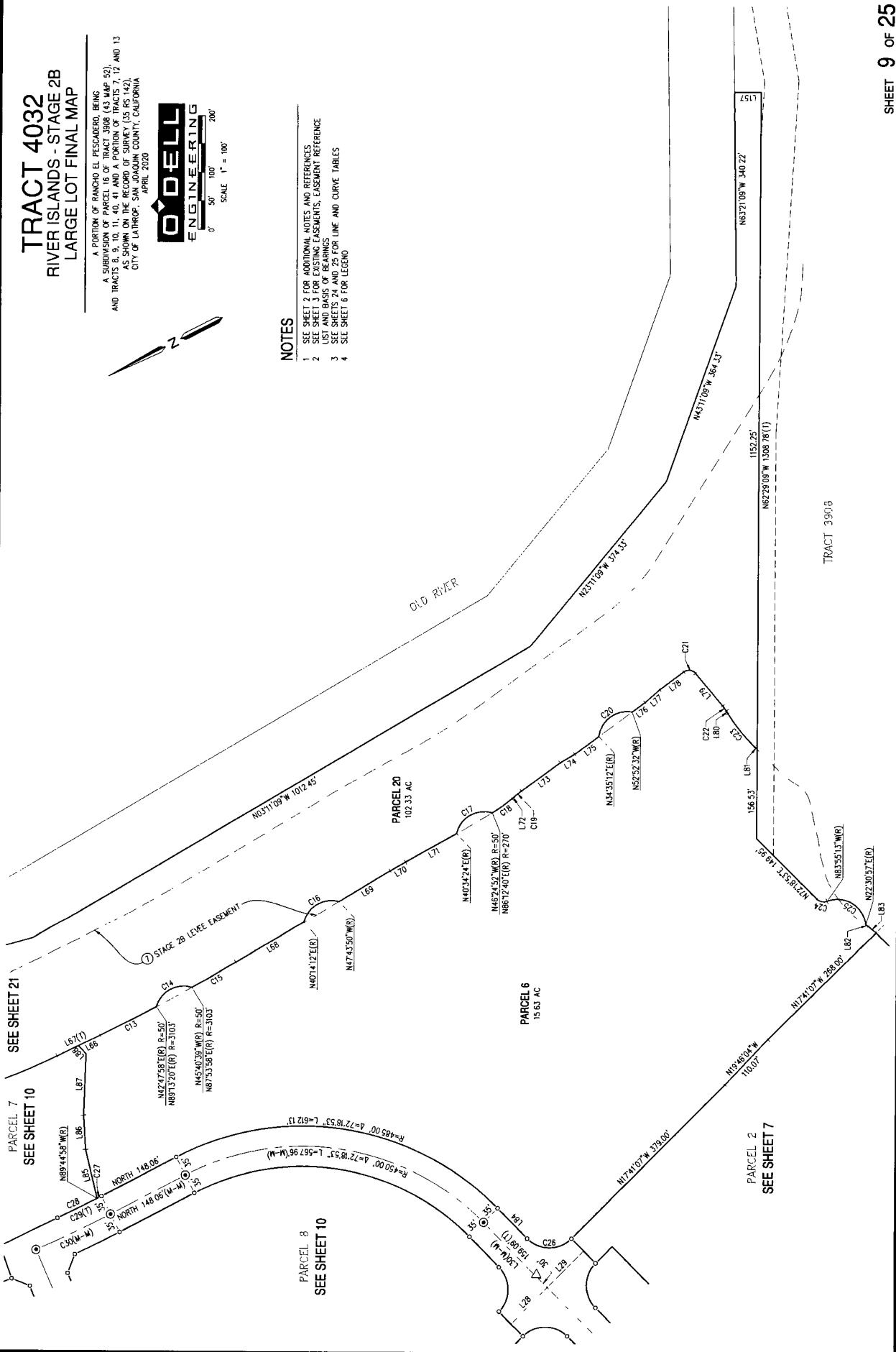
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4. SEE SHEET 6 FOR LEGEND.



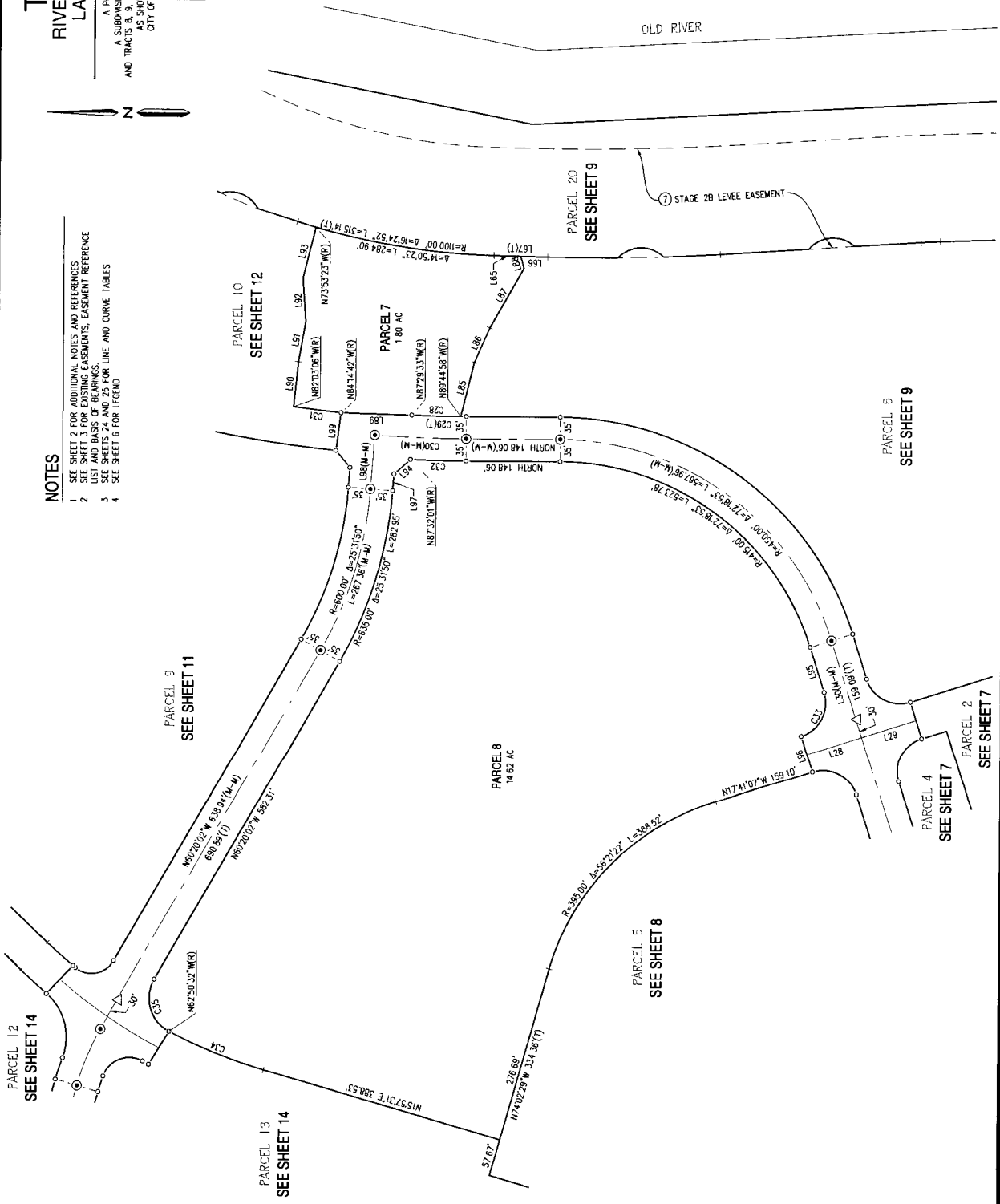
TRACT 4032 RIVER ISLANDS - STAGE 2B LARGE LOT FINAL MAP

A PORTION OF RANCHO EL RESCADERO, BEING
A SUBDIVISION OF PARCEL 16 OF TRACT 3908 (43 MAP 52),
AND TRACTS 8, 9, 10, 11, 40, 41 AND A PORTION OF TRACTS 7, 12 AND 13
IN THE CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA,
APRIL 2020



NOTES

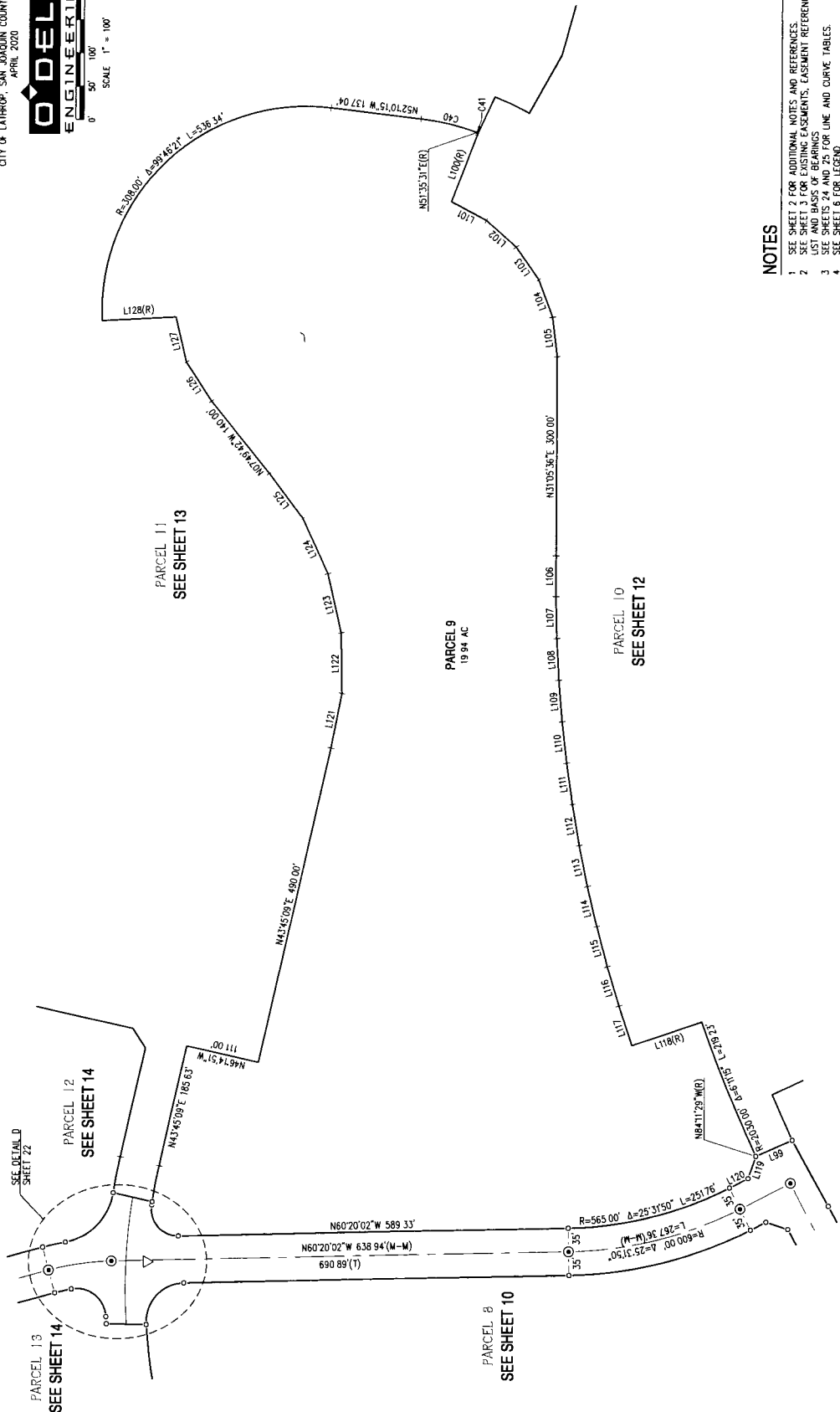
1. SEE SHEET 2 FOR ADDITIONAL NOTES AND REFERENCES
2. SEE SHEET 3 FOR EXISTING EASEMENTS, EASEMENT REFERENCE LIST AND BASIS OF BEARINGS.
3. SEE SHEETS 24 AND 25 FOR LINE AND CURVE TABLES
4. SEE SHEET 6 FOR LEGEND



TRACT 4032 RIVER ISLANDS - STAGE 2B LARGE LOT FINAL MAP



A PORTION OF RANCHO EL PESCADERO, BEING A SUBDIVISION OF PARCEL 16 OF TRACT 3909 (43 MAP 52), AND TRACTS B, 9, 10, 11, 40, 41 AND A PORTION OF TRACTS 7, 12 AND 13 OF THE RIVER ISLANDS SUBDIVISION, COUNTY OF LOS ANGELES, CITY OF LARCHMOP, SAN DIEGO COUNTY, CALIFORNIA. APRIL 2020.



NOTES

1. SEE SHEET 2 FOR ADDITIONAL NOTES AND REFERENCES.
2. SEE SHEET 3 FOR EXISTING EASEMENTS, EASEMENT REFERENCE LIST AND BASIS OF BEARINGS.
3. SEE SHEETS 24 AND 25 FOR LINE AND CURVE TABLES.
4. SEE SHEET 16 FOR LEGEND.

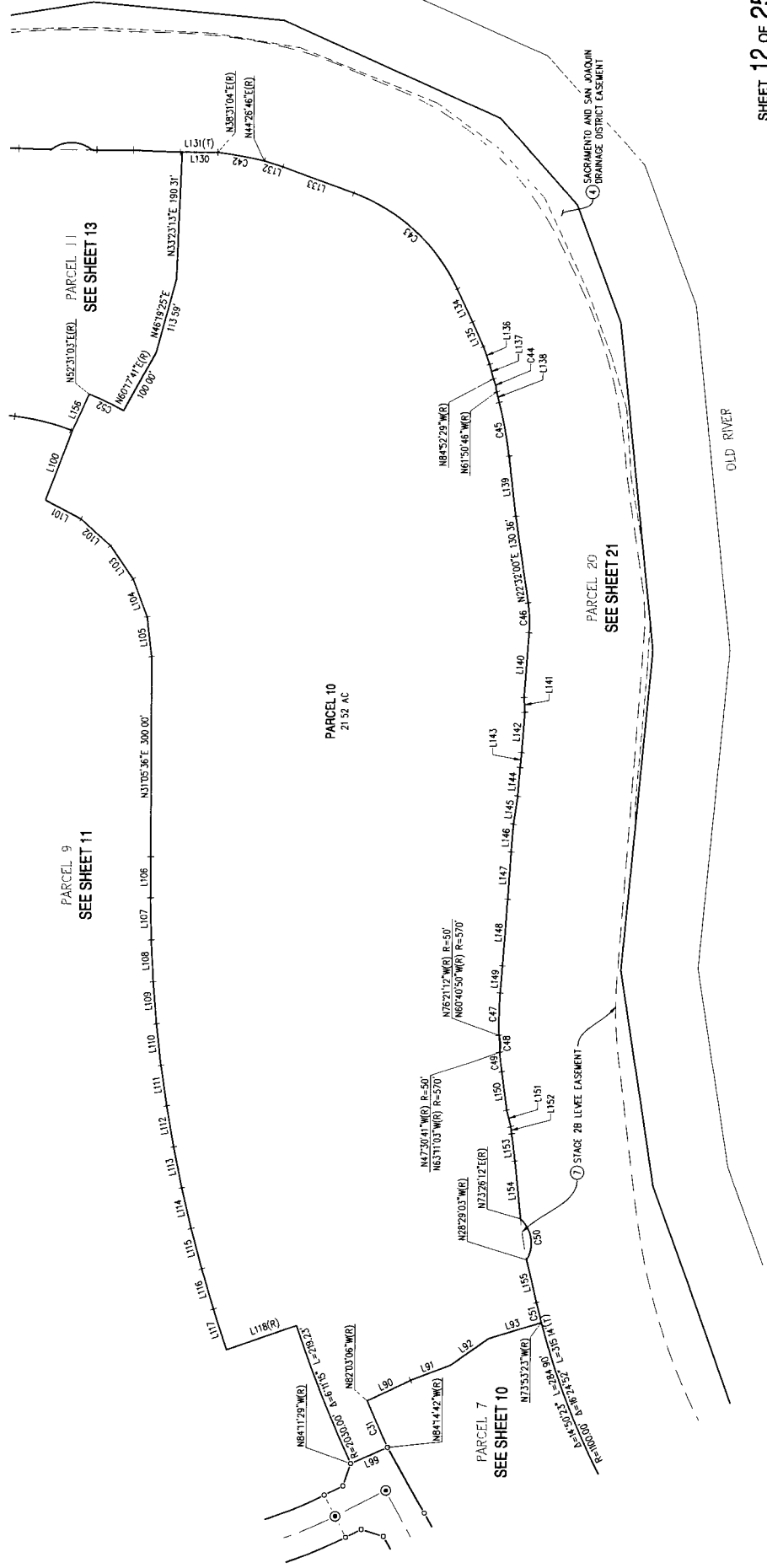
TRACT 4032 RIVER ISLANDS - STAGE 2B LARGE LOT FINAL MAP

A PORTION OF RANCHO EL PESCADERO, BEING
A SUBDIVISION OF PARCEL 16 OF TRACT 3908 (43 MAP 52),
AND TRACTS 8, 9, 10, 11, 40, 41 AND A PORTION OF TRACTS 7, 12 AND 13
OF THE SACRAMENTO AND SAN JOAQUIN DISTRICTS,
CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA,
APRIL 2020



NOTES

- 1 SEE SHEET 2 FOR ADDITIONAL NOTES AND REFERENCES
- 2 SEE SHEET 3 FOR EXISTING EASEMENTS, EASEMENT REFERENCE
- 3 LIST AND BASIS OF BEARINGS
- 4 SEE SHEETS 24 AND 25 FOR LINE AND CURVE TABLES
- 5 SEE SHEET 16 FOR LEGEND



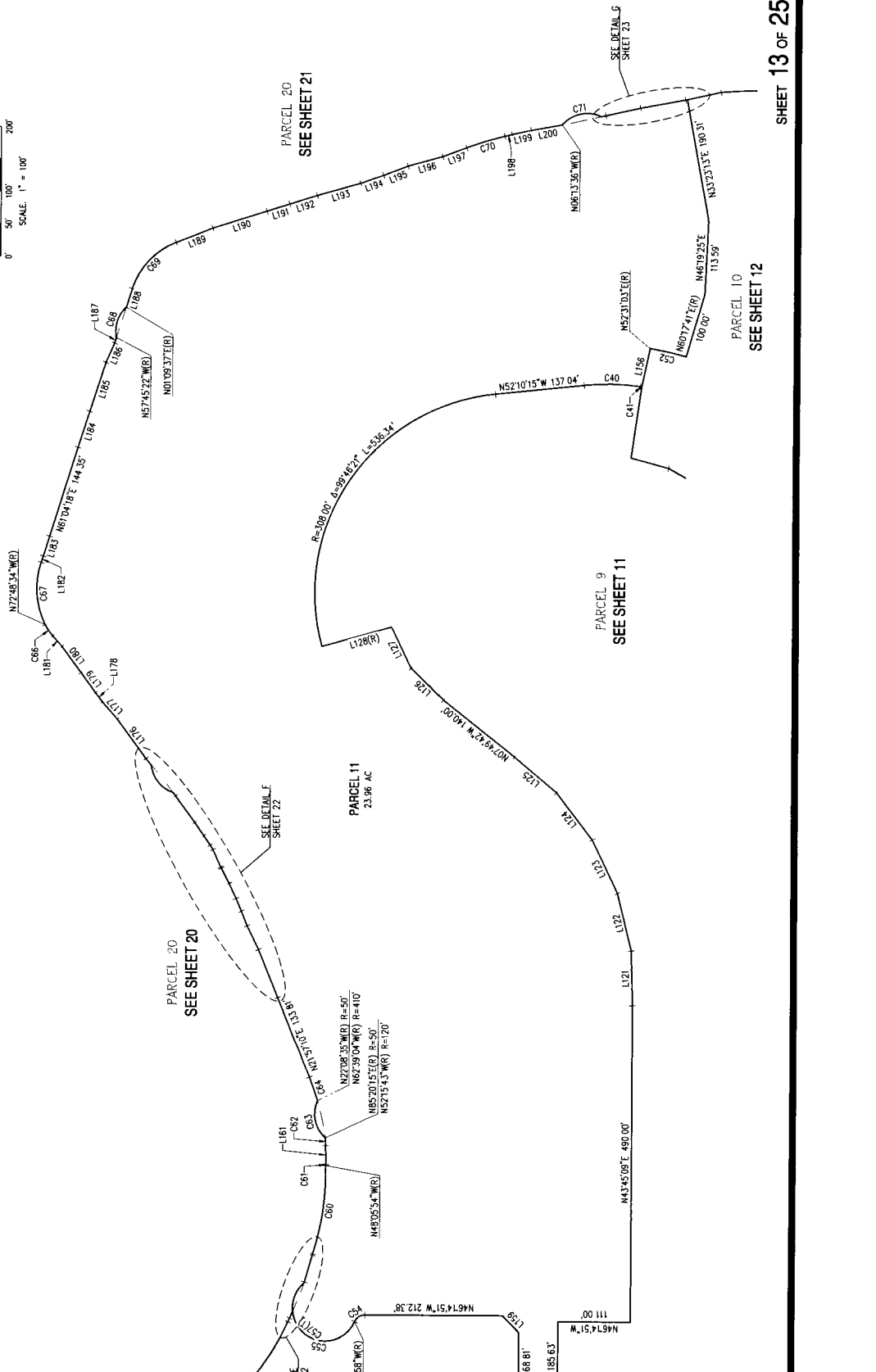
TRACT 4032 RIVER ISLANDS - STAGE 2B LARGE LOT FINAL MAP

A PORTION OF RANCHO EL PESCADERO, BEING
A SUBDIVISION OF PARCEL 16 OF TRACT 3008 (43 MAP 52),
AS SHOWN ON MAPS 5, 8, 10, 11, 40, 41 AND A PORTION OF TRACTS 7, 12 AND 13
AS SHOWN ON MAPS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25
AS SHOWN ON MAPS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25
CITY OF LATHROP, SHELBY COUNTY, CALIFORNIA
APRIL 2020



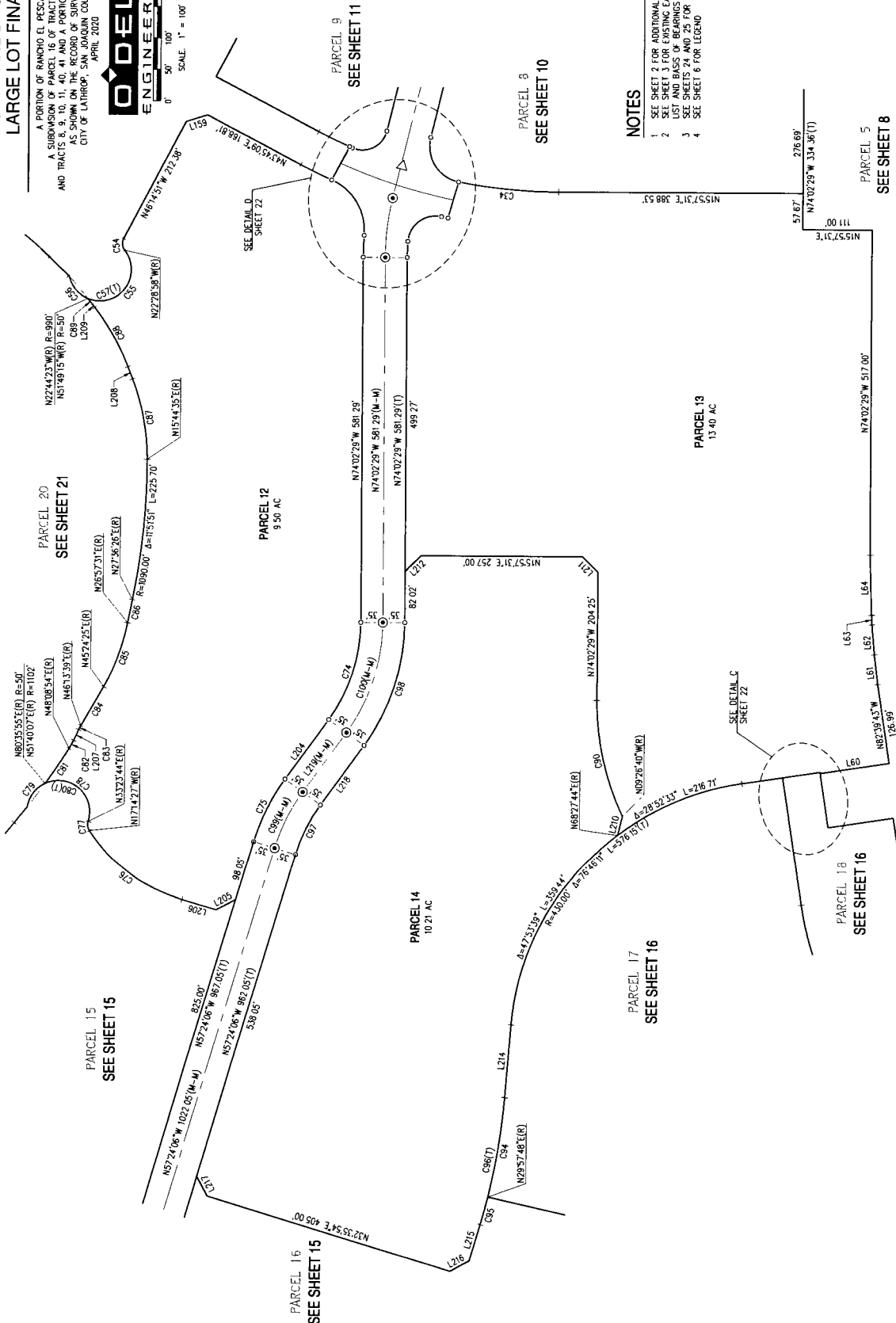
NOTES

- 1 SEE SHEET 2 FOR ADDITIONAL NOTES AND REFERENCES
- 2 SEE SHEET 3 FOR EXISTING EASEMENTS, EASEMENT REFERENCE LIST AND BASIS OF BEARINGS
- 3 SEE SHEETS 24 AND 25 FOR LINE AND CURVE TABLES
- 4 SEE SHEET 6 FOR LEGEND



TRACT 4032 RIVER ISLANDS - STAGE 2B LARGE LOT FINAL MAP

A PORTION OF RANCHO EL PESCADERO, BEING
A SUBDIVISION OF PARCEL 16 OF TRACT 3908 (43 MAP 52)
AND TRACTS 5, 8, 10, 11, 40, 41 AND A PORTION OF TRACTS 7, 12 AND 13
IN THE CITY OF LATHROP, SAKO COUNTY, CALIFORNIA
APRIL 2020



NOTES

1. SEE SHEET 2 FOR ADDITIONAL NOTES AND REFERENCES.
2. SEE SHEET 3 FOR EXISTING EASEMENTS, EASEMENT REFERENCE LIST AND BASIS OF BEARINGS.
3. SEE SHEETS 24 AND 25 FOR LINE AND CURVE TABLES.
4. SEE SHEET 6 FOR LEGEND.

TRACT 4032 RIVER ISLANDS - STAGE 2B LARGE LOT FINAL MAP

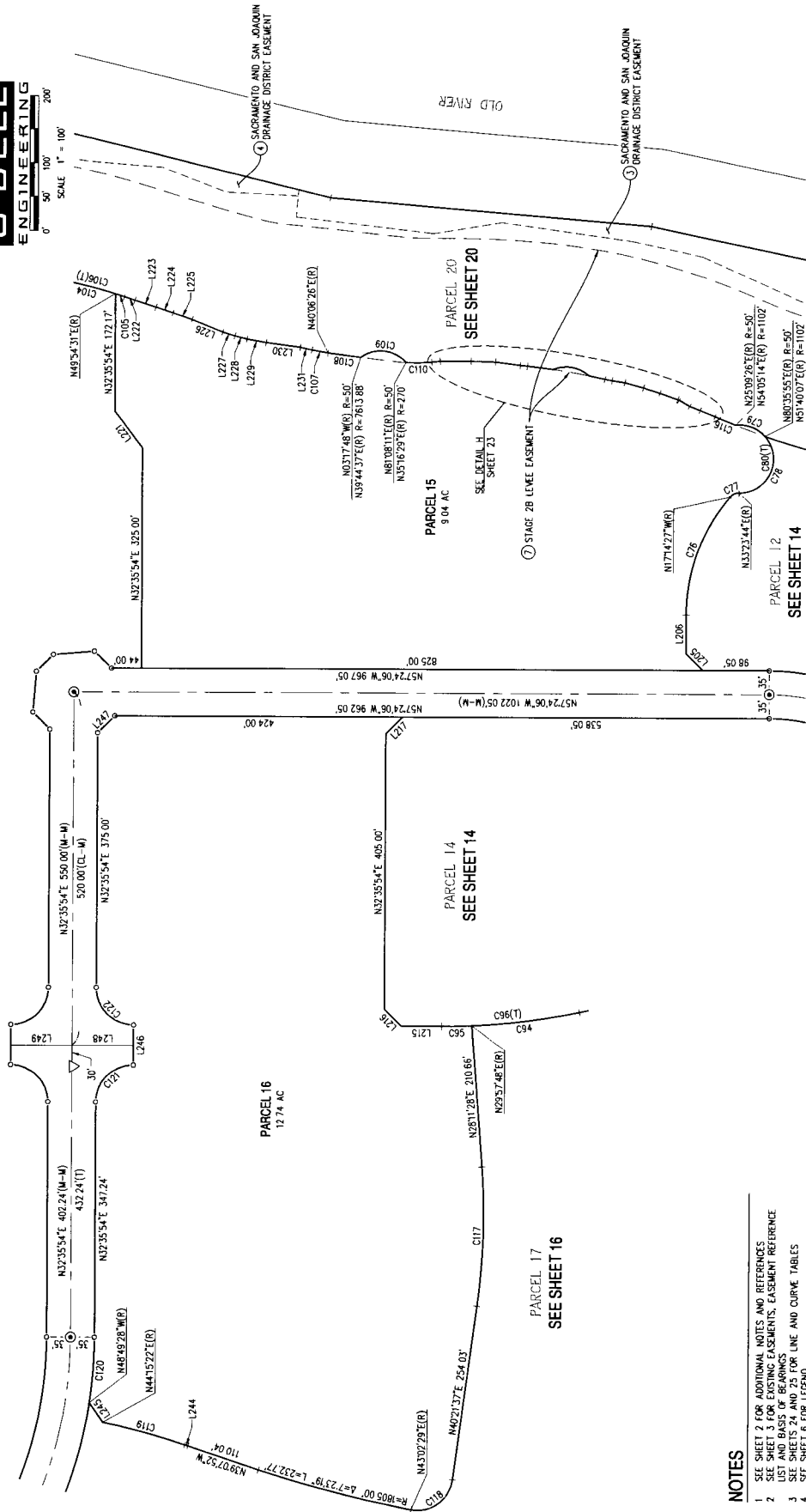
A PORTION OF RANCHO EL PESCADERO, BEING
A SUBDIVISION OF PARCEL 18 OF TRACT 3908 (43 MAP 52),
AND TRACTS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12 AND 13
AS SHOWN ON THE RECORD OF SURVEY (RS 452),
CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA
APRIL 2020



SCALE 1" = 100'



PARCEL 19
SEE SHEET 17

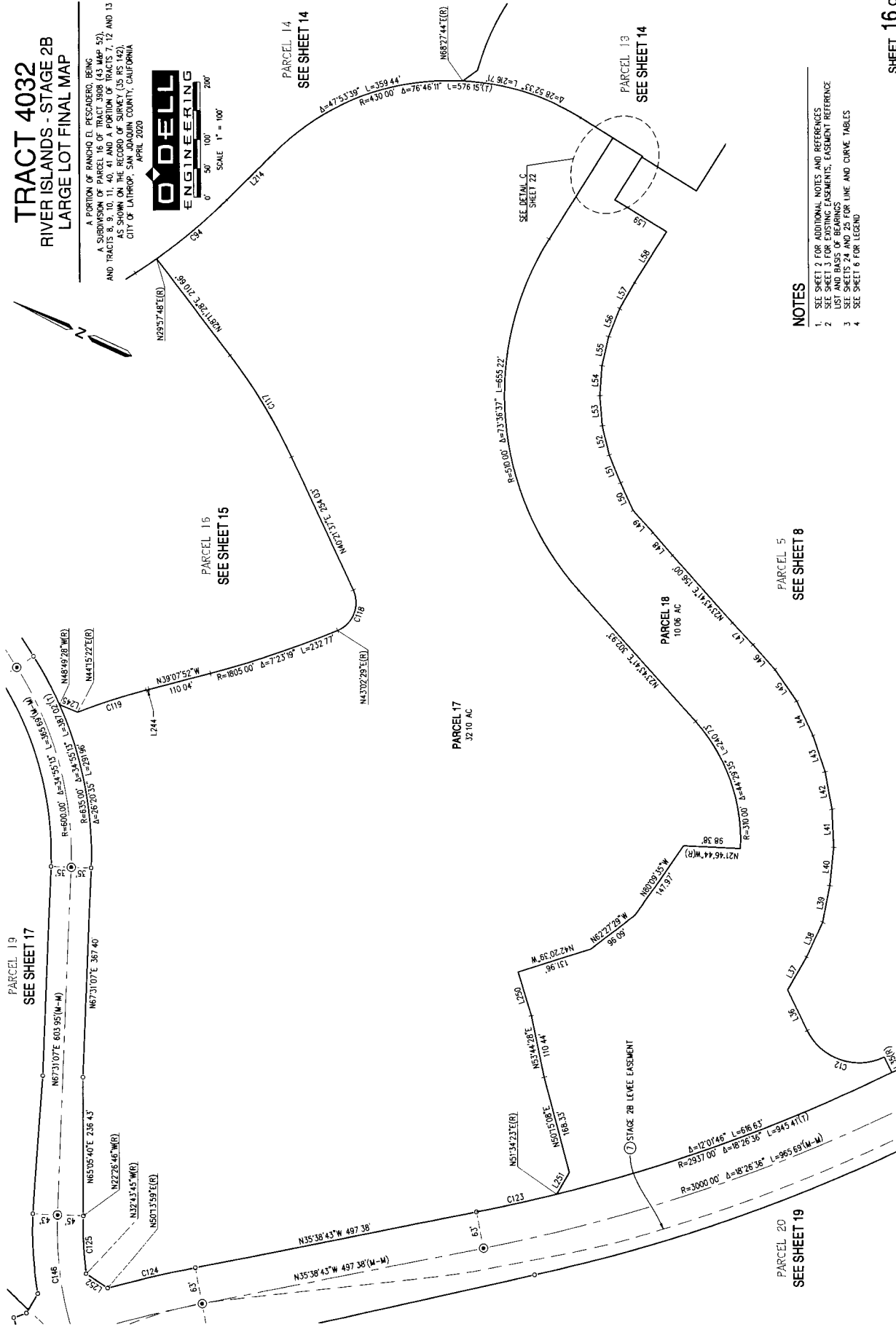


NOTES

1. SEE SHEET 2 FOR ADDITIONAL NOTES AND REFERENCES
2. LIST AND BASIS OF BEING, EASEMENTS, EASEMENT REFERENCE
3. SEE SHEETS 24 AND 25 FOR LINE AND CURVE TABLES
4. SEE SHEET 6 FOR LEGEND

TRACT 4032 RIVER ISLANDS - STAGE 2B LARGE LOT FINAL MAP

A PORTION OF RANCHO EL PASADERO, BEING
A SUBDIVISION OF PARCEL 16 OF RANCHO 3088
AND TRACTS 16, 17, 18, 19, 20, 21, 22, 23, 24, 25,
AS SHOWN ON THE RECORD OF SURVEY (S.S. 142)
CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA
APRIL 2020



NOTES

1. SEE SHEET 2 FOR ADDITIONAL NOTES AND REFERENCES
2. SEE SHEET 3 FOR EXISTING EASEMENTS, EASEMENT REFERENCE LIST AND BASIS OF BEARINGS
3. SEE SHEETS 24 AND 25 FOR LINE AND CURVE TABLES
4. SEE SHEET 6 FOR LEGEND

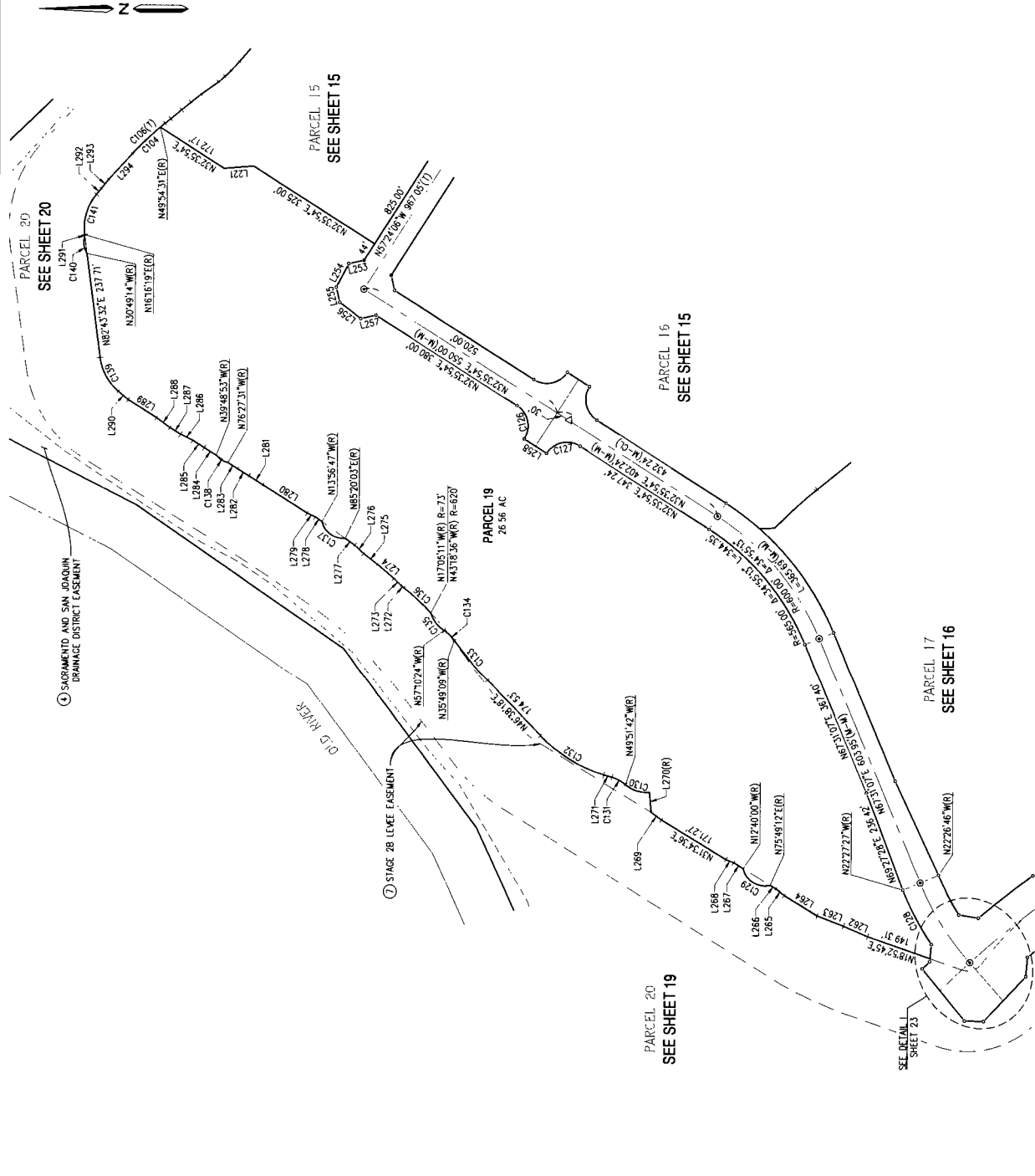
TRACT 4032 RIVER ISLANDS - STAGE 2B LARGE LOT FINAL MAP

A PORTION OF RANCHO EL PESCADERO, BEING
A SUBDIVISION OF PARCEL 16 OF TRACT 3908 (43 MAP 52),
IS SHOWN ON THE RECORD MAP OF PARCELS 7, 12 AND 13
AS SHOWN ON THE RECORD OF SURVEY FOR THE
CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA
APRIL 2020



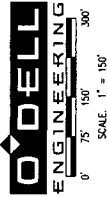
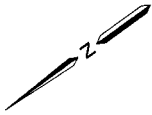
NOTES

1. SEE SHEET 2 FOR ADDITIONAL NOTES AND REFERENCES
2. SEE SHEET 3 FOR EXISTING EASEMENTS, EASEMENT REFERENCE LIST AND BASIS OF BEARINGS
3. SEE SHEETS 24 AND 25 FOR LINE AND CURVE TABLES
4. SEE SHEET 6 FOR LEGEND



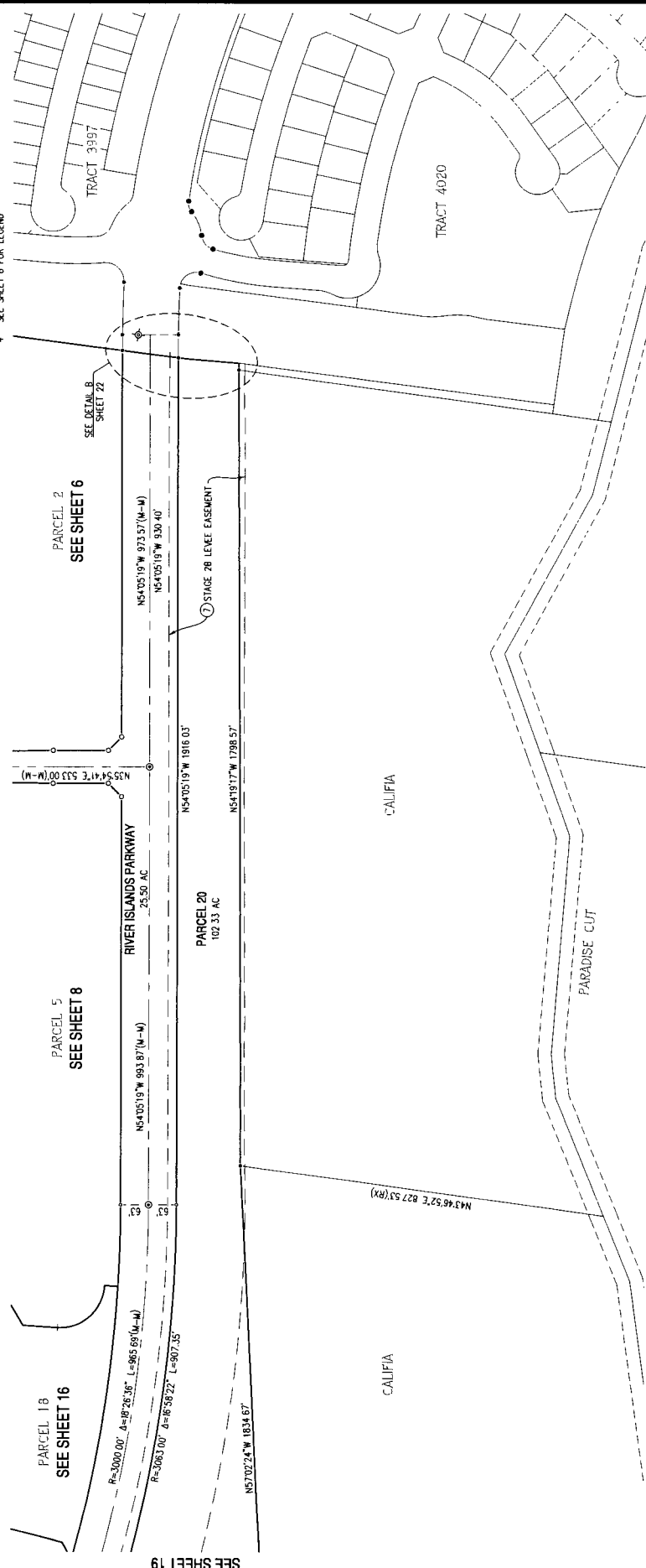
TRACT 4032 RIVER ISLANDS - STAGE 2B LARGE LOT FINAL MAP

A PORTION OF RANCHO EL PESQUERO, BEING A SUBDIVISION OF PARCELS OF TRACT 3997 AND TRACTS 8, 9, 10, 11, 40, 41 AND A PORTION OF TRACTS 7, 12 AND 13 AS SHOWN ON THE RECORD OF SURVEY (S.S. RS 142), CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA
APRIL 2020



NOTES

1. SEE SHEET 2 FOR ADDITIONAL NOTES AND REFERENCES
2. SEE SHEET 3 FOR EXISTING EASEMENTS, EASEMENT REFERENCE LIST AND BASIS OF BEARINGS
3. SEE SHEETS 24 AND 25 FOR LINE AND CURVE TABLES
4. SEE SHEET 6 FOR LEGEND

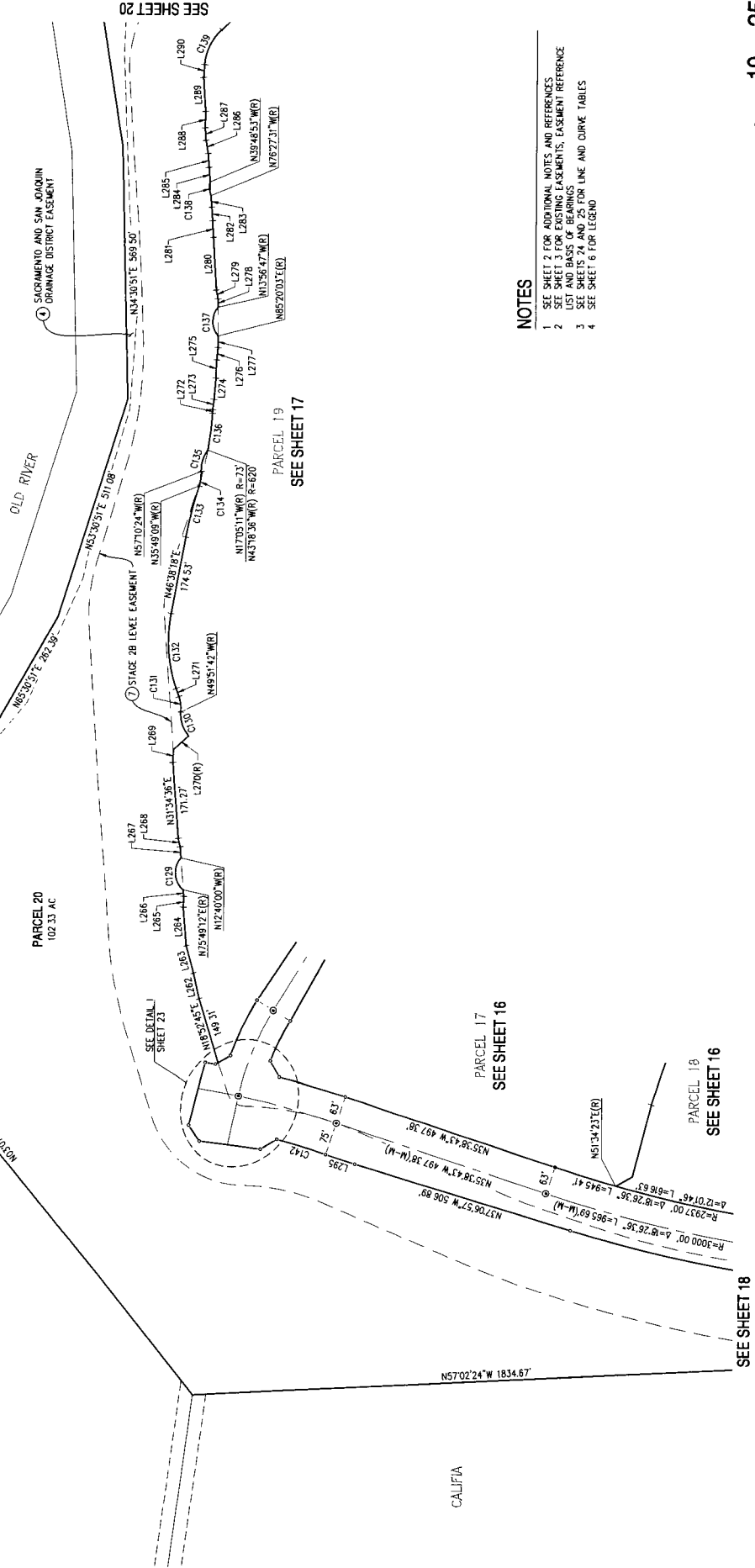
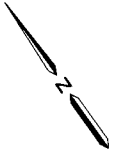


TRACT 4032 RIVER ISLANDS - STAGE 2B LARGE LOT FINAL MAP

A PORTION OF RANCHO EL PESCADERO, BEING
A SUBDIVISION OF PARCEL 16 OF TRACT 3908 (43 MAP 52),
AND TRACTS 6, 7 AND 8, BEING A PORTION OF TRACTS 7, 12 AND 13
AS SHOWN ON THE RECORD MAP OF THE CITY OF LATHROP,
CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA,
APRIL 2020



SCALE 1" = 150'



NOTES

1. SEE SHEET 2 FOR ADDITIONAL NOTES AND REFERENCES
2. SEE SHEET 3 FOR EXISTING EASEMENTS, EASEMENT REFERENCE
3. SEE SHEETS 24 AND 25 FOR EXISTING UTILITY LINES AND CURVE TABLES
4. SEE SHEET 6 FOR LEGEND

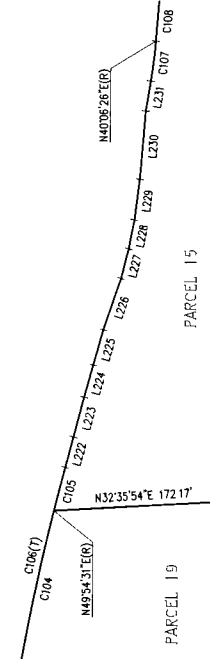
TRACT 4032 RIVER ISLANDS - STAGE 2B LARGE LOT FINAL MAP

A PORTION OF RANCHO EL PESCADERO, BEING
A SUBDIVISION OF PARCEL 16 OF TRACT 3908 (S3 MAP 52),
AND TRACTS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13
AND 14, AS SHOWN ON THE RECORD OF SURVEY (S3, S3, S3, S3, S3)
CITY OF LAHOP, SAN JOAQUIN COUNTY, CALIFORNIA,
APRIL 2020

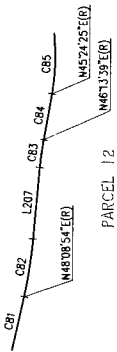


NOTES

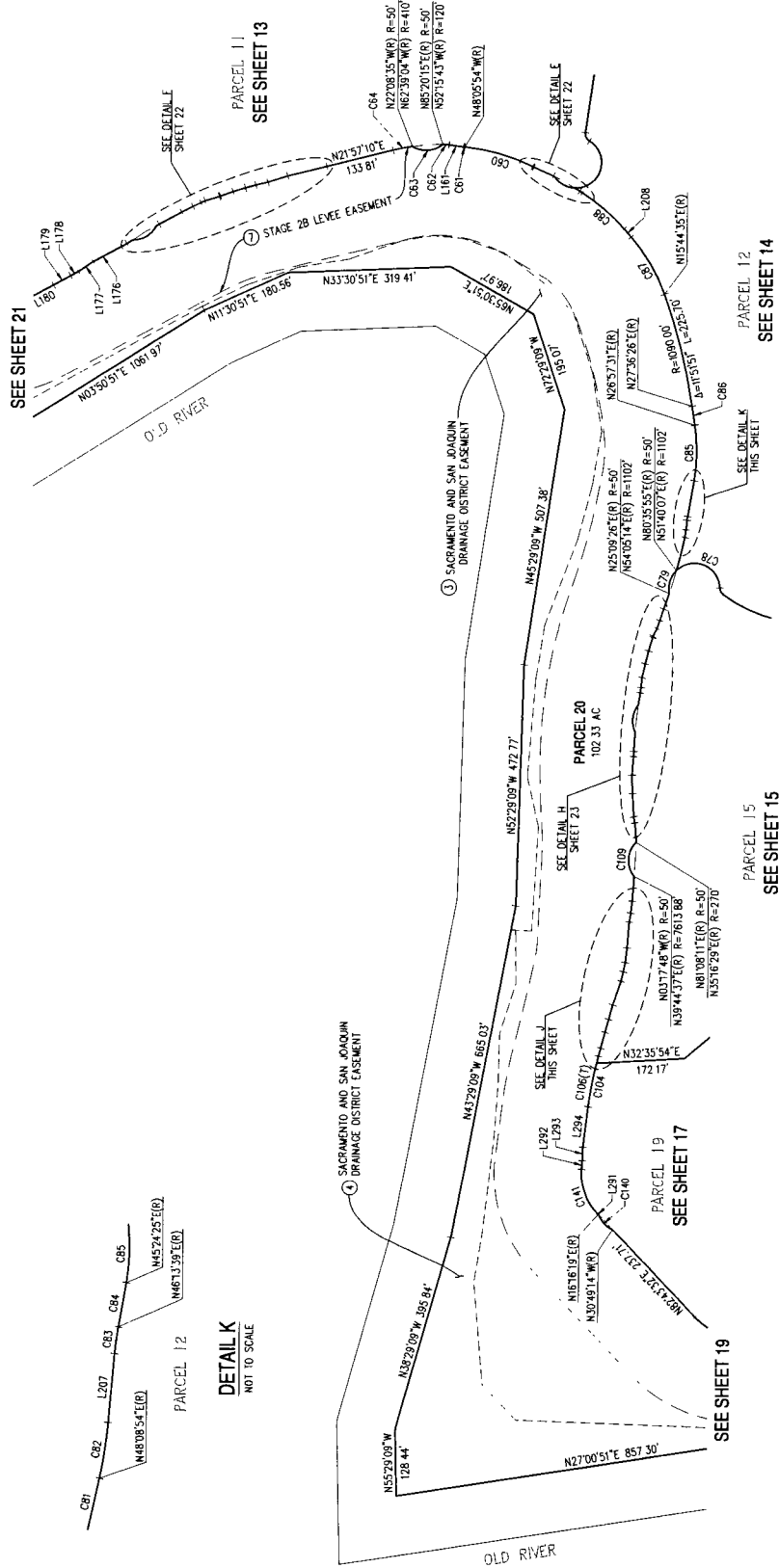
1. SEE SHEET 2 FOR ADDITIONAL NOTES AND REFERENCES
2. SEE SHEET 3 FOR EXISTING EASEMENTS, EASEMENT REFERENCE LIST AND BASIS OF BEARINGS
3. SEE SHEETS 24 AND 25 FOR LINE AND CURVE TABLES
4. SEE SHEET 6 FOR LEGEND



DETAIL J
NOT TO SCALE



DETAIL K
NOT TO SCALE



TRACT 4032 RIVER ISLANDS - STAGE 2B LARGE LOT FINAL MAP

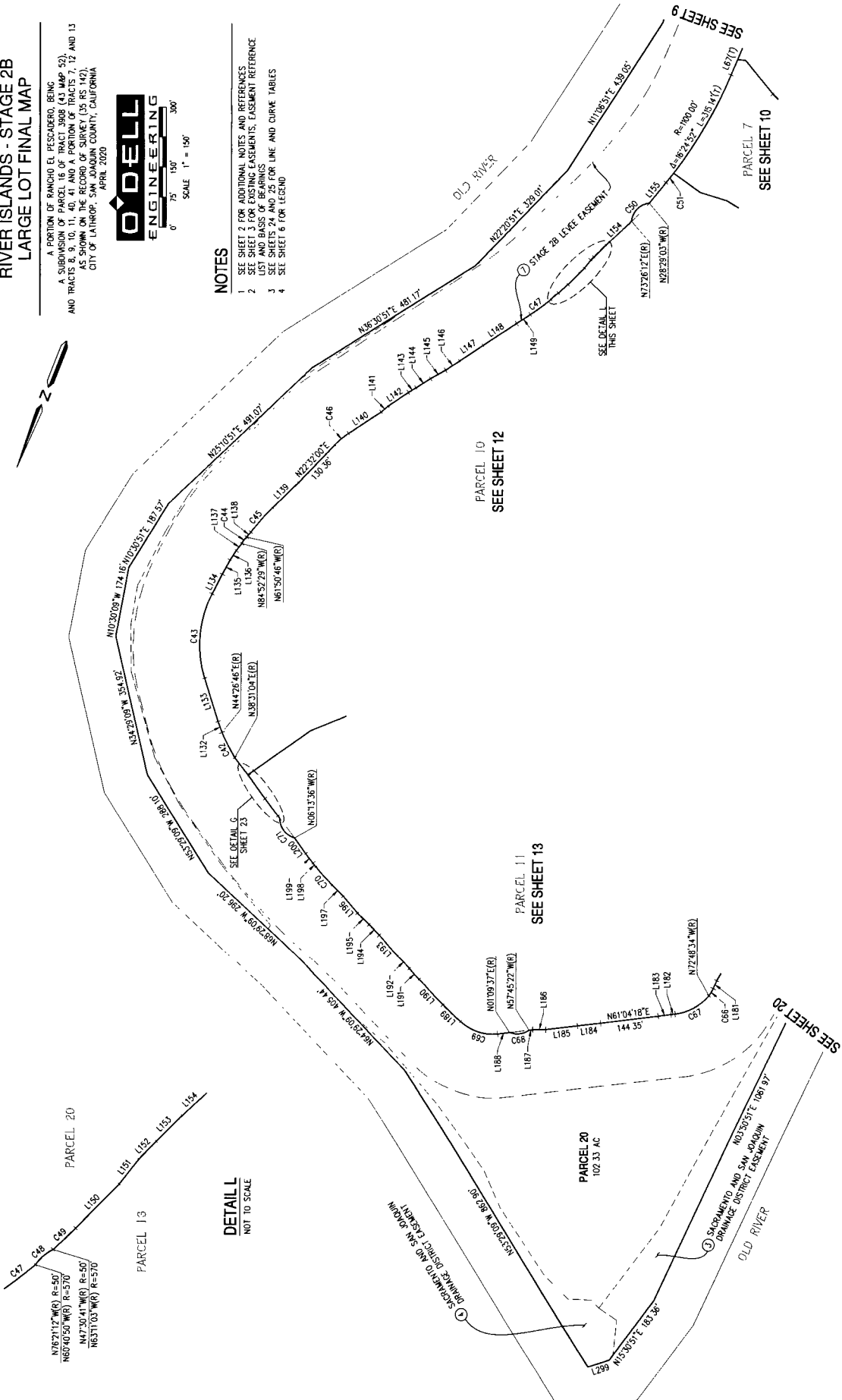
A PORTION OF RANCHO EL PESQUERO, BEING
A SUBDIVISION OF PARCEL 15 OF TRACT 3008 (31 1449 52)
AND TRACTS 8, 9, 10, 11, 40, 41 AND A PORTION OF TRACTS 7, 12 AND 13
AS SHOWN ON THE RECORD OF SURVEY (35 RS 142),
CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA
APRIL 2020



0' 75' 150' 300'
SCALE 1" = 150'

NOTES

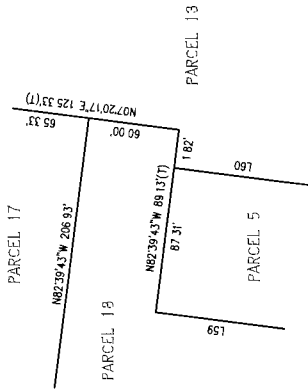
1. SEE SHEET 2 FOR ADDITIONAL NOTES AND REFERENCES.
2. SEE SHEET 3 FOR EXISTING EASEMENTS, EASEMENT REFERENCE LIST AND BASIS OF BEARINGS.
3. SEE SHEETS 24 AND 25 FOR LINE AND CURVE TABLES.
4. SEE SHEET 6 FOR LEGEND.



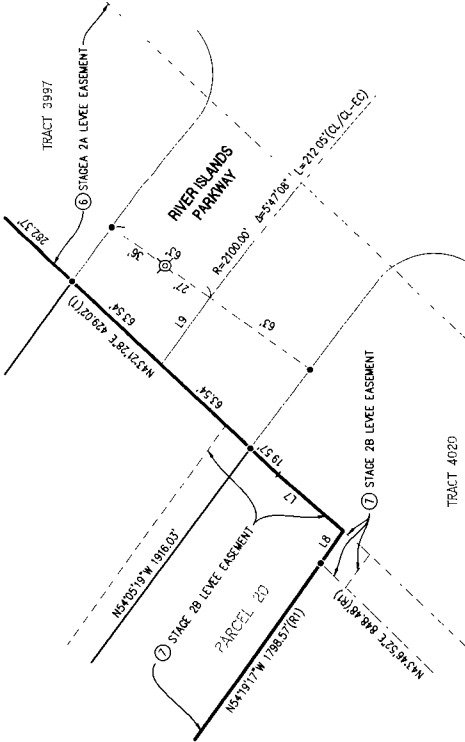
DETAIL 1
NOT TO SCALE

TRACT 4032 RIVER ISLANDS - STAGE 2B LARGE LOT FINAL MAP

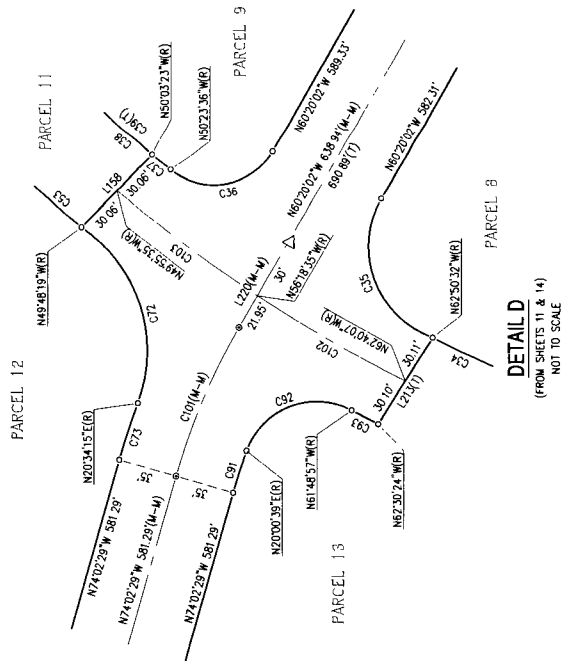
A PORTION OF RANCHO EL PESQUERO, BEING
A SUBDIVISION OF PARCEL 15 OF TRACT 3008 (43 MAP 57)
AND TRACTS 8, 9, 10, 11, 40, 41 AND A PORTION OF TRACTS 7, 12 AND 13
AS SHOWN ON THE RECORD OF SURVEY (35 RS 142)
CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA
APRIL 2020



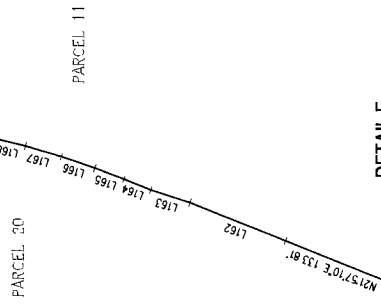
DETAIL C
(FROM SHEETS 8, 14 & 16)
NOT TO SCALE



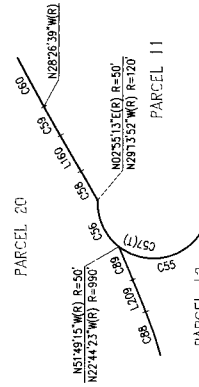
DETAIL B
(FROM SHEETS 6 & 10)
NOT TO SCALE



DETAIL D
(FROM SHEETS 11 & 14)
NOT TO SCALE



DETAIL F
(FROM SHEETS 13 & 20)
NOT TO SCALE



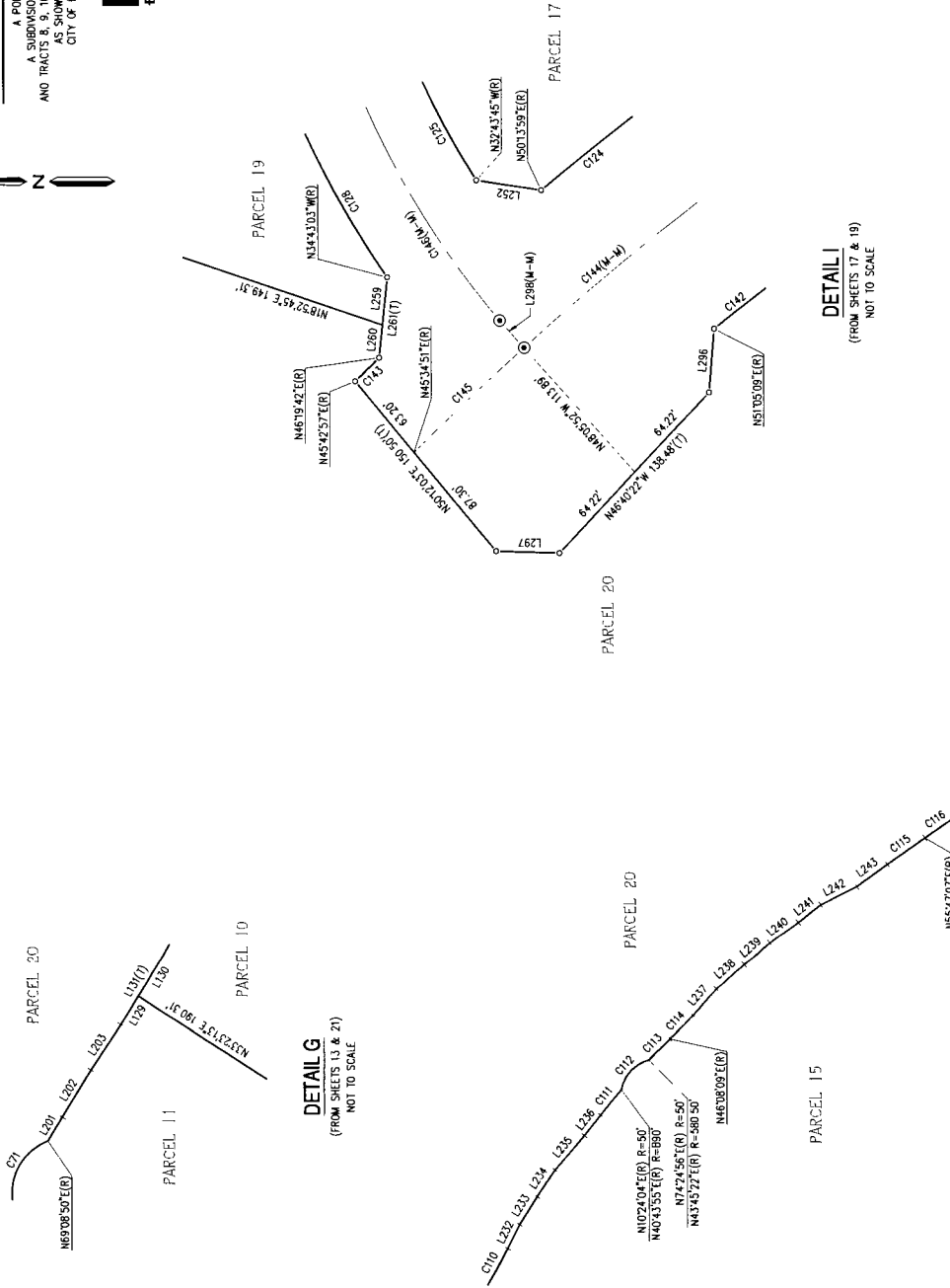
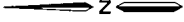
DETAIL E
(FROM SHEETS 13 & 20)
NOT TO SCALE

NOTES

1. SEE SHEET 2 FOR ADDITIONAL NOTES AND REFERENCES
2. SEE SHEET 3 FOR EXISTING EASEMENTS, EASEMENT REFERENCE LIST AND BASIS OF BEARINGS.
3. SEE SHEETS 13 & 20 FOR LINE AND CURVE TABLES
4. SEE SHEET 6 FOR LEGEND

TRACT 4032 RIVER ISLANDS - STAGE 2B LARGE LOT FINAL MAP

A PORTION OF BANKING, EL PASO, TEXAS, BEING
A SUBDIVISION OF PARCEL 15 OF TRACT 308 (A.S. MAP 52)
AND TRACTS 8, 9, 10, 11, 40, 41 AND A PORTION OF TRACTS 7, 12 AND 13
AS SHOWN ON THE RECORD OF SURVEY (35 PLS 142),
CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA
APRIL, 2020



- NOTES**
1. SEE SHEET 2 FOR ADDITIONAL NOTES AND REFERENCES
 2. SEE SHEET 3 FOR EXISTING EASEMENTS, EASEMENT REFERENCE LIST AND BASIS OF BEARINGS
 3. SEE SHEET 4 AND 5 FOR LINE AND CURVE TABLES
 4. SEE SHEET 6 FOR LEGEND.

TRACT 4032 RIVER ISLANDS - STAGE 2B LARGE LOT FINAL MAP

A PORTION OF RANCHO EL PESCARO, BEING
A SUBDIVISION OF PARCEL 16 OF TRACT 3008 (43 MAP 52)
AND TRACTS B, 9, 10, 11, 40, 41 AND A PORTION OF TRACTS 7, 12 AND 13
AS SHOWN ON THE RECORD OF SURVEY (35 RS 142),
CITY OF LAHOB, SAN JOAQUIN COUNTY, CALIFORNIA
APRIL 2020



LINE TABLES FOR COURSES SHOWN ON SHEETS X THROUGH XX ONLY

LINE TABLE			LINE TABLE			LINE TABLE			LINE TABLE			LINE TABLE			LINE TABLE			LINE TABLE		
LINE	DIRECTION	LENGTH	LINE	DIRECTION	LENGTH	LINE	DIRECTION	LENGTH	LINE	DIRECTION	LENGTH	LINE	DIRECTION	LENGTH	LINE	DIRECTION	LENGTH	LINE	DIRECTION	LENGTH
L1	N32°29'48"W	50.05'	L46	N23°54'28"E	57.22'	L91	N79°50'13"W	63.86'	L136	N125°23'E	27.90'	L181	N27°18'35"E	21.69'	L226	N35°25'48"W	48.83'	L271	N16°32'56"E	19.26'
L2	N46°54'40"W	50.00'	L47	N27°16'37"E	52.07'	L92	N85°53'26"E	68.74'	L137	N16°38'22"E	22.58'	L182	N67°19'16"E	10.22'	L227	N40°18'00"W	18.88'	L272	N38°58'05"E	8.24'
L3	N47°37'08"W	22.84'	L48	N24°47'14"E	52.07'	L93	N75°53'14"W	62.37'	L138	N16°38'22"E	16.32'	L183	N67°19'16"E	10.22'	L228	N43°70'41"W	18.46'	L273	N43°31'24"E	22.90'
L4	N47°24'09"E	102.44'	L49	N24°43'41"E	52.00'	L94	N41°41'57"W	34.84'	L139	N24°24'30"E	90.23'	L184	N61°51'10"E	58.13'	L229	N47°12'28"W	28.74'	L274	N40°16'22"E	48.21'
L5	N47°24'09"E	2.44'	L50	N40°59'33"E	51.95'	L95	N72°18'53"E	74.08'	L140	N32°14'42"E	97.52'	L185	N61°51'10"E	58.13'	L230	N48°32'18"W	50.84'	L275	N38°03'14"E	40.70'
L6	N47°24'09"E	24.86'	L51	N37°26'40"E	52.00'	L96	N72°18'53"E	60.00'	L141	N27°30'08"E	22.22'	L186	N67°42'51"E	32.84'	L231	N44°47'56"W	17.55'	L276	N42°06'21"E	28.02'
L7	N40°59'30"E	117.83'	L52	N52°05'19"E	52.00'	L97	N85°51'53"W	26.24'	L142	N32°14'42"E	60.60'	L187	N61°42'08"E	8.87'	L232	N62°49'44"W	12.40'	L277	N35°41'32"E	26.32'
L8	N54°30'13"W	14.93'	L53	N85°51'53"W	85.37'	L98	N65°31'53"W	85.37'	L143	N32°14'42"E	22.47'	L188	N61°42'08"E	29.93'	L233	N67°40'30"W	45.38'	L278	N35°41'32"E	26.32'
L9	N54°05'19"W	43.17'	L54	N62°26'13"W	60.03'	L99	N82°26'13"W	60.03'	L144	N32°14'42"E	42.76'	L189	N67°51'35"W	60.44'	L234	N55°51'24"W	35.98'	L279	N24°41'33"E	20.66'
L10	N49°05'19"W	42.43'	L55	N79°01'15"E	52.00'	L100	N51°57'05"E	111.00'	L145	N39°55'27"E	42.48'	L190	N67°42'51"E	32.84'	L235	N44°44'41"W	36.62'	L280	N32°25'21"E	118.82'
L11	N35°54'41"E	125.00'	L56	N86°39'54"E	52.00'	L101	N31°07'43"W	60.00'	L146	N32°14'42"E	41.59'	L191	N63°08'03"W	36.38'	L236	N51°43'05"W	10.34'	L281	N32°32'48"E	37.39'
L12	N34°52'11"E	110.02'	L57	N84°59'44"W	52.00'	L102	N17°17'20"W	60.00'	L147	N34°50'30"E	71.02'	L192	N63°55'46"W	44.41'	L237	N48°56'35"W	19.17'	L282	N41°52'04"E	30.45'
L13	N72°18'53"E	70.00'	L58	N82°39'43"W	104.00'	L103	N32°56'58"W	60.00'	L148	N39°50'27"E	100.00'	L193	N62°16'30"W	69.41'	L238	N41°31'50"W	28.15'	L283	N31°51'48"E	25.82'
L14	N62°41'07"W	35.36'	L59	N72°00'17"E	105.00'	L104	N102°33'27"E	60.00'	L149	N34°12'02"E	40.45'	L194	N65°15'33"W	37.17'	L239	N39°45'46"W	25.51'	L284	N31°51'48"E	32.30'
L15	N42°22'52"E	9.65'	L60	N72°00'17"E	111.00'	L105	N24°13'50"E	60.00'	L150	N23°39'16"E	57.86'	L195	N67°42'51"E	32.84'	L240	N38°00'55"W	27.77'	L285	N31°49'27"E	31.34'
L16	N23°70'08"W	35.36'	L61	N80°44'17"W	48.00'	L106	N30°59'51"E	60.99'	L151	N17°00'12"E	26.00'	L196	N61°54'54"W	55.23'	L241	N37°29'07"W	21.15'	L286	N31°49'27"E	31.34'
L17	N42°22'52"E	66.00'	L62	N79°01'15"E	48.00'	L107	N29°41'28"E	62.97'	L152	N23°37'48"E	10.76'	L197	N66°39'36"W	39.10'	L242	N27°13'20"W	17.80'	L287	N31°58'55"E	29.22'
L18	N47°37'08"W	33.27'	L63	N77°08'28"W	15.03'	L108	N28°00'21"E	62.97'	L153	N33°74'8"E	41.70'	L198	N62°29'26"W	11.20'	L243	N35°39'58"W	16.48'	L288	N35°31'14"E	37.55'
L19	N43°21'28"E	82.37'	L64	N75°43'33"W	95.99'	L109	N26°19'14"E	62.97'	L154	N25°20'08"E	87.36'	L199	N58°49'47"W	30.10'	L244	N39°05'58"W	4.96'	L289	N32°19'12"E	76.54'
L20	N62°41'07"W	35.36'	L65	N1°16'14"E	41.70'	L110	N24°38'07"E	62.97'	L155	N17°41'07"E	65.79'	L200	N57°07'37"W	48.48'	L245	N27°13'20"W	17.80'	L290	N40°09'57"E	29.41'
L21	N17°41'07"W	71.00'	L66	N1°16'14"E	42.61'	L111	N22°57'00"E	62.97'	L156	N55°54'30"E	60.12'	L201	N59°07'13"W	7.43'	L246	N32°35'54"E	60.00'	L291	N82°43'32"E	2.53'
L22	N39°37'52"W	44.20'	L67	N1°16'14"E	84.31'	L112	N27°15'54"E	62.97'	L157	N27°30'51"E	46.89'	L202	N58°41'56"W	54.48'	L247	N72°35'54"E	35.36'	L292	N50°22'30"W	16.98'
L23	N17°41'07"W	55.00'	L68	N344°49"W	139.09'	L113	N19°34'47"E	62.97'	L158	N42°24'48"W	60.12'	L203	N56°46'51"W	70.65'	L248	N57°24'06"W	90.00'	L293	N51°50'51"W	26.41'
L24	N17°41'07"W	41.00'	L69	N344°49"W	139.09'	L114	N19°34'47"E	62.97'	L159	N1°45'15"W	35.36'	L204	N381°20'04"W	117.73'	L249	N57°24'06"W	90.00'	L294	N46°36'13"W	79.68'
L25	N17°41'07"W	71.00'	L70	N2°46'35"W	30.69'	L115	N16°12'33"E	62.97'	L160	N95°52'27"E	42.34'	L205	N12°24'06"W	35.36'	L250	N46°32'26"E	80.02'	L295	N35°38'43"W	68.27'
L26	N27°18'53"E	35.36'	L71	N38°58"W	102.69'	L116	N14°31'26"E	62.97'	L161	N43°40'59"E	28.41'	L206	N32°35'54"E	56.85'	L251	N84°05'15"W	42.91'	L296	N85°24'29"W	43.52'
L27	N27°18'53"E	60.00'	L72	N12°56'03"W	4.67'	L117	N12°50'19"E	62.97'	L162	N9°52'14"E	79.50'	L207	N48°01'22"W	18.73'	L252	N8°45'07"E	44.95'	L297	N144°21'E	43.42'
L28	N17°41'07"W	90.00'	L73	N8°56'41"W	84.26'	L118	N78°00'14"W	111.00'	L163	N17°55'29"E	40.75'	L208	N84°42'11"E	20.87'	L253	N12°24'06"W	35.36'	L298	N48°05'52'E	7.76'
L29	N17°41'07"W	90.00'	L74	N51°33'53"W	29.83'	L119	N49°58'19"E	34.84'	L164	N2°58'41"E	24.35'	L209	N67°56'05"E	6.07'	L254	N62°09'55"W	60.21'	L299	N50°30'31"E	56.12'
L30	N72°18'53"E	129.09'	L75	N69°08'40"W	52.45'	L120	N85°51'53"W	31.25'	L165	N9°33'04"E	21.27'	L210	N60°29'28"W	31.43'	L255	N77°35'54"E	35.36'			
L31	N17°41'07"W	159.10'	L76	N69°08'40"W	28.30'	L121	N42°16'02"E	84.07'	L166	N16°37'06"E	25.05'	L211	N60°57'31"E	35.36'	L256	N37°21'43"E	60.21'			
L32	N35°54'41"E	110.02'	L77	N69°08'40"W	52.90'	L122	N29°58'04"E	91.21'	L167	N16°27'22"E	26.43'	L212	N29°02'29"W	35.36'	L257	N12°24'06"W	35.36'			
L33	N35°54'41"E	125.00'	L78	N69°08'40"W	52.90'	L123	N18°09'03"E	91.21'	L168	N40°20'27"E	21.13'	L213	N57°55'55"W	60.21'	L258	N32°35'54"E	60.00'			
L34	N80°54'41"E	42.43'	L79	N77°26'44"E	74.37'	L124	N62°00'11"E	91.21'	L169	N19°18'52"E	29.55'	L214	N69°25'54"W	116.18'	L259	N84°11'41"W	32.06'			
L35	N39°32'37"E	30.00'	L80	N85°08'26"E	5.67'	L125	N6°04'41"W	84.74'	L170	N12°36'24"E	8.44'	L215	N57°24'06"W	59.71'	L260	N84°11'41"W	6.93'			
L36	N39°38'30"E	78.88'	L81	N71°42'47"E	6.21'	L126	N2°08'57"W	70.00'	L171	N2°28'44"E	17.27'	L216	N12°24'06"W	35.36'	L261	N84°11'41"W	38.99'			
L37	N84°49'20"W	66.26'	L82	N64°33'00"E	5.44'	L127	N17°49'22"E	70.00'	L172	N65°31'E	24.87'	L217	N77°35'54"E	35.36'	L262	N23°06'37"E	59.81'			
L38	N69°56'48"E	66.58'	L83	N65°33'04"E	17.63'	L128	N16°56'38"W	111.00'	L173	N72°37'E	50.53'	L218	N381°20'04"W	117.73'	L263	N20°41'05"E	63.58'			
L39	N76°11'54"E	66.58'	L84	N72°18'53"E	74.09'	L129	N58°54'47"W	2.65'	L174	N72°59'E	6.31'	L219	N381°20'04"W	117.73'	L264	N31°10'36"E	87.20'			
L40	N71°00'02"E	66.26'	L85	N76°19'41"W	87.25'	L130	N59°54'47"W	53.61'	L175	N17°11'E	13.08'	L220	N60°20'02"W	51.95'	L265	N37°59'49"E	23.90'			
L41	N62°56'30"E	66.26'	L86	N65°11'09"W	59.75'	L131	N58°54'47"W	56.26'	L176	N72°58'E	75.21'	L221	N4°28'51"W	67.66'	L266	N31°34'36"E	15.02'			
L42	N64°52'57"E	66.26'	L87	N60°28'13"W	107.76'	L132	N41°16'09"W	29.34'	L177	N27°40'E	35.14'	L222	N38°58'04"W	16.16'	L267	N31°34'36"E	25.48'			
L43	N46°49'25"E	66.26'	L88	N75°52'07"E	19.73'	L133	N38°53'28"W	113.02'	L178	N17°58'E	17.18'	L223	N39°19'55"W	32.20'	L268	N22°36'23"E	19.24'			
L44	N400°41'08"E	66.90'	L89	N73°52'07"E	111.61'	L134	N69°08'40"W	54.70'	L179	N17°56'E	38.39'	L224	N38°46'52"W	26.72'	L269	N37°29'42"E	29.10'			
L45	N302°9'10"E	66.46'	L90	N84°09'59"W	71.15'	L135	N70°31'8"E	40.45'	L180	N19°53'E	49.72'	L225	N38°32'06"W	29.55'	L270	N84°29'35"E	46.04'			

TRACT 4032 RIVER ISLANDS - STAGE 2B LARGE LOT FINAL MAP

A PORTION OF RANCHO EL PESCADERO, BEING
A SUBDIVISION OF PARCEL 16 OF TRACT 3008 (43 MAP 52),
AND TRACTS 8, 9, 10, 11, 40, 41 AND A PORTION OF TRACTS 7, 12 AND 13
AS SHOWN ON THE RECORD OF SURVEY (35 RS 142),
CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA
APRIL 2020



CURVE TABLES FOR COURSES SHOWN ON SHEETS X THROUGH XX ONLY

CURVE TABLE				CURVE TABLE				CURVE TABLE			
CURVE	RADIUS	DELTA	LENGTH	CURVE	RADIUS	DELTA	LENGTH	CURVE	RADIUS	DELTA	LENGTH
C1	270.00	402.41	19.06	C96	200.00	12.9845	44.78	C136	620.00	7.4319	83.56
C2	380.00	1937.36	133.59	C97	570.00	672.10	63.36	C137	50.00	80.4310	70.44
C3	390.00	1636.36	114.20	C98	50.00	28.5032	25.17	C138	50.00	36.3838	31.98
C4	390.00	36.2412	247.79	C99	570.00	339.41	31.45	C139	120.00	42.3335	89.14
C5	425.00	36.2412	270.03	C100	50.00	78.0444	68.14	C140	50.00	47.0533	41.10
C6	369.00	29.5601	192.78	C101	1100.00	134.30	30.24	C141	120.00	46.5358	98.23
C7	230.00	402.41	16.24	C102	420.00	746.38	57.01	C142	2025.00	3.1608	115.53
C8	55.00	9000.00	86.39	C103	880.00	333.28	54.64	C143	2163.00	0.3645	23.13
C9	55.00	9000.00	86.39	C104	17.00	66.1406	19.65	C144	2100.00	6.1525	229.33
C10	460.00	36.2412	297.26	C105	50.00	19.3942	13.48	C145	2100.00	2.3101	92.25
C11	2937.00	337.56	188.19	C106	50.00	54.4428	47.77	C146	600.00	19.2515	203.38
C12	100.00	9005.53	157.25	C107	50.00	205.2411	179.25				
C13	3103.00	202.54	110.93	C108	120.00	0.5841	1.77				
C14	50.00	9131.33	79.87	C109	80.00	137.54	2.28				
C15	3103.00	138.47	89.16	C110	405.00	19.3915	138.93				
C16	50.00	9201.58	80.31	C111	80.00	146.48	2.49				
C17	50.00	9300.44	81.17	C112	120.00	5.5837	12.45				
C18	270.00	908.43	43.10	C113	50.00	72.3107	63.29				
C19	230.00	359.22	16.01	C114	410.00	523.46	38.61				
C20	50.00	9232.16	80.75	C115	50.00	65.3114	57.18				
C21	15.00	86.524	22.67	C116	80.00	14.5251	20.78				
C22	80.00	7.4141	10.74	C117	125.00	45.0750	89.46				
C23	320.00	1325.38	74.99	C118	50.00	58.5500	51.41				
C24	17.00	86.1406	19.65	C119	115.00	50.2618	101.24				
C25	50.00	10626.10	92.88	C120	570.00	670.10	61.38				
C26	55.00	9000.00	86.39	C121	89.00	70.2234	109.32				
C27	1965.00	015.02	8.59	C122	435.00	4.3844	35.02				
C28	1965.00	215.25	77.41	C123	89.00	70.2234	109.32				
C29	1965.00	230.27	86.00	C124	265.00	35.5024	105.76				
C30	2000.00	498.07	144.35	C125	335.00	19.7202	112.26				
C31	1970.00	211.35	75.41	C126	270.00	40.9839	189.25				
C32	2035.00	277.59	87.60	C127	17.00	50.3811	15.02				
C33	55.00	9000.00	86.39	C128	50.00	132.4749	115.89				
C34	820.00	1171.56	160.28	C129	50.00	55.2629	48.38				
C35	58.00	9230.30	93.65	C130	50.00	188.1418	164.27				
C36	40.00	9956.27	89.77	C131	1102.00	331.13	67.71				
C37	820.00	020.12	4.82	C132	120.00	710.16	15.02				
C38	820.00	348.32	54.51	C133	80.00	515.01	7.33				
C39	820.00	408.44	59.33	C134	50.00	0.4913	71.88				
C40	380.00	1345.46	86.47	C135	340.00	18.2655	109.48				
C41	580.00	021.34	2.26	C136	3315.00	0.3855	37.53				
C42	680.00	555.41	70.36	C137	355.00	2102.24	130.36				
C43	275.00	4502.32	218.19	C138	370.00	16.4606	108.28				
C44	50.00	2301.42	20.10	C139	990.00	0.04028	11.65				
C45	600.00	7.4615	81.37	C140	430.00	25.2412	190.65				

EXHIBIT B

CITY INSURANCE REQUIREMENTS

1. Subdivider shall obtain commercial general liability insurance companies licensed to do business in the State of California with an A.M. Best Company rating Insurance rating of no less than A:VII which provides coverage for bodily injury, personal injury and property damage liability in the amount of at least \$1,000,000 for each occurrence and \$2,000,000 in the aggregate.

Said insurance coverage shall be evidenced by a certificate of insurance with policy endorsements, executed by an authorized official of the insurers. All parties to the Subdivision Improvement Agreement must be named insured on the policy. The policy endorsements to be attached to the certificate must provide all the following:

a. Name the City of Lathrop, its officers, City Council, boards and commissions and members thereof, its employees and agents as additional insured as respects to any liability arising out of the activities of the named insured. A CG 2010 or CG 2026 endorsement form or the equivalent is the appropriate form.

b. State that “the insurance coverage afforded by this policy shall be primary insurance as respects to the City of Lathrop, its officers, employees and agents. Any insurance or self-insurance maintained by the City of Lathrop, its officers, employees, or agents shall be in excess of the insurance afforded to the named insured by this policy and shall not contribute to any loss.”

c. Include a statement that, “the insurer will provide to the City of Lathrop at least thirty (30) days prior notice of cancellation or material change in coverage.” The above language can be included on the additional insured endorsement form or on a separate endorsement form.

d. The policy must contain a cross liability or severability of interest clause.

e. Insurance must be maintained and evidence of insurance must be provided for at least five years after completion of the Agreement or the work, so long as commercially available at reasonable rates.

AGENCY CUSTOMER ID: _____

LOC #: _____



ADDITIONAL REMARKS SCHEDULE

Page 2 of 2

AGENCY Willis Towers Watson Insurance Services West, Inc.		NAMED INSURED River Islands Development, LLC 73 W Stewart Rd Lathrop, CA 95330	
POLICY NUMBER See Page 1		EFFECTIVE DATE: See Page 1	
CARRIER See Page 1	NAIC CODE See Page 1		

ADDITIONAL REMARKS

THIS ADDITIONAL REMARKS FORM IS A SCHEDULE TO ACORD FORM,
FORM NUMBER: 25 FORM TITLE: Certificate of Liability Insurance

be primary insurance as respects to the City of Lathrop, its officers, employees and agents. Any insurance or self-insurance maintained by the City of Lathrop, its officers, employees, or agents shall be in excess of the insurance afforded to the named insured by this policy and shall not contribute to any loss as respects the insureds operations.

THIS ENDORSEMENT CHANGES THE POLICY. PLEASE READ IT CAREFULLY.

**ADDITIONAL INSURED – OWNERS, LESSEES OR
CONTRACTORS – SCHEDULED PERSON OR
ORGANIZATION**

This endorsement modifies insurance provided under the following:
COMMERCIAL GENERAL LIABILITY COVERAGE PART

SCHEDULE

Name Of Additional Insured Person(s) Or Organization(s):	Location(s) Of Covered Operations
City of Lathrop its officers, City Council, boards and commissions and members thereof, its employees and agents 390 Towne Centre Drive Lathrop, CA 95330	As Required By Written Contract, Fully Executed Prior To The Named Insured’s Work
Information required to complete this Schedule, if not shown above, will be shown in the Declarations.	

A. Section II Who Is An Insured is amended to include as an additional insured the person(s) or organization(s) shown in the Schedule, but only with respect to liability for "bodily injury", "property damage" or "personal and advertising injury" caused, in whole or in part, by:

- 1 Your acts or omissions; or
- 2 The acts or omissions of those acting on your behalf;

in the performance of your ongoing operations for the additional insured(s) at the location(s) designated above.

B. With respect to the insurance afforded to these additional insureds, the following additional exclusions apply:

This insurance does not apply to "bodily injury" or "property damage" occurring after:

- 1 All work, including materials, parts or equipment furnished in connection with such work, on the project (other than service, maintenance or repairs) to be performed by or on behalf of the additional in-sured(s) at the location of the covered operations has been completed; or
- 2 That portion of "your work" out of which the injury or damage arises has been put to its intended use by any person or organization other than another contractor or subcontractor engaged in performing operations for a principal as a part of the same project.

UNITED SPECIALTY INSURANCE COMPANY

THIS ENDORSEMENT CHANGES THE POLICY – PLEASE READ IT CAREFULLY

USIC VEN 016 11 10 07

**Named Insured: River Islands Development, LLC
Policy Number: ATN-SF1811644P**

**PRIMARY AND NON-CONTRIBUTING INSURANCE
(Third Party's Sole Negligence)**

This endorsement modifies insurance provided under the following:

**COMMERCIAL GENERAL LIABILITY COVERAGE PART
PRODUCTS/COMPLETED OPERATIONS LIABILITY COVERAGE PART**

The following is added to Section IV – Commercial General Liability Conditions, Paragraph 4:

Section IV: Commercial General Liability Conditions

4. Other Insurance:

- d. Notwithstanding the provisions of sub-paragraphs a, b, and c of this paragraph 4, with respect to the Third Party shown below, it is understood and agreed that in the event of a claim or "suit" arising out of the Named Insured's sole negligence, this insurance shall be primary and any other insurance maintained by the additional insured named as the Third Party below shall be excess and non-contributory.

The Third Party to whom this endorsement applies is:

City of Lathrop, its officers, City Council,
boards and commissions and members thereof,
its employees and agents
390 Towne Centre Drive
Lathrop, CA 95330

Absence of a specifically named Third Party above means that the provisions of this endorsement apply "as required by written contractual agreement with any Third party for whom you are performing work."

All other terms, conditions and exclusions under this policy are applicable to this Endorsement and remain unchanged.

UNITED SPECIALTY INSURANCE COMPANY

THIS ENDORSEMENT CHANGES THE POLICY. PLEASE READ IT CAREFULLY.

USIC VEN 078 03 11 07

**Named Insured: River Islands Development, LLC
Policy Number: ATN-SF1811644P**

THIRD PARTY CANCELLATION NOTICE

This endorsement shall not serve to increase our limits of insurance, as described in **SECTION III - LIMITS OF INSURANCE.**

This endorsement modifies Conditions provided under the following:

COMMERCIAL GENERAL LIABILITY COVERAGE PART

If we cancel this policy for any reason other than nonpayment of premium, we will mail notification to the persons or organizations shown in the schedule below (according to the number of days listed below) once the Named Insured has been notified.

If we cancel this coverage for nonpayment of premium, we will mail a copy of such written notice of cancellation to the name and address below at least 10 days prior to the effective date of such cancellation.

Our failure to provide such advance notification will not extend the policy cancellation date nor negate cancellation of the policy.

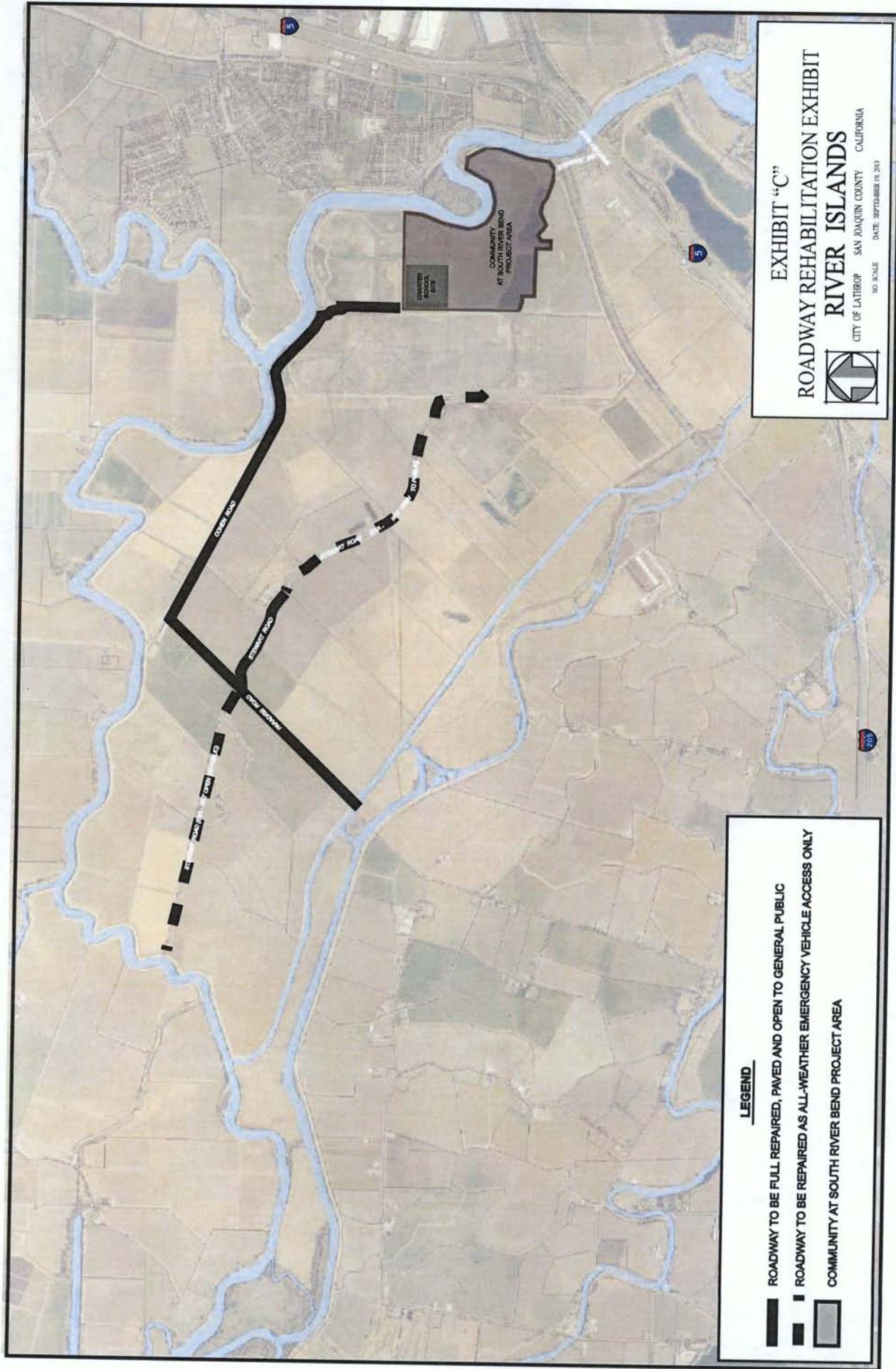
SCHEDULE

<u>Name and Address of Other Person/Organization</u>	<u>Number of Days Notice</u>
City of Lathrop, its officers, City Council, boards and commissions and members thereof, its employees and agents 390 Towne Centre Drive Lathrop, CA 95330	30 Days

All other terms, conditions and exclusions under this policy are applicable to this Endorsement and remain unchanged.

EXHIBIT C

COHEN/PARADISE/STEWART REHABILITATION MAP



LEGEND

- ROADWAY TO BE FULL REPAIRED, PAVED AND OPEN TO GENERAL PUBLIC
- - - ROADWAY TO BE REPAIRED AS ALL-WEATHER EMERGENCY VEHICLE ACCESS ONLY
- COMMUNITY AT SOUTH RIVER BEND PROJECT AREA

EXHIBIT "C"
ROADWAY REHABILITATION EXHIBIT
RIVER ISLANDS
 CITY OF LATHROP SAN JOAQUIN COUNTY CALIFORNIA
 NO. SCALE DATE: SEPTEMBER 19, 2013

EXHIBIT D

**TRACT 4032 ENGINEER'S ESTIMATE FOR UNFINISHED PORTIONS
OF RIVER ISLANDS PARKWAY AND BACKBONE COLLECTOR ROADS**

ENGINEER'S BOND ESTIMATE
COST TO COMPLETE
RIVER ISLANDS - STAGE 2B
RIVER ISLANDS PARKWAY
CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA

May 18, 2020
Job No.: 25503-45

Item	Description	Quantity	Unit	Unit Price	Amount
1	Sanitary Sewer (90% Completion)	1	LS	\$ 18,000.00	\$ 18,000.00
2	Storm Drain (95% Completion)	1	LS	\$ 15,000.00	\$ 15,000.00
3	Domestic Water, Recycled Water, Non-Potable Water, & Lake Fill Line (90% Completion)	1	LS	\$ 78,500.00	\$ 78,500.00
4	Joint Trench (60% Completion)	1	LS	\$ 511,519.00	\$ 511,519.00
5	Concrete (30% Completion)	1	LS	\$ 360,547.00	\$ 360,547.00
6	Finish Grade, AB & AC Paving (25% Completion)	1	LS	\$ 1,296,039.00	\$ 1,296,039.00
7	Signing, Striping & Monuments (0% Completion)	1	LS	\$ 35,000.00	\$ 35,000.00
TOTAL COST TO COMPLETE \$					2,314,605.00

Notes:

- 1) Estimate for cost to complete based on cost to complete summary sheet and backup documents for Stage 2B River Islands Parkway received on May 18, 2020.

ENGINEER'S BOND ESTIMATE
COST TO COMPLETE
RIVER ISLANDS - STAGE 2B
STAGE 2B BACKBONE ROADS
CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA

May 18, 2020
Job No.: 25503-56

Item	Description	Quantity	Unit	Unit Price	Amount
1	Sanitary Sewer (90% Completion)	1	LS	\$ 51,000.00	\$ 51,000.00
2	Storm Drain (90% Completion)	1	LS	\$ 58,000.00	\$ 58,000.00
3	Domestic Water & Non-Potable Water (90% Completion)	1	LS	\$ 93,250.00	\$ 93,250.00
4	Joint Trench (55% Completion)	1	LS	\$ 705,895.00	\$ 705,895.00
5	Concrete & Pavement (25% Completion)	1	LS	\$ 2,160,000.00	\$ 2,160,000.00
6	Signing, Striping & Monuments (0% Completion)	1	LS	\$ 45,000.00	\$ 45,000.00
TOTAL COST TO COMPLETE					\$ 3,113,145.00

Notes:

- 1) Estimate for cost to complete based on cost to complete summary sheet and backup documents for Stage 2B Backbone Roads received on May 18, 2020.

EXHIBIT E

**TRACT 4032 ENGINEER'S ESTIMATE FOR
RIVER ISLANDS PARKWAY AND BACKBONE COLLECTOR ROADS**

DRAFT ENGINEER'S OPINION OF PROBABLE COST
RIVER ISLANDS - STAGE 2B
RIVER ISLANDS PARKWAY
 CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA

February 27, 2018
 Job No.: 25503

Item	Description	Quantity	Unit	Unit Price	Amount
<u>STREET WORK</u>					
1	Fine Grading	505,200	SF	\$ 0.45	\$ 227,340.00
2	7" AC Paving	261,400	SF	\$ 3.50	\$ 914,900.00
3	13" Aggregate Base	261,400	SF	\$ 1.95	\$ 509,730.00
4	12" Lime Treatment	261,400	SF	\$ 1.10	\$ 287,540.00
5	Vertical Curb and Gutter <i>(with AB cushion)</i>	7,800	LF	\$ 15.00	\$ 117,000.00
6	Type F Median Curb <i>(with AB cushion)</i>	7,300	LF	\$ 18.00	\$ 131,400.00
7	Concrete Sidewalk	62,720	SF	\$ 5.00	\$ 313,600.00
8	Handicap Ramps	13	EA	\$ 2,500.00	\$ 32,500.00
9	Survey Monuments	7	EA	\$ 300.00	\$ 2,100.00
10	Barricades	2	EA	\$ 1,500.00	\$ 3,000.00
11	Traffic Signing & Striping	4,000	LF	\$ 5.00	\$ 20,000.00
12	Dewatering (Budget)	4,000	LF	\$ 100.00	\$ 400,000.00
Subtotal Street Work					\$ 2,959,110.00
<u>STORM DRAIN</u>					
13	Catch Basins <i>(type A inlet)</i>	10	EA	\$ 2,400.00	\$ 24,000.00
14	Catch Basins <i>(type A inlet over type I manhole base)</i>	4	EA	\$ 2,800.00	\$ 11,200.00
15	Catch Basins <i>(type A inlet over type III manhole base)</i>	2	EA	\$ 7,500.00	\$ 15,000.00
16	15" Storm Drain Pipe	730	LF	\$ 34.00	\$ 24,820.00
17	18" Storm Drain Pipe	390	LF	\$ 46.00	\$ 17,940.00
18	24" Storm Drain Pipe	170	LF	\$ 65.00	\$ 11,050.00
19	60" Storm Drain Pipe	130	LF	\$ 140.00	\$ 18,200.00
20	Storm Drain Stub & Plug	1	EA	\$ 1,000.00	\$ 1,000.00
Subtotal Storm Drain					\$ 123,210.00
<u>SANITARY SEWER</u>					
21	8" Sanitary Sewer Pipe	135	LF	\$ 28.00	\$ 3,780.00
22	10" Sanitary Sewer Pipe	95	LF	\$ 35.00	\$ 3,325.00
23	10" Sanitary Sewer Force Main Pipe	2,010	LF	\$ 85.00	\$ 170,850.00
24	12" Sanitary Sewer Pipe	95	LF	\$ 42.00	\$ 3,990.00
25	24" Sanitary Sewer Pipe	2,860	LF	\$ 150.00	\$ 429,000.00
26	Manholes (Trunk)	9	EA	\$ 6,000.00	\$ 54,000.00
27	Force Main ARV	2	EA	\$ 2,500.00	\$ 5,000.00
28	Sewer Stub & Plug	8	EA	\$ 1,000.00	\$ 8,000.00
29	Connect to Existing Sanitary Sewer	1	EA	\$ 3,000.00	\$ 3,000.00
Subtotal Sanitary Sewer					\$ 680,945.00

Item	Description	Quantity	Unit	Unit Price	Amount
<u>WATER SUPPLY</u>					
30	8" Water Line (including all appurtenances)	170	LF	\$ 32.00	\$ 5,440.00
31	10" Water Line (including all appurtenances)	150	LF	\$ 40.00	\$ 6,000.00
32	20" Water Line (including all appurtenances)	4,000	LF	\$ 100.00	\$ 400,000.00
33	GV	6	EA	\$ 1,550.00	\$ 9,300.00
34	BV	14	EA	\$ 5,000.00	\$ 70,000.00
35	ARV	2	EA	\$ 2,500.00	\$ 5,000.00
36	BOV	9	EA	\$ 4,000.00	\$ 36,000.00
37	Fire Hydrants	14	EA	\$ 4,000.00	\$ 56,000.00
38	Water Plug & Stub	7	EA	\$ 1,000.00	\$ 7,000.00
39	Connect to Existing Water	1	EA	\$ 4,000.00	\$ 4,000.00
Subtotal Water Supply					\$ 598,740.00
<u>RECYCLED WATER</u>					
40	16" Recycled Water Line (including all appurtenances)	3,980	LF	\$ 65.00	\$ 258,700.00
41	BV	7	EA	\$ 4,000.00	\$ 28,000.00
42	ARV	2	EA	\$ 2,500.00	\$ 5,000.00
43	BOV	2	EA	\$ 4,000.00	\$ 8,000.00
44	Recycled Water Plug & Stub	2	EA	\$ 1,000.00	\$ 2,000.00
45	Connect to Existing Recycled Water	1	EA	\$ 5,000.00	\$ 5,000.00
Subtotal Recycled Water					\$ 306,700.00
<u>NON-POTABLE WATER</u>					
46	8" Non-Potable Water Line (including all appurtenances)	140	LF	\$ 35.00	\$ 4,900.00
47	10" Non-Potable Water Line (including all appurtenances)	120	LF	\$ 50.00	\$ 6,000.00
48	16" Non-Potable Water Line (including all appurtenances)	3,990	LF	\$ 80.00	\$ 319,200.00
49	GV	4	EA	\$ 1,550.00	\$ 6,200.00
50	BV	10	EA	\$ 4,000.00	\$ 40,000.00
51	ARV	2	EA	\$ 2,500.00	\$ 5,000.00
52	BOV	8	EA	\$ 4,000.00	\$ 32,000.00
53	Non-Potable Water Plug & Stub	6	EA	\$ 1,000.00	\$ 6,000.00
54	Connect to Existing Non-Potable Water	1	EA	\$ 3,000.00	\$ 3,000.00
Subtotal Irrigation Water					\$ 422,300.00
<u>LAKE FILL LINE</u>					
55	16" Lake Fill Line (including all appurtenances)	1,160	LF	\$ 50.00	\$ 58,000.00
56	3" Aeration Line (including all appurtenances)	1,160	LF	\$ 4.00	\$ 4,640.00
57	BV	3	EA	\$ 4,000.00	\$ 12,000.00
58	ARV	1	EA	\$ 2,500.00	\$ 2,500.00
59	BOV	2	EA	\$ 4,000.00	\$ 8,000.00
60	Lake Fill Stub & Plug	1	EA	\$ 1,000.00	\$ 1,000.00
61	Connect to Existing Lake Fill Line	1	EA	\$ 1,000.00	\$ 1,000.00
Subtotal Lake Fill Line					\$ 87,140.00
TOTAL CONSTRUCTION COST (nearest \$1,000)					\$ 5,178,000.00

Notes:

- 1) This estimate does not include surveying, engineering, clearing, grading, erosion control, joint trench, landscaping, irrigation, or street trees.
- 2) Unit prices are based on estimated current construction costs and no provision for inflation is included.

DRAFT ENGINEER'S OPINION OF PROBABLE COST
RIVER ISLANDS - STAGE 2B
BACKBONE ROAD IMPROVEMENTS
 CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA

October 18, 2018
 Job No.: 25503

Item	Description	Quantity	Unit	Unit Price	Amount
I STREET					
<u>STREET WORK</u>					
1	Fine Grading	189,700	SF	\$ 0.45	\$ 85,365.00
2	4.5" AC Paving	95,400	SF	\$ 2.25	\$ 214,650.00
3	8" Aggregate Base	95,400	SF	\$ 1.20	\$ 114,480.00
4	Vertical Curb and Gutter <i>(with AB cushion)</i>	4,670	LF	\$ 15.00	\$ 70,050.00
5	Splitter Island Curb <i>(with AB cushion)</i>	200	LF	\$ 15.00	\$ 3,000.00
6	Roundabout Curb <i>(with AB cushion)</i>	160	LF	\$ 18.00	\$ 2,880.00
7	Concrete Sidewalk	36,820	SF	\$ 5.00	\$ 184,100.00
8	Roundabout Concrete	1,890	SF	\$ 5.00	\$ 9,450.00
9	Handicap Ramps	29	EA	\$ 2,500.00	\$ 72,500.00
10	Survey Monuments	13	EA	\$ 300.00	\$ 3,900.00
11	Barricades	13	EA	\$ 1,500.00	\$ 19,500.00
12	Traffic Signing & Striping	2,880	LF	\$ 5.00	\$ 14,400.00
13	Dewatering <i>(Budget)</i>	2,880	LF	\$ 75.00	\$ 216,000.00
Subtotal Street Work					\$ 1,010,275.00
<u>STORM DRAIN</u>					
14	Catch Basins <i>(type A inlet)</i>	2	EA	\$ 2,400.00	\$ 4,800.00
15	Catch Basins <i>(type A inlet over concrete box culvert)</i>	2	EA	\$ 2,800.00	\$ 5,600.00
16	Catch Basins <i>(type A inlet over type I manhole base)</i>	5	EA	\$ 2,800.00	\$ 14,000.00
17	Catch Basins <i>(type A inlet over type II manhole base)</i>	7	EA	\$ 5,000.00	\$ 35,000.00
18	Field Inlet <i>(type C inlet over type I manhole base)</i>	1	EA	\$ 2,800.00	\$ 2,800.00
19	Field Inlet <i>(type C inlet over type II manhole base)</i>	3	EA	\$ 5,000.00	\$ 15,000.00
20	15" Storm Drain Pipe	285	LF	\$ 34.00	\$ 9,690.00
21	18" Storm Drain Pipe	220	LF	\$ 46.00	\$ 10,120.00
22	24" Storm Drain Pipe	259	LF	\$ 65.00	\$ 16,835.00
23	30" Storm Drain Pipe	570	LF	\$ 80.00	\$ 45,600.00
24	36" Storm Drain Pipe	702	LF	\$ 95.00	\$ 66,690.00
25	42" Storm Drain Pipe	324	LF	\$ 120.00	\$ 38,880.00
26	Concrete Box Culvert (3'x5')	105	LF	\$ 400.00	\$ 42,000.00
27	Manholes <i>(type I)</i>	1	EA	\$ 3,000.00	\$ 3,000.00
28	Manholes <i>(type II)</i>	4	EA	\$ 5,000.00	\$ 20,000.00
29	Storm Drain Stub & Plug	8	EA	\$ 1,000.00	\$ 8,000.00
Subtotal Storm Drain					\$ 338,015.00

Item	Description	Quantity	Unit	Unit Price	Amount
<u>SANITARY SEWER</u>					
30	8" Sanitary Sewer Pipe	935	LF	\$ 28.00	\$ 26,180.00
31	12" Sanitary Sewer Pipe	185	LF	\$ 42.00	\$ 7,770.00
32	Manholes	5	EA	\$ 4,000.00	\$ 20,000.00
33	Sewer Stub & Plug	12	EA	\$ 1,000.00	\$ 12,000.00
Subtotal Sanitary Sewer					\$ 65,950.00
<u>WATER SUPPLY</u>					
34	8" Water Line (including all appurtenances)	575	LF	\$ 32.00	\$ 18,400.00
35	10" Water Line (including all appurtenances)	2,390	LF	\$ 40.00	\$ 95,600.00
36	GV	33	EA	\$ 2,500.00	\$ 82,500.00
37	ARV	1	EA	\$ 2,500.00	\$ 2,500.00
38	BOV	12	EA	\$ 4,000.00	\$ 48,000.00
39	Fire Hydrants	6	EA	\$ 4,000.00	\$ 24,000.00
40	Water Plug & Stub	14	EA	\$ 1,000.00	\$ 14,000.00
Subtotal Water Supply					\$ 285,000.00
<u>NON-POTABLE WATER</u>					
41	8" Non-Potable Water Line (including all appurtenances)	185	LF	\$ 35.00	\$ 6,475.00
42	BOV	2	EA	\$ 4,000.00	\$ 8,000.00
43	Non-Potable Water Plug & Stub	2	EA	\$ 1,000.00	\$ 2,000.00
Subtotal Irrigation Water					\$ 16,475.00
SUBTOTAL I STREET COST					\$ 1,715,715.00
<u>K STREET</u>					
<u>STREET WORK</u>					
44	Fine Grading	39,700	SF	\$ 0.45	\$ 17,865.00
45	4.5" AC Paving	22,950	SF	\$ 2.25	\$ 51,637.50
46	8" Aggregate Base	22,950	SF	\$ 1.20	\$ 27,540.00
47	Vertical Curb and Gutter (with AB cushion)	4,340	LF	\$ 15.00	\$ 65,100.00
48	Concrete Sidewalk	4,300	SF	\$ 5.00	\$ 21,500.00
49	Handicap Ramps	8	EA	\$ 2,500.00	\$ 20,000.00
50	Survey Monuments	3	EA	\$ 300.00	\$ 900.00
51	Barricades	5	EA	\$ 1,500.00	\$ 7,500.00
52	Traffic Signing & Striping	790	LF	\$ 5.00	\$ 3,950.00
53	Dewatering (Budget)	790	LF	\$ 75.00	\$ 59,250.00
Subtotal Street Work					\$ 275,242.50

Item	Description	Quantity	Unit	Unit Price	Amount
<u>STORM DRAIN</u>					
54	Catch Basins (type A inlet)	2	EA	\$ 2,400.00	\$ 4,800.00
55	Catch Basins (type A inlet over type I manhole base)	1	EA	\$ 2,800.00	\$ 2,800.00
56	Catch Basins (type A inlet over type II manhole base)	2	EA	\$ 5,000.00	\$ 10,000.00
57	Field Inlet (type C inlet over type I manhole base)	1	EA	\$ 2,800.00	\$ 2,800.00
58	Field Inlet (type C inlet over type II manhole base)	1	EA	\$ 5,000.00	\$ 5,000.00
59	15" Storm Drain Pipe	165	LF	\$ 34.00	\$ 5,610.00
60	18" Storm Drain Pipe	70	LF	\$ 46.00	\$ 3,220.00
61	24" Storm Drain Pipe	245	LF	\$ 65.00	\$ 15,925.00
62	30" Storm Drain Pipe	16	LF	\$ 80.00	\$ 1,280.00
63	42" Storm Drain Pipe	250	LF	\$ 120.00	\$ 30,000.00
64	Manholes (type I)	1	EA	\$ 3,000.00	\$ 3,000.00
65	Manholes (type II)	1	EA	\$ 5,000.00	\$ 5,000.00
66	Storm Drain Stub & Plug	4	EA	\$ 1,000.00	\$ 4,000.00
Subtotal Storm Drain					\$ 93,435.00
<u>SANITARY SEWER</u>					
67	8" Sanitary Sewer Pipe	430	LF	\$ 28.00	\$ 12,040.00
68	Manholes	2	EA	\$ 4,000.00	\$ 8,000.00
69	Sewer Stub & Plug	5	EA	\$ 1,000.00	\$ 5,000.00
Subtotal Sanitary Sewer					\$ 25,040.00
<u>WATER SUPPLY</u>					
70	8" Water Line (including all appurtenances)	585	LF	\$ 32.00	\$ 18,720.00
71	10" Water Line (including all appurtenances)	205	LF	\$ 40.00	\$ 8,200.00
72	GV	10	EA	\$ 2,500.00	\$ 25,000.00
73	BOV	5	EA	\$ 4,000.00	\$ 20,000.00
74	Fire Hydrant	1	EA	\$ 4,000.00	\$ 4,000.00
75	Water Plug & Stub	5	EA	\$ 1,000.00	\$ 5,000.00
Subtotal Water Supply					\$ 80,920.00
SUBTOTAL K STREET COST					\$ 474,637.50

Item	Description	Quantity	Unit	Unit Price	Amount
M STREET					
<u>STREET WORK</u>					
76	Fine Grading	157,400	SF	\$ 0.45	\$ 70,830.00
77	4.5" AC Paving	80,800	SF	\$ 2.25	\$ 181,800.00
78	8" Aggregate Base	80,800	SF	\$ 1.20	\$ 96,960.00
79	Vertical Curb and Gutter <i>(with AB cushion)</i>	4,090	LF	\$ 15.00	\$ 61,350.00
80	Splitter Island Curb <i>(with AB cushion)</i>	195	LF	\$ 15.00	\$ 2,925.00
81	Roundabout Curb <i>(with AB cushion)</i>	160	LF	\$ 18.00	\$ 2,880.00
82	Driveway Approach	1	EA	\$ 600.00	\$ 600.00
83	Concrete Sidewalk	32,950	SF	\$ 5.00	\$ 164,750.00
84	Roundabout Concrete	1,890	SF	\$ 5.00	\$ 9,450.00
85	Handicap Ramps	14	EA	\$ 2,500.00	\$ 35,000.00
86	Survey Monuments	6	EA	\$ 300.00	\$ 1,800.00
87	Barricades	3	EA	\$ 1,500.00	\$ 4,500.00
88	Traffic Signing & Striping	2,010	LF	\$ 5.00	\$ 10,050.00
89	Dewatering <i>(Budget)</i>	2,010	LF	\$ 75.00	\$ 150,750.00
Subtotal Street Work					\$ 793,645.00
<u>STORM DRAIN</u>					
90	Catch Basins <i>(type A inlet)</i>	8	EA	\$ 2,400.00	\$ 19,200.00
91	Catch Basins <i>(type A inlet over concrete box culvert)</i>	2	EA	\$ 2,800.00	\$ 5,600.00
92	Catch Basins <i>(type A inlet over type I manhole base)</i>	2	EA	\$ 2,800.00	\$ 5,600.00
93	Field Inlet <i>(type C inlet over Type I manhole base)</i>	2	EA	\$ 2,800.00	\$ 5,600.00
94	15" Storm Drain Pipe	460	LF	\$ 34.00	\$ 15,640.00
95	18" Storm Drain Pipe	115	LF	\$ 46.00	\$ 5,290.00
96	24" Storm Drain Pipe	510	LF	\$ 65.00	\$ 33,150.00
97	30" Storm Drain Pipe	110	LF	\$ 80.00	\$ 8,800.00
98	Concrete Box Culvert (3'x6')	130	LF	\$ 450.00	\$ 58,500.00
99	Manholes <i>(type I)</i>	1	EA	\$ 3,000.00	\$ 3,000.00
100	Storm Drain Stub & Plug	4	EA	\$ 1,000.00	\$ 4,000.00
Subtotal Storm Drain					\$ 164,380.00
<u>SANITARY SEWER</u>					
101	8" Sanitary Sewer Pipe	1,350	LF	\$ 28.00	\$ 37,800.00
102	Manholes	4	EA	\$ 4,000.00	\$ 16,000.00
103	Manholes (Trunk)	1	EA	\$ 6,000.00	\$ 6,000.00
104	Sewer Stub & Plug	3	EA	\$ 1,000.00	\$ 3,000.00
Subtotal Sanitary Sewer					\$ 62,800.00

Item	Description	Quantity	Unit	Unit Price	Amount
<u>WATER SUPPLY</u>					
105	8" Water Line (including all appurtenances)	175	LF	\$ 32.00	\$ 5,600.00
106	10" Water Line (including all appurtenances)	2,125	LF	\$ 40.00	\$ 85,000.00
107	GV	14	EA	\$ 2,500.00	\$ 35,000.00
108	BOV	4	EA	\$ 4,000.00	\$ 16,000.00
109	Fire Hydrants	4	EA	\$ 4,000.00	\$ 16,000.00
110	Water Plug & Stub	3	EA	\$ 1,000.00	\$ 3,000.00
111	Connect to Existing Water	1	EA	\$ 4,000.00	\$ 4,000.00
Subtotal Water Supply					\$ 164,600.00
<u>NON-POTABLE WATER</u>					
112	10" Non-Potable Water Line (including all appurtenances)	2,040	LF	\$ 45.00	\$ 91,800.00
113	GV	5	EA	\$ 2,500.00	\$ 12,500.00
114	BOV	1	EA	\$ 4,000.00	\$ 4,000.00
115	Connect to Existing Non-Potable Water	1	EA	\$ 4,000.00	\$ 4,000.00
Subtotal Irrigation Water					\$ 112,300.00
SUBTOTAL M STREET COST					\$ 1,297,725.00

O STREET

<u>STREET WORK</u>					
116	Fine Grading	52,400	SF	\$ 0.45	\$ 23,580.00
117	4.5" AC Paving	27,100	SF	\$ 2.25	\$ 60,975.00
118	8" Aggregate Base	27,100	SF	\$ 1.20	\$ 32,520.00
119	Vertical Curb and Gutter (with AB cushion)	1,500	LF	\$ 15.00	\$ 22,500.00
120	Rolled Curb and Gutter (with AB cushion)	70	LF	\$ 15.00	\$ 1,050.00
121	Concrete Sidewalk	9,800	SF	\$ 5.00	\$ 49,000.00
122	Handicap Ramps	6	EA	\$ 2,500.00	\$ 15,000.00
123	Survey Monuments	3	EA	\$ 300.00	\$ 900.00
124	Barricades	4	EA	\$ 1,500.00	\$ 6,000.00
125	Traffic Signing & Striping	935	LF	\$ 5.00	\$ 4,675.00
126	Dewatering (Budget)	935	LF	\$ 75.00	\$ 70,125.00
Subtotal Street Work					\$ 286,325.00

Item	Description	Quantity	Unit	Unit Price	Amount
<u>STORM DRAIN</u>					
127	Catch Basins (type A inlet)	2	EA	\$ 2,400.00	\$ 4,800.00
128	Catch Basins (type A inlet over concrete box culvert)	2	EA	\$ 2,800.00	\$ 5,600.00
129	Catch Basins (type A inlet over type I manhole base)	4	EA	\$ 2,800.00	\$ 11,200.00
130	Catch Basins (type A inlet over type II manhole base)	1	EA	\$ 5,000.00	\$ 5,000.00
131	15" Storm Drain Pipe	335	LF	\$ 34.00	\$ 11,390.00
132	24" Storm Drain Pipe	365	LF	\$ 65.00	\$ 23,725.00
133	30" Storm Drain Pipe	240	LF	\$ 80.00	\$ 19,200.00
134	36" Storm Drain Pipe	125	LF	\$ 95.00	\$ 11,875.00
135	Concrete Box Culvert (3'x7')	130	LF	\$ 500.00	\$ 65,000.00
136	Manholes (type II)	2	EA	\$ 5,000.00	\$ 10,000.00
137	Storm Drain Stub & Plug	4	EA	\$ 1,000.00	\$ 4,000.00
Subtotal Storm Drain					\$ 171,790.00
<u>SANITARY SEWER</u>					
138	8" Sanitary Sewer Pipe	550	LF	\$ 28.00	\$ 15,400.00
139	12" Sanitary Sewer Pipe	320	LF	\$ 42.00	\$ 13,440.00
140	Manholes (Trunk)	3	EA	\$ 6,000.00	\$ 18,000.00
141	Sewer Stub & Plug	2	EA	\$ 1,000.00	\$ 2,000.00
Subtotal Sanitary Sewer					\$ 48,840.00
<u>WATER SUPPLY</u>					
142	8" Water Line (including all appurtenances)	150	LF	\$ 32.00	\$ 4,800.00
143	10" Water Line (including all appurtenances)	780	LF	\$ 40.00	\$ 31,200.00
144	GV	7	EA	\$ 2,500.00	\$ 17,500.00
145	ARV	1	EA	\$ 2,500.00	\$ 2,500.00
146	BOV	4	EA	\$ 4,000.00	\$ 16,000.00
147	Water Plug & Stub	4	EA	\$ 1,000.00	\$ 4,000.00
Subtotal Water Supply					\$ 76,000.00
<u>NON-POTABLE WATER</u>					
148	10" Non-Potable Water Line (including all appurtenances)	800	LF	\$ 45.00	\$ 36,000.00
149	GV	1	EA	\$ 2,500.00	\$ 2,500.00
150	ARV	1	EA	\$ 2,500.00	\$ 2,500.00
151	BOV	1	EA	\$ 4,000.00	\$ 4,000.00
152	Non-Potable Water Plug & Stub	1	EA	\$ 1,000.00	\$ 1,000.00
Subtotal Irrigation Water					\$ 46,000.00
SUBTOTAL O STREET COST					\$ 628,955.00

Item	Description	Quantity	Unit	Unit Price	Amount
P STREET					
<u>STREET WORK</u>					
153	Fine Grading	109,300	SF	\$ 0.45	\$ 49,185.00
154	4.5" AC Paving	59,500	SF	\$ 2.25	\$ 133,875.00
155	8" Aggregate Base	59,500	SF	\$ 1.20	\$ 71,400.00
156	Vertical Curb and Gutter <i>(with AB cushion)</i>	2,960	LF	\$ 15.00	\$ 44,400.00
157	Type F Median Curb <i>(with AB cushion)</i>	415	LF	\$ 18.00	\$ 7,470.00
158	Splitter Island Curb <i>(with AB cushion)</i>	210	LF	\$ 15.00	\$ 3,150.00
159	Roundabout Curb <i>(with AB cushion)</i>	160	LF	\$ 18.00	\$ 2,880.00
160	Driveway Approach	1	EA	\$ 600.00	\$ 600.00
161	Concrete Sidewalk	14,000	SF	\$ 5.00	\$ 70,000.00
162	Roundabout Concrete	1,890	SF	\$ 5.00	\$ 9,450.00
163	Handicap Ramps	14	EA	\$ 2,500.00	\$ 35,000.00
164	Survey Monuments	4	EA	\$ 300.00	\$ 1,200.00
165	Barricades	3	EA	\$ 1,500.00	\$ 4,500.00
166	Traffic Signing & Striping	1,720	LF	\$ 5.00	\$ 8,600.00
167	Dewatering <i>(Budget)</i>	1,720	LF	\$ 75.00	\$ 129,000.00
Subtotal Street Work					\$ 570,710.00
<u>STORM DRAIN</u>					
168	Catch Basins <i>(type A inlet)</i>	6	EA	\$ 2,400.00	\$ 14,400.00
169	Catch Basins <i>(type A inlet over concrete box culvert)</i>	2	EA	\$ 2,800.00	\$ 5,600.00
170	Catch Basins <i>(type A inlet over type I manhole base)</i>	2	EA	\$ 2,800.00	\$ 5,600.00
171	Field Inlet <i>(type C inlet over type I manhole base)</i>	1	EA	\$ 2,800.00	\$ 2,800.00
172	15" Storm Drain Pipe	545	LF	\$ 34.00	\$ 18,530.00
173	18" Storm Drain Pipe	310	LF	\$ 46.00	\$ 14,260.00
174	24" Storm Drain Pipe	470	LF	\$ 65.00	\$ 30,550.00
175	Concrete Box Culvert (3'x7')	145	LF	\$ 500.00	\$ 72,500.00
176	Manholes <i>(type I)</i>	3	EA	\$ 3,000.00	\$ 9,000.00
177	Storm Drain Stub & Plug	4	EA	\$ 1,000.00	\$ 4,000.00
Subtotal Storm Drain					\$ 177,240.00
<u>SANITARY SEWER</u>					
178	8" Sanitary Sewer Pipe	675	LF	\$ 32.00	\$ 21,600.00
179	12" Sanitary Sewer Pipe	1,085	LF	\$ 42.00	\$ 45,570.00
180	Manholes (Trunk)	6	EA	\$ 6,000.00	\$ 36,000.00
181	Connect to Existing Sanitary Sewer	1	EA	\$ 3,000.00	\$ 3,000.00
Subtotal Sanitary Sewer					\$ 106,170.00

Item	Description	Quantity	Unit	Unit Price	Amount
<u>WATER SUPPLY</u>					
182	8" Water Line (including all appurtenances)	585	LF	\$ 32.00	\$ 18,720.00
183	10" Water Line (including all appurtenances)	1,190	LF	\$ 40.00	\$ 47,600.00
184	GV	12	EA	\$ 2,500.00	\$ 30,000.00
185	BOV	5	EA	\$ 4,000.00	\$ 20,000.00
186	Fire Hydrant	3	EA	\$ 4,000.00	\$ 12,000.00
187	Water Plug & Stub	4	EA	\$ 1,000.00	\$ 4,000.00
188	Connect to Existing Water	1	EA	\$ 4,000.00	\$ 4,000.00
Subtotal Water Supply					\$ 136,320.00
<u>NON-POTABLE WATER</u>					
189	10" Non-Potable Water Line (including all appurtenances)	160	LF	\$ 45.00	\$ 7,200.00
Subtotal Irrigation Water					\$ 7,200.00
SUBTOTAL P STREET COST					\$ 997,640.00
TOTAL CONSTRUCTION COST (nearest \$1,000)					\$ 5,115,000.00

Notes:

- 1) This estimate does not include surveying, engineering, clearing, grading, erosion control, dry utilities, landscaping, irrigation, or street trees.
- 2) Unit prices are based on estimated current construction costs and no provision for inflation is included.

**JOINT ESCROW INSTRUCTIONS
RECORDATION OF FINAL MAPS
(RIVER ISLANDS AT LATHROP)**

June 8, 2020

Via Email and Hand Delivery

Old Republic Title Company
1215 W. Center Street, Suite 103
Manteca, CA 95337
Attn: Lori Richardson

Re: Recordation of Stage 2B Large Lot Final Map 4032; Escrow No. 1214020942

Dear Lori:

This letter constitutes the joint escrow instructions ("**Escrow Instructions**") of River Islands Stage 2B, LLC, a Delaware limited liability company ("**RIS2B**") and the City of Lathrop ("**City**") in connection with the above-referenced escrow ("**Escrow**"). The Escrow was opened in connection with recordation of the above-referenced final map ("**Final Map**"). Recordation of the Final Map is subject to the conditions set forth below. The transactions described in these Escrow Instructions are referred to as the "**Transaction**." Old Republic Title Company is referred to as "you" or "**ORTC**."

A. Date for Closings

The Final Map will be recorded at the time designated by RIS2B as set forth below. The Final Map can only be recorded after the City has approved the map in writing. The closing date for the Transaction is intended to occur by July 31, 2020, at the time designated in writing by RIS2B, subject to satisfaction of the conditions set forth below (each a "**Closing**"). If the Final Map has not been recorded by December 31, 2020, ORTC will return the Final Map to the City.

B. Documents to be Delivered and Recordation Document

In connection with the Transaction, you have in your possession or will receive the following documents from City for recordation in the Official Records of San Joaquin County, California ("**Official Records**").

- B.1 Paradise Road and Cohen Road Quitclaim Deed executed in favor of River Islands Stage 2B, LLC, a Delaware limited liability company.
- B.2 One original Large Lot Final Map for Tract 4032, executed and acknowledged by the City.

The documents listed in Item B.1 and B.2 above are together referred to as the "Recordation Documents". The Recordation Documents must be recorded in the order listed above in B.1 and B.2. The date on which the Recordation Documents are recorded in the Official Records is the Recordation Date.

C. Closing Requirements

When the following has occurred, you are authorized to close the Escrow at the time(s) and in accordance with the process set forth below:

- C.1. You have delivered copies of your Settlement Statement by email transmission to: (a) Susan Dell'Osso (sdelloso@riverislands.com); (b) Debbie Belmar (dbelmar@riverislands.com); (c) Stephen Salvatore (ssalvatore@ci.lathrop.ca.us);

JOINT ESCROW INSTRUCTIONS RECORDATION OF FINAL MAPS (RIVER ISLANDS AT LATHROP)

(d) Salvador Navarrete (snavarrete@ci.lathrop.ca.us); (e) Cari James (cjames@ci.lathrop.ca.us) and (f) Glenn Gebhardt (ggebhardt@ci.lathrop.ca.us), and have confirmation (by telephone or email) from Susan Dell'Osso and Stephen Salvatore or Glenn Gebhardt that the Settlement Statement is accurate and acceptable;

C.2. You have not received any instructions contrary to these Escrow Instructions;

C.3. The Recordation Document and all other documents described herein as being held by you or delivered to you have been received by you and have been fully executed and, where applicable, acknowledged, and you have attached all legal descriptions or have confirmed that all exhibits and legal descriptions are attached;

C.4. You are prepared to record the Recordation Document, as designated, release funds in accordance with the Settlement Statement and complete the Transaction in compliance with these Escrow Instructions;

C.5. You have delivered a copy of these instructions, executed by an authorized signatory of ORTC with authority to bind ORTC, and initialed all pages, by email transmission (with original hard copy to follow by U.S. Mail) to Debbie Belmar and Glenn Gebhardt at the email addresses set forth above; and

C.6. You have received confirmation (by email or other writing) from Susan Dell'Osso and Stephen Salvatore or Glenn Gebhardt to record the Recordation Document and complete the Transaction.

D. Closing Process and Priorities

When you have fully satisfied all of the closing requirements set forth in Section D, then you are authorized and instructed to do the following in the chronological order given:

D.1. Date the Recordation Documents to be recorded;

D.2. Record the Paradise Road and Cohen Road Quitclaim Deed executed in favor of River Islands Stage 2B, LLC, a Delaware limited liability company.

D.3. Record the Final Map as the Recordation Document in the Official Records;

D.4. Pay the costs associated with the Transaction;

D.5. Refund any funds delivered to you by RIS2B that are not disbursed at the time of the final Closing pursuant to these Escrow Instructions to the following entity and address:

River Islands Stage 2B, LLC
73 W. Stewart Road
Lathrop, CA 95330
Attn: Susan Dell'Osso

D.6. Notify Susan Dell'Osso, Debbie Belmar, Stephen Salvatore, Glenn Gebhardt and Jose Molina (JMolina@sjgov.org) of the completion of the Transaction;

D.6. Within five (5) business days after each Recordation Date, deliver by overnight delivery via recognized, national, overnight delivery carrier to: (1) Susan Dell'Osso, River Islands Stage 2B, LLC, 73 W. Stewart Road, Lathrop, CA

**JOINT ESCROW INSTRUCTIONS
RECORDATION OF FINAL MAPS
(RIVER ISLANDS AT LATHROP)**

95330; and (2) Mr. Salvador Navarrete, City Attorney, City of Lathrop, 390 Towne Centre Drive, Lathrop, CA 95330:

(A) a certified copy of the Recordation Documents showing all recording information of the Recordation Documents; and

(B) a certified copy of the final Settlement Statement.

E. Additional Instructions

When assembling the final documents, signature pages from all parties shall be inserted into each respective final document in creating fully executed counterparts.

Please acknowledge receipt of these instructions and your agreement to act as Escrow agent in connection with this Transaction in accordance with these Escrow Instructions, by executing and dating a copy of these Escrow Instructions where indicated below, initialing all pages and returning it to both of the undersigned.

The Escrow Instructions may be modified only in a writing signed by both of the undersigned.

Very truly yours,

Stephen J. Salvatore
City Manager
City of Lathrop

Susan Dell'Osso
President
River Islands Stage 2B, LLC

**ESCROW INSTRUCTIONS
ACKNOWLEDGEMENT AND AGREEMENT:**

Receipt of the foregoing Escrow Instructions from RIS2B and the City is hereby acknowledged. The undersigned agrees, for itself, and on behalf of ORTC, to proceed in strict accordance with these Escrow Instructions. The undersigned represents and warrants to RIS2B and the City that the undersigned is authorized to execute this Acknowledgement and Agreement, for itself, and on behalf of ORTC.

Old Republic Title Company

By: _____
Its: _____
Date: _____

RECORDING REQUESTED BY:

Old Republic Title Company

Escrow No.: 1214020942-LR

APN No.:

WHEN RECORDED MAIL TO

River Islands Stage 2B

73 W. Stewart Road

Lathrop, CA 95330

SPACE ABOVE THIS LINE FOR RECORDERS USE

Quit Claim Deed

(Portions of Cohen Road and Paradise Road through Tract 4032)

Monument Preservation Fee is \$0.00

The undersigned grantor(s) declare(s):

Documentary transfer tax is \$0.00 Government Entity R&T 11922

() computed on full value of property conveyed, or

() computed on full value less value of liens and encumbrances remaining at time of sale.

() Unincorporated area: **(X) City of Lathrop** \$0.00

() Realty not sold.

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,
City of Lathrop, a municipal corporation

hereby REMISE(S), RELEASE(S) AND FOREVER QUITCLAIM(S) to
River Islands Stage 2B, LLC, a Delaware limited liability company

that property in Unincorporated area of San Joaquin County, State of California, described as
follows: See "Exhibit A" attached hereto and made a part hereof.

This document is being recorded to eliminate any possible interest in, on, over and across the land described in
the attached Exhibit 'A' as created in the Document recorded October 18, 1934 in Volume 408, of Official
Records, Page 95, San Joaquin County Records.

Mail Tax Statements to Grantee at address above

The City of Lathrop, a municipal corporation

By: Stephen J. Salvatore
Its: City Manager

MAIL TAX STATEMENTS AS DIRECTED ABOVE

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of _____
County of _____

On _____ before me, _____ a Notary Public,
personally appeared _____
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within
instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that
by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted,
executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is
true and correct.

WITNESS my hand and official seal.

Signature: _____

Name: _____
(Typed or Printed)

(Seal)

**EXHIBIT A
LEGAL DESCRIPTION
COHEN ROAD THROUGH TRACT 4032
RIVER ISLANDS
LATHROP, CALIFORNIA**

CERTAIN REAL PROPERTY SITUATE IN THE CITY OF LATHROP, COUNTY OF SAN JOAQUIN, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

BEING A PORTION OF THE PUBLIC ROAD, KNOWN AS COHEN ROAD AND PARADISE ROAD, AS DESCRIBED IN THE INDENTURE BETWEEN RECLAIMED ISLAND LANDS COMPANY AND THE COUNTY OF SAN JOAQUIN, RECORDED OCTOBER 18, 1934, IN VOLUME 408, OF OFFICIAL RECORDS, PAGE 95, IN THE OFFICE OF THE SAN JOAQUIN COUNTY RECORDER, WITHIN TRACT 4032, AS SAID TRACT 4032 IS SHOWN ON THE MAP FILED ON 2020, IN BOOK OF MAPS AND PLATS, AT PAGE, IN THE OFFICE OF THE SAN JOAQUIN COUNTY RECORDER.

ATTACHED HERETO IS A PLAT TO ACCOMPANY LEGAL DESCRIPTION, AND BY THIS REFERENCE MADE A PART HEREOF.

END OF
DESCRIPTION

WILLIAM M. KOCH
PROFESSIONAL LAND
SURVEYOR CALIFORNIA NO.
8092



5-4
DATE

PAGE 1 OF 2

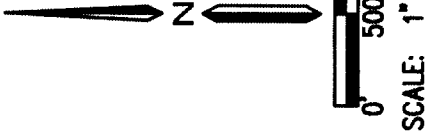
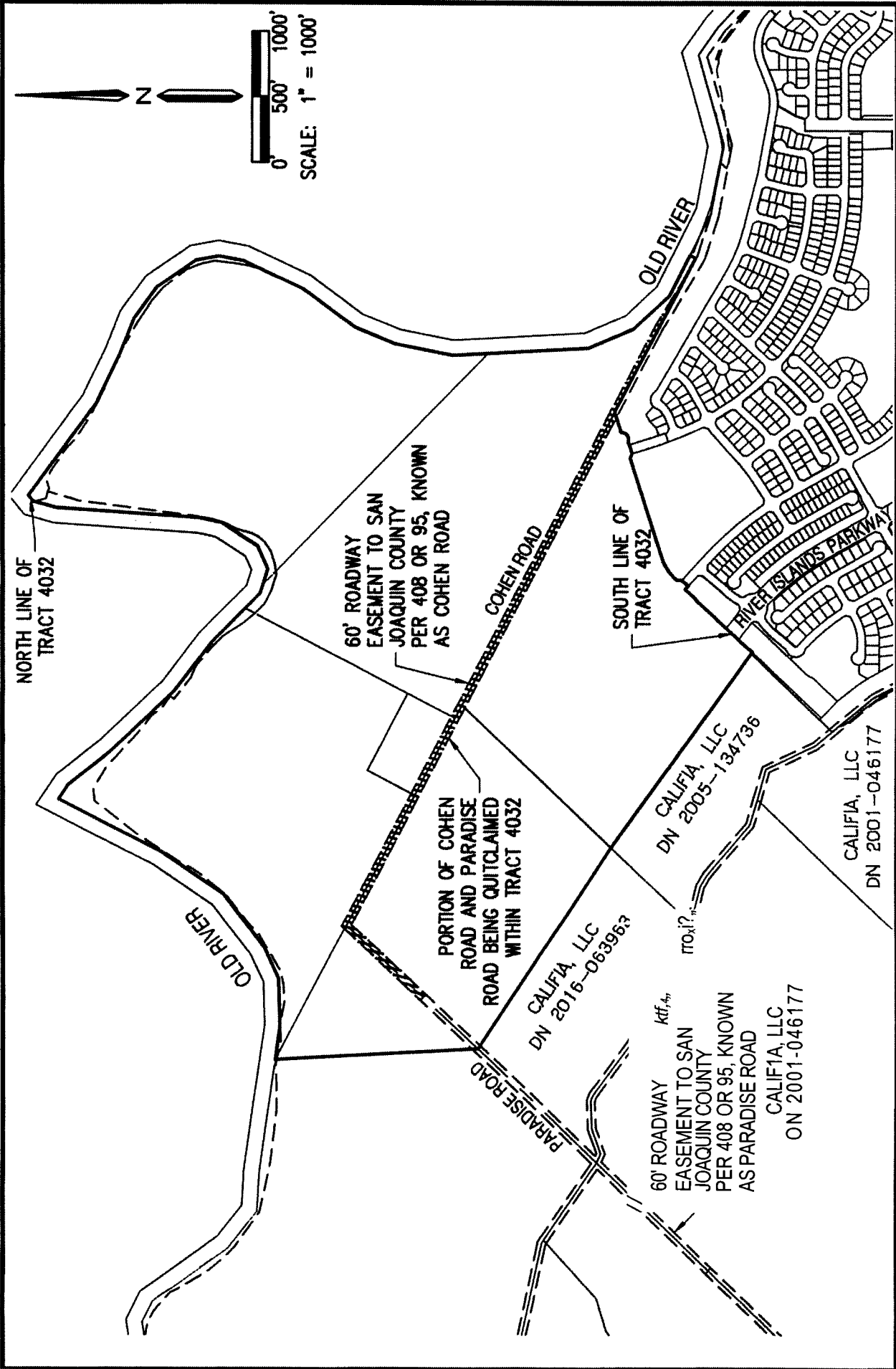


EXHIBIT A

COHEN ROAD AND PARADISE ROAD WITHIN TRACT 4032
RIVER ISLANDS

CITY OF LATHROP
SAN JOAQUIN COUNTY
CALIFORNIA

SCALE: 1" = 1000'
DRAWN BY: JC
FILE: TRACT 4032 DO BIT & DM
DATE: 05/28/2020
SHEET: 2 OF 2

I:\25500-RIVER ISLANDS PHASE 1A\DWG\PLAT\TRACT 4032 COHEN ROAD ABANDONMENT EXHIBIT A\TRACT 4032 EXHIBIT A.DWG

ITEM 4.17

CITY MANAGER'S REPORT JUNE 8, 2020 CITY COUNCIL REGULAR MEETING

ITEM: **ACCEPT STAGE 2A SEWER LIFT STATION AND
FLUSHING STATION IMPROVEMENTS AND
ASSOCIATED GRANT DEEDS**

RECOMMENDATION: **Adopt Resolution Accepting Stage 2A Sewer Lift
Station and Flushing Station Improvements and
Associated Grant Deeds from River Islands Stage 2A,
LLC**

SUMMARY:

River Islands Development, LLC (RID), the developer of the River Islands project in Lathrop, has completed construction of the Stage 2A Sewer Lift Station and Flushing Station Improvements. The improvements include, but are not limited to, sewer mains, pumps, generator, site lighting, paving, sound wall and wrought iron fencing/gate. The approximate value of the combined improvements being accepted is \$1,167,450, as shown in the project GASB 34 Reports. The property for the Stage 2A Sewer Lift Station and Flushing Station was previously transferred from River Islands Development, LLC to River Islands Stage 2A, LLC. River Islands Stage 2A, LLC has provided grant deeds to dedicate the land for the Sewer Lift Station and Flushing Station to the City.

Staff requests that City Council accept the Stage 2A Sewer Lift Station and Flushing Station Improvements and associated Grant Deeds from River Islands Stage 2A, LLC.

BACKGROUND:

River Islands Development, LLC (RID), the developer of the River Islands project in Lathrop, has completed construction of the Stage 2A Sewer Lift Station and Flushing Station Improvements. The improvements include, but are not limited to, sewer mains, pumps, generator, site lighting, paving, sound wall and wrought iron fencing/gate. The approximate value of the combined improvements being accepted is \$1,167,450, as shown in the project GASB 34 Reports, included as Attachments C and D. The property for the Stage 2A Sewer Lift Station and Flushing Station was previously transferred from River Islands Development, LLC to River Islands Stage 2A, LLC. River Islands Stage 2A, LLC has provided grant deeds to dedicate the land for the Sewer Lift Station and Flushing Station to the City.

Per the Lathrop Municipal Code 16.16.160 Improvements, "Upon the completion of the required improvements by the subdivider, the City Engineer shall make a final inspection of the subdivision. If upon inspection, it is found that all improvements have been installed in accordance with approved plans and specifications, the City Engineer shall transmit such findings to the City Council."

JUNE 8, 2020 CITY COUNCIL REGULAR MEETING**ACCEPT STAGE 2A SEWER LIFT STATION AND FLUSHING STATION IMPROVEMENTS AND GRANT DEEDS FROM RIVER ISLANDS STAGE 2A, LLC**

The City Engineer has inspected the Stage 2A Sewer Lift Station and Flushing Station Improvements and deemed them complete and in accordance with the approved plans and specifications.

Staff has received the required documents associated with the acceptance from River Islands for both the Sewer Lift Station and the Flushing Station, including as-built plans, warranty bonds, O&M manuals, waiver and releases, and land dedications. Performance and labor and materials bonds were not provided with the project and therefore no bonds will be released with this acceptance.

Staff requests that City Council accept the Stage 2A Sewer Lift Station and Flushing Station Improvements and associated Grant Deeds from River Islands Stage 2A, LLC.

REASON FOR RECOMMENDATION:

River Islands Development, LLC has completed its obligation to construct the Stage 2A Sewer Lift Station and Flushing Station improvements. Staff requests that City Council accept the improvements for Stage 2A Sewer Lift Station and Flushing Station.

FISCAL IMPACT:

The approximate value of the improvements being accepted is \$1,167,450, according to the project GASB 34 Reports.

The City's maintenance costs for the Stage 2A Sewer Lift Station are included in the operating budget for the Lathrop Consolidated Treatment Facility recycled water system.

ATTACHMENTS:

- A. Resolution Accepting Stage 2A Sewer Lift Station and Flushing Station Improvements and Associated Grant Deeds from River Islands Stage 2A, LLC
- B. Site Location Map of Stage 2A Sewer Lift Station and Flushing Station
- C. GASB 34 Report; River Islands 2A Sewer Lift Station; dated November 19, 2019
- D. GASB 34 Report; River Islands 2A Sewer Flushing Station; dated May 19, 2020
- E. Grant Deed – Stage 2A Sewer Lift Station Site
- F. Grant Deed – Stage 2A Sewer Flushing Station Site

CITY MANAGER'S REPORT
JUNE 8, 2020 CITY COUNCIL REGULAR MEETING
ACCEPT STAGE 2A SEWER LIFT STATION AND FLUSHING STATION
IMPROVEMENTS AND GRANT DEEDS FROM RID

APPROVALS:



Ken Reed
Senior Construction Manager

5-26-2020

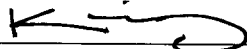
Date



Michael King
Director of Public Works

5-26-2020

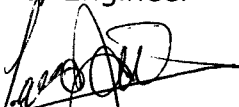
Date

 FOR

Glenn Gebhardt
City Engineer

5-28-2020

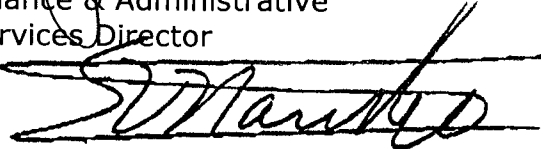
Date



Cari James
Finance & Administrative
Services Director

5-29-2020

Date



Salvador Navarrete
City Attorney

5/27/2020

Date



Stephen J. Salvatore
City Manager

6-3-2020

Date

RESOLUTION NO. 20-

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LATHROP ACCEPTING STAGE 2A SEWER LIFT STATION AND FLUSHING STATION IMPROVEMENTS AND ASSOCIATED GRANT DEEDS FROM RIVER ISLANDS STAGE 2A, LLC

WHEREAS, River Islands Development, LLC (RID), the developer of the River Islands project in Lathrop, has completed construction of the Stage 2A Sewer Lift Station and Flushing Station Improvements; and

WHEREAS, the approximate value of the combined improvements being accepted is \$1,167,450 as shown in the project GASB 34 Reports; and

WHEREAS, the property for the Stage 2A Sewer Lift Station and Flushing Station was previously transferred from River Islands Development, LLC to River Islands Stage 2A, LLC. River Islands Stage 2A, LLC has provided grant deeds to dedicate the land for the Sewer Lift Station and Flushing Station to the City; and

WHEREAS, the City Engineer has inspected the Stage 2A Sewer Lift Station and Flushing Station Improvements and deemed them complete and in accordance with the approved plans and specifications; and

WHEREAS, staff has received the required documents associated with the acceptance from RID for both the Sewer Lift Station and the Flushing Station including as-built plans, warranty bonds, O&M manuals, waiver and releases, and land dedications; and

WHEREAS, performance and labor and materials bonds were not provided with the project and therefore no bonds will be released with this acceptance; and

WHEREAS, staff requests that City Council accept the Stage 2A Sewer Lift Station and Flushing Station Improvements and associated Grant Deeds from River Islands Stage 2A, LLC.

NOW, THEREFORE, BE IT RESOLVED, that the City Council of the City of Lathrop does hereby accept the Stage 2A Sewer Lift Station and Flushing Station Improvements and associated Grant Deeds from River Islands Stage 2A, LLC.

The foregoing resolution was passed and adopted this 8th day of June 2020, by the following vote of the City Council, to wit:

AYES:

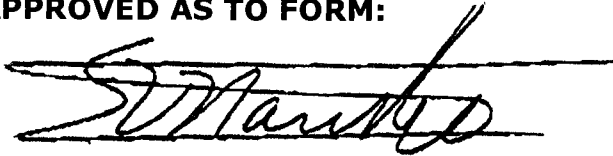
NOES:

ABSTAIN:

ABSENT:

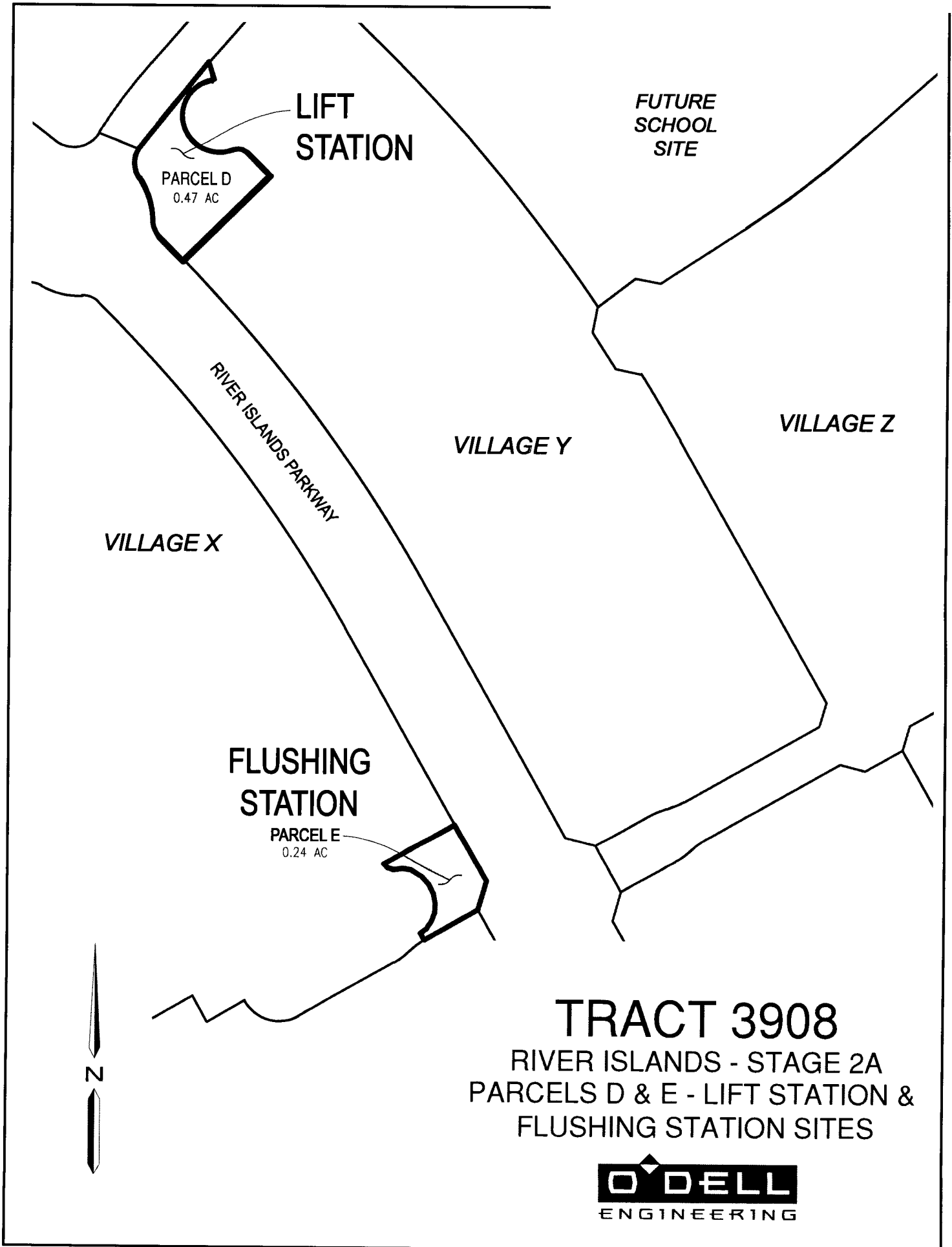
Sonny Dhaliwal, Mayor

ATTEST:

APPROVED AS TO FORM:


Salvador Navarrete, City Attorney

Teresa Vargas, City Clerk



TRACT 3908
RIVER ISLANDS - STAGE 2A
PARCELS D & E - LIFT STATION &
FLUSHING STATION SITES



Attachment C

CITY OF LATHROP PROJECT ACCEPTANCE (GASB 34 REPORT)

Project Name: River Islands 2A Sewer Lift Station

Submitted by: PACE

Date: 11/19/2019

	<u>Item</u>	<u>Unit</u>	<u>Qty</u>	<u>Unit Price</u>	<u>Total Price</u>
1	wet well precast concrete vault & hatches	each	1	\$ 150,000	\$ 150,000
2	valve box precast concrete vault & hatch	each	1	\$ 80,000	\$ 80,000
3	concrete slab floors, equipment pads	yd3	35	\$ 700	\$ 24,500
4	equipment building	sf	350	\$ 300	\$ 105,000
5	HVAC	each	1	\$ 10,000	\$ 10,000
6	24" C905 PVC sewer main	LF	40	\$ 200	\$ 8,000
7	30" C905 PVC sewer main	LF	45	\$ 250	\$ 11,250
8	8" PVC drainage pipe	LF	25	\$ 50	\$ 1,250
9	manhole	each	2	\$ 5,000	\$ 10,000
10	stormdrain catch basin	each	1	\$ 2,000	\$ 2,000
11	1 1/2" SS water line, hose bibs & backflow	lump sum	1	\$ 5,000	\$ 5,000
12	Chemical Injection Tubing in PVC Pipe Sleeve	lump sum	1	\$ 2,000	\$ 2,000
13	site paving	SF	7000	\$ 4	\$ 28,000
14	sound walls fence	SF	2100	\$ 20	\$ 42,000
15	wrought iron sliding gate	each	1	\$ 6,000	\$ 6,000
16	Sewer submersible pumps including rails	each	2	\$ 40,000	\$ 80,000
17	8" check and plug valves	each	4	\$ 5,000	\$ 20,000
18	chemical injection Systems w/tanks etc	lump sum	1	\$ 70,000	\$ 70,000
19	valve vault drain line and fittings	lump sum	1	\$ 5,000	\$ 5,000
20	8"& 12" DI piping	lump sum	1	\$ 20,000	\$ 20,000
21	12" flowmeters	each	1	\$ 15,000	\$ 15,000
22	level and pressure transducers	each	2	\$ 2,000	\$ 4,000
23	backup switches and floats	each	4	\$ 1,000	\$ 4,000
24	yard electrical power	LF	450	\$ 150	\$ 67,500
25	SES	lump sum	1	\$ 40,000	\$ 40,000
26	MCC, VFD	each	1	\$ 120,000	\$ 120,000
27	Misc j, pull, gutter boxes, disconnects	each	5	\$ 2,500	\$ 12,500
28	100 KW Generator	each	1	\$ 60,000	\$ 60,000
29	local conduit and wire	lump sum	1	\$ 25,000	\$ 25,000
30	lighting / receps	lump sum	1	\$ 20,000	\$ 20,000
31	new control hardware	lump sum	1	\$ 30,000	\$ 30,000
32	SCADA, other hardware	lump sum	1	\$ 30,000	\$ 30,000

Total: \$ 1,108,000.00

CITY OF LATHROP
 PROJECT ACCEPTANCE
 (GASB 34 REPORT)

Project Name: River Islands 2A Flushing Station

Submitted by: PACE

Date: 5/19/2020

	<u>Item</u>	<u>Unit</u>	<u>Qty</u>	<u>Unit Price</u>	<u>Total Price</u>
1	concrete basins	yd3	10	\$ 20	\$ 200
2	CMU enclosure wall	yd3	5	\$ 700	\$ 3,500
3	wrought iron gates	SF	210	\$ 10	\$ 2,100
4	8" C900 PVC recycled water line	each	2	\$ 1,000	\$ 2,000
5	12" C900 PVC flushing line to POC	LF	20	\$ 70	\$ 1,400
6	8" flow control valves with solenoid control	LF	50	\$ 100	\$ 5,000
7	8" butterfly valve	each	2	\$ 18,000	\$ 36,000
8	8" DIP above grade pipe and fittings	each	1	\$ 2,000	\$ 2,000
9	aluminum grate	LF	15	\$ 50	\$ 750
10	120v electrical power and control for (2) valves	SF	150	\$ 30	\$ 4,500
11	Radio	each	1	\$ 2,000	\$ 2,000

Total: \$ 59,450.00

**RECORDING REQUESTED BY, AND
WHEN RECORDED MAIL TO:**

 COPY

CITY OF LATHROP
ATTN: CITY CLERK
390 TOWNE CENTRE DRIVE
LATHROP, CA 95330
Exempt from payment of recording fees (GC 27383)

SPACE ABOVE THIS LINE FOR RECORDER'S USE

**GRANT DEED
STAGE 2A SEWER LIFT STATION SITE**

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged, **RIVER ISLANDS STAGE 2A, LLC**, a Delaware limited liability company ("**Grantor**"), hereby grants to the **CITY OF LATHROP** a California municipal corporation ("**Grantee**"), that certain real property located in the City of Lathrop, County of San Joaquin, State of California, along with all improvements thereon, as described in the legal description attached hereto as Attachment "A" ("**Land**") incorporated herein by this reference.

Grantor intends to convey with the Land any and all riparian rights or other water interests to which the Land is entitled therein appurtenant or relating to the Property, whether such water rights shall be riparian, overlying, littoral, percolating, prescriptive, adjudicated, statutory or contractual ("**Water Rights**").

While Grantor intends to transfer the Water Rights with the Land, it does not intend by this grant to sever the riparian rights of the surrounding properties. With this conveyance Grantor intends to retain to any and all land surrounding the Property all riparian rights to which those lands are entitled.

Notwithstanding the above grant, Grantor intends to except and reserve unto Grantor, its successors and assigns, together with the right to grant and transfer all or a portion of the same:

- A. All rights that the Land may have in and to that Water Right License 2637 (Application 5155/Permit 2720) granted by the State Water Resources Control Board and held by Island Reclamation District No. 2062.

B. The right and power to utilize, convey, remove, treat, and store the Water Rights from the Land, to divert or otherwise utilize such water, rights or interests on the Land or other property, but without, however any right to enter upon the surface of the Land in the exercise of such rights.

C. All oil, oil rights, minerals, mineral rights, natural gas rights and other hydrocarbons by whatsoever name known, geothermal steam and all products derived from any of the foregoing, that may be within or under the Land, together with the perpetual right of drilling, mining, exploring and operating therefor and storing in and removing the same from said Land or any other land including the right to whipstock or directionally drill and mine from lands other than the Land, oil or gas wells, tunnels and shafts into, through or across the subsurface of the Land, and to bottom such whipstocked or directionally drilled wells, tunnels and shafts under and beneath or beyond the exterior limits thereof, and to redrill, retunnel, equip, maintain, repair, deepen and operate any such wells or mines without, however, the right to drill, mine, store, explore or operate through the surface or the upper five hundred feet (500') of the subsurface of the Land.

SUBJECT TO:

1. General and special real property taxes and assessments and supplemental assessments, if any, for the current fiscal year.
2. Rights or claims of parties in possession not shown by the public records.
3. Encroachments, overlaps, boundary line disputes, or other matters which would be disclosed by an accurate survey or inspection of the premises.

IN WITNESS WHEREOF, Grantor has executed this Grant Deed as of June ____, 2020.

GRANTOR:

RIVER ISLANDS STAGE 2A, LLC
a Delaware limited liability company

By: _____
Susan Dell'Osso, President

[ATTACH NOTARY ACKNOWLEDGMENT]

ATTACHMENT A

Legal Description of Land – Stage 2A Sewer Lift Station

(Attached)

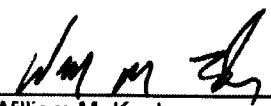
LEGAL DESCRIPTION
SANITARY SEWER LIFT STATION
RIVER ISLANDS, STAGE 2A
LATHROP, CALIFORNIA

THAT CERTAIN REAL PROPERTY SITUATE IN THE CITY OF LATHROP, COUNTY OF SAN JOAQUIN, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

BEING ALL OF PARCEL D, AS SAID PARCEL IS SHOWN ON THE MAP ENTITLED "TRACT 3908, RIVER ISLANDS, STAGE 2A, LARGE LOT FINAL MAP", FILED SEPTEMBER 20, 2018, IN BOOK 43 OF MAPS AND PLATS, AT PAGE 52, OFFICIAL RECORDS OF SAN JOAQUIN COUNTY.

END DESCRIPTION

THIS REAL PROPERTY DESCRIPTION HAS BEEN PREPARED BY ME, OR UNDER MY DIRECTION, IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYOR'S ACT.



William M. Koch
Professional Land Surveyor
California No. 8092



3/23/20
Date

ATTACHMENT B

Tract 3908 – River Islands – Stage 2A – Large Lot Final Map

(Attached)

43-52

TRACT 3908 RIVER ISLANDS - STAGE 2A LARGE LOT FINAL MAP

A PORTION OF RANCHO EL PESQUERO, ALSO BEING A PORTION OF TOWNSHIPS 1 AND 2 SOUTH, RANGE 6 EAST, M.D.M., A SUBDIVISION OF PARCELS 2, 6 AND 8 AS DESCRIBED PER DOCUMENT NO. 2018-004077, AND PARCEL 4 OF TRACT 3908 (4) MAP 172, SAN JOAQUIN COUNTY RECORDS



PROJECT SITE

VICINITY MAP
NOT TO SCALE

SECRETARY OF THE PLANNING COMMISSION'S STATEMENT

THIS MAP CONFORMS TO TENTATIVE MAP NO. 3694 APPROVED BY THE PLANNING COMMISSION
DATED THIS 6th DAY OF JULY 2018

Mark Messner
MARK MESSNER, COMMUNITY DEVELOPMENT ASSISTANT DIRECTOR
CITY OF LATHROP

CITY ENGINEERS STATEMENT

I, CLARENCE GIBSON, hereby state that I am the City Engineer of the City of Lathrop, California and that I have examined this final map of Tract 3908 River Islands, Stage 2A, and that the same complies with all applicable provisions of the California Subdivision Map Act, and that the same complies with all applicable provisions of the City of Lathrop, California, and that the same complies with all applicable provisions of the City of Lathrop, California, and that the same complies with all applicable provisions of the City of Lathrop, California, and that the same complies with all applicable provisions of the City of Lathrop, California.

DATED THIS 6th DAY OF July 2018

Alison Schuchardt
ALISON SCHUCHART, CITY ENGINEER OF THE CITY OF LATHROP, CALIFORNIA

RECORDER'S STATEMENT

I, CLARENCE GIBSON, hereby state that I am the City Engineer of the City of Lathrop, California and that I have examined this final map of Tract 3908 River Islands, Stage 2A, and that the same complies with all applicable provisions of the California Subdivision Map Act, and that the same complies with all applicable provisions of the City of Lathrop, California, and that the same complies with all applicable provisions of the City of Lathrop, California, and that the same complies with all applicable provisions of the City of Lathrop, California.

DATED THIS 6th DAY OF July 2018

Steve Restorares
STEVE RESTORARES, ASSESSOR-RECORDER-COUNTY CLERK
SAN JOAQUIN COUNTY, CALIFORNIA

SHEET 1 OF 22

43-52

CITY CLERK'S STATEMENT

I, TERESA VERRAS, CITY CLERK AND CLERK OF THE CITY COUNCIL OF THE CITY OF LATHROP, STATE OF CALIFORNIA, DO HEREBY STATE THAT THE RECORD DIBBED MAP ENTITLED "TRACT 3908 RIVER ISLANDS, STAGE 2A, LARGE LOT FINAL MAP" OF THE CITY OF LATHROP, CALIFORNIA, AS SHOWN ON SAID MAP SHEETS, SAID STATEMENT WAS PRESENTED TO SAID CITY COUNCIL AS PROVIDED BY LAW AT A REGULAR MEETING THEREOF, HELD ON THE 9th DAY OF JULY, 2018, AND THAT SAID CITY COUNCIL DID THEREUPON BY RESOLUTION NO. 18-072 DULY PASSED AND ADOPTED AT SAID MEETING, APPROVE SAID MAP, AND AUTHORIZED ITS RECORDECTION, AND RECEIVED THE OFFER OF COMPENSATION TO SAID CITY CLERK AND CLERK OF THE CITY COUNCIL AS PROVIDED BY LAW, AND COMPLETED IN ACCORDANCE WITH CHAPTER 10, TITLE 18.10 OF THE CITY OF LATHROP MUNICIPAL CODE.

ALSO, PURSUANT TO SECTION 64540(c) OF THE CALIFORNIA SUBDIVISION MAP ACT, THE CITY OF LATHROP DOES HEREBY ABANDON THE RECLAIMED WATER LINE DRAINAGE RECORDED JUNE 2, 2008, AS DOCUMENT NUMBER 2008-11536, OFFICIAL RECORDS OF SAN JOAQUIN COUNTY, FOR ALL OF SAID RECLAIMED WATER LINE DRAINAGE WITH SAID TRACT 3908, ALL AS DEPICTED ON SHEET 3 HEREIN.

I FURTHER STATE THAT ALL BONDS AS REQUIRED BY LAW TO ACCOMPANY THE WITHIN MAP, IF APPLICABLE, HAVE BEEN APPROVED BY THE CITY COUNCIL OF LATHROP AND FILED IN MY OFFICE.

Teresa Verras
TERESA VERRAS
CITY CLERK AND CLERK OF THE CITY COUNCIL OF THE CITY OF LATHROP, COUNTY OF SAN JOAQUIN, STATE OF CALIFORNIA

ACKNOWLEDGEMENT CERTIFICATE (TRUSTEE)

A NOTARY PUBLIC OR OTHER OFFICER COMPLETING THIS CERTIFICATE VERIFIES ONLY THE IDENTITY OF THE INDIVIDUAL WHO SIGNED THE DOCUMENT TO WHICH THIS CERTIFICATE IS ATTACHED, AND NOT THE TRUTHFULNESS, ACCURACY, OR VALIDITY OF THAT DOCUMENT.

STATE OF CALIFORNIA }
COUNTY OF SAN JOAQUIN }

ON June 29 2018 BEFORE ME, Debbie E. Beimer WHO PROVED TO A NOTARY PUBLIC, PERSONALLY APPEARED, Susan J. Lasso (S/NAME) (S/NAME) WHO PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE/SHE/IT/HEY EXERCISED THE SAME IN HIS/HER/HEIR AUTHORIZED CAPACITY(IES), AND THAT BY HIS/HER/HEIR SIGNATURE(S) ON THE INSTRUMENT THE PERSON(S) OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THE INSTRUMENT.

I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND:
Debbie E. Beimer
DEBBIE E. BEIMER
NOTARY PUBLIC, BUSINESS LICENSE NO. 2168047
MY COMMISSION EXPIRES 7-30-2021

OWNERS STATEMENT

THE UNDERSIGNED DOES HEREBY STATE THAT THEY ARE THE OWNERS OF ALL THE LAND DESCRIBED AND SHOWN ON THIS FINAL MAP, AND THAT THE WITHIN MAP SHEETS, SAID STATEMENT WAS PRESENTED TO SAID CITY COUNCIL AS PROVIDED BY LAW AT A REGULAR MEETING THEREOF, HELD ON THE 9th DAY OF JULY, 2018, AND THAT SAID CITY COUNCIL DID THEREUPON BY RESOLUTION NO. 18-072 DULY PASSED AND ADOPTED AT SAID MEETING, APPROVE SAID MAP, AND AUTHORIZED ITS RECORDECTION, AND RECEIVED THE OFFER OF COMPENSATION TO SAID CITY CLERK AND CLERK OF THE CITY COUNCIL AS PROVIDED BY LAW, AND COMPLETED IN ACCORDANCE WITH CHAPTER 10, TITLE 18.10 OF THE CITY OF LATHROP MUNICIPAL CODE.

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THE UNDERSIGNED DOES HEREBY STATE THAT THEY ARE THE OWNERS OF ALL THE LAND DESCRIBED AND SHOWN ON THIS FINAL MAP, AND THAT THE WITHIN MAP SHEETS, SAID STATEMENT WAS PRESENTED TO SAID CITY COUNCIL AS PROVIDED BY LAW AT A REGULAR MEETING THEREOF, HELD ON THE 9th DAY OF JULY, 2018, AND THAT SAID CITY COUNCIL DID THEREUPON BY RESOLUTION NO. 18-072 DULY PASSED AND ADOPTED AT SAID MEETING, APPROVE SAID MAP, AND AUTHORIZED ITS RECORDECTION, AND RECEIVED THE OFFER OF COMPENSATION TO SAID CITY CLERK AND CLERK OF THE CITY COUNCIL AS PROVIDED BY LAW, AND COMPLETED IN ACCORDANCE WITH CHAPTER 10, TITLE 18.10 OF THE CITY OF LATHROP MUNICIPAL CODE.

OWNER: RIVER ISLANDS DEVELOPMENT, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY

BY: *Susan J. Lasso*
SUSAN J. LASSO
PRESIDENT
DATE: 6/29/18

DATED THIS 29th DAY OF June, 2018

OLD REPUBLIC TITLE COMPANY, AS TRUSTEE, UNDER THE DEED OF TRUST RECORDED DECEMBER 22, 2016, AS DOCUMENT NUMBER 2016-11536, OFFICIAL RECORDS OF SAN JOAQUIN COUNTY.

BY: *Mark Messner*
MARK MESSNER
VICE PRESIDENT

ACKNOWLEDGEMENT CERTIFICATE (OWNERS)

A NOTARY PUBLIC OR OTHER OFFICER COMPLETING THIS CERTIFICATE VERIFIES ONLY THE IDENTITY OF THE INDIVIDUAL WHO SIGNED THE DOCUMENT TO WHICH THIS CERTIFICATE IS ATTACHED, AND NOT THE TRUTHFULNESS, ACCURACY, OR VALIDITY OF THAT DOCUMENT.

STATE OF CALIFORNIA }
COUNTY OF SAN JOAQUIN }

ON June 29 2018 BEFORE ME, Debbie E. Beimer WHO PROVED TO A NOTARY PUBLIC, PERSONALLY APPEARED, Susan J. Lasso (S/NAME) (S/NAME) WHO PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE/SHE/IT/HEY EXERCISED THE SAME IN HIS/HER/HEIR AUTHORIZED CAPACITY(IES), AND THAT BY HIS/HER/HEIR SIGNATURE(S) ON THE INSTRUMENT THE PERSON(S) OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THE INSTRUMENT.

I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND:
Debbie E. Beimer
DEBBIE E. BEIMER
NOTARY PUBLIC, BUSINESS LICENSE NO. 2168047
MY COMMISSION EXPIRES 7-30-2021

43-52B

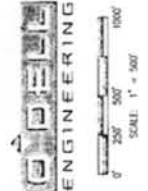
TRACT 3908 RIVER ISLANDS - STAGE 2A LARGE LOT FINAL MAP

A PORTION OF RANCHO EL PESQUERO, ALSO BEING A PORTION OF TOWNSHIPS 1 AND 2 SOUTH, RANGE 6 EAST, MD.M., A SUBDIVISION OF PARCELS 2, 6 AND 8 AS DESCRIBED PER DOCUMENT NO. 2016-040777, AND PARCEL 4 OF TRACT 3908 (4) MAP 12), SAN JOAQUIN COUNTY, CALIFORNIA
CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA
JUNE 2018

LEGEND (SHEETS 3 THROUGH 5 ONLY)

- ⊙ MONUMENT TO BE SET PER (R/T), UNLESS OTHERWISE NOTED
- SET 5/8" REBAR WITH CAP STAMPED "7.5 7786"
- FOUND 5/8" REBAR WITH CAP STAMPED "7.5 7786" PER (R2), UNLESS OTHERWISE NOTED
- FOUND MONUMENT PER (R) AS NOTED
- ⊙ MONUMENT TO BE SET PER TRACT 3908 (R2)
- ⊙ MONUMENT TO BE SET PER TRACT 3904 (R11)
- ⊙ 3/4" IRON PIPE TO BE SET PER (R)
- BOUNDARY
- LOT LINE OR RIGHT-OF-WAY LINE
- EASEMENT LINE
- CENTER LINE
- MONUMENT LINE
- MEASURED AND RECORD DATA PER REFERENCE (R1)
- DOTTED REFERENCE (R1) - SEE REFERENCE LIST ON SHEET 2
- MONUMENT TO MONUMENT
- MAGN. BEARING
- TOTAL
- BOUNDARY
- DOCUMENT NUMBER
- OPTIONAL RECORD
- MONUMENT
- PUBLIC UTILITY EASEMENT
- EASEMENT REFERENCE NUMBER
- ① 1.17" BRASS DISK STAMPED "7.5 7786" ON 1 FOOT OFFSET PER (R17)
- ② 3/4" IRON PIPE WITH CAP "7.5 7786" PER (R17)
- ③ 5/8" REBAR WITH CAP "7.5 7786" PER (R17)

- ## EASEMENTS
- 1 60' WIDE ROADWAY EASEMENT IN FAVOR OF CITY OF LATHROP PER 199 O.R. 712, S.I.C.R. (STREET ROAD)
 - 2 60' WIDE ROADWAY EASEMENT IN FAVOR OF CITY OF LATHROP PER 199 O.R. 535, S.I.C.R. (STREET ROAD)
 - 3 60' WIDE ROADWAY EASEMENT IN FAVOR OF CITY OF LATHROP PER 408 O.R. 95, S.I.C.R. (OPEN ROAD)
 - 4 POLE LINE EASEMENT PER 208 O.R. 293, S.I.C.R. (NO NORTH OVEN)
 - 5 POLE LINE EASEMENT PER 533 O.R. 202, S.I.C.R. (NO NORTH OVEN)
 - 6 LEVEE EASEMENT IN FAVOR OF SACRAMENTO & SAN JOAQUIN DRAINAGE DISTRICT PER 2024 O.R. 557, S.I.C.R. (EXACT LOCATION NOT DEFINED OF RECORD) PORTION OBTAINED PER DN 2015-111337 AND DN 2015-111339.
 - 7 LEVEE EASEMENT IN FAVOR OF SACRAMENTO & SAN JOAQUIN DRAINAGE DISTRICT PER 2024 O.R. 565, S.I.C.R. (EXACT LOCATION NOT DEFINED OF RECORD)
 - 8 LEVEE EASEMENT IN FAVOR OF SACRAMENTO & SAN JOAQUIN DRAINAGE DISTRICT PER 2143 O.R. 459, S.I.C.R. PORTION OBTAINED PER DN 2015-111337 AND DN 2015-111339.
 - 9 RECLAIMED WATER LINE EASEMENT IN FAVOR OF THE CITY OF LATHROP PER DN 2008-119480, S.I.C.R.
 - 10 LEVEE EASEMENT IN FAVOR OF ISLAND RECLAMATION DISTRICT 2062 PER DN 2016-040827, S.I.C.R. (PORTION OBTAINED PER DN 2017-126844)
 - 11 LEVEE EASEMENT IN FAVOR OF ISLAND RECLAMATION DISTRICT 2062 PER DN 2016-040828, S.I.C.R. (DOES NOT AFFECT THE SUBJECT PROPERTY)
 - 12 LEVEE EASEMENTS IN FAVOR OF SACRAMENTO & SAN JOAQUIN DRAINAGE DISTRICT PER DN 2015-111333, S.I.C.R.
 - 13 COVENANTS AND CONDITIONS AS DISCLOSED PER DN 2001-046177, S.I.C.R.
 - 14 STAGE 2A LEVEE EASEMENT IN FAVOR OF ISLAND RECLAMATION DISTRICT 2062 PER DN 2016-040829, S.I.C.R.
 - 15 STAGE 2B LEVEE EASEMENT IN FAVOR OF ISLAND RECLAMATION DISTRICT 2062 PER DN 2016-040830, S.I.C.R.



DETAIL C NOT TO SCALE

BASIS OF BEARINGS

THE BEARING OF NORTH "AZ0130" EAST BETWEEN FOUND MONUMENTS ALONG THE NORTH LINE OF PARCELS 16 AND 18 AS SHOWN ON TRACT 2876, FILED MARCH 31, 2016, IN BOOK 47 OF MAPS AND PLATS, AT PAGE 36, OFFICIAL RECORDS OF SAN JOAQUIN COUNTY, WAS TAKEN AS THE BASIS OF BEARINGS SHOWN ON THIS MAP (ZONE 3, NAD83). ALL DISTANCES SHOWN HEREIN ARE ROUND DISTANCES.

NOTES

1. SEE SHEET 2 FOR ADDITIONAL NOTES, REFERENCES, AND THE LINE TABLE & CURVE TABLE OF COURSES SHOWN ON SHEETS 1, 2, 3, 4, 5, AND 6.
2. ALL OF THE RECLAIMED WATER LINE EASEMENT PER DOCUMENT NUMBER 2008-119480 WITHIN TRACT 3908 IS BEING ABANDONED BY THIS FINAL MAP. PLEASE REFER TO THE CITY CLERK'S STATEMENT ON SHEET 1.
3. THIS SUBDIVISION CONTAINS 440.53 ACRES, MORE OR LESS.

43-52B

43-52 D

TRACT 3908 RIVER ISLANDS - STAGE 2A LARGE LOT FINAL MAP

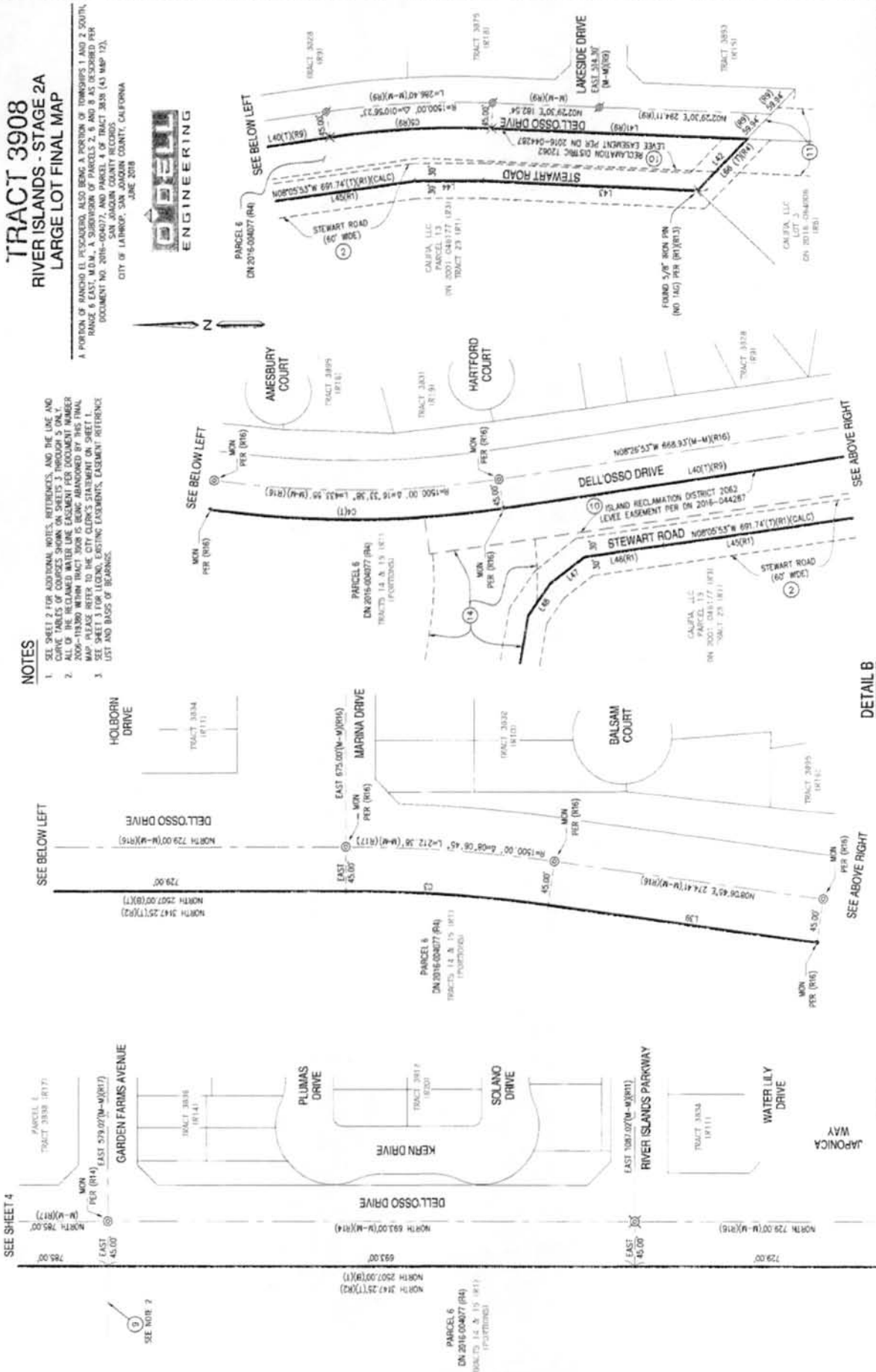
A PORTION OF RANCHO EL PESQUERO, ALSO BEING A PORTION OF TOWNSHIPS 1 AND 2 SOUTH, RANGE 6 EAST, M.D.M., A SUBDIVISION OF PARCELS 2, 6 AND 8 AS DESCRIBED PER DOCUMENT NO. 2016-00477, AND PARCEL 4 OF TRACT 3828 (43 MAP 12), SAN JUAN BAPTIST COUNTY, CALIFORNIA

JUNE 2018



NOTES

1. SEE SHEET 2 FOR ADDITIONAL NOTES, REFERENCES, AND THE LINE AND CURVE TABLES OF CURVES SHOWN ON SHEETS 3 THROUGH 5 ONLY.
2. ALL OF THE RECLAIMED WATER LINE EASEMENT PER DOCUMENT NUMBER 2009-11300 WITHIN TRACT 3908 IS BEING ABANDONED BY THIS FINAL MAP. ALL REFERENCES TO THE CITY CLERK'S STATEMENTS ON SHEET 12 OF THIS SHEET ARE TO BE DELETED. SEE SHEET 12 FOR A COMPLETE LIST AND BASIS OF BEARINGS.
3. SEE SHEET 1 FOR A COMPLETE LIST OF EXISTING EASEMENTS, EASEMENT REFERENCE LIST AND BASIS OF BEARINGS.



DETAIL B
NOT TO SCALE
(FROM SHEET 3)

43-52 D

43-52 E

TRACT 3908 RIVER ISLANDS - STAGE 2A LARGE LOT FINAL MAP

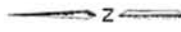
A PORTION OF RANCHO EL ESCOBEDO, ALSO BEING A PORTION OF TOWNSHIPS 1 AND 2 SOUTH,
RANGE 8 EAST, M.D.M., A SUBDIVISION OF PARCELS 2, 6 AND 8 AS DESCRIBED PER
DOCUMENT NO. 2018-004077, AND PARCEL 4 OF TRACT 3838 (43 MAP 12),
SAN JOAQUIN COUNTY RECORDS,
CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA
JUNE 2018



SHEET INDEX

LEGEND

- BOUNDARY
- LOT LINE
- EXISTING ROADWAY EXCERPT
- SHEET NUMBER



SHEET 6 OF 22

43-52 E

43-52F

TRACT 3908 RIVER ISLANDS - STAGE 2A LARGE LOT FINAL MAP

A PORTION OF RANCHO EL PESQUERO, ALSO BEING A PORTION OF TOWNSHIPS 1 AND 2 SOUTH, RANGE 6 EAST, M.D.M., A SUBDIVISION OF PARCELS 2, 6 AND 8 AS DESCRIBED PER DOCUMENT NO. 2018-004877, AND PARCEL 4 OF TRACT 3838 (43 MBP 12), SAN JOAQUIN COUNTY RECORDS, SAN JOAQUIN COUNTY, CALIFORNIA
JUNE 2018

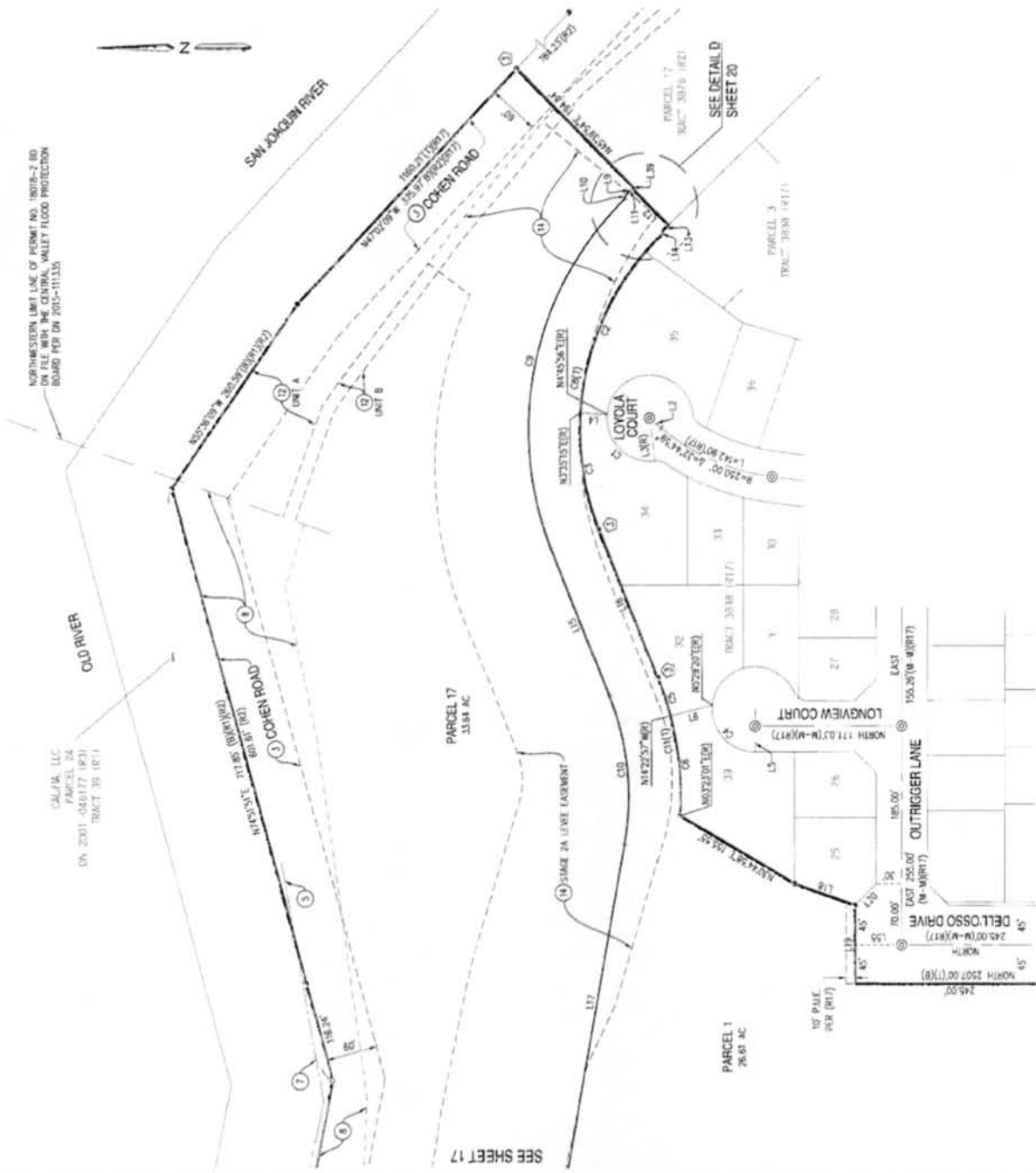


LEGEND

- SET 5/8" REBAR WITH CAP STAMPED "PLS 7788"
- △ SET 2-1/2" BRASS DISK STAMPED "PLS 7788"
- FOUND 5/8" REBAR WITH CAP STAMPED "PLS 7788" PER (R2), UNLESS OTHERWISE NOTED
- 3/4" IRON PIPE TO BE SET PER (R9)
- ⊗ MONUMENT TO BE SET, STAMPED "PLS 7788" PER (R2)
- ⊙ MONUMENT TO BE SET PER (R17), UNLESS OTHERWISE NOTED
- ⊕ SET STANDARD CITY OF LAHROP MONUMENT WELL STAMPED "PLS 7788"
- ⊖ MONUMENT TO BE SET, STAMPED "PLS 7788" PER (R11)
- ⊗ FOUND MONUMENT PER (R1) AS NOTED
- 200.00' (R1) MEASURED AND RECORD DATA PER REFERENCE (R1)
- (R1) DENIES REFERENCE (R1) - SEE REFERENCE LIST ON SHEET 2
- (M-N) MONUMENT TO MONUMENT
- (R) RADIAL BEARING
- (R2) REFERENCE NUMBER
- (T) TOTAL
- (B) BOUNDARY
- (C) CENTER LINE
- DN DOCUMENT NUMBER
- MON MONUMENT
- P.U.E. PUBLIC UTILITY EASEMENT
- ① EASEMENT REFERENCE NUMBER - SEE SHEET 3 FOR REFERENCE LIST

NOTES

1. SEE SHEET 3 FOR ADDITIONAL NOTES AND REFERENCES.
2. SEE SHEET 3 FOR CHANGING EASEMENTS, EASEMENT REFERENCE LIST AND RANGES OF BEARINGS.
3. SEE SHEETS 21 AND 22 FOR LINE AND CURVE TABLES.



SHEET 7 OF 22

43-52F

43-52 G

TRACT 3908 RIVER ISLANDS - STAGE 2A LARGE LOT FINAL MAP

A PORTION OF RANCHO EL FEDERERO, ALSO BEING A PORTION OF TOWNSHIPS 1 AND 2 SOUTH, RANGE 9 EAST, M.D.M., A SUBDIVISION OF PARCELS 2, 6 AND 8 AS DESCRIBED PER DOCUMENT NO. 2016-004077, AND PARCEL 4 OF TRACT 3608 (43 MAP 12), SAN JOAQUIN COUNTY, CALIFORNIA
JUNE 2018



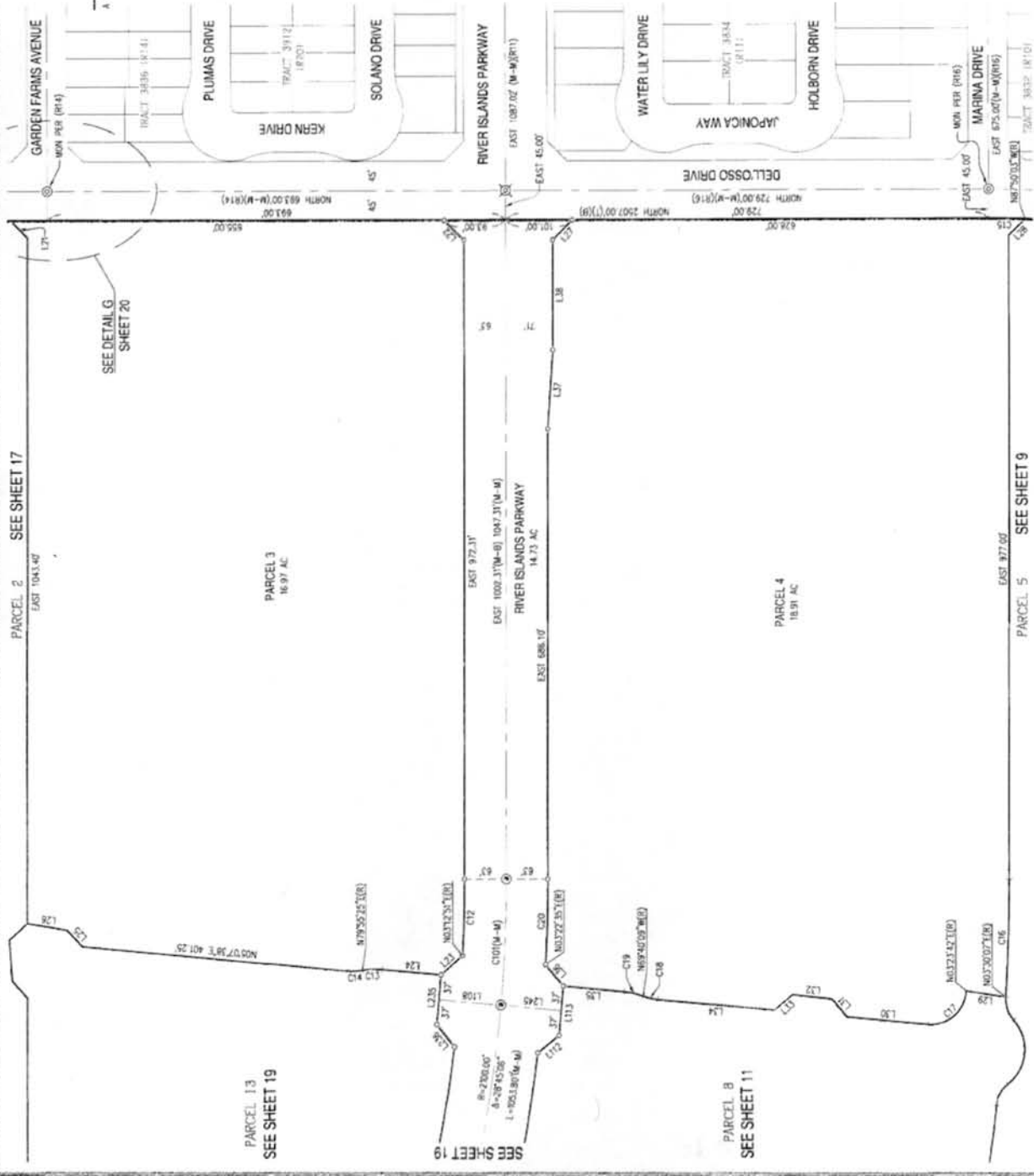
SCALE 1" = 100'

LEGEND

- SET 5/8" REBAR WITH CAP STAMPED "PLS 7786"
- △ SET 2-1/2" BRASS DECK STAMPED "PLS 7786"
- FOUND 5/8" REBAR WITH CAP STAMPED "PLS 7786" PER (R4), UNLESS OTHERWISE NOTED
- ✕ 3/4" IRON PIPE TO BE SET PER (R8)
- ⊕ MONUMENT TO BE SET, STAMPED "PLS 7786" PER (R9)
- ⊙ MONUMENT TO BE SET PER (R17), UNLESS OTHERWISE NOTED
- ⊗ SET STANDING CITY OF LATHROP MONUMENT WELL STAMPED "PLS 7786"
- ⊘ MONUMENT TO BE SET, STAMPED "PLS 7786" PER (R11)
- ⊙ FOUND MONUMENT PER (R1) AS NOTED
- 200.00' (R1) MEASURED AND RECORD DATA PER REFERENCE (R1)
- (R1) DENOTES REFERENCE (R1) - SEE RETROGRADE LIST ON SHEET 2
- (M-M) MONUMENT TO MONUMENT
- (R) RADIAL BEARING
- (R7) REFERENCE NUMBER
- (T) TOTAL
- (B) BOUNDARY
- C.L. CENTER LINE
- DN DOCUMENT NUMBER
- MON MONUMENT
- P.U.E. PUBLIC UTILITY EXISTENCE
- ① EASEMENT REFERENCE NUMBER - SEE SHEET 3 FOR REFERENCE LIST
- LOT LINE
- BOUNDARY
- EASEMENT LINE
- CENTERLINE
- MONUMENT LINE
- ① 1.17" BRASS DECK STAMPED "PLS 7786" ON 1 FOOT 9/16 SET PER (R17)
- ② 3/4" IRON PIPE WITH CAP "PLS 7786" PER (R17)
- ③ 5/8" REBAR WITH CAP "PLS 7786" PER (R17)

NOTES

1. SEE SHEET 2 FOR ADDITIONAL NOTES AND REFERENCES.
2. SEE SHEET 3 FOR EXISTING EASEMENTS, EASEMENT REFERENCE LIST AND BASIS OF BEARINGS.
3. SEE SHEETS 21 AND 22 FOR LINE AND CURVE TABLES.



SHEET 8 OF 22

43-52 G

43-52H

TRACT 3908 RIVER ISLANDS - STAGE 2A LARGE LOT FINAL MAP

A PORTION OF PARCELS 11, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.



SCALE: 1" = 100'
50' 100' 200'



NOTES

1. SEE SHEET 3 FOR ADDITIONAL NOTES AND REFERENCES.
2. SEE SHEET 3 FOR EXISTING EASEMENTS, EASEMENT RESTRICTIONS, LIST AND BASIS OF BEARINGS.
3. SEE SHEETS 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22 FOR LINE AND CURVE TABLES.
4. SEE SHEET 8 FOR LEGEND.

PARCEL 8
SEE SHEET 11

PARCEL 4
SEE SHEET 8

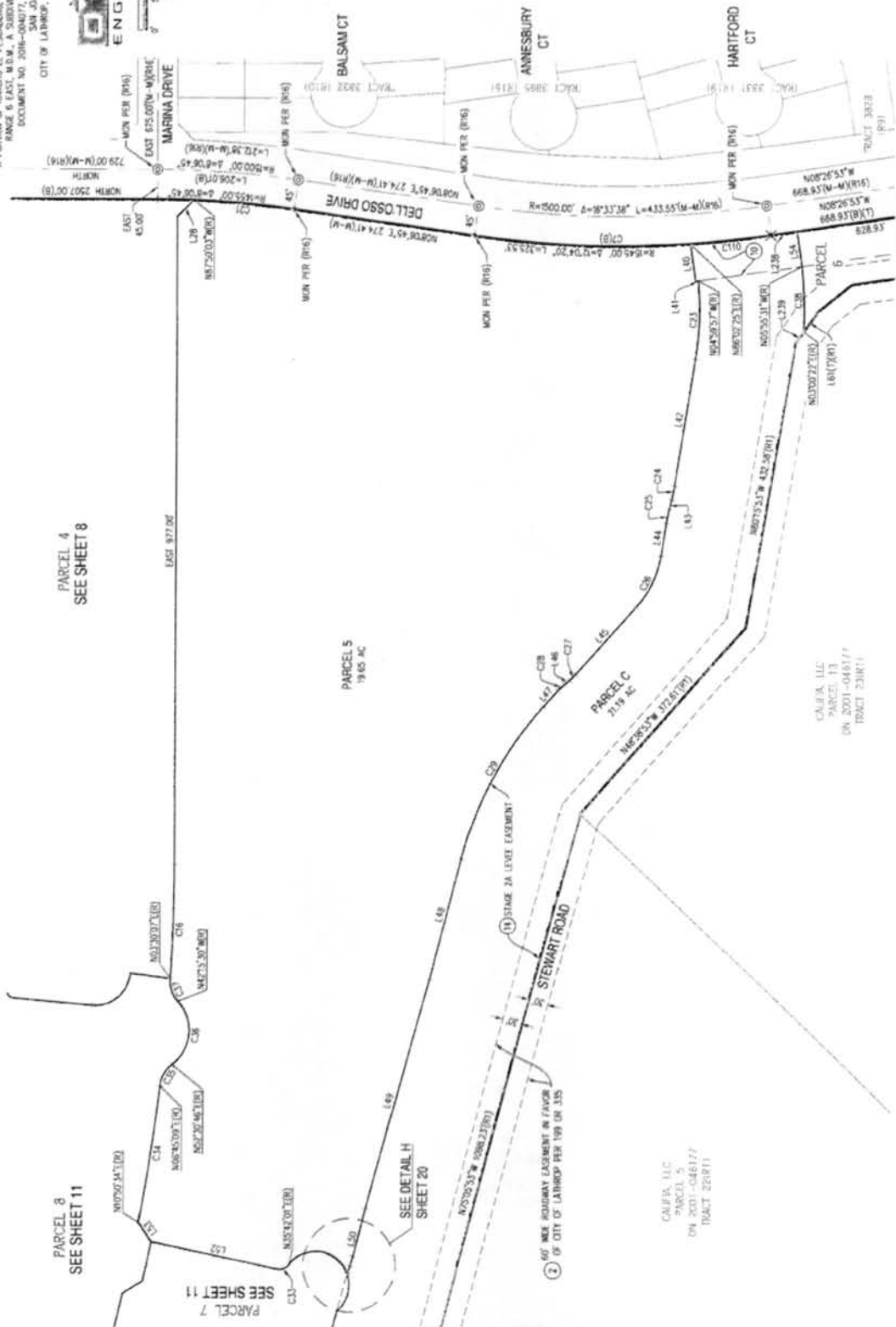
PARCEL 7
SEE SHEET 11

PARCEL 5
19.65 AC

PARCEL C
21.19 AC

CALIFA, LLC
PARCEL 11
DN 2001-048177
TRACT 23HR11

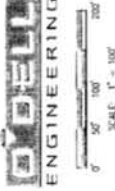
CALIFA, LLC
PARCEL 5
DN 2001-048177
TRACT 23HR11



4/3-52 I

TRACT 3908
RIVER ISLANDS - STAGE 2A
LARGE LOT FINAL MAP

A PORTION OF RANDOLPH L. PESCIARDI, ALSO BEING A PORTION OF TRACTS 3901 AND 2 SOUTH, RANGE 6 EAST, M.D.M., A SUBDIVISION OF PARCELS 2, 6 AND 8 AS DESCRIBED PER DOCUMENT NO. 2016-004077, AND PARCEL 4 OF TRACT 3908 (43 MAP 12), SAN JOAQUIN COUNTY, CALIFORNIA, AS SHOWN ON THE ATTACHED PLAN, IS HEREBY REOPENED TO THE CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA.
 JUNE 2018



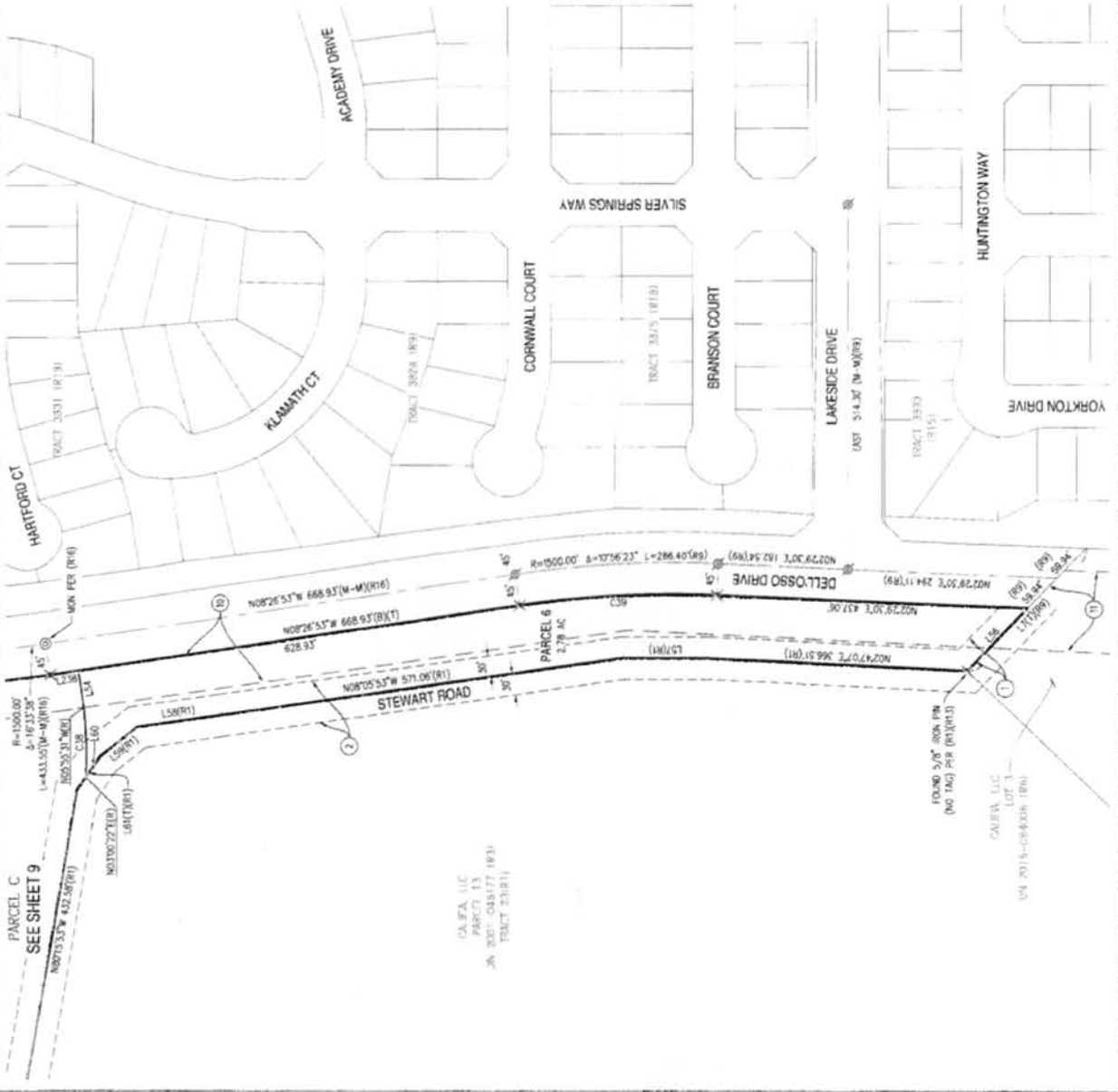
LEGEND

- SET 5/8" REBAR WITH CAP STAMPED "PLS 7788"
- △ SET 3-1/2" BRASS DISK STAMPED "PLS 7788"
- FOUND 5/8" REBAR WITH CAP STAMPED "PLS 7788" PER (R2), UNLESS OTHERWISE NOTED
- ✕ 3/4" IRON PIPE TO BE SET PER (R9)
- ⊙ MONUMENT TO BE SET, STAMPED "PLS 7788" PER (R9)
- ⊙ MONUMENT TO BE SET PER (R17), UNLESS OTHERWISE NOTED
- ⊙ SET STANDARD CITY OF LATHROP MONUMENT WELL STAMPED "PLS 7788" MONUMENT TO BE SET, STAMPED "PLS 7788" PER (R11)
- ✓ FOUND MONUMENT PER (R1) AS NOTED
- 200.00 (R1) MEASURED AND RECORD DATA PER REFERENCE (R1)
- (R1) DENOTES REFERENCE (R1) - SEE REFERENCE LIST ON SHEET 2
- (M-M) MONUMENT TO MONUMENT
- (R) RADIAL BEARING
- (R7) REFERENCE NUMBER
- (T) TOTAL
- (B) BOUNDARY
- CL CENTER LINE
- DN DOCUMENT NUMBER
- MAN MONUMENT
- F.U.E PUBLIC UTILITY EASEMENT
- ① EASEMENT REFERENCE NUMBER - SEE SHEET 3 FOR REFERENCE LIST

- LOT LINE
- BOUNDARY
- - - EASEMENT LINE
- - - CENTERLINE
- - - MONUMENT LINE
- ① 1 1/2" BRASS DISK STAMPED "PLS 7788" ON 1 FOOT OFFSET PER (R17)
- ② 3/4" IRON PIPE WITH CAP "PLS 7788" PER (R17)
- ③ 5/8" REBAR WITH CAP "PLS 7788" PER (R17)

NOTES

1. SEE SHEET 2 FOR ADDITIONAL NOTES AND REFERENCES
2. LIST AND BASIS OF BEARINGS, EASEMENT REFERENCE
3. SEE SHEETS 21 AND 22 FOR LINE AND CURVE TABLES.



SHEET 10 OF 22

43-52 I

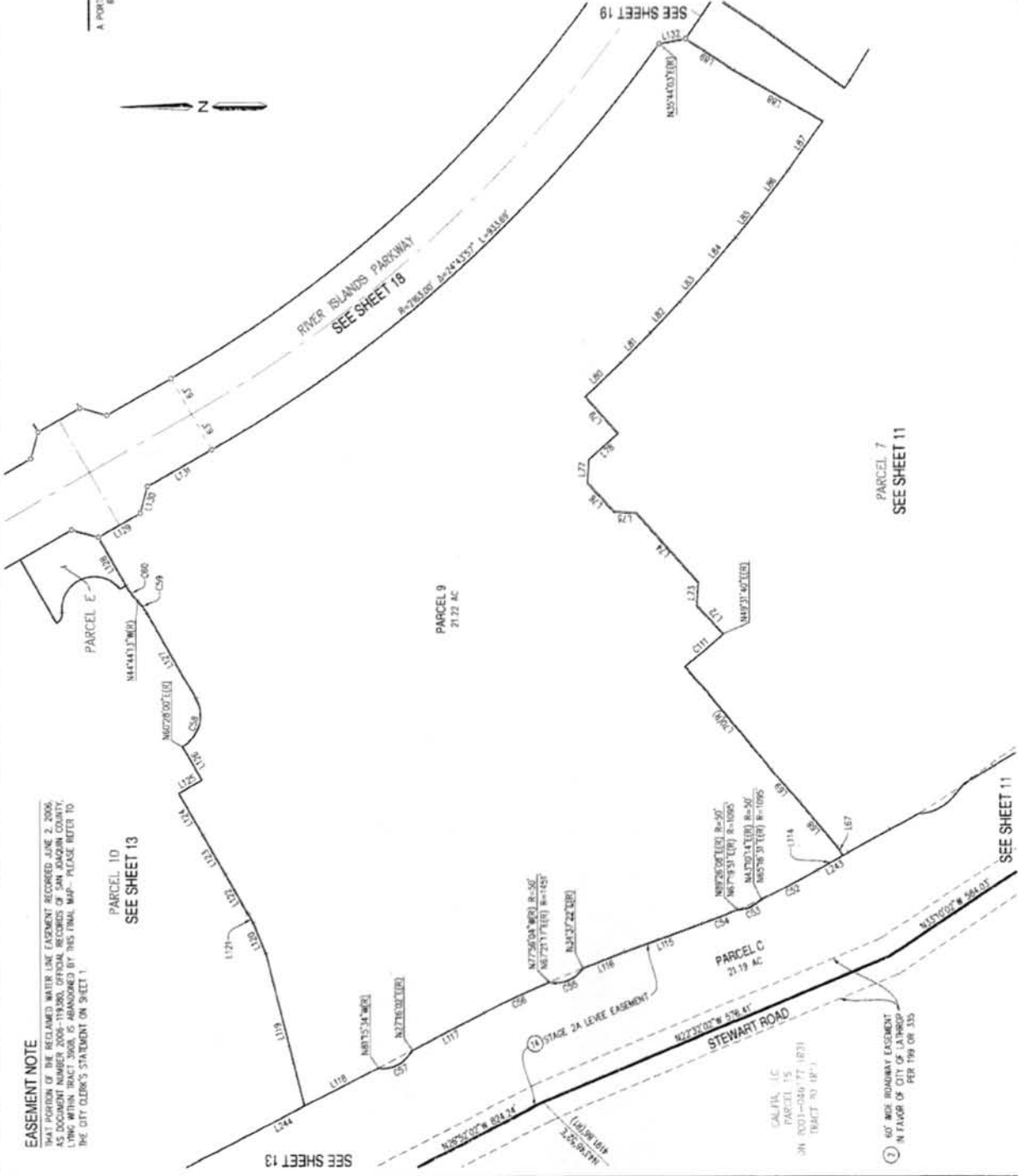
43-52k

TRACT 3908 RIVER ISLANDS - STAGE 2A LARGE LOT FINAL MAP

A PORTION OF RANCHO EL PESQUERO, ALSO BEING A PORTION OF TRACTS 1 AND 2 SOUTH, RANGE 6 EAST, TOWNSHIP 14 NORTH, AND RANGE 6 EAST, TOWNSHIP 14 NORTH, PER DOCUMENT NO. 2014-004077 AND PARCEL 4 OF TRACT 3638 (AS MAP 12), SAN JOAQUIN COUNTY RECORDS, CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA, JUNE 2018



SCALE: 1" = 100'



LEGEND

- SET 5/8" REBAR WITH CAP STAMPED "PLS 7786"
 - △ SET 2-1/2" BRASS DISK STAMPED "PLS 7786"
 - FOUND 5/8" REBAR WITH CAP STAMPED "PLS 7786" PER (R2), UNLESS OTHERWISE NOTED
 - 3/4" IRON PIPE TO BE SET PER (R6)
 - ⊕ MONUMENT TO BE SET, STAMPED "PLS 7786" PER (R6)
 - ⊙ MONUMENT TO BE SET PER (R17), UNLESS OTHERWISE NOTED
 - ⊗ SET STANDARD CITY OF LATHROP MONUMENT WILL STAMPED "PLS 7786"
 - ⊘ MONUMENT TO BE SET, STAMPED "PLS 7786" PER (R11)
 - ⊙ FOUND MONUMENT PER (R1) AS NOTED
 - 200.000 (R1) MEASURED AND RECORD DATA PER REFERENCE (R1)
 - (R1) DEPTIES REFERENCE (R1) - SET REFERENCE LIST ON SHEET 2
 - (M-W) MONUMENT TO MONUMENT
 - (R) RADIAL BEARING
 - (R7) REFERENCE NUMBER
 - (T) TOTAL
 - (B) BOUNDARY
 - (C) CENTER LINE
 - (DN) DOCUMENT NUMBER
 - (M) MONUMENT
 - (P.U.E.) PUBLIC UTILITY EASEMENT
 - (1) EASEMENT REFERENCE NUMBER - SEE SHEET 1 FOR REFERENCE LIST
- LOT LINE
 ——— BOUNDARY
 - - - - - EASEMENT LINE
 - - - - - CENTERLINE
 - - - - - MONUMENT LINE

NOTES

1. SEE SHEET 1 FOR ADDITIONAL NOTES AND REFERENCES.
2. SEE SHEET 2 FOR ADDITIONAL EASEMENTS, EASEMENT REFERENCE LIST AND BASIS OF BEARINGS.
3. SEE SHEETS 21 AND 22 FOR LINE AND CURVE TABLES.

SHEET 12 OF 22

43-52k

43-52M

TRACT 3908 RIVER ISLANDS - STAGE 2A LARGE LOT FINAL MAP

A PORTION OF RANCHO EL PESQUERO, ALSO BEING A PORTION OF TOWNSHIPS 1 AND 2 SOUTH, RANGE 6 EAST, MERIDIAN 4, SOUTHERN CALIFORNIA PARCELS 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 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796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.

CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA
JUNE 2018

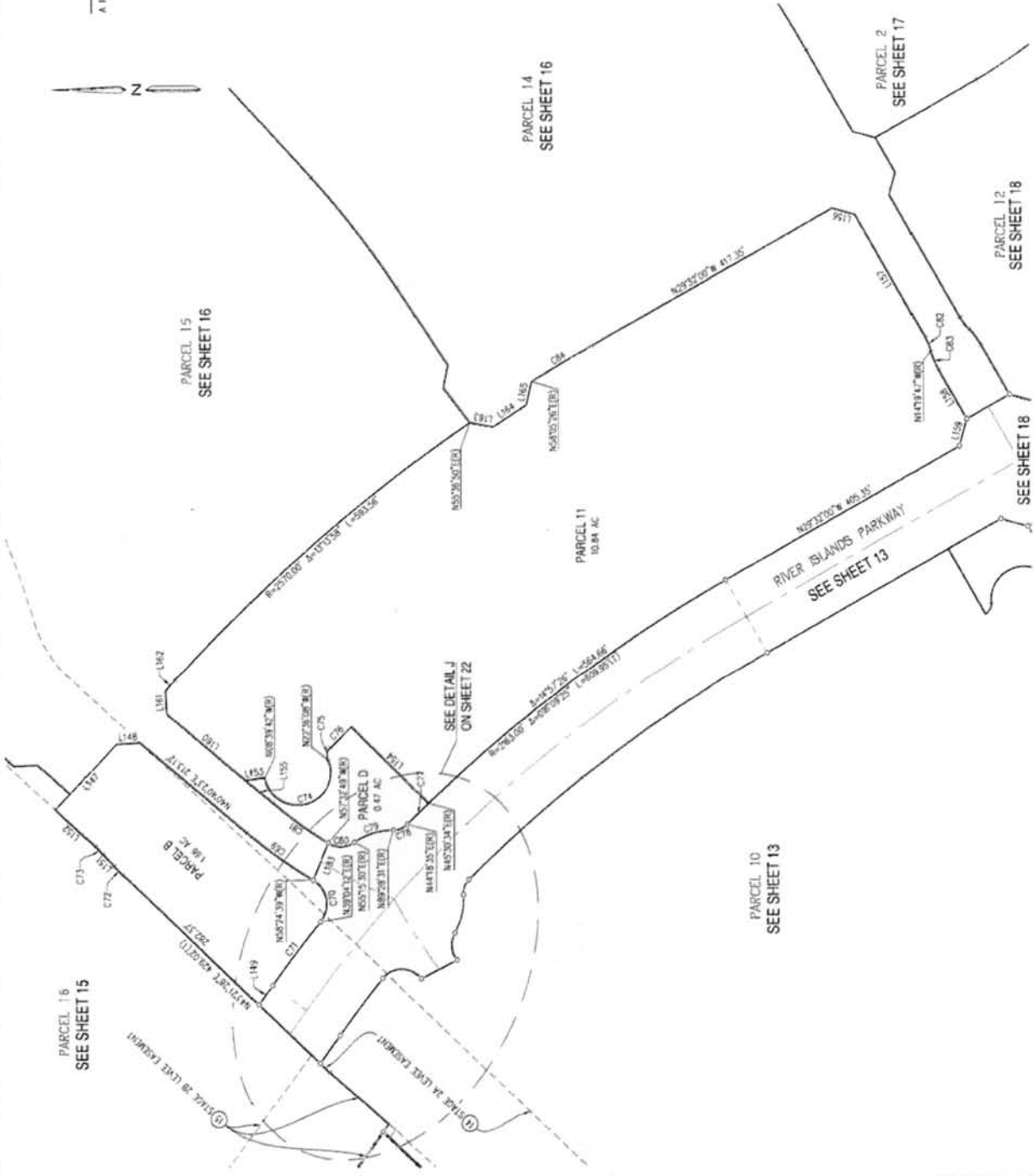


LEGEND

- SET 3/8" REBAR WITH CAP STAMPED "PLS 7786"
- △ SET 2-1/2" BRASS DISK STAMPED "PLS 7786"
- FOUND 3/8" REBAR WITH CAP STAMPED "PLS 7786" PER (R2), UNLESS OTHERWISE NOTED
- ⊕ 3/4" IRON PIPE TO BE SET PER (R9)
- ⊙ MONUMENT TO BE SET, STAMPED "PLS 7786" PER (R6)
- ⊙ MONUMENT TO BE SET PER (R7), UNLESS OTHERWISE NOTED
- ⊙ SET STANDARD CITY OF LATHROP MONUMENT WILL STAMPED "PLS 7786"
- ⊙ MONUMENT TO BE SET, STAMPED "PLS 7786" PER (R1)
- ⊙ FOUND MONUMENT PER (R1) AS NOTED
- 200.00' (R1) MEASURED AND RECORD DATA PER REFERENCE (R1)
- (R1) DENOTES REFERENCE (R1) - SEE REFERENCE LIST ON SHEET 2
- (M-4) MONUMENT TO MONUMENT
- (R) RADIAL BEARING
- (RT) REFERENCE NUMBER
- (T) TOTAL
- (B) BOUNDARY
- CL CENTER LINE
- DN DOCUMENT NUMBER
- MON MONUMENT
- P.U.E. PUBLIC UTILITY EASEMENT
- ① EASEMENT REFERENCE NUMBER - SEE SHEET 3 FOR REFERENCE LIST
- LOT LINE
- BOUNDARY
- - - EASEMENT LINE
- - - CENTERLINE
- - - MONUMENT LINE
- ① 1.17" BRASS DISK STAMPED "PLS 7786" ON 1.000' OFFSET PER (R1)
- ② 3/4" IRON PIPE WITH CAP "PLS 7786" PER (R1)
- ③ 5/8" REBAR WITH CAP "PLS 7786" PER (R1)

NOTES

1. SEE SHEET 3 FOR ADDITIONAL NOTES AND REFERENCES.
2. SEE SHEET 3 FOR EXISTING EASEMENTS, EASEMENT REFERENCE LIST AND BASIS OF BEARINGS.
3. SEE SHEETS 21 AND 22 FOR LINE AND CURVE TABLES.



SHEET 14 OF 22

43-52M

43-52 N

TRACT 3908 RIVER ISLANDS - STAGE 2A LARGE LOT FINAL MAP

A PORTION OF RANCHO EL PESQUERO, ALSO BEING A PORTION OF TOWNSHIPS 1 AND 2 SOUTH, RANGE 6 EAST, M.D.M., A SUBDIVISION OF PARCELS 2, 6 AND 8 AS DESCRIBED PER DOCUMENT NO. 2076-004077, AND PARCEL 4 OF TRACT 3628 (41 MAP 12), SAN JOAQUIN COUNTY, CALIFORNIA, RECORDS SECTION 10, PAGE 10000.



SCALE: 1" = 200'

RIVER ISLANDS DEV. LLC
PARCEL 10E
06/20/15-004277 (14)

RIVER ISLANDS DEV. LLC
PARCEL 10E
06/20/15-004277 (14)

TRACT 11 (R1)

TRACT 12 (R1)

TRACT 13 (R1)

TRACT 14 (R1)

TRACT 15 (R1)

TRACT 16 (R1)

TRACT 17 (R1)

TRACT 18 (R1)

TRACT 19 (R1)

TRACT 20 (R1)

TRACT 21 (R1)

TRACT 22 (R1)

TRACT 23 (R1)

TRACT 24 (R1)

TRACT 25 (R1)

TRACT 26 (R1)

TRACT 27 (R1)

TRACT 28 (R1)

TRACT 29 (R1)

TRACT 30 (R1)

TRACT 31 (R1)

TRACT 32 (R1)

TRACT 33 (R1)

TRACT 34 (R1)

TRACT 35 (R1)

TRACT 36 (R1)

TRACT 37 (R1)

TRACT 38 (R1)

TRACT 39 (R1)

TRACT 40 (R1)

TRACT 41 (R1)

TRACT 42 (R1)

TRACT 43 (R1)

TRACT 44 (R1)

TRACT 45 (R1)

TRACT 46 (R1)

TRACT 47 (R1)

TRACT 48 (R1)

TRACT 49 (R1)

TRACT 50 (R1)

TRACT 51 (R1)

TRACT 52 (R1)

TRACT 53 (R1)

TRACT 54 (R1)

TRACT 55 (R1)

TRACT 56 (R1)

TRACT 57 (R1)

TRACT 58 (R1)

TRACT 59 (R1)

TRACT 60 (R1)

TRACT 61 (R1)

TRACT 62 (R1)

TRACT 63 (R1)

TRACT 64 (R1)

TRACT 65 (R1)

TRACT 66 (R1)

TRACT 67 (R1)

TRACT 68 (R1)

TRACT 69 (R1)

TRACT 70 (R1)

TRACT 71 (R1)

TRACT 72 (R1)

TRACT 73 (R1)

TRACT 74 (R1)

TRACT 75 (R1)

TRACT 76 (R1)

TRACT 77 (R1)

TRACT 78 (R1)

TRACT 79 (R1)

TRACT 80 (R1)

TRACT 81 (R1)

TRACT 82 (R1)

TRACT 83 (R1)

TRACT 84 (R1)

TRACT 85 (R1)

TRACT 86 (R1)

TRACT 87 (R1)

TRACT 88 (R1)

TRACT 89 (R1)

TRACT 90 (R1)

TRACT 91 (R1)

TRACT 92 (R1)

TRACT 93 (R1)

TRACT 94 (R1)

TRACT 95 (R1)

TRACT 96 (R1)

TRACT 97 (R1)

TRACT 98 (R1)

TRACT 99 (R1)

TRACT 100 (R1)

LEGEND

- SET 5/8" REBAR WITH CAP STAMPED "PLS 7788"
- △ SET 2-1/2" BRASS DISK STAMPED "PLS 7788"
- FOUND 5/8" REBAR WITH CAP STAMPED "PLS 7788" PER (R2), UNLESS OTHERWISE NOTED
- ✕ 3/4" IRON PIPE TO BE SET PER (R4)
- ⊕ MONUMENT TO BE SET, STAMPED "PLS 7788" PER (R6)
- ⊙ MONUMENT TO BE SET PER (R17), UNLESS OTHERWISE NOTED
- ⊗ SET STANDARD CITY OF LATHROP MONUMENT WELL STAMPED "PLS 7788" MONUMENT TO BE SET, STAMPED "PLS 7788" PER (R11)
- ⊘ FOUND MONUMENT PER (R1) AS NOTED
- ⊙ 200.00' (R1) MEASURED AND RECORD DATA PER REFERENCE (R1)
- (R1) DENOTES REFERENCE (R1)- SEE REFERENCE LIST ON SHEET 2
- (M-M) MONUMENT TO MONUMENT
- (R) RADIAL BEARING
- (R7) REFERENCE NUMBER
- (T) TOTAL
- (B) BOUNDARY
- CL CENTER LINE
- DN DOCUMENT NUMBER
- MON MONUMENT
- FILE PUBLIC UTILITY EASEMENT
- ① EASEMENT REFERENCE NUMBER - SEE SHEET 3 FOR REFERENCE LIST

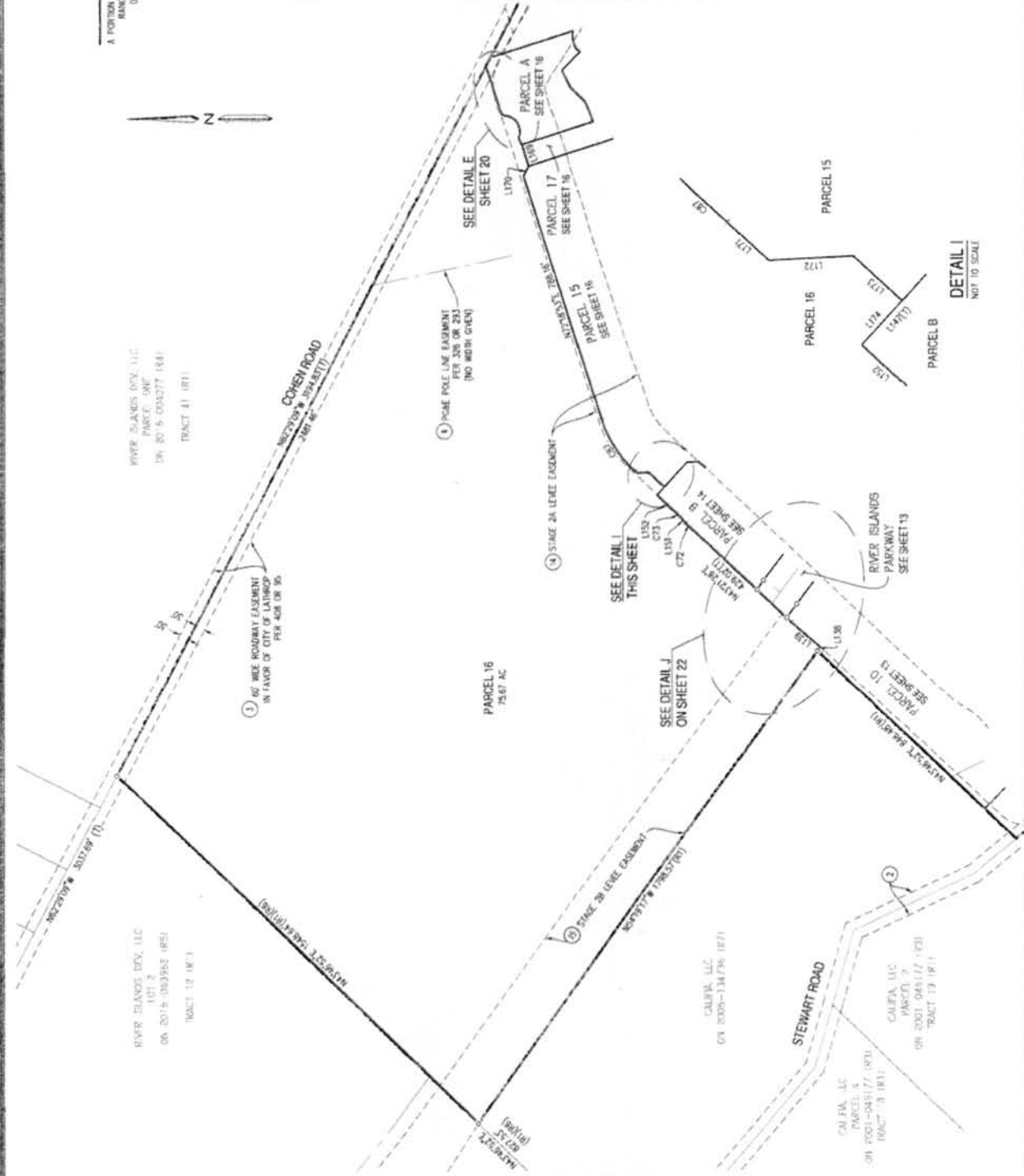
- LOT LINE
- BOUNDARY
- EASEMENT LINE
- CENTERLINE
- MONUMENT LINE
- ① 11" BRASS DISK STAMPED "PLS 7788" ON 1 FOOT OFFSET PER (R17)
- ② 3/4" IRON PIPE WITH CAP "PLS 7788" PER (R7)
- ③ 5/8" REBAR WITH CAP "PLS 7788" PER (R17)

NOTES

1. SEE SHEET 2 FOR ADDITIONAL NOTES AND REFERENCES.
2. LIST AND BASIS OF BEARINGS, EASEMENT REFERENCE.
3. SEE SHEETS 21 AND 22 FOR LINE AND CURVE TABLES.

SHEET 15 OF 22

43-52 N



43-520

TRACT 3908 RIVER ISLANDS - STAGE 2A LARGE LOT FINAL MAP

A PORTION OF MANHOLE EL PASADERO, ALSO BEING A PORTION OF TOWNSHIPS 1 AND 2 SOUTH, RANGE 6 EAST, M.D.M., A SUBDIVISION OF PARCELS 2, 6 AND 8 AS DESCRIBED PER DOCUMENT NO. 2016-00007, AND PARCEL 4 OF TRACT 3838 (AS MAP 12), COUNTY OF SAN JOAQUIN, CALIFORNIA.

JUNE 2018



SCALE: 1" = 150'

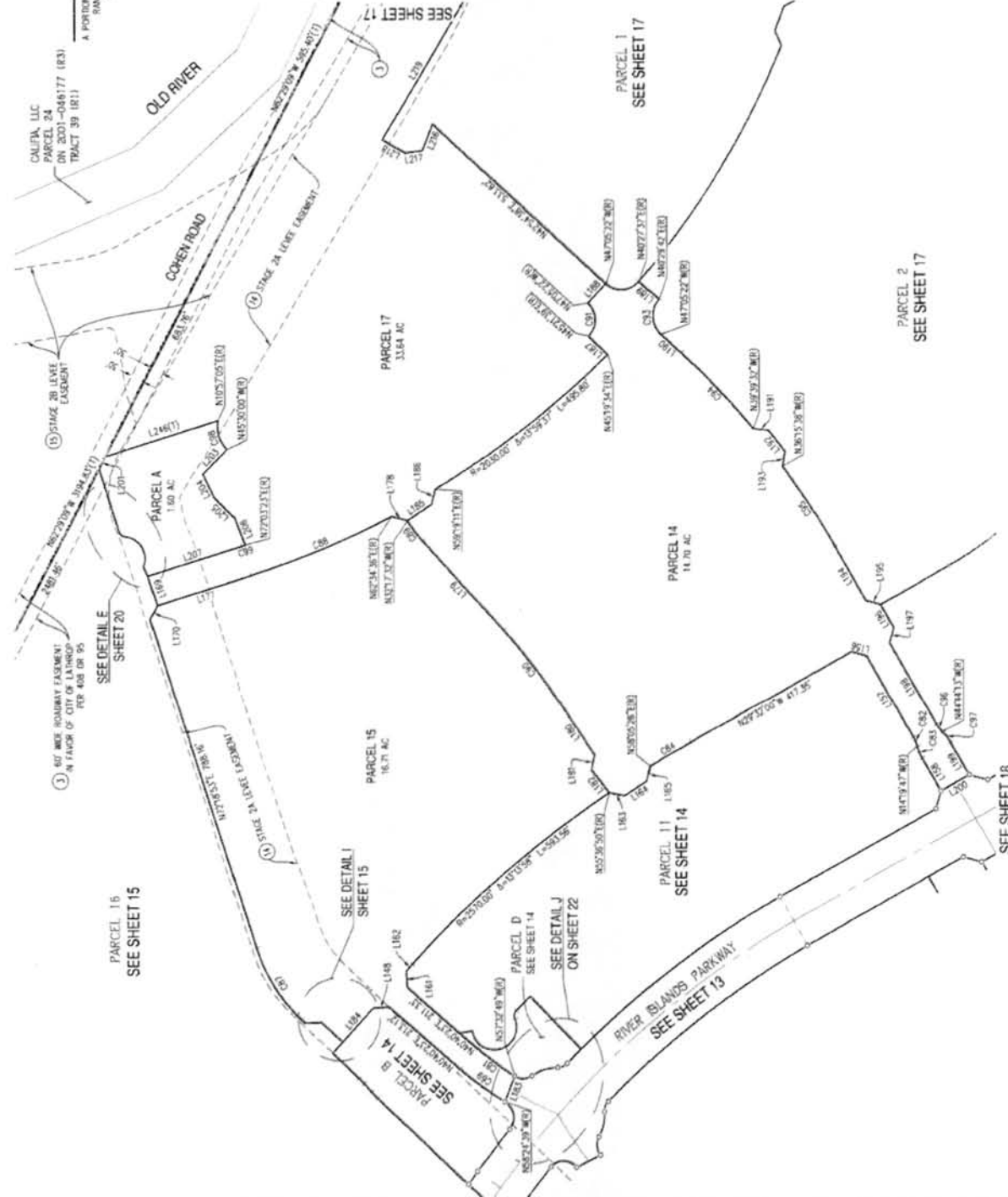
LEGEND

- SET 3/8" REBAR WITH CAP STAMPED "PLS 7786"
- △ SET 2-1/2" BRASS DISK STAMPED "PLS 7786"
- FOUND 3/8" REBAR WITH CAP STAMPED "PLS 7786" PER (R2), UNLESS OTHERWISE NOTED
- ⊕ 3/4" IRON PIPE TO BE SET PER (R9)
- ⊙ MONUMENT TO BE SET, STAMPED "PLS 7786" PER (R4)
- ⊙ MONUMENT TO BE SET PER (R17), UNLESS OTHERWISE NOTED
- ⊙ SET STANDING CITY OF LATHROP MONUMENT WELL STAMPED "PLS 7786"
- ⊙ MONUMENT TO BE SET, STAMPED "PLS 7786" PER (R11)
- ⊙ FOUND MONUMENT PER (R1) AS NOTED
- ⊙ 200.00' (R4)
- (R1) DENOTES REFERENCE (R) - SEE REFERENCE LIST ON SHEET 2
- (R4-R4) MONUMENT TO MONUMENT
- (R) RADIAL BEARING
- (R7) REFERENCE NUMBER
- (T) TOTAL
- (B) BOUNDARY
- CL CENTER LINE
- DN DOCUMENT NUMBER
- MON MONUMENT
- P.U.E. PUBLIC UTILITY EASEMENT
- ① EASEMENT REFERENCE NUMBER - SEE SHEET 3 FOR REFERENCE LIST

- LOT LINE
- BOUNDARY
- - - EASEMENT LINE
- - - COVERLINE
- - - MONUMENT LINE
- ① 11/2" BRASS DISK STAMPED "PLS 7786" ON 1 FOOT OFFSET PER (R17)
- ② 3/4" IRON PIPE WITH CAP "PLS 7786" PER (R17)
- ③ 3/8" REBAR WITH CAP "PLS 7786" PER (R17)

NOTES

1. SEE SHEET 3 FOR ADDITIONAL NOTES AND REFERENCES.
2. SEE SHEET 5 FOR EXISTING EASEMENTS, EASEMENT REFERENCE LIST AND BASIS OF BEARINGS.
3. SEE SHEETS 21 AND 22 FOR LINE AND CURVE TABLES.



SHEET 16 OF 22

43-520

TRACT 3908 RIVER ISLANDS - STAGE 2A LARGE LOT FINAL MAP

A PORTION OF PARCELS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.



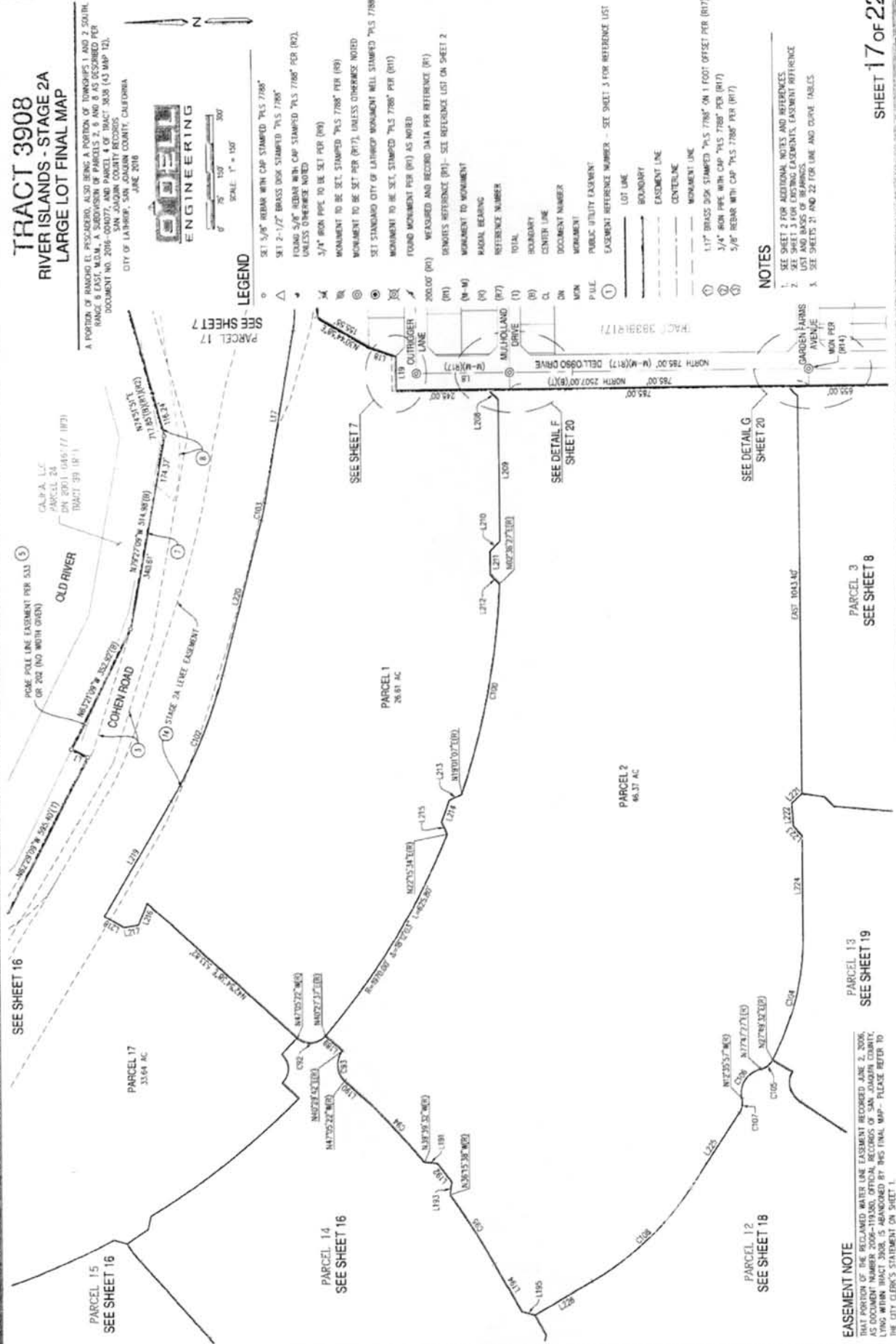
SCALE: 1" = 150'
0' 75' 150' 300'

LEGEND

- SET 5/8" REBAR WITH CAP STAMPED "PLS 7788"
- SET 2-1/2" BRASS DOOR STAMPED "PLS 7788"
- FOUND 5/8" REBAR WITH CAP STAMPED "PLS 7788" PER (R2), UNLESS OTHERWISE NOTED
- 3/4" IRON PIPE TO BE SET PER (R4)
- MONUMENT TO BE SET PER (R7), UNLESS OTHERWISE NOTED
- SET STANDARD CITY OF LATHROP MONUMENT WELL STAMPED "PLS 7788"
- MONUMENT TO BE SET, STAMPED "PLS 7788" PER (R11)
- FOUND MONUMENT PER (R1) AS NOTED
- 200.00' (R1) MEASURED AND RECORDED DATA PER REFERENCE (R1)
- (R1) BENCH REFERENCE (R1) - SEE REFERENCE LIST ON SHEET 2
- (M-M) MONUMENT TO MONUMENT
- (R) RADIAL BEARING
- (R7) REFERENCE NUMBER
- (T) TOTAL
- (B) BOUNDARY
- (CL) CENTER LINE
- (DN) DOCUMENT NUMBER
- (M) MONUMENT
- (P.U.) PUBLIC UTILITY EXAMINATION
- (E) EXAMINATION REFERENCE NUMBER - SEE SHEET 3 FOR REFERENCE LIST
- (L) LOT LINE
- (B) BOUNDARY
- (E) EASEMENT LINE
- (C) CENTERLINE
- (M) MONUMENT LINE
- (1) 1.17" BRASS DISK STAMPED "PLS 7788" ON 1 FOOT OFFSET PER (R17)
- (2) 3/4" IRON PIPE WITH CAP "PLS 7788" PER (R17)
- (3) 5/8" REBAR WITH CAP "PLS 7788" PER (R17)

NOTES

- SEE SHEET 3 FOR ADDITIONAL NOTES AND REFERENCES
- SEE SHEET 3 FOR EXISTING EASEMENTS, EASEMENT REFERENCE LIST AND BASIS OF BEARINGS
- SEE SHEETS 21 AND 22 FOR LINE AND CURVE TABLES



EASEMENT NOTE
THAT PORTION OF THE RECLAIMED WATER LINE EASEMENT RECORDED JUNE 2, 2006, AS DOCUMENT NUMBER 2006-119450, OFFICIAL RECORDS OF SAN JOAQUIN COUNTY, LYING WITHIN TRACT 3908, IS ABANDONED BY THIS FINAL MAP - PLEASE REFER TO THE CITY CLERK'S STATEMENT ON SHEET 1.

43-52T

TRACT 3908 RIVER ISLANDS - STAGE 2A LARGE LOT FINAL MAP

A PORTION OF RANCHO EL PESQUERO, ALSO BEING A PORTION OF TOWNSHIPS 1 AND 2 SOUTH,
RANGE 6 EAST, M.D.M., A SUBDIVISION OF PARCELS 7, 6 AND 8 AS DESCRIBED PER
DOCUMENT NO. 2016-000077, AND PARCEL 4 OF TRACT 3538 (A3 MAP 12),
SAN JOAQUIN COUNTY RECORDS

JUNE 2016
CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA



ENGINEERING

LINE TABLES FOR COURSES SHOWN ON SHEETS 7 THROUGH 20 ONLY

LINE TABLE		
LINE	DIRECTION	LENGTH
L1	N27°30'31"E	46.89
L2	N40°15'36"E	17.48
L3	N02°46'31"E	50.00
L4	N32°51'51"E	31.84
L5	EAST	30.00
L6	N41°45'48"E	50.78
L7	N46°09'57"E	242.16
L8	NORTH	243.00
L9	N44°20'06"E	10.98
L10	N75°18'05"E	5.85
L11	N44°20'06"E	9.64
L12	N45°29'54"E	60.00
L13	N44°20'06"E	9.64
L14	N75°18'05"E	5.85
L15	N08°26'42"E	188.10
L16	N08°26'42"E	188.10
L17	N08°01'21"E	433.55
L18	N19°28'14"E	74.33
L19	EAST	90.00
L20	N45°00'00"E	35.36
L21	N45°00'00"E	35.36
L22	N45°00'00"E	42.43
L23	N40°48'46"E	43.13
L24	N50°17'38"E	88.24
L25	N47°23'49"E	33.74
L26	N07°02'28"E	60.87
L27	N47°20'03"E	60.64
L28	N44°09'47"E	54.84
L29	N07°08'00"E	60.23
L30	N50°17'38"E	122.37
L31	N49°31'35"E	58.98
L32	N45°08'38"E	60.05
L33	N40°29'38"E	26.74
L34	N50°17'38"E	176.59
L35	N50°17'38"E	91.38
L36	N49°15'07"E	41.77
L37	N48°11'09"E	120.27
L38	EAST	166.27
L39	N44°20'06"E	1.37
L40	N01°54'07"E	56.61
L41	N02°58'55"E	4.14
L42	N08°49'45"E	193.66
L43	N07°04'58"E	15.53
L44	N07°04'58"E	50.24
L45	N48°14'46"E	134.95

LINE TABLE		
LINE	DIRECTION	LENGTH
L91	N33°52'43"E	87.01
L92	N38°18'39"E	157.05
L93	N50°07'17"E	114.47
L94	N58°10'28"E	87.03
L95	N09°57'43"E	65.00
L96	N61°29'44"E	65.00
L97	N63°01'06"E	65.00
L98	N64°39'51"E	75.00
L99	N23°44'56"E	74.58
L100	N65°17'46"E	60.01
L101	N21°52'42"E	25.74
L102	N48°07'31"E	60.05
L103	N27°15'05"E	34.90
L104	N17°08'57"E	281.05
L105	N60°28'00"E	83.00
L106	N72°51'00"E	60.00
L107	N60°28'00"E	60.00
L108	N50°17'38"E	94.17
L109	N32°31'05"E	20.02
L110	N78°03'53"E	60.00
L111	N42°11'24"E	42.83
L112	N48°59'51"E	41.77
L113	N48°59'51"E	74.00
L114	N29°50'31"E	44.80
L115	N19°28'14"E	125.56
L116	N21°08'12"E	69.38
L117	N05°29'46"E	114.24
L118	N05°29'46"E	177.36
L119	N75°48'16"E	238.71
L120	N67°51'24"E	50.15
L121	N60°28'00"E	15.00
L122	N60°28'00"E	70.00
L123	N60°28'00"E	30.00
L124	N60°28'00"E	75.00
L125	N29°10'00"E	41.00
L126	N60°28'00"E	60.00
L127	N60°28'00"E	152.00
L128	N60°28'00"E	85.55
L129	N29°10'00"E	74.00
L130	N42°32'00"E	42.43
L131	N28°32'00"E	113.52
L132	N10°11'37"E	41.73
L133	N08°59'46"E	209.27
L134	N29°14'25"E	51.46
L135	N08°59'46"E	70.37

LINE TABLE		
LINE	DIRECTION	LENGTH
L136	N40°07'53"E	89.99
L137	N48°14'08"E	192.41
L138	N58°38'13"E	44.03
L139	N47°37'08"E	103.28
L140	N42°21'28"E	91.57
L141	N04°20'19"E	51.41
L142	N27°20'44"E	61.07
L143	N67°28'00"E	113.00
L144	N29°32'00"E	10.40
L145	N29°32'00"E	91.07
L146	N15°28'00"E	42.43
L147	N47°37'08"E	136.55
L148	N27°20'44"E	35.85
L149	N54°05'19"E	24.84
L150	N61°30'05"E	20.02
L151	N47°44'09"E	24.85
L152	N47°37'08"E	82.37
L153	N07°38'42"E	29.10
L154	N45°28'14"E	165.00
L155	N46°40'23"E	53.90
L156	N15°28'00"E	35.36
L157	N60°28'00"E	294.00
L158	N60°28'00"E	85.55
L159	N43°32'00"E	42.43
L160	N40°40'23"E	157.84
L161	N08°26'42"E	34.80
L162	N47°37'08"E	21.62
L163	N73°13'59"E	35.14
L164	N33°08'53"E	60.00
L165	N77°29'43"E	35.74
L166	N77°18'53"E	148.95
L167	N64°33'02"E	5.44
L168	N53°07'17"E	35.85
L169	N72°18'53"E	70.00
L170	N62°41'07"E	20.36
L171	N62°41'07"E	35.85
L172	N21°06'26"E	26.36
L173	N42°27'53"E	16.00
L174	N47°37'08"E	33.27
L175	N33°52'43"E	82.29
L176	N33°52'43"E	94.18
L177	N74°10'17"E	222.78
L178	N07°04'58"E	26.08
L179	N47°56'33"E	273.17
L180	N08°20'08"E	140.89

LINE TABLE		
LINE	DIRECTION	LENGTH
L181	N78°18'17"E	34.90
L182	N52°26'42"E	66.09
L183	N08°29'01"E	81.05
L184	N40°15'36"E	178.30
L185	N33°26'55"E	66.07
L186	N61°19'13"E	35.75
L187	N44°20'38"E	60.01
L188	N45°28'00"E	60.00
L189	N41°38'18"E	60.01
L190	N47°54'30"E	60.67
L191	N61°17'27"E	24.83
L192	N28°07'29"E	60.05
L193	N83°08'37"E	34.83
L194	N67°28'00"E	141.18
L195	N15°28'00"E	35.36
L196	N60°28'00"E	60.00
L197	N14°22'00"E	35.36
L198	N60°28'00"E	85.55
L199	N07°32'00"E	74.00
L200	N29°50'31"E	53.47
L201	N47°52'53"E	115.59
L202	N07°32'00"E	289.71
L203	N47°52'53"E	338.58
L204	N20°17'38"E	91.88
L205	N174°10'17"E	289.31

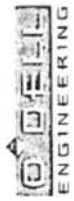
LINE TABLE		
LINE	DIRECTION	LENGTH
L206	N29°50'31"E	175.37
L207	N52°55'51"E	60.08
L208	N33°52'43"E	178.30
L209	N40°15'36"E	185.37
L210	N33°52'43"E	86.53
L211	N56°11'20"E	78.00
L212	N79°50'07"E	43.15
L213	N29°50'31"E	113.50
L214	N15°28'00"E	42.43
L215	N49°22'22"E	74.00
L216	N51°02'01"E	43.15
L217	N12°28'06"E	43.17
L218	N08°26'53"E	22.88
L219	N08°26'53"E	78.96
L220	N47°52'53"E	115.59
L221	N29°50'31"E	53.47
L222	N08°59'46"E	338.58
L223	N174°10'17"E	289.31

43-52T

43-52U

TRACT 3908 RIVER ISLANDS - STAGE 2A LARGE LOT FINAL MAP

A PORTION OF PARCELS 10, 15, 16, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.

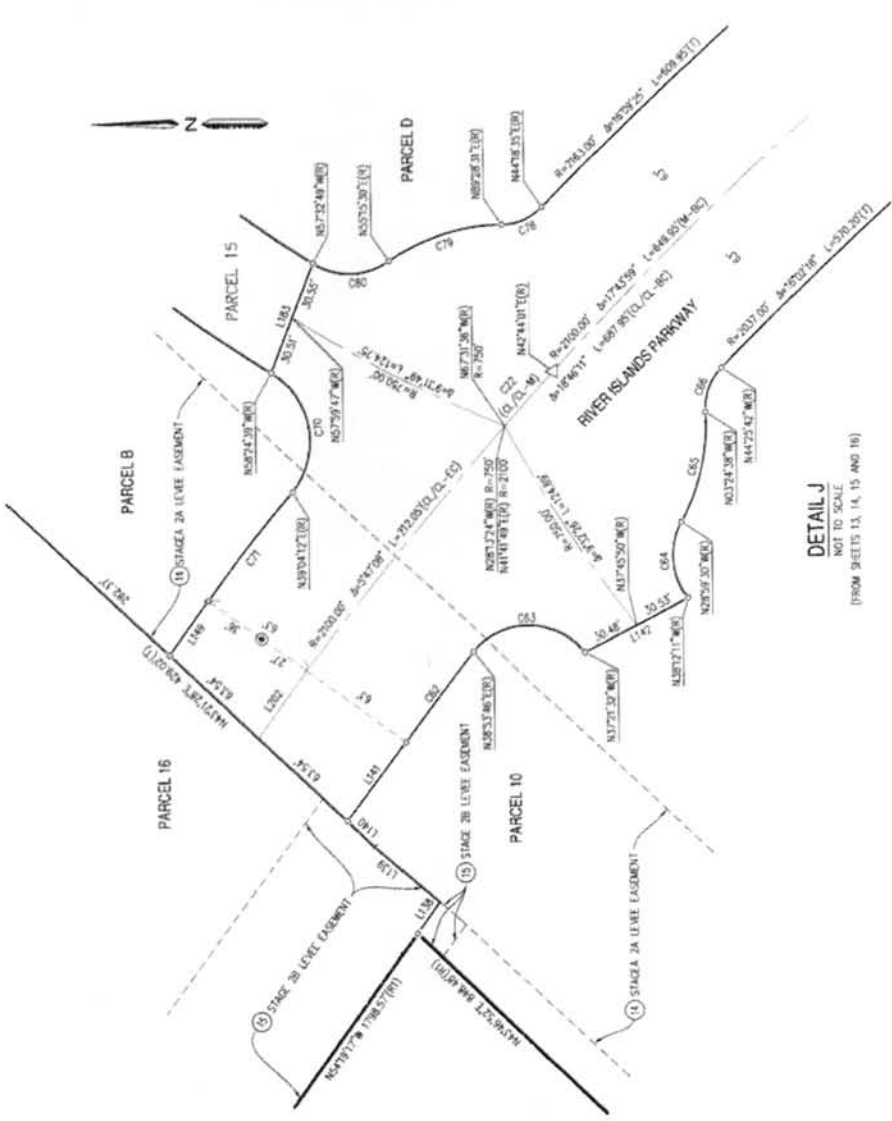


- NOTES**
- SEE SHEET 2 FOR ADDITIONAL NOTES AND REFERENCES.
 - SEE SHEET 5 FOR EXISTING EASEMENTS, EASEMENT REFERENCE LIST AND BASIS OF BEARINGS.
 - SEE SHEETS 21 AND 22 FOR LINE AND CURVE TABLES.
 - SEE SHEET 19 FOR LEGEND.

CURVE	RADIUS	DELTA	LENGTH
C01	52.00	92.7701°	83.91'
C02	52.00	184.9401°	169.81'
C03	58.00	87.9534°	88.86'
C04	163.00	77.9537°	237.33'
C05	163.00	64.4238°	214.86'
C06	87.00	157.2135°	213.09'
C07	113.00	59.2732°	71.82'
C08	196.00	07.9530°	8.86'
C09	196.00	193.4430°	384.26'
C10	210.00	197.7938°	88.37'
C11	127.00	197.7938°	359.51'
C12	53.00	43.9235°	46.33'
C13	70.00	27.8532°	34.81'
C14	47.00	49.5732°	40.39'
C15	47.00	92.7334°	102.54'
C16	47.00	49.5732°	38.20'
C17	78.00	39.7934°	58.11'
C18	62.00	84.7327°	81.10'
C19	154.00	42.9138°	121.03'
C20	285.00	131.3638°	75.84'

CURVE	RADIUS	DELTA	LENGTH
C46	87.00	2.7522°	35.31'
C47	73.00	52.4600°	87.27'
C48	860.00	2.5323°	48.45'
C49	718.00	1.5070°	71.55'
C50	2538.00	4.0514°	181.50'
C51	2608.00	3.0137°	151.04'
C52	1095.00	5.0707°	97.80'
C53	50.00	46.9354°	40.37'
C54	1095.00	3.0405°	58.63'
C55	50.00	67.7634°	58.85'
C56	143.00	42.7023°	110.18'
C57	50.00	71.2924°	62.37'
C58	50.00	90.0000°	86.39'
C59	87.00	157.2135°	213.09'
C60	113.00	157.2135°	29.98'
C61	1399.00	13.9807°	311.56'
C62	2037.00	7.7905°	198.11'
C63	31.00	103.1442°	67.00'
C64	36.00	67.8234°	42.22'
C65	105.00	37.7108°	58.38'
C66	36.00	47.8207°	29.95'
C67	17.00	65.5222°	18.56'
C68	50.00	14.7395°	128.06'
C69	780.00	9.0502°	121.06'
C70	42.00	97.8931°	71.86'
C71	2163.00	3.0931°	119.24'
C72	270.00	102.4138°	59.06'
C73	230.00	40.7418°	16.24'
C74	50.00	193.9626°	199.25'
C75	17.00	69.7925°	19.80'
C76	238.00	10.7017°	65.45'
C77	2163.00	11.1759°	65.29'
C78	30.00	45.9936°	23.65'
C79	105.00	3.4330°	62.71'
C80	36.00	67.7141°	42.22'
C81	78.00	81.5723°	103.30'
C82	87.00	157.2135°	213.09'
C83	113.00	157.2135°	29.98'
C84	2570.00	2.7234°	168.58'
C85	50.00	105.2610°	82.88'
C86	369.00	2.9760°	192.78'
C87	203.00	94.4177°	346.04'
C88	338.00	94.3527°	57.07'
C89	136.00	85.2337°	211.33'

CURVE	RADIUS	DELTA	LENGTH
C1	50.00	270.5048°	236.07'
C2	37.00	372.3538°	206.89'
C3	31.00	204.5135°	138.74'
C4	50.00	95.7970°	83.33'
C5	383.00	7.9621°	47.50'
C6	383.00	174.9238°	178.76'
C7	1545.00	8.9339°	446.56'
C8	37.00	67.0917°	441.86'
C9	31.00	31.2733°	177.39'
C10	383.00	245.2129°	166.36'
C11	383.00	157.2135°	29.98'
C12	113.00	157.2135°	23.09'
C13	87.00	157.2135°	23.09'
C14	1455.00	2.0953°	55.00'
C15	2859.00	3.9807°	174.14'
C16	53.00	91.4356°	84.85'
C17	87.00	157.2135°	23.09'
C18	113.00	157.2135°	29.98'
C19	293.00	372.3538°	127.46'
C20	1455.00	5.9648°	151.01'
C21	2859.00	7.0212°	38.00'
C22	47.00	147.0117°	117.97'
C23	250.00	44.4137°	20.71'
C24	220.00	44.4137°	20.71'
C25	153.00	32.8459°	87.01'
C26	100.00	77.7068°	12.72'
C27	500.00	27.2234°	267.85'
C28	20.00	43.1368°	15.80'
C29	500.00	0.1615°	1.49'
C30	50.00	125.2906°	109.53'
C31	17.00	68.4307°	19.65'
C32	268.00	105.2538°	204.10'
C33	47.00	45.4523°	37.54'
C34	65.00	94.4616°	107.31'
C35	47.00	45.4523°	37.54'
C36	624.00	8.5053°	86.83'
C37	1455.00	10.9623°	277.81'
C38	30.00	89.7107°	50.46'
C39	609.00	4.4626°	50.79'
C40	73.00	40.7324°	51.87'
C41	87.00	23.9527°	35.31'
C42	630.00	3.9703°	432.99'
C43	153.00	24.5444°	95.24'



DETAIL J
NOT TO SCALE
(FROM SHEETS 13, 14, 15 AND 16)

43-52U

**RECORDING REQUESTED BY, AND
WHEN RECORDED MAIL TO:**



CITY OF LATHROP
ATTN: CITY CLERK
390 TOWNE CENTRE DRIVE
LATHROP, CA 95330
Exempt from payment of recording fees (GC 11922)

SPACE ABOVE THIS LINE FOR RECORDER'S USE

**GRANT DEED
STAGE 2A SEWER FLUSHING STATION SITE**

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged, **RIVER ISLANDS STAGE 2A, LLC**, a Delaware limited liability company ("**Grantor**"), hereby grants to the **CITY OF LATHROP** a California municipal corporation ("**Grantee**"), that certain real property located in the City of Lathrop, County of San Joaquin, State of California, along with all improvements thereon, as described in the legal description attached hereto as Attachment "A" ("**Land**") incorporated herein by this reference.

Grantor intends to convey with the Land any and all riparian rights or other water interests to which the Land is entitled therein appurtenant or relating to the Property, whether such water rights shall be riparian, overlying, littoral, percolating, prescriptive, adjudicated, statutory or contractual ("**Water Rights**").

While Grantor intends to transfer the Water Rights with the Land, it does not intend by this grant to sever the riparian rights of the surrounding properties. With this conveyance Grantor intends to retain to any and all land surrounding the Property all riparian rights to which those lands are entitled.

Notwithstanding the above grant, Grantor intends to except and reserve unto Grantor, its successors and assigns, together with the right to grant and transfer all or a portion of the same:

A. All rights that the Land may have in and to that Water Right License 2637 (Application 5155/Permit 2720) granted by the State Water Resources Control Board and held by Island Reclamation District No. 2062.

B. The right and power to utilize, convey, remove, treat, and store the Water Rights from the Land, to divert or otherwise utilize such water, rights or interests on the Land or other property, but without, however any right to enter upon the surface of the Land in the exercise of such rights.

C. All oil, oil rights, minerals, mineral rights, natural gas rights and other hydrocarbons by whatsoever name known, geothermal steam and all products derived from any of the foregoing, that may be within or under the Land, together with the perpetual right of drilling, mining, exploring and operating therefor and storing in and removing the same from said Land or any other land including the right to whipstock or directionally drill and mine from lands other than the Land, oil or gas wells, tunnels and shafts into, through or across the subsurface of the Land, and to bottom such whipstocked or directionally drilled wells, tunnels and shafts under and beneath or beyond the exterior limits thereof, and to redrill, retunnel, equip, maintain, repair, deepen and operate any such wells or mines without, however, the right to drill, mine, store, explore or operate through the surface or the upper five hundred feet (500') of the subsurface of the Land.

SUBJECT TO:

1. General and special real property taxes and assessments and supplemental assessments, if any, for the current fiscal year.
2. Rights or claims of parties in possession not shown by the public records.
3. Encroachments, overlaps, boundary line disputes, or other matters which would be disclosed by an accurate survey or inspection of the premises.

IN WITNESS WHEREOF, Grantor has executed this Grant Deed as of June ____, 2020.

GRANTOR:

RIVER ISLANDS STAGE 2A, LLC
a Delaware limited liability company

By: _____
Susan Dell'Osso, President

[ATTACH NOTARY ACKNOWLEDGMENT]

ATTACHMENT A

Legal Description of Land – Stage 2A Sewer Flushing Station

(Attached)

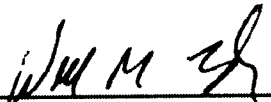
LEGAL DESCRIPTION
SANITARY SEWER FLUSHING STATION
RIVER ISLANDS, STAGE 2A
LATHROP, CALIFORNIA

THAT CERTAIN REAL PROPERTY SITUATE IN THE CITY OF LATHROP, COUNTY OF SAN JOAQUIN, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

BEING ALL OF PARCEL E, AS SAID PARCEL IS SHOWN ON THE MAP ENTITLED "TRACT 3908, RIVER ISLANDS, STAGE 2A, LARGE LOT FINAL MAP", FILED SEPTEMBER 20, 2018, IN BOOK 43 OF MAPS AND PLATS, AT PAGE 52, OFFICIAL RECORDS OF SAN JOAQUIN COUNTY.

END DESCRIPTION

THIS REAL PROPERTY DESCRIPTION HAS BEEN PREPARED BY ME, OR UNDER MY DIRECTION, IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYOR'S ACT.



William M. Koch
Professional Land Surveyor
California No. 8092



5/21/20
Date

ATTACHMENT B

Tract 3908 – River Islands – Stage 2A – Large Lot Final Map

(Attached)

43-52B

TRACT 3908 RIVER ISLANDS - STAGE 2A LARGE LOT FINAL MAP

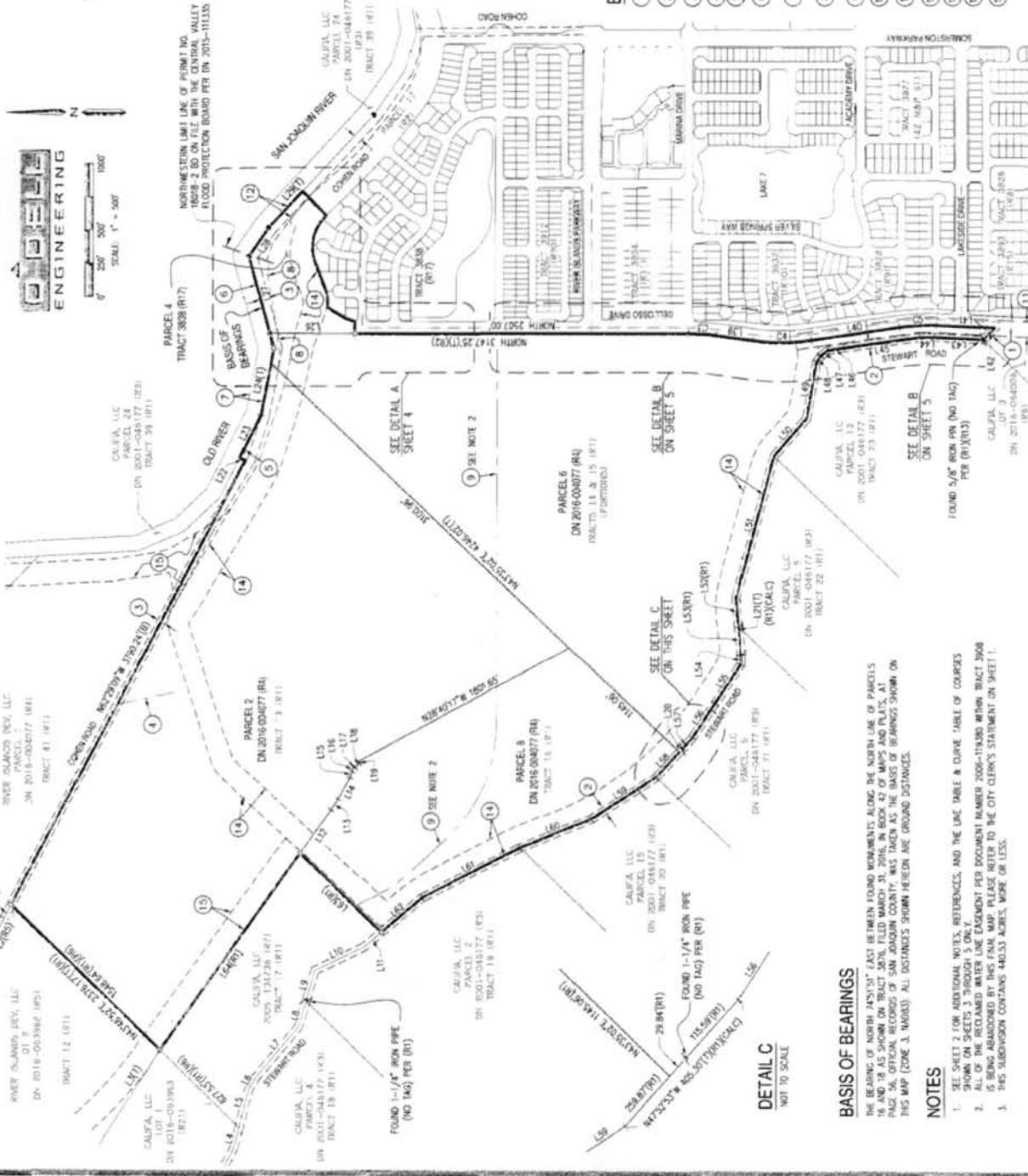
A PORTION OF RANCHO EL PASADERO, ALSO BEING A PORTION OF TOWNSHIPS 1 AND 2 SOUTH, RANGE 6 EAST, M.D.M., A SUBDIVISION OF PARCELS 2, 6 AND 8 AS DESCRIBED PER DOCUMENT NO. 2016-004077, AND PARCEL 4 OF TRACT 3638 (4) MAP 12, SAN JOAQUIN COUNTY RECORDS, CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA
JUNE 2018

LEGEND (SHEETS 3 THROUGH 5 ONLY)

- ⊙ MONUMENT TO BE SET PER (R17), UNLESS OTHERWISE NOTED
- SET 5/8" REBAR WITH CAP STAMPED "74.5 7708" PER (R2)
- FOUND 5/8" REBAR WITH CAP STAMPED "74.5 7708" PER (R2), UNLESS OTHERWISE NOTED
- 1/2" MONUMENT PER (R1) AS NOTED
- ⊙ MONUMENT TO BE SET PER TRACT 3608 (R9)
- ⊙ MONUMENT TO BE SET PER TRACT 3034 (R11)
- ⊙ 3/4" IRON PIPE TO BE SET PER (R9)
- BOUNDARY
- LOT LINE OR RIGHT-OF-WAY LINE
- EASEMENT LINE
- CENTER LINE
- MONUMENT LINE
- MEASURED AND RECORDED DATA PER REFERENCE (R1)
- DIMENSIONS REFERENCE (R1) - SEE REFERENCE LIST ON SHEET 2
- MONUMENT TO MONUMENT
- RADIAL BEARING
- TOTAL
- BOUNDARY
- DOCUMENT NUMBER
- OFFICIAL RECORD
- MONUMENT
- MON
- P.U.L.C.
- EASEMENT REFERENCE NUMBER
- PUBLIC UTILITY EASEMENT
- 1 1/2" BRASS DOWEL STAMPED "74.5 7708" ON 1.0001 OFFSET PER (R17)
- 3/4" IRON PIPE WITH CAP "74.5 7708" PER (R17)
- 5/8" REBAR WITH CAP "74.5 7708" PER (R17)

EASEMENTS

- 1 50' WIDE ROADWAY EASEMENT IN FAVOR OF CITY OF LATHROP PER 199 O.R. 202, S.I.C.R. (STEWART ROAD)
- 2 50' WIDE ROADWAY EASEMENT IN FAVOR OF CITY OF LATHROP PER 199 O.R. 305, S.I.C.R. (STEWART ROAD)
- 3 50' WIDE ROADWAY EASEMENT IN FAVOR OF CITY OF LATHROP PER 408 O.R. 90, S.I.C.R. (OCHEN ROAD)
- 4 POLE LINE EASEMENT PER 326 O.R. 293, S.I.C.R. (NO WIDTH GIVEN)
- 5 POLE LINE EASEMENT PER 533 O.R. 202, S.I.C.R. (NO WIDTH GIVEN)
- 6 LEASE EASEMENT IN FAVOR OF SACRAMENTO & SAN JOAQUIN DRAINAGE DISTRICT PER 2024 O.R. 557, S.I.C.R. (TRACT LOCATION NOT DEFINED OF RECORD), PORTION OUTLINED PER DN 2015-111337 AND DN 2015-111339.
- 7 LEASE EASEMENT IN FAVOR OF SACRAMENTO & SAN JOAQUIN DRAINAGE DISTRICT PER 2094 O.R. 585, S.I.C.R. (TRACT LOCATION NOT DEFINED OF RECORD)
- 8 LEASE EASEMENT IN FAVOR OF SACRAMENTO & SAN JOAQUIN DRAINAGE DISTRICT PER 2143 O.R. 459, S.I.C.R. PORTION OUTLINED PER DN 2015-111337 AND DN 2015-111338
- 9 RECLAIMED WATER LINE EASEMENT IN FAVOR OF THE CITY OF LATHROP PER RECLAIMED WATER S.I.C.R. 6
- 10 LEASE EASEMENT IN FAVOR OF ISLAND RECLAMATION DISTRICT 2062 PER DN 2016-044897, S.I.C.R. (PORTION OUTLINED PER DN 2017-126844)
- 11 LEASE EASEMENT IN FAVOR OF ISLAND RECLAMATION DISTRICT 2062 PER DN 2016-044895, S.I.C.R. (DOES NOT AFFECT THE SUBJECT PROPERTY)
- 12 LEASE EASEMENTS IN FAVOR OF SACRAMENTO & SAN JOAQUIN DRAINAGE DISTRICT PER DN 2015-111335, S.I.C.R.
- 13 COMMENTS AND CONDITIONS AS DISCLOSED PER DN 2011-048177, S.I.C.R.
- 14 STAGE 2A LEASE EASEMENT IN FAVOR OF ISLAND RECLAMATION DISTRICT 2062 PER DN 2016-060992, S.I.C.R.
- 15 STAGE 2B LEASE EASEMENT IN FAVOR OF ISLAND RECLAMATION DISTRICT 2062 PER DN 2016-060995, S.I.C.R.



DETAIL C NOT TO SCALE

BASIS OF BEARINGS

THE BEARING OF NORTH 74°31'31" EAST BETWEEN FOUND MONUMENTS ALONG THE NORTH LINE OF PARCELS 16 AND 18 AS SHOWN ON TRACT 3076, FILED MARCH 31, 2016, IN BOOK 47 OF MAPS AND PLATS, AT PAGE 56, OFFICIAL RECORDS OF SAN JOAQUIN COUNTY, WAS TAKEN AS THE BASIS OF BEARINGS SHOWN ON THIS MAP (ZONE 3, NAD83). ALL DISTANCES SHOWN HEREIN ARE GROUND DISTANCES.

NOTES

1. SEE SHEET 3 FOR ADDITIONAL NOTES, REFERENCES, AND THE LINE TABLE & CURVE TABLE OF COURSES SHOWN ON SCHEDULES 3 THROUGH 5 ONLY.
2. ALL OF THE RECLAIMED WATER LINE EASEMENT PER DOCUMENT NUMBER 2006-119390 WITHIN TRACT 3908 IS BEING ABANDONED BY THIS FINAL MAP. PLEASE REFER TO THE CITY CLERK'S STATEMENT ON SHEET 1.
3. THIS SUBDIVISION CONTAINS 440.53 ACRES, MORE OR LESS.

43-52B

43-52C

TRACT 3908 RIVER ISLANDS - STAGE 2A LARGE LOT FINAL MAP

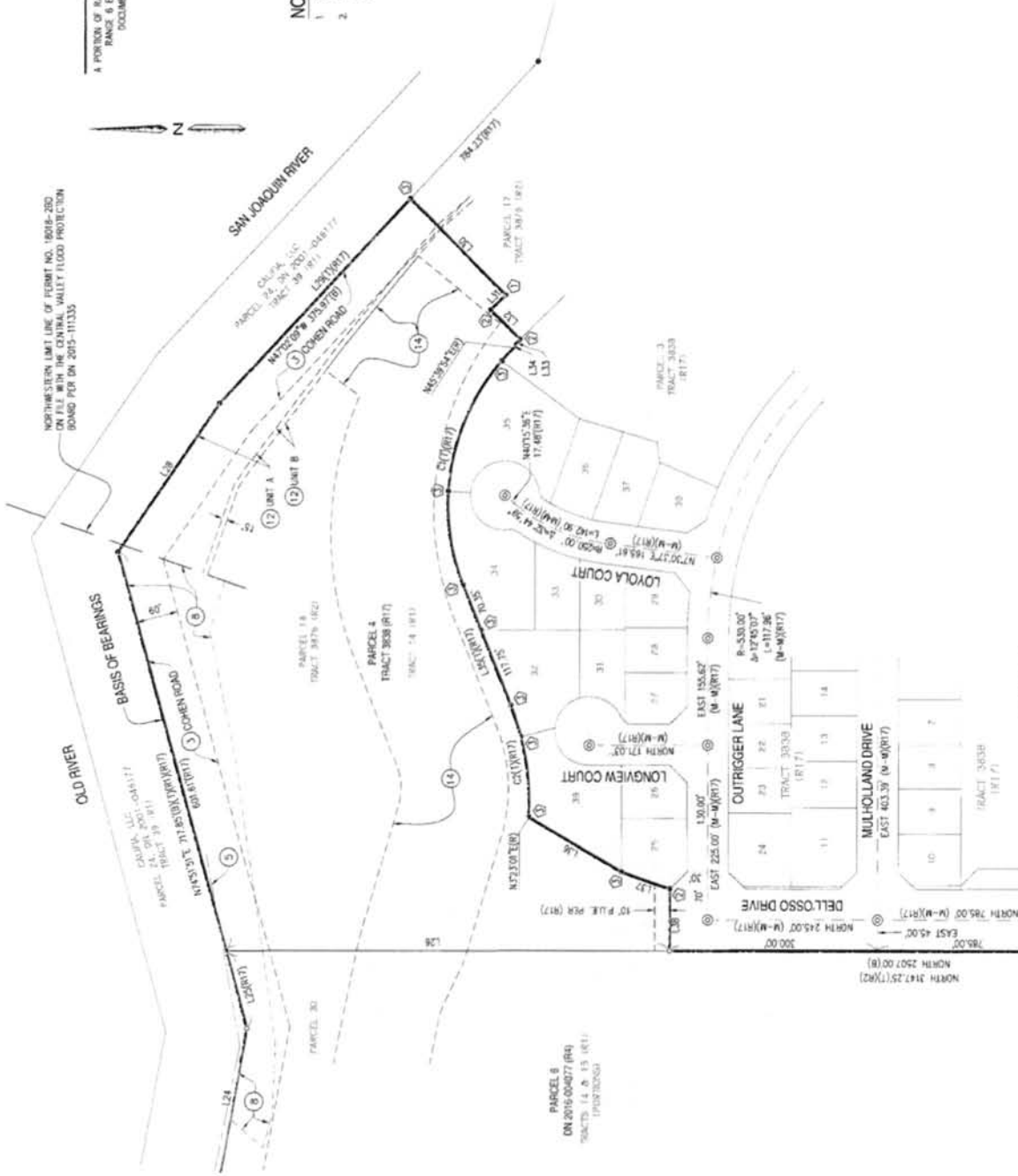
A PORTION OF RANCHO EL PESQUERO, ALSO BEING A PORTION OF TOWNSHIPS 1 AND 2 SOUTH, RANGE 8 EAST, M.D.M., A SUBDIVISION OF PARCELS 2, 6 AND 8 AS DESCRIBED PER DOCUMENT NO. 2016-004077, AND PARCEL 4 OF TRACT 3808 (43 MAP 12), SAN JOAQUIN COUNTY RECORDS.

CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA
JUNE 2018



NOTES

- 1 - SEE SHEET 3 FOR LEGEND, EXISTING EASEMENTS, EASEMENT REFERENCE LIST AND BASIS OF BEARINGS.
- 2 - SEE SHEET 3 FOR EXISTING EASEMENTS, EASEMENT REFERENCE LIST AND CURVE TABLES FOR SHEETS 3 THROUGH 5 ONLY.



SHEET 4 OF 22

43-52C

DETAIL A
NOT TO SCALE
(FROM SHEET 3)

SEE SHEET 5

SEE SHEET 3
PARCEL 6
ON 2016-004077 (R4)
TRACTS 1, 2, 3, 4, 5 (L4)
THROUGHOUT

43-52D

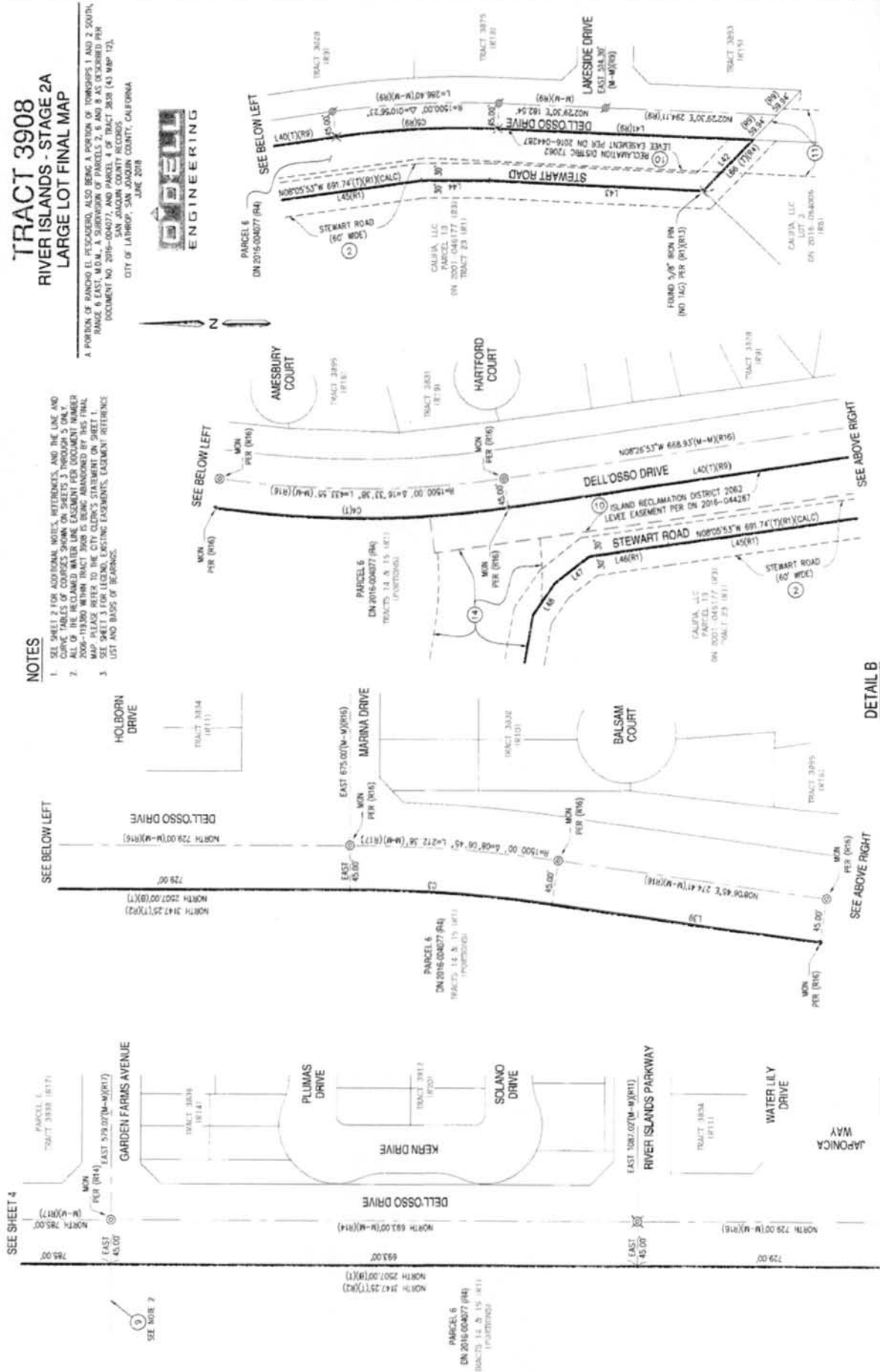
TRACT 3908 RIVER ISLANDS - STAGE 2A LARGE LOT FINAL MAP

A PORTION OF RANCHO EL PECADOR, ALSO BEING A PORTION OF TOWNSHIPS 1 AND 2 SOUTH, RANGE 8 EAST, M.D.M., A SUBDIVISION OF PARCELS 2, 6 AND 8 AS DESCRIBED PER DOCUMENT NO. 2016-04077, AND PARCEL 4 OF TRACT 3828 (4) MAP 12, SAN JOAQUIN COUNTY RECORDS, CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA
JUNE 2018



NOTES

1. SEE SHEET 2 FOR ADDITIONAL NOTES, REFERENCES, AND THE LINE AND CURVE TABLES OF COURSES SHOWN ON SHEETS 3 THROUGH 5 ONLY.
2. ALL OF THE RECLAIMED WATER LINE EASEMENT PER DOCUMENT NUMBER 2006-119300 WITHIN TRACT 3908 IS BEING ABANDONED BY THIS FINAL MAP. PLEASE REFER TO THE CITY CLERK'S STATEMENT ON SHEET 1, SEE THE RELEVANT EXISTING EASEMENTS, DOCUMENT REFERENCE LIST AND BASIS OF BEARINGS.
- 3.



DETAIL B
NOT TO SCALE
(FROM SHEET 3)

43-52D

43-52 E

TRACT 3908 RIVER ISLANDS - STAGE 2A LARGE LOT FINAL MAP

A PORTION OF RANCHO EL PESQUERO, ALSO BEING A PORTION OF TOWNSHIPS 1 AND 2 SOUTH,
RANGE 8 EAST, M.D.M., A SUBDIVISION OF PARCELS 2, 6 AND 8 AS DESCRIBED PER
DOCUMENT NO. 2076-004077, AND PARCEL 4 OF TRACT 3838 (41 MAP 12),
SAN JOAQUIN COUNTY RECORDS
CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA
JUNE 2018



SHEET INDEX

LEGEND

- BOUNDARY
- LOT LINE
- EXISTING ROADWAY EASEMENT
- SHEET NUMBER

1



SHEET 6 OF 22

43-52 E

43-52F

TRACT 3908 RIVER ISLANDS - STAGE 2A LARGE LOT FINAL MAP

A PORTION OF RANCHO EL PESQUERO, ALSO BEING A PORTION OF TOWNSHIPS 1 AND 2 SOUTH, RANGE 6 EAST, M.D.M., A SUBDIVISION OF PARCELS 2, 6 AND 8 AS DESCRIBED PER DOCUMENT NO. 2016-00477, AND PARCEL 4 OF TRACT 3538 (43 MAP 12), SAN JOAQUIN COUNTY RECORDS.

CITY OF LAHORE, SAN JOAQUIN COUNTY, CALIFORNIA
JUNE 2016



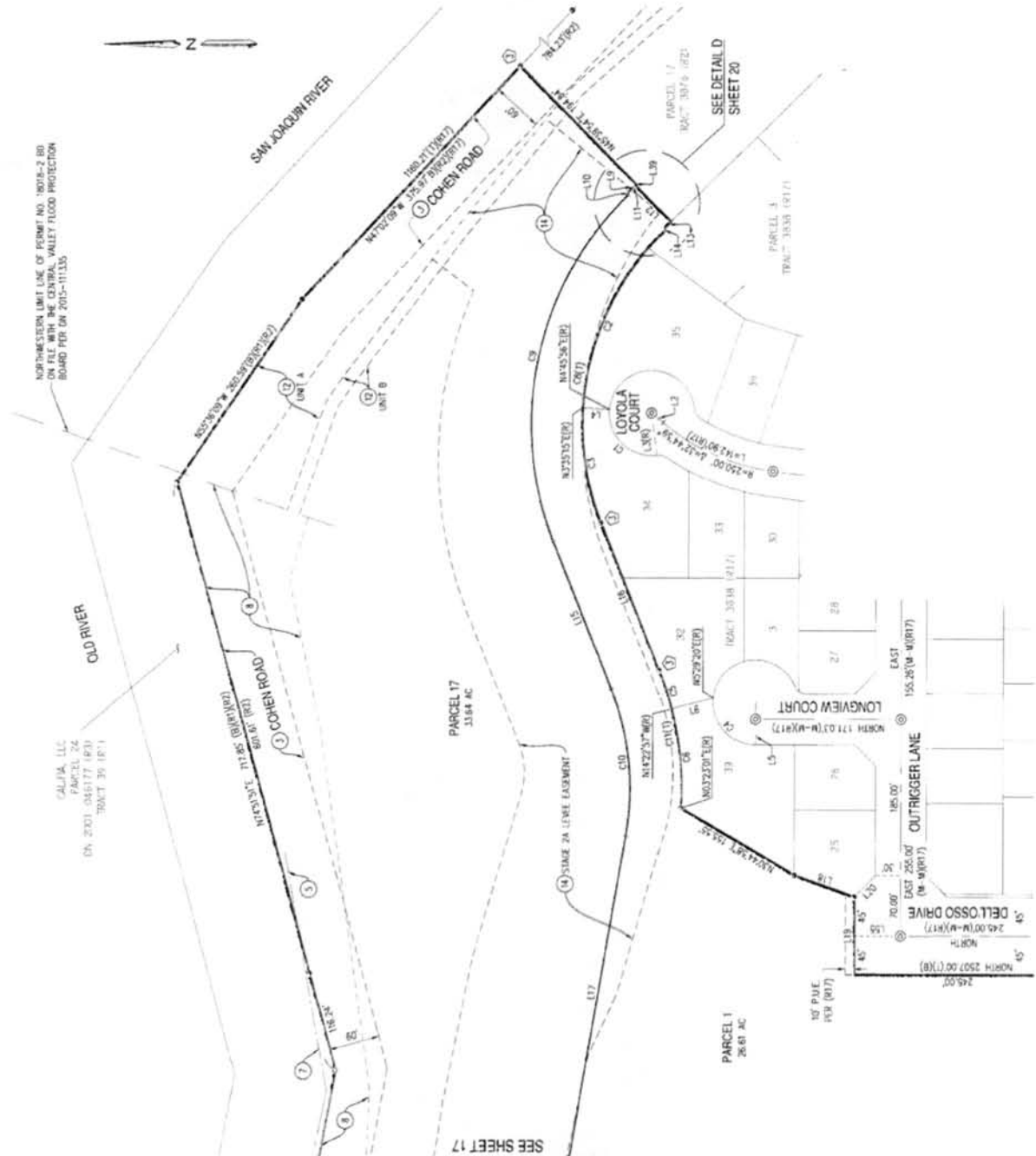
LEGEND

- SET 3/8" REBAR WITH CAP STAMPED "PLS 7788"
- △ SET 2-1/2" BRASS DISK STAMPED "PLS 7788"
- FOUND 5/8" REBAR WITH CAP STAMPED "PLS 7788" PER (R2), UNLESS OTHERWISE NOTED
- ⊗ 3/4" IRON PIPE TO BE SET PER (R9)
- ⊙ MONUMENT TO BE SET, STAMPED "PLS 7788" PER (R9)
- ⊕ MONUMENT TO BE SET PER (R17), UNLESS OTHERWISE NOTED
- ⊗ SET STANDARD CITY OF LAHORE MONUMENT WELL STAMPED "PLS 7788"
- ⊕ MONUMENT TO BE SET, STAMPED "PLS 7788" PER (R1)
- ⊗ FOUND MONUMENT PER (R1) AS NOTED
- ⊕ MEASURED AND RECORD DATA PER REFERENCE (R1)
- (R1) DENOTES REFERENCE (R1) - SEE REFERENCE LIST ON SHEET 2
- (R-#) MONUMENT TO MONUMENT
- (R) RADIAL BEARING
- (R7) REFERENCE NUMBER
- (T) TOTAL
- (B) BOUNDARY
- CENTER LINE
- DN DOCUMENT NUMBER
- MON MONUMENT
- P.U.E. PUBLIC UTILITY EASEMENT
- ① EASEMENT REFERENCE NUMBER - SEE SHEET 3 FOR REFERENCE LIST

- LOT LINE
- BOUNDARY
- EASEMENT LINE
- CENTERLINE
- MONUMENT LINE

NOTES

1. SEE SHEET 2 FOR ADDITIONAL NOTES AND REFERENCES.
2. SEE SHEET 3 FOR EASEMENT REFERENCE LIST AND RADIOS OF BEARINGS.
3. SEE SHEETS 21 AND 22 FOR LINE AND CURVE TABLES.



SHEET 7 OF 22

43-52F

43-52 G

TRACT 3908
RIVER ISLANDS - STAGE 2A
LARGE LOT FINAL MAP

A PORTION OF RANCHO EL PESCADERO, ALSO BEING A PORTION OF TOWNSHIPS 1 AND 2 SOUTH, RANGE 4 EAST, M.D.M., A SUBDIVISION OF PARCELS 2, 6 AND 8 AS DESCRIBED PER DOCUMENT NO. 2016-004077, AND PARCEL 4 OF TRACT 3828 (43 MAP 12), SAN JOAQUIN COUNTY RECORDS, CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA, JUNE 2018



0' 50' 100' 200'
 SCALE 1" = 100'

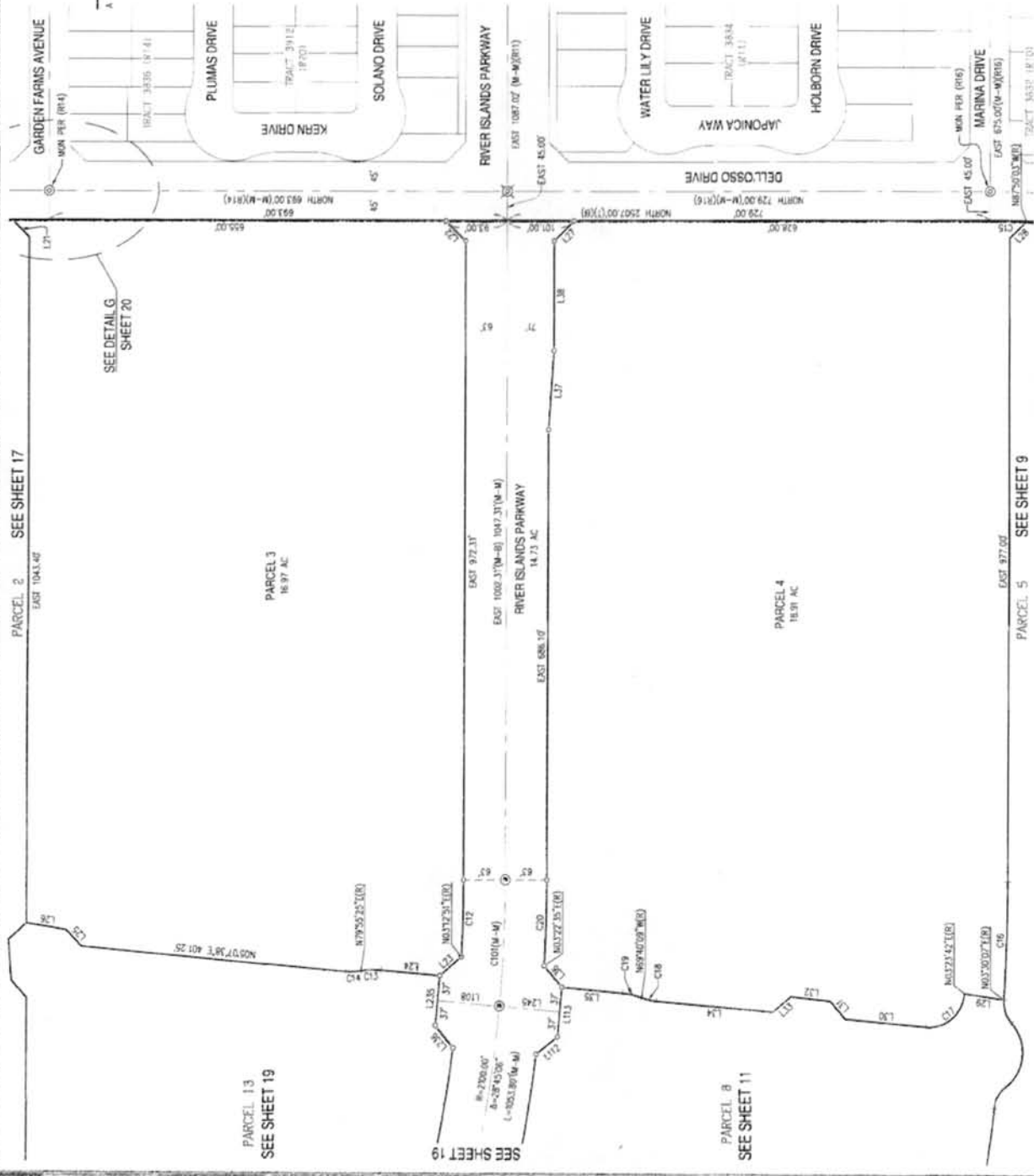
LEGEND

- SET 5/8" REBAR WITH CAP STAMPED "PLS 7788"
- △ SET 2-1/2" BRASS DISK STAMPED "PLS 7788"
- FOUND 5/8" REBAR WITH CAP STAMPED "PLS 7788" PER (R1), UNLESS OTHERWISE NOTED
- ⊕ 5/4" IRON PIPE TO BE SET PER (R8)
- ⊕ MONUMENT TO BE SET, STAMPED "PLS 7788" PER (R9)
- ⊕ MONUMENT TO BE SET PER (R17), UNLESS OTHERWISE NOTED
- ⊕ SET STANDARD CITY OF LATHROP MONUMENT WELL STAMPED "PLS 7788"
- ⊕ MONUMENT TO BE SET, STAMPED "PLS 7788" PER (R11)
- ⊕ FOUND MONUMENT PER (R1) AS NOTED
- 200.00' (R1) MEASURED AND RECORD DATA PER REFERENCE (R1)
- (R1) DENOTES REFERENCE (R1) - SEE REFERENCE LIST ON SHEET 2
- (M-W) MONUMENT TO MONUMENT
- (R) RADIAL BEARING
- (R7) REFERENCE NUMBER
- (T) TOTAL
- (B) BOUNDARY
- CL CENTER LINE
- DN DOCUMENT NUMBER
- MON MONUMENT
- PALE PUBLIC UTILITY EASEMENT
- ① EASEMENT REFERENCE NUMBER - SEE SHEET 3 FOR REFERENCE LIST

- LOT LINE
- BOUNDARY
- EASEMENT LINE
- CENTERLINE
- MONUMENT LINE
- ① 1 1/2" BRASS DISK STAMPED "PLS 7788" ON 1 FOOT OFFSET PER (R17)
- ② 5/4" IRON PIPE WITH CAP "PLS 7788" PER (R17)
- ③ 5/8" REBAR WITH CAP "PLS 7788" PER (R17)

NOTES

1. SEE SHEET 2 FOR ADDITIONAL NOTES AND REFERENCES.
2. SEE SHEET 3 FOR EXISTING EASEMENTS, EASEMENT REFERENCE LIST AND BASIS OF BEARINGS.
3. SEE SHEETS 21 AND 22 FOR LINE AND CURVE TABLES.



SHEET 8 OF 22

43-52 G

43-52H

TRACT 3908 RIVER ISLANDS - STAGE 2A LARGE LOT FINAL MAP

A PORTION OF RANCHO EL PESQUERO, ALSO BEING A PORTION OF TOWNSHIPS 1 AND 2 SOUTH, RANGE 6 EAST, M.E.M., A SUBDIVISION OF PARCELS 2, 6 AND 8 AS DESCRIBED PER DOCUMENT NO. 2011-04077, AND PARCEL 4 OF TRACT 3538 (43 MAP 12), SAN JOAQUIN COUNTY RECORDS, COUNTY OF SAN JOAQUIN COUNTY, CALIFORNIA
JUNE 2008
CITY OF LATHROP

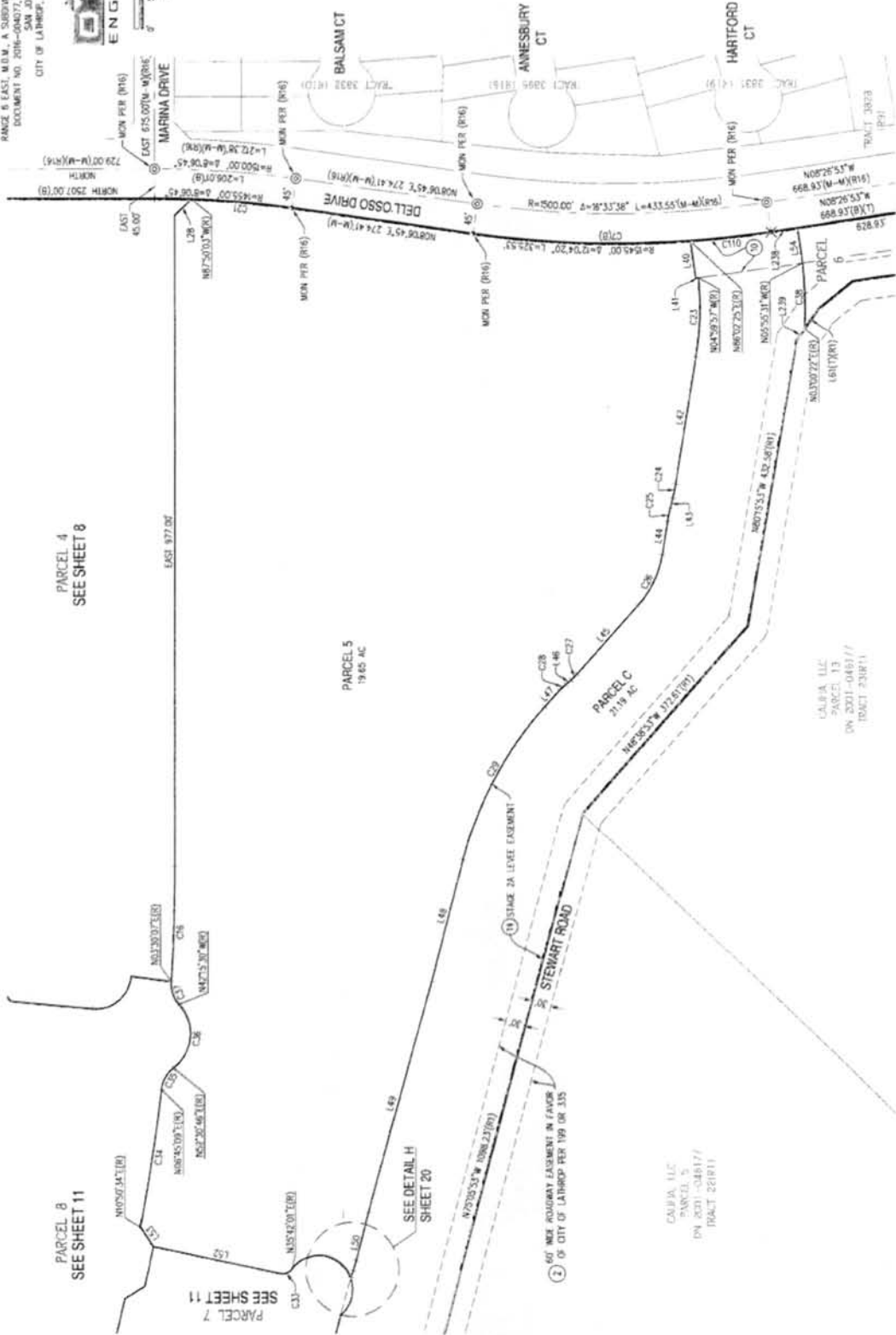


SCALE 1" = 100'
0' 50' 100' 200'



NOTES

1. SEE SHEET 3 FOR ADDITIONAL NOTES AND REFERENCES.
2. SEE SHEET 3 FOR EXISTING EASEMENTS, EASEMENT REFERENCE LIST AND BASIS OF BEARINGS.
3. SEE SHEETS 21 AND 22 FOR LINE AND CURVE TABLES.
4. SEE SHEET 8 FOR LEGEND.



SEE SHEET 10

SEE SHEET 8

SEE SHEET 11

SEE DETAIL H SHEET 20

SEE SHEET 7

SEE SHEET 11

SEE SHEET 11

SEE SHEET 11

43-52H

43-52 I

TRACT 3908 RIVER ISLANDS - STAGE 2A LARGE LOT FINAL MAP

A PORTION OF RANCHO EL PESCADERO, ALSO BEING A PORTION OF TOWNSHIPS 1 AND 2 SOUTH, RANGE 6 EAST, M.D.M., A SUBDIVISION OF PARCELS 2, 6 AND 8 AS DESCRIBED PER DOCUMENT NO. 2016-004072, AND PARCEL 4 OF TRACT 3838 (43 MAP 12), SAN JOAQUIN COUNTY RECORDS, CITY OF LAHROP, SAN JOAQUIN COUNTY, CALIFORNIA
JUNE 2018

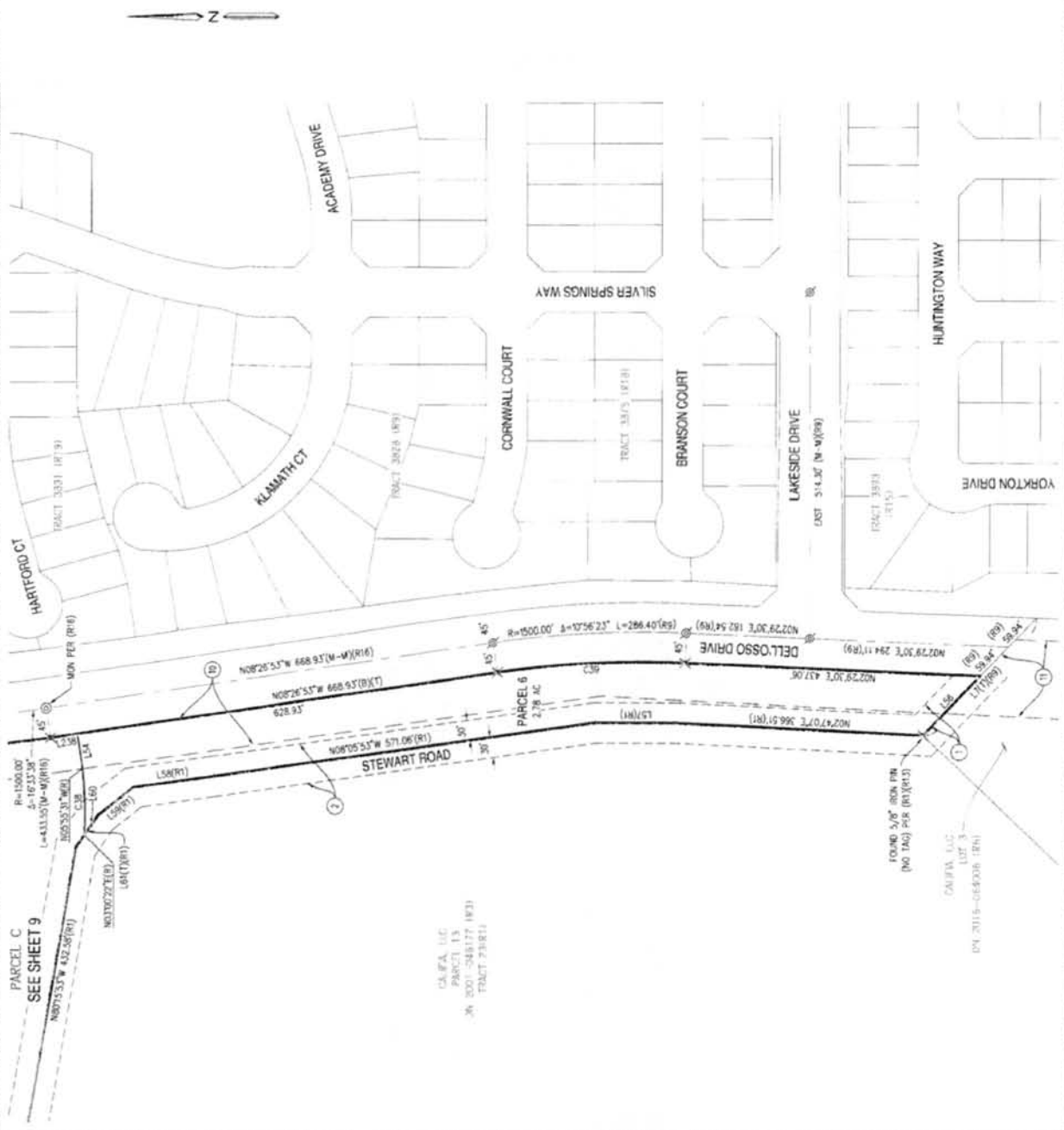


LEGEND

- SET 5/8" REBAR WITH CAP STAMPED "PLS 7786"
- △ SET 2-1/2" BRASS LOCK STAMPED "PLS 7786"
- FOUND 5/8" REBAR WITH CAP STAMPED "PLS 7786" PER (R7), UNLESS OTHERWISE NOTED
- ⌒ 3/4" IRON PIPE TO BE SET PER (R9)
- ⊙ MONUMENT TO BE SET, STAMPED "PLS 7786" PER (R9)
- ⊙ MONUMENT TO BE SET PER (R7), UNLESS OTHERWISE NOTED
- ⊙ SET STANDING CITY OF LAHROP MONUMENT WELL STAMPED "PLS 7786"
- ⊙ MONUMENT TO BE SET, STAMPED "PLS 7786" PER (R1)
- ⊙ FOUND MONUMENT PER (R1) AS NOTED
- 200.00' (R1) MEASURED AND RECORD DATA PER REFERENCE (R1)
- (R1) DENOTES REFERENCE (R1) - SEE REFERENCE LIST ON SHEET 2
- (N-S) MONUMENT TO MONUMENT
- (R) RADIAL BEARING
- (R7) REFERENCE NUMBER
- (17) TOTAL
- (R) BOUNDARY
- CL CENTER LINE
- DN DOCUMENT NUMBER
- MON MONUMENT
- FILE PUBLIC UTILITY EASEMENT
- ① EASEMENT REFERENCE NUMBER - SEE SHEET 3 FOR REFERENCE LIST
- (CL) LINE
- BOUNDARY
- - - EASEMENT LINE
- CENTERLINE
- MONUMENT LINE
- ① 1 1/2" BRASS LOCK STAMPED "PLS 7786" ON 1 FOOT OFFSET PER (R17)
- ② 3/4" IRON PIPE WITH CAP "PLS 7786" PER (R7)
- ③ 5/8" REBAR WITH CAP "PLS 7786" PER (R17)

NOTES

1. SEE SHEET 2 FOR ADDITIONAL NOTES AND REFERENCES.
2. SEE SHEET 3 FOR EXISTING EASEMENTS, EASEMENT REFERENCE LIST AND PUBLIC UTILITY EASEMENTS.
3. SEE SHEETS 21 AND 22 FOR LINE AND CURVE TABLES.



SHEET 10 OF 22

43-52 I

43-52J

TRACT 3908 RIVER ISLANDS - STAGE 2A LARGE LOT FINAL MAP

A PORTION OF RANCHO EL PESQUERO, ALSO BEING A PORTION OF TOWNSHIPS 1 AND 2 SOUTH, RANGE 6 EAST, M.D.M., A SURVEY OF PARCELS 2, 6 AND 8 AS DESCRIBED PER DOCUMENT NO. 2016-040477, AND PARCEL 4 OF TRACT 2838 (43 MAP 12), SAN JOAQUIN COUNTY RECORDS, CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA
JUNE 2018



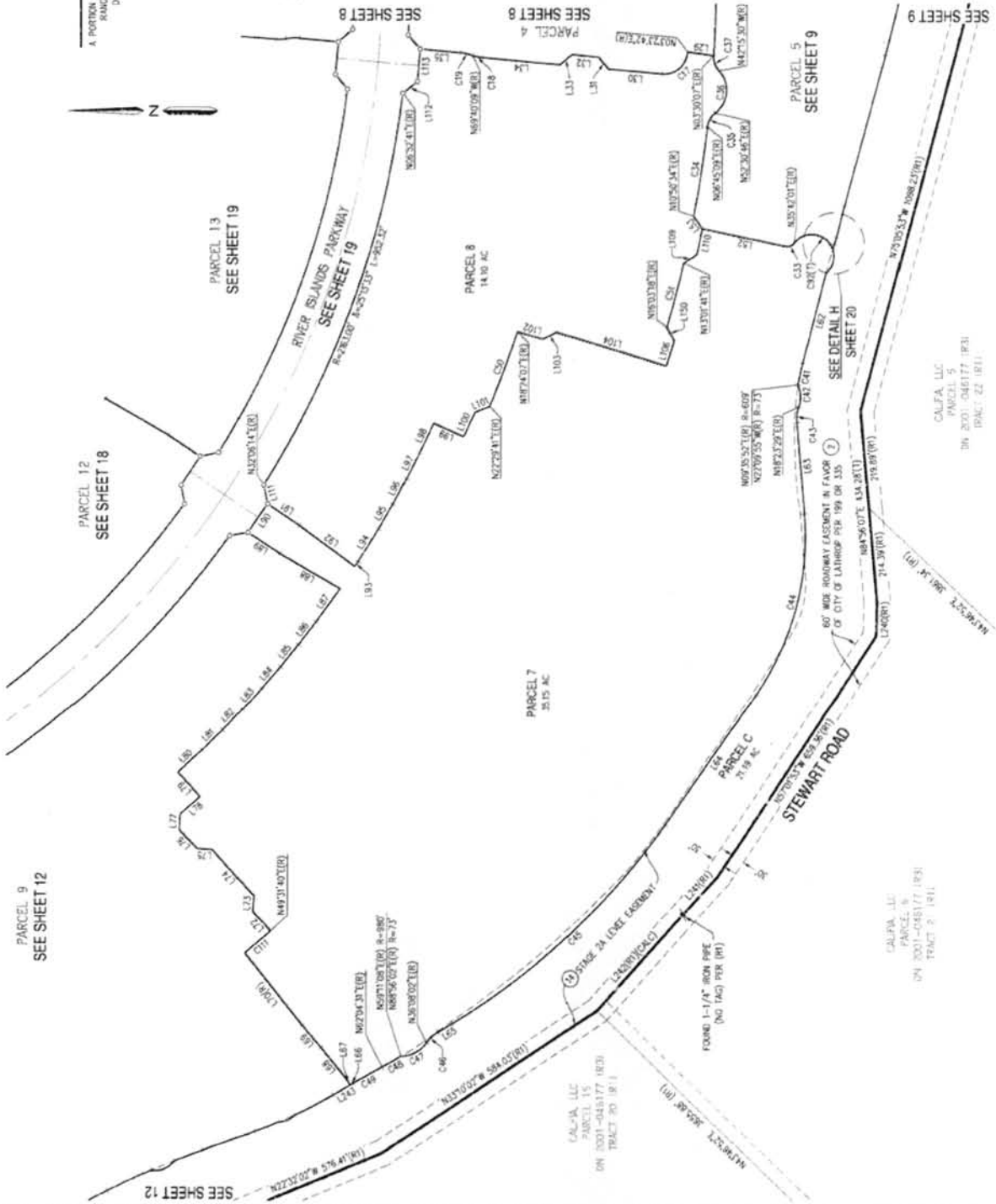
SCALE: 1" = 150'

LEGEND

- SET 5/8" REBAR WITH CAP STAMPED "PLS 7786"
- △ SET 2-1/2" BRASS DISK STAMPED "PLS 7786"
- FOUND 5/8" REBAR WITH CAP STAMPED "PLS 7786" PER (R2), UNLESS OTHERWISE NOTED
- 3/4" IRON PIPE TO BE SET PER (R9)
- MONUMENT TO BE SET, STAMPED "PLS 7786" PER (R9)
- MONUMENT TO BE SET PER (R2), UNLESS OTHERWISE NOTED
- SET STANDARD CITY OF LATHROP MONUMENT WELL STAMPED "PLS 7786"
- MONUMENT TO BE SET, STAMPED "PLS 7786" PER (R1)
- FOUND MONUMENT PER (R2) AS NOTED
- 200.00' (R1) MEASURED AND RECORD DATA PER REFERENCE (R1)
- (R1) DEKORIS REFERENCE (R1) - SEE REFERENCE LIST ON SHEET 2
- (M-M) MONUMENT TO MONUMENT
- (R) RADIAL BEARING
- (R) REFERENCE NUMBER
- (T) TOTAL
- (B) BOUNDARY
- (C) CENTER LINE
- (DN) DOCUMENT NUMBER
- (MON) MONUMENT
- (PUB.C) PUBLIC UTILITY EASEMENT
- (E) EASEMENT REFERENCE NUMBER - SEE SHEET 3 FOR REFERENCE LIST
- LOT LINE
- BOUNDARY
- EASEMENT LINE
- CENTERLINE
- MONUMENT LINE
- 11" BRASS DISK STAMPED "PLS 7786" ON 1 FOOT OFFSET PER (R17)
- 3/4" IRON PIPE WITH CAP "PLS 7786" PER (R17)
- 5/8" REBAR WITH CAP "PLS 7786" PER (R17)

NOTES

1. SEE SHEET 2 FOR ADDITIONAL NOTES AND REFERENCES.
2. SEE SHEET 3 FOR EXISTING EASEMENTS, EASEMENT REFERENCE LIST AND BASIS OF BEARINGS.
3. SEE SHEETS 21 AND 22 FOR LINE AND CORNER TABLES.



SHEET 11 OF 22

43-52J

43-52K

TRACT 3908 RIVER ISLANDS - STAGE 2A LARGE LOT FINAL MAP

A PORTION OF RANCHO EL PESCADERO, ALSO BEING A PORTION OF TOWNSHIPS 1 AND 2 SOUTH, RANGE 8 EAST, M.D.M., A SUBDIVISION OF PARCELS 2, 6 AND 8 AS DESCRIBED PER DOCUMENT NO. 2016-004077, AND PARCEL 4 OF TRACT 3908 (43 MAP 12), SAN JOAQUIN COUNTY, CALIFORNIA, AS SHOWN ON THE RECORD MAP OF THE CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA, JUNE 2018.



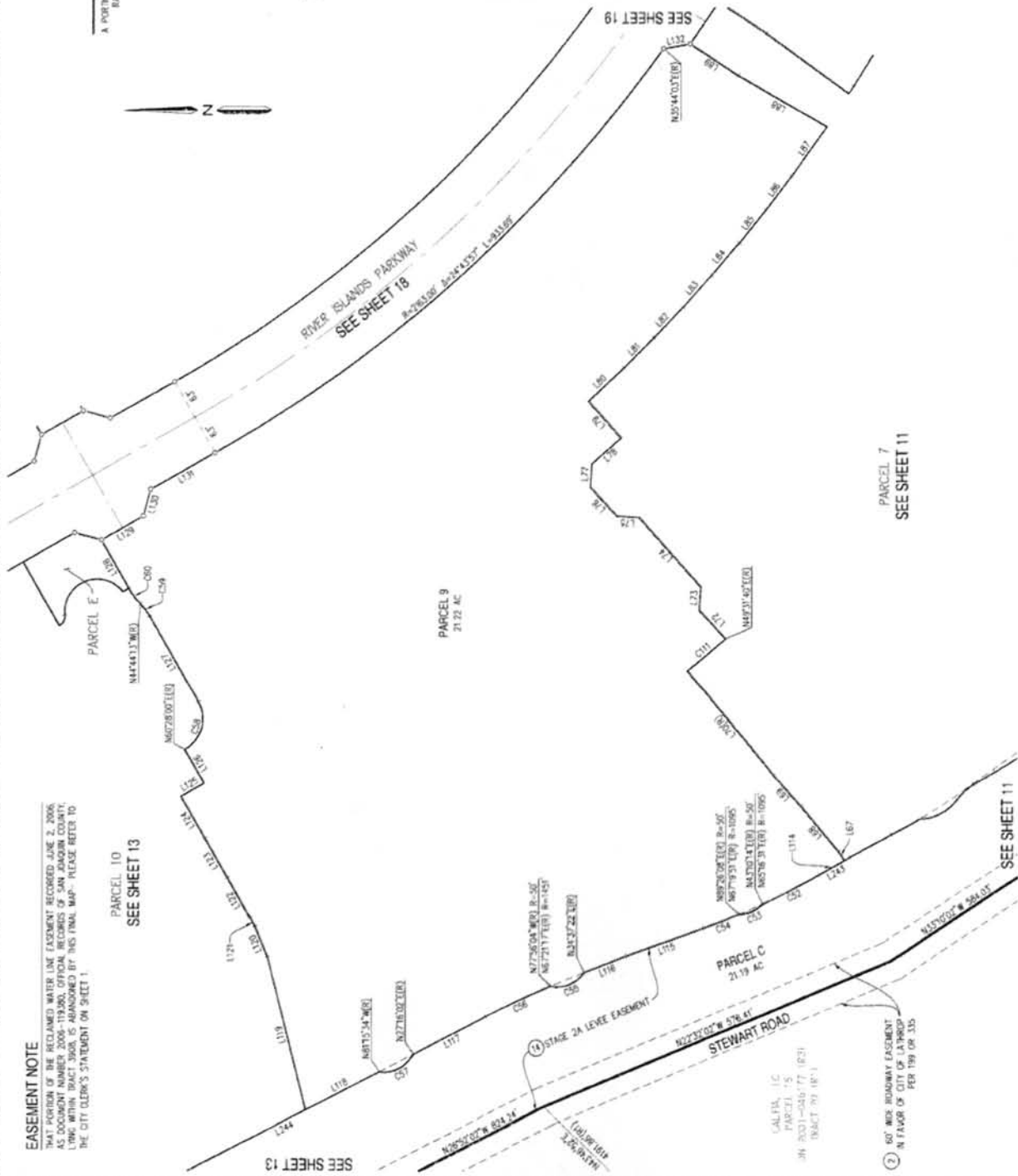
SCALE: 1" = 100'

LEGEND

- SET 5/8" REBAR WITH CAP STAMPED "PLS 7786"
- △ SET 2-1/2" BRASS IODK STAMPED "PLS 7786"
- FOUND 5/8" REBAR WITH CAP STAMPED "PLS 7786" PER (P2), UNLESS OTHERWISE NOTED
- ✕ 3/4" IRON PIPE TO BE SET PER (P9)
- ⊖ MONUMENT TO BE SET, STAMPED "PLS 7786" PER (P4)
- ⊙ MONUMENT TO BE SET PER (P17), UNLESS OTHERWISE NOTED
- ⊕ SET STATIONARY CITY OF LATHROP MONUMENT WELL STAMPED "PLS 7786"
- ⊗ MONUMENT TO BE SET, STAMPED "PLS 7786" PER (P11)
- ⊘ FOUND MONUMENT PER (P17) AS NOTED
- 200.00' (R1) MEASURED AND RECORD DATA PER REFERENCE (R1)
- (R1) DENOTES REFERENCE (R1) - SEE REFERENCE LIST ON SHEET 2
- (M-4) MONUMENT TO MONUMENT
- (P) RADIAL BEARING
- (P7) REFERENCE NUMBER
- (T) TOTAL
- (B) BOUNDARY
- (C) CENTER LINE
- DN DOCUMENT NUMBER
- MCN MONUMENT
- P.U.L. PUBLIC UTILITY EASEMENT
- ① EASEMENT REFERENCE NUMBER - SEE SHEET 3 FOR REFERENCE LIST
- LOT LINE
- BOUNDARY
- - - EASEMENT LINE
- - - CENTERLINE
- - - MONUMENT LINE
- ① 1 1/2" BRASS IODK STAMPED "PLS 7786" ON 1 (001 OFFSET PER (P17))
- ② 3/4" IRON PIPE WITH CAP "PLS 7786" PER (P17)
- ③ 5/8" REBAR WITH CAP "PLS 7786" PER (P17)

NOTES

1. SEE SHEET 2 FOR ADDITIONAL NOTES AND REFERENCES.
2. SEE SHEET 3 FOR EXISTING EASEMENTS, EASEMENT REFERENCE LIST AND BASIS OF BEARINGS.
3. SEE SHEETS 21 AND 22 FOR LINK AND CURVE TABLES.



SHEET 12 OF 22

43-52K

43-52 L

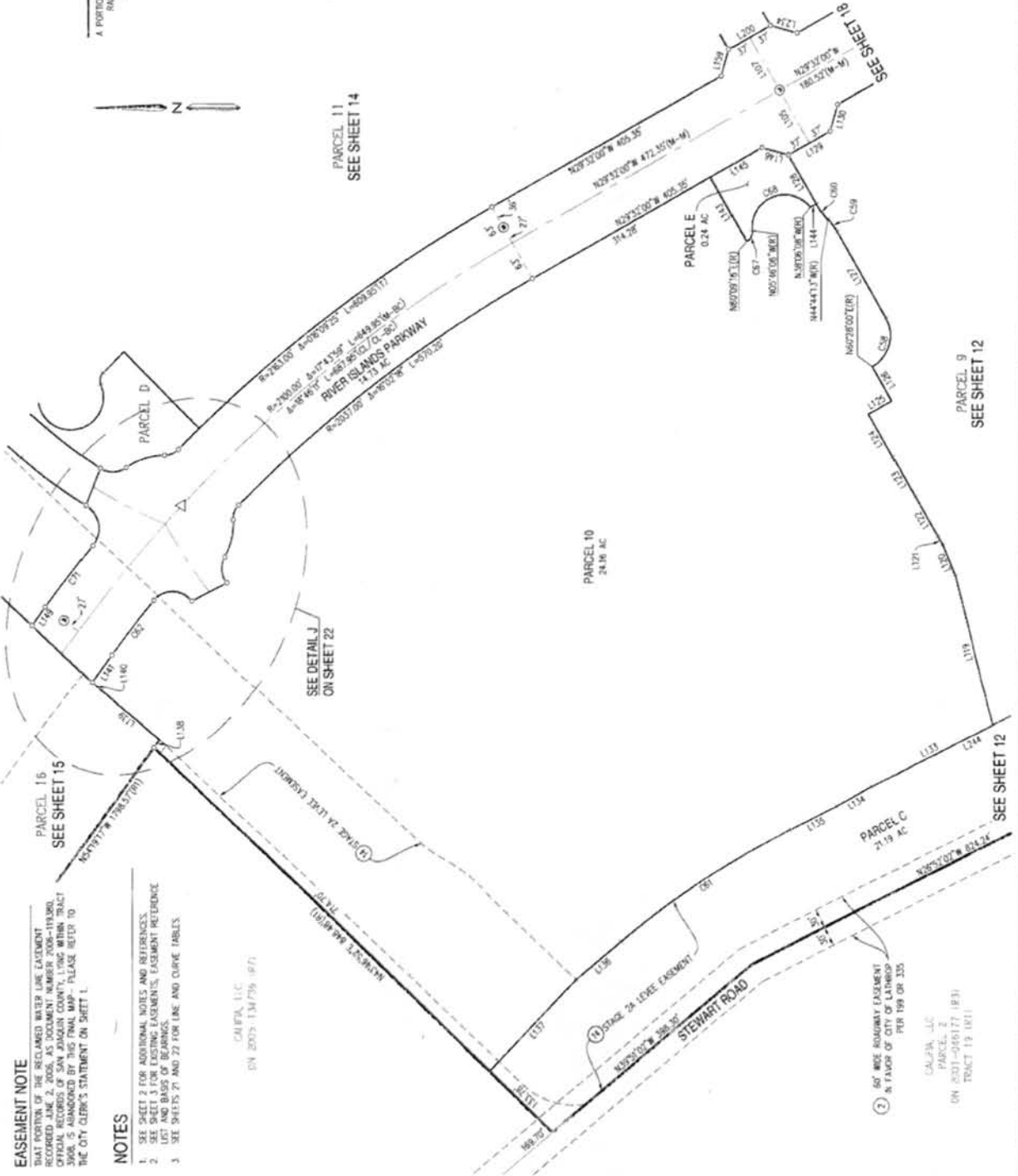
TRACT 3908 RIVER ISLANDS - STAGE 2A LARGE LOT FINAL MAP

A PORTION OF RANCHO EL PESQUERO, ALSO BEING A PORTION OF TOWNSHIPS 1 AND 2 SOUTH, RANGE 6 EAST, M.1.M., A SUBDIVISION OF PARCELS 2, 6 AND 8 AS DESCRIBED PER DOCUMENT NO. 2016-004077, AND PARCEL 4 OF TRACT 3838 (43 MAP 12), SAN JOAQUIN COUNTY RECORDS, SAN JOAQUIN COUNTY, CALIFORNIA
JUNE 2018



LEGEND

- SET 3/8" REBAR WITH CAP STAMPED "PLS 7788"
- △ SET 2-1/2" BRASS DISK STAMPED "PLS 7788"
- ▲ FOUND 3/8" REBAR WITH CAP STAMPED "PLS 7788" PER (R2), UNLESS OTHERWISE NOTED
- ⊕ 3/4" IRON PIPE TO BE SET PER (R9)
- ⊙ MONUMENT TO BE SET, STAMPED "PLS 7788" PER (R9)
- ⊗ MONUMENT TO BE SET PER (R17), UNLESS OTHERWISE NOTED
- ⊘ SET STANDARD CITY OF LAHOBIP MONUMENT WELL STAMPED "PLS 7788"
- ⊙ MONUMENT TO BE SET, STAMPED "PLS 7788" PER (R11)
- ⊙ FOUND MONUMENT PER (R1) AS NOTED
- ⊙ 200.00' (R1) MEASURED AND RECORD DATA PER REFERENCE (R1)
- (R1) DENOTES REFERENCE (R1) - SEE REFERENCE LIST ON SHEET 2
- (M-M) MONUMENT TO MONUMENT
- (R) RADIAL BEARING
- (R#) REFERENCE NUMBER
- (T) TOTAL
- (B) BOUNDARY
- CL CENTER LINE
- DN DOCUMENT NUMBER
- MON MONUMENT
- P.U.L. PUBLIC UTILITY EASEMENT
- ① EASEMENT REFERENCE NUMBER - SEE SHEET 3 FOR REFERENCE LIST
- ② LOT LINE
- BOUNDARY
- - - EASEMENT LINE
- - - CENTERLINE
- - - MONUMENT LINE
- ① 1-1/2" BRASS DISK STAMPED "PLS 7788" ON 1 FOOT OFFSET PER (R17)
- ② 3/4" IRON PIPE WITH CAP "PLS 7788" PER (R17)
- ③ 5/8" REBAR WITH CAP "PLS 7788" PER (R17)



EASEMENT NOTE

1. SEE SHEET 2 FOR ADDITIONAL NOTES AND REFERENCES.
2. SEE SHEET 3 FOR EXISTING EASEMENTS, EASEMENT REFERENCE LIST AND BASIS OF BEARINGS.
3. SEE SHEETS 21 AND 22 FOR LINE AND CURVE TABLES.

NOTES

1. SEE SHEET 2 FOR ADDITIONAL NOTES AND REFERENCES.
2. SEE SHEET 3 FOR EXISTING EASEMENTS, EASEMENT REFERENCE LIST AND BASIS OF BEARINGS.
3. SEE SHEETS 21 AND 22 FOR LINE AND CURVE TABLES.

CALIFA, LLC
DN 2015-134759 (R7)

② SEE WIDE ROADWAY EASEMENT
IN FAVOR OF CALIFA, LLC
PER 199 ON 325
CALIFA, LLC
PARCEL 7
DN 2017-000177 (R3)
TRACT 19 (R1)

SHEET 13 OF 22

43-52 L

43-52M

TRACT 3908 RIVER ISLANDS - STAGE 2A LARGE LOT FINAL MAP

A PORTION OF RANCHO EL PESQUERO, ALSO BEING A PORTION OF TOWNSHIPS 1 AND 2 SOUTH, RANGE 6 EAST, M.E.M., A SUBDIVISION OF PARCELS 2, 6 AND 8 AS DESCRIBED PER DOCUMENT NO. 2016-004077, AND PARCEL 4 OF TRACT 3838 (S MAP 12), SAN JOAQUIN COUNTY RECORDS, SAN JOAQUIN COUNTY, CALIFORNIA
JUNE 2018



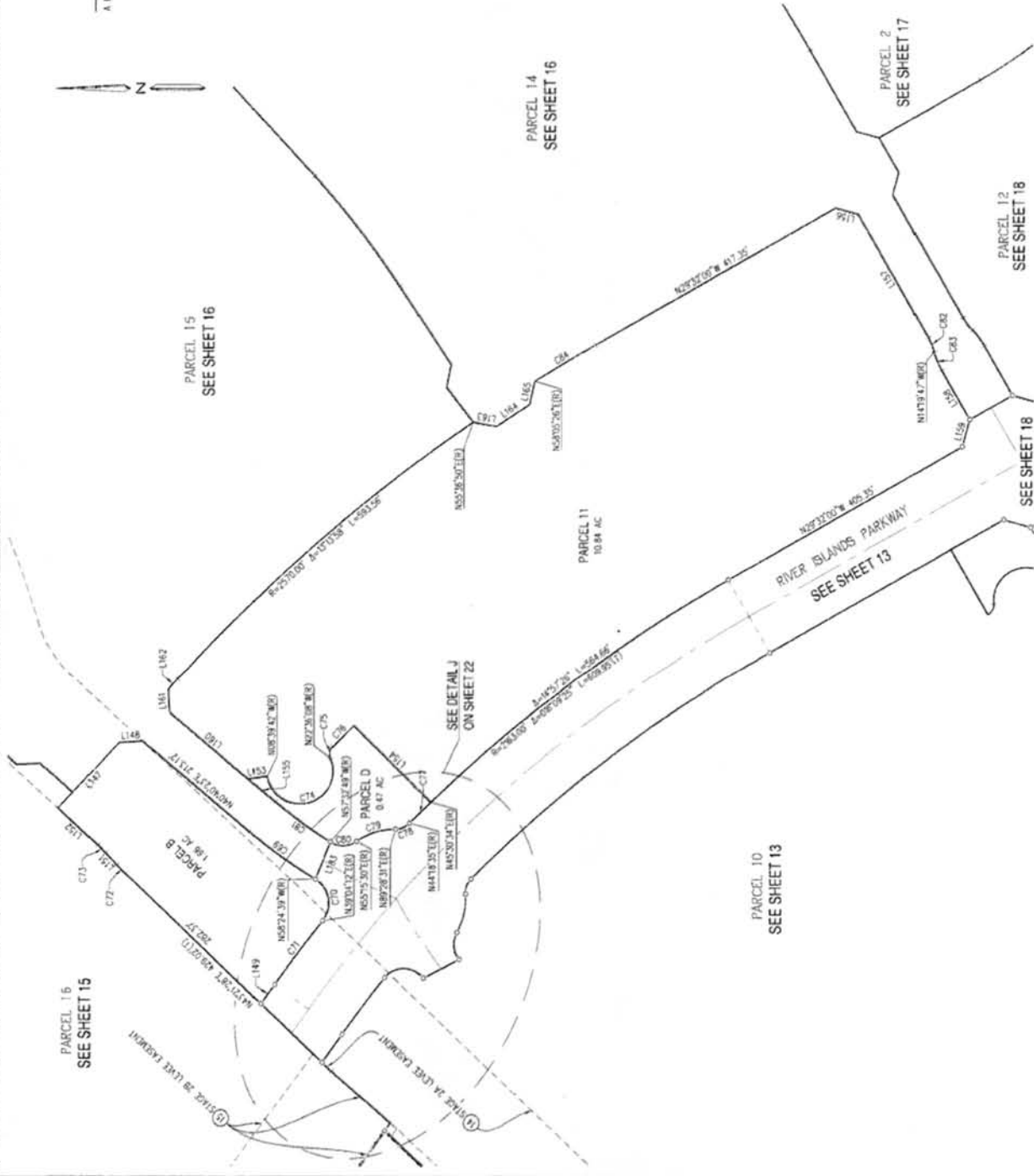
LEGEND

- ① SET 3/8" REBAR WITH CAP STAMPED "PLS 7786"
- △ SET 2-1/2" BRASS DISK STAMPED "PLS 7786"
- ▲ FOUND 5/8" REBAR WITH CAP STAMPED "PLS 7786" PER (R2), UNLESS OTHERWISE NOTED
- ▲ 3/4" IRON PDC TO BE SET PER (R3)
- ⊙ MONUMENT TO BE SET, STAMPED "PLS 7786" PER (R4)
- ⊙ MONUMENT TO BE SET PER (R17), UNLESS OTHERWISE NOTED
- ⊙ SET STANDING CITY OF LATHROP MONUMENT WILL STAMPED "PLS 7786"
- ⊙ MONUMENT TO BE SET, STAMPED "PLS 7786" PER (R1)
- ⊙ FOUND MONUMENT PER (R1) AS NOTED
- ⊙ MEASURED AND RECORD DATA PER REFERENCE (R1)
- (R1) DENOTES REFERENCE (R1) - SEE REFERENCE LIST ON SHEET 2
- (M-4) MONUMENT TO MONUMENT
- (R) RADIAL BEARING
- (R) REFERENCE NUMBER
- (T) TOTAL
- (B) BOUNDARY
- CL CENTER LINE
- DN DOCUMENT NUMBER
- MON MONUMENT
- P.U.L. PUBLIC UTILITY EASEMENT
- ① EASEMENT REFERENCE NUMBER - SEE SHEET 3 FOR REFERENCE LIST

- LOT LINE
- BOUNDARY
- - - EASEMENT LINE
- - - CENTERLINE
- - - MONUMENT LINE
- ① 1.17" BRASS DISK STAMPED "PLS 7786" ON 1" O.D. Ø75/Ø PER (R1)
- ② 3/4" IRON PDC WITH CAP "PLS 7786" PER (R1)
- ③ 5/8" REBAR WITH CAP "PLS 7786" PER (R1)

NOTES

1. SEE SHEET 2 FOR ADDITIONAL NOTES AND REFERENCES.
2. SEE SHEET 3 FOR EASEMENT EASEMENTS, EASEMENT REFERENCE LIST AND MAPS OF BEARINGS, EASEMENT REFERENCE.
3. SEE SHEETS 21 AND 22 FOR LINE AND CURVE TABLES.



SHEET 14 OF 22

43-52M

43-52 N

TRACT 3908 RIVER ISLANDS - STAGE 2A LARGE LOT FINAL MAP

A PORTION OF RANCHO EL PESQUERO, ALSO BEING A PORTION OF TOWNSHIPS 1 AND 2 SOUTH,
RANGE 6 EAST, M.D.M., A SUBDIVISION OF PARCELS 2, 6 AND 8 AS DESCRIBED PER
DOCUMENT NO. 2016-004077, AND PARCEL 4 OF TRACT 3838 (43 MAP 12),
SAN JOAQUIN COUNTY RECORDS,
CITY OF LAHOP, SAN JOAQUIN COUNTY, CALIFORNIA
JUNE 2018



LEGEND

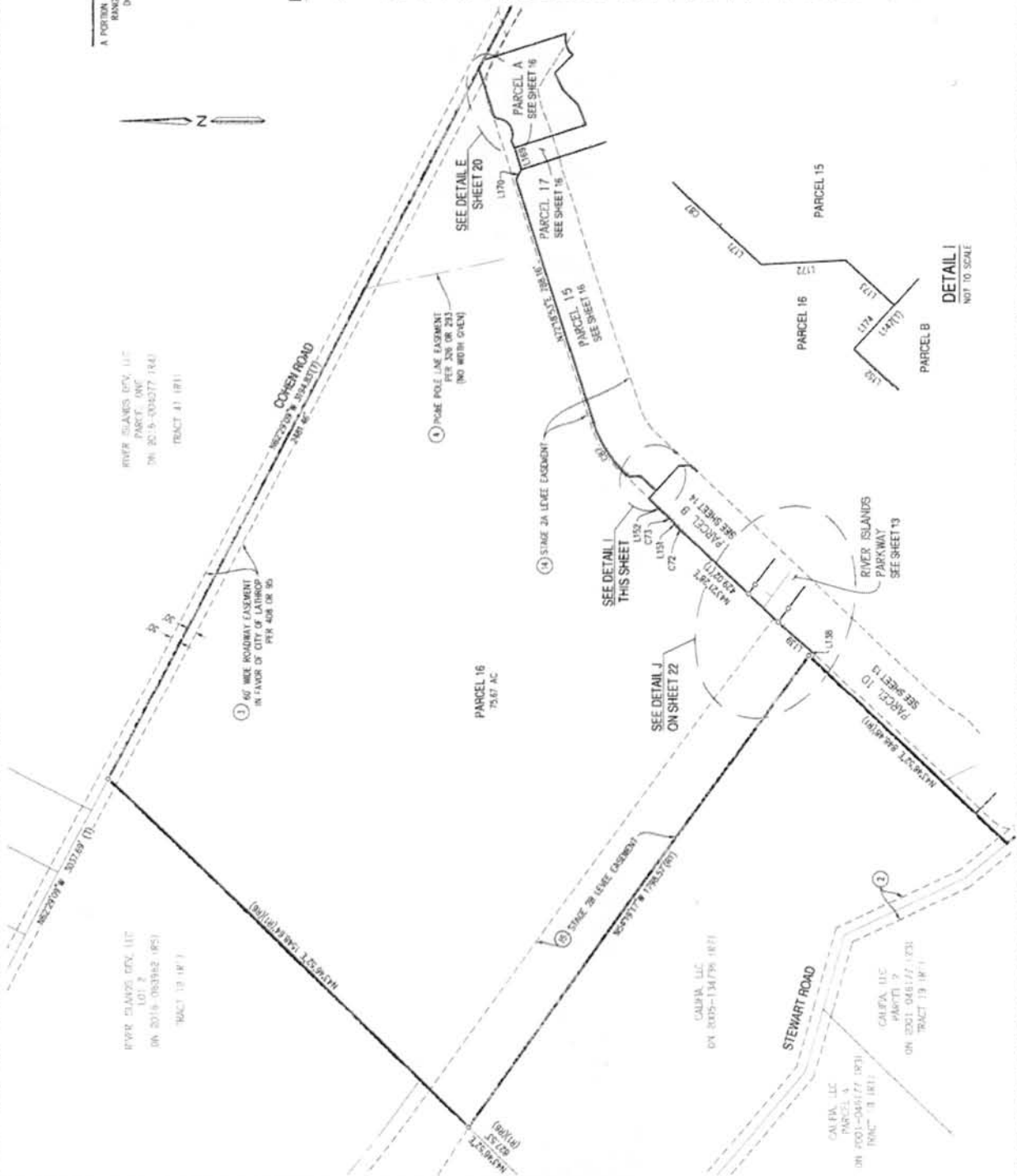
- SET 5/8" REBAR WITH CAP STAMPED "PLS 7788"
- △ SET 2-1/2" BRASS DISK STAMPED "PLS 7788"
- FOUND 5/8" REBAR WITH CAP STAMPED "PLS 7788" PER (R2), UNLESS OTHERWISE NOTED
- ✕ 3/4" IRON PIPE TO BE SET PER (R4)
- ⊖ MONUMENT TO BE SET, STAMPED "PLS 7788" PER (R6)
- ⊙ MONUMENT TO BE SET PER (R17), UNLESS OTHERWISE NOTED
- ⊗ SET STANDARD CITY OF LAHOP MONUMENT WELL STAMPED "PLS 7788"
- ⊘ MONUMENT TO BE SET, STAMPED "PLS 7788" PER (R11)
- ⊙ FOUND MONUMENT PER (R1) AS NOTED
- ⊙ 100.00' (R1) MEASURED AND RECORD DATA PER REFERENCE (R1)
- (R1) DENOTES REFERENCE (R1) - SEE REFERENCE LIST ON SHEET 2
- (M-M) MONUMENT TO MONUMENT
- (R) RADIAL BEARING
- (R7) REFERENCE NUMBER
- (T) TOTAL
- (B) BOUNDARY
- CL CENTER LINE
- DN DOCUMENT NUMBER
- MON MONUMENT
- P.U.E. PUBLIC UTILITY EASEMENT
- ① EASEMENT REFERENCE NUMBER - SEE SHEET 3 FOR REFERENCE LIST
- ② LOT LINE
- BOUNDARY
- EASTMENT LINE
- CENTRALINE
- MONUMENT LINE
- ① 1.17" BRASS DISK STAMPED "PLS 7788" ON 1" (OD) (R15) PER (R7)
- ② 3/4" IRON PIPE WITH CAP "PLS 7788" PER (R7)
- ③ 5/8" REBAR WITH CAP "PLS 7788" PER (R7)

NOTES

1. SEE SHEET 2 FOR ADDITIONAL NOTES AND REFERENCES
2. SEE SHEET 3 FOR EASEMENT REFERENCE LIST AND BASIS OF BEARINGS
3. SEE SHEETS 21 AND 22 FOR LINE AND CURVE TABLES

SHEET 15 OF 22

43-52 N



DETAIL I
NOT TO SCALE

43-520

TRACT 3908 RIVER ISLANDS - STAGE 2A LARGE LOT FINAL MAP

A PORTION OF RANCHO EL PESQUERO, ALSO BEING A PORTION OF TOWNSHIPS 1 AND 2 SOUTH, RANGE 6 EAST, M.S.M., A SUBDIVISION OF PARCELS 2, 6 AND 8 AS DESCRIBED PER DOCUMENT NO. 2016-004077, AND PARCEL 4 OF TRACT 3838 (43 MAP 12), SAN JOAQUIN COUNTY RECORDS, SAN JOAQUIN COUNTY, CALIFORNIA, JUNE 2018



LEGEND

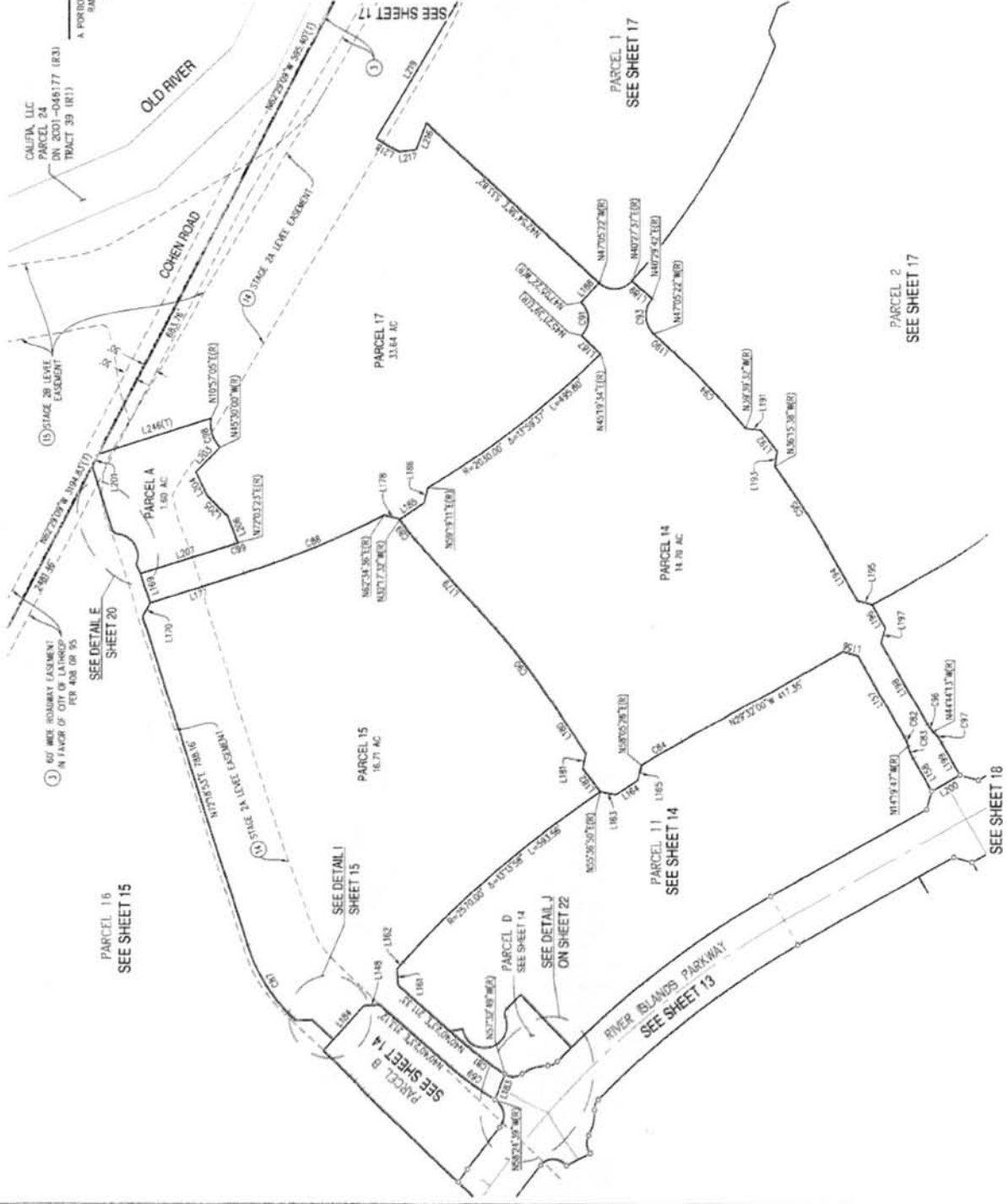
- SET 5/8" REBAR WITH CAP STAMPED "7LS 7788"
- △ SET 2-1/2" BRASS DISK STAMPED "7LS 7788"
- FOUND 5/8" REBAR WITH CAP STAMPED "7LS 7788" PER (R2), UNLESS OTHERWISE NOTED
- ✕ 3/4" IRON PIPE TO BE SET PER (R3)
- ⊙ MONUMENT TO BE SET, STAMPED "7LS 7788" PER (R4)
- ⊙ MONUMENT TO BE SET PER (R12), UNLESS OTHERWISE NOTED
- ⊙ SET STANDARD CITY OF LAHOBOP MONUMENT WELL STAMPED "7LS 7788"
- ⊙ FOUND MONUMENT PER (R1) AS NOTED
- ⊙ 200.00' (R1)
- ⊙ (R1) MEASURED AND RECORD DATA PER REFERENCE (R1)
- ⊙ (R1) DENOTES REFERENCE (R1) - SEE REFERENCE LIST ON SHEET 2
- (M-4) MONUMENT TO MONUMENT
- (R) RADIAL BEARING
- (R7) REFERENCE NUMBER
- (T) TOTAL
- (B) BOUNDARY
- (CL) CENTER LINE
- (DN) DOCUMENT NUMBER
- (MN) MONUMENT
- (P.U.E) PUBLIC UTILITY EASEMENT
- (1) EASEMENT REFERENCE NUMBER - SEE SHEET 3 FOR REFERENCE LIST

- LOT LINE
- BOUNDARY
- EASEMENT LINE
- CENTERLINE
- MONUMENT LINE

- ① 11" BRASS DISK STAMPED "7LS 7788" ON 1 FOOT OFFSET PER (R7)
- ② 3/4" IRON PIPE WITH CAP "7LS 7788" PER (R12)
- ③ 5/8" REBAR WITH CAP "7LS 7788" PER (R12)

NOTES

1. SEE SHEET 3 FOR ADDITIONAL NOTES AND REFERENCES.
2. SEE SHEET 3 FOR EASEMENT, EASEMENT REFERENCE LIST AND BASIS OF BEARINGS.
3. SEE SHEETS 21 AND 22 FOR LINE AND CURVE TABLES.



43-520

43-52P

TRACT 3908 RIVER ISLANDS - STAGE 2A LARGE LOT FINAL MAP

A PORTION OF RANCHO EL PESQUERO, ALSO BEING A PORTION OF TOWNSHIPS 1 AND 2 SOUTH RANGE 9 EAST, M.D.M., A SUBDIVISION OF PARCELS 2, 6 AND 8 AS DESCRIBED PER DOCUMENT NO. 2016-004077, AND PARCEL 4 OF TRACT 3838 (43 MAP 12), SAN JOAQUIN COUNTY RECORDS, CITY OF LAHORE, SAN JOAQUIN COUNTY, CALIFORNIA
JUNE 2016



SCALE 1" = 150'

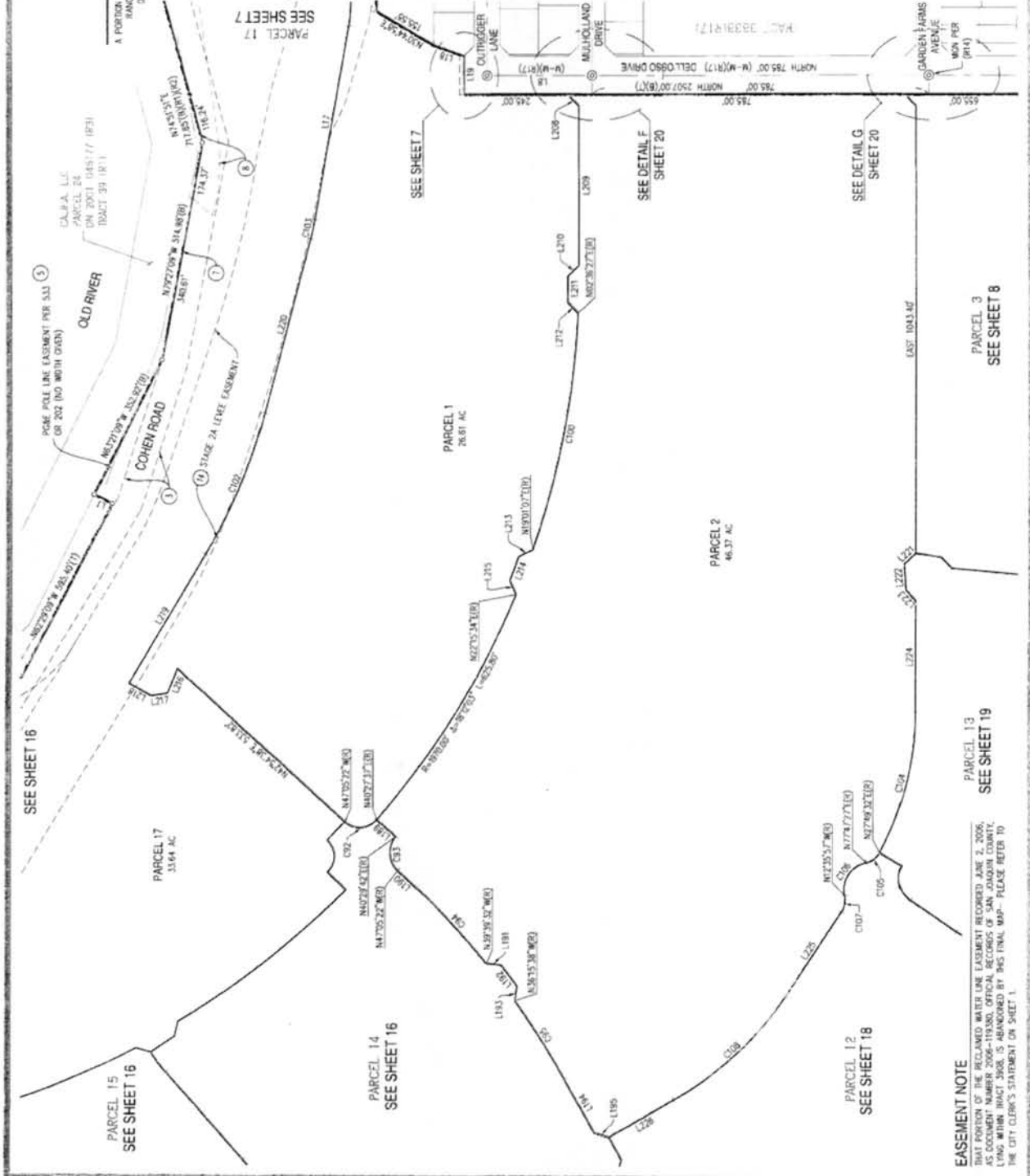
LEGEND

- SET 5/8" REBAR WITH CAP STAMPED "PLS 7786"
- SET 2-1/2" BRASS DOG STAMPED "PLS 7786"
- FOUND 5/8" REBAR WITH CAP STAMPED "PLS 7786" PER (R2), UNLESS OTHERWISE NOTED
- 3/4" IRON PIPE TO BE SET PER (R4)
- MONUMENT TO BE SET STAMPED "PLS 7786" PER (R9)
- SET STANDARD CITY OF LAHORE MONUMENT WELL STAMPED "PLS 7786"
- MONUMENT TO BE SET STAMPED "PLS 7786" PER (R11)
- FOUND MONUMENT PER (R1) AS NOTED
- MEASURED AND RECORD DATA PER REFERENCE (R1)
- DIAGONAL REFERENCE (R1)- SEE REFERENCE LIST ON SHEET 2
- MONUMENT TO MONUMENT
- RADIAL BEARING
- REFERENCE NUMBER
- TOTAL
- BOUNDARY
- CENTER LINE
- DOCUMENT NUMBER
- MONUMENT
- PILE
- PUBLIC UTILITY EASEMENT
- EASEMENT REFERENCE NUMBER - SEE SHEET 3 FOR REFERENCE LIST
- LOT LINE
- BOUNDARY
- EASEMENT LINE
- CENTERLINE
- MONUMENT LINE

- 1.17" BRASS DOG STAMPED "PLS 7786" ON 1 FOOT OFFSET PER (R17)
- 3/4" IRON PIPE WITH CAP "PLS 7786" PER (R17)
- 5/8" REBAR WITH CAP "PLS 7786" PER (R17)

NOTES

- SEE SHEET 2 FOR ADDITIONAL NOTES AND REFERENCES
- SEE SHEET 3 FOR EXISTING EASEMENTS, EASEMENT REFERENCE LIST AND BASIS OF BEARINGS
- SEE SHEETS 21 AND 22 FOR LOT AND CLUMP TABLES



EASEMENT NOTE
 THAT PORTION OF THE RECLAIMED WATER LINE EASEMENT RECORDED JUNE 2, 2006, AS DOCUMENT NUMBER 2006-004080, OFFICIAL RECORDS OF SAN JOAQUIN COUNTY, IS LOCATED WITHIN TRACT 3908 - PARCELS 1-15 AND IS BEING REFERRED TO BY THIS FINAL MAP - PLEASE REFER TO THE CITY CLERK'S STATEMENT ON SHEET 1.

SHEET 17 OF 22

43-52P

43-52a

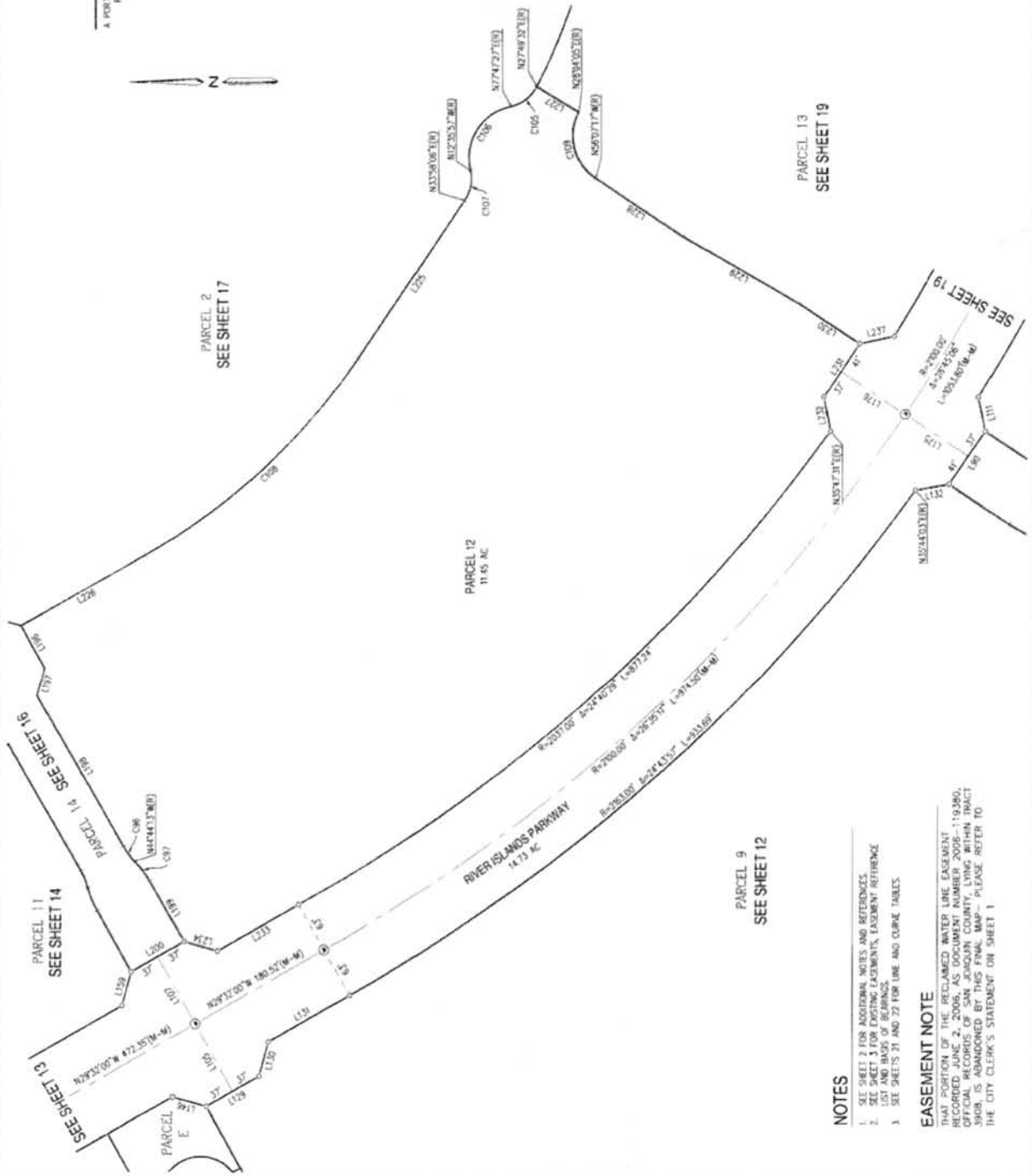
TRACT 3908 RIVER ISLANDS - STAGE 2A LARGE LOT FINAL MAP

A PORTION OF RANCHO EL PESQUERO, ALSO BEING A PORTION OF TOMORROWS 1 AND 2 SOUTH, RANGE 6 EAST, M.D.M., A SUBDIVISION OF PARCELS 2, 6 AND 8 AS DESCRIBED PER DOCUMENT NO. 2016-004677, AND PARCEL 4 OF TRACT 3838 (43 MAP 12), SAN JOAQUIN COUNTY RECORDS, SAN JOAQUIN COUNTY, CALIFORNIA
JUNE 2018



LEGEND

- △ SET 3/4" REBAR WITH CAP STAMPED "PLS 7788"
- △ SET 2-1/2" BRASS 50K STAMPED "PLS 7788"
- △ FOUND 5/8" REBAR WITH CAP STAMPED "PLS 7788" PER (R2), UNLESS OTHERWISE NOTED
- △ 3/4" IRON PIPE TO BE SET PER (R9)
- ⊙ MONUMENT TO BE SET, STAMPED "PLS 7788" PER (R4)
- ⊙ MONUMENT TO BE SET PER (R17), UNLESS OTHERWISE NOTED
- ⊙ SET STANDARD CITY OF LATHROP MONUMENT WELL STAMPED "PLS 7788"
- ⊙ MONUMENT TO BE SET, STAMPED "PLS 7788" PER (R11)
- ⊙ FOUND MONUMENT PER (R1) AS NOTED
- ⊙ 200.00' (R1) MEASURED AND RECORD DATA PER REFERENCE (R1)
- (R1) DENOTES REFERENCE (R1) - SEE REFERENCE LIST ON SHEET 2
- (M-4) MONUMENT TO MONUMENT
- (R) RADIAL BEARING
- (R7) REFERENCE NUMBER
- (T) TOTAL
- (B) BOUNDARY
- CL CENTER LINE
- DN DOCUMENT NUMBER
- MON MONUMENT
- PULL PUBLIC UTILITY EASEMENT
- ① EASEMENT REFERENCE NUMBER - SEE SHEET 3 FOR REFERENCE LIST
- ② LOT LINE
- BOUNDARY
- EASEMENT LINE
- CENTERLINE
- MONUMENT LINE
- ① 1.17" BRASS 50K STAMPED "PLS 7788" ON 1 FOOT OFFSET PER (R17)
- ② 3/4" IRON PIPE WITH CAP "PLS 7788" PER (R17)
- ③ 5/8" REBAR WITH CAP "PLS 7788" PER (R17)



NOTES

1. SEE SHEET 3 FOR INSTRUMENT NOTES AND REFERENCES.
2. SEE SHEET 1 FOR POSITIVE PLACEMENTS, EASEMENT REFERENCE LIST AND BASIS OF BEARINGS.
3. SEE SHEETS 21 AND 22 FOR LINE AND CURVE TABLES.

EASEMENT NOTE

THAT PORTION OF THE RECLAIMED WATER LINE EASEMENT SHOWN ON SHEET 1 OF THIS MAP, AND THE ADJACENT MONUMENT 2008-010380, OFFICIAL RECORDS OF SAN JOAQUIN COUNTY, SAN JOAQUIN COUNTY, CALIFORNIA, TRACT 3908, IS ABANDONED BY THIS FINAL MAP - PLEASE REFER TO THE CITY CLERK'S STATEMENT ON SHEET 1

43-52a

43-52R

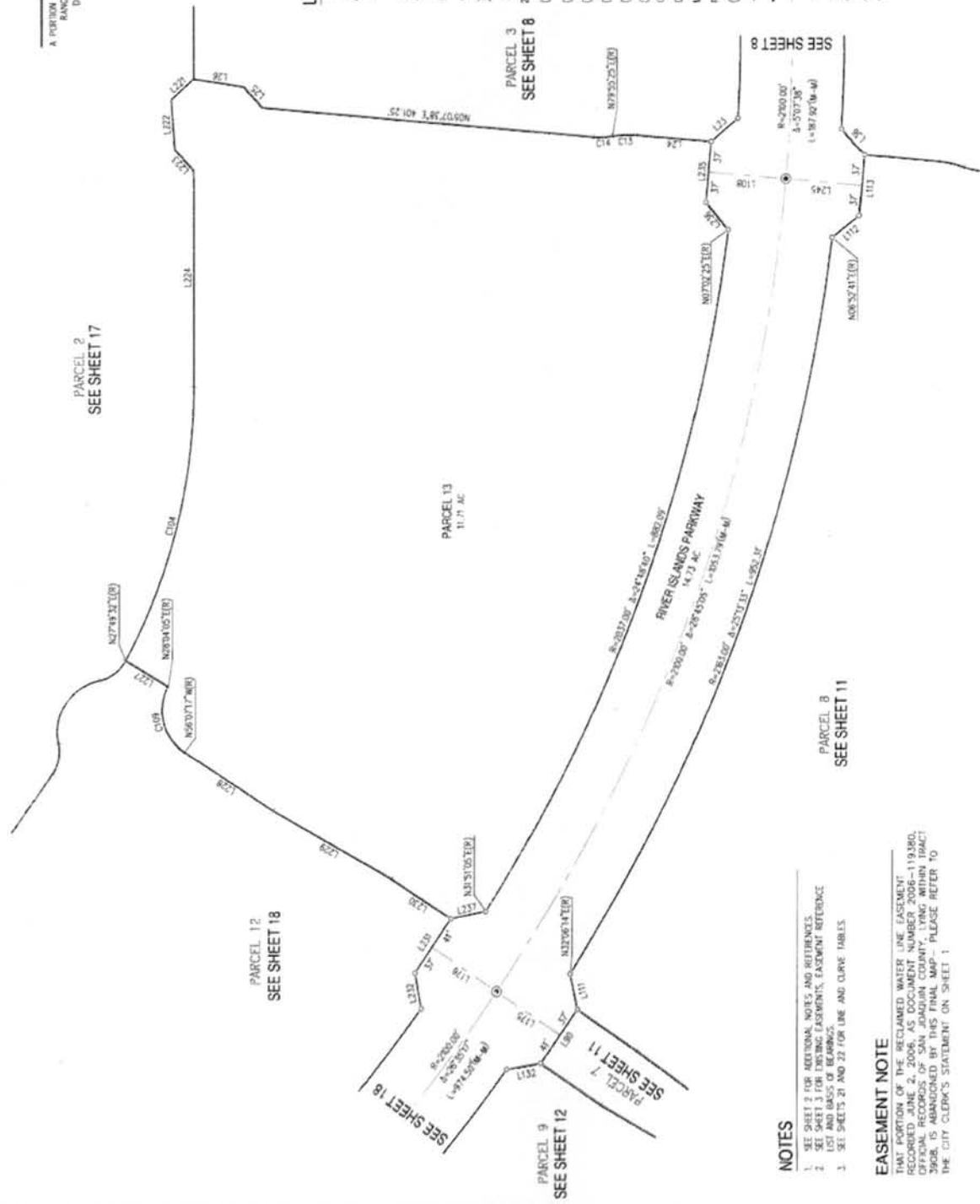
TRACT 3908 RIVER ISLANDS - STAGE 2A LARGE LOT FINAL MAP

A PORTION OF RANCHO EL PESQUERO, ALSO BEING A PORTION OF TOWNSHIPS 1 AND 2 SOUTH, RANGE 6 EAST, M.D.M., A SUBDIVISION OF PARCELS 2, 6 AND 8 AS DESCRIBED PER DOCUMENT NO. 2018-004077, AND PARCEL 4 OF TRACT 3838 (43 MAP 12), SAN JOAQUIN COUNTY RECORDED: JAN 24, 2018, 2:48:12 PM, SAN JOAQUIN COUNTY, CALIFORNIA



LEGEND

- SET 5/8" REBAR WITH CAP STAMPED "PLS 7786"
 - △ SET 2-1/2" BRASS DISK STAMPED "PLS 7786"
 - FOUND 5/8" REBAR WITH CAP STAMPED "PLS 7786" PER (R2), UNLESS OTHERWISE NOTED
 - ⊖ 3/4" IRON PIPE TO BE SET PER (R3)
 - ⊙ MONUMENT TO BE SET, STAMPED "PLS 7786" PER (R6)
 - ⊕ MONUMENT TO BE SET PER (R17), UNLESS OTHERWISE NOTED
 - ⊗ SET STANDARD CITY OF LAGUNA MONUMENT WELL STAMPED "PLS 7786"
 - ⊘ MONUMENT TO BE SET, STAMPED "PLS 7786" PER (R11)
 - ⊙ FOUND MONUMENT PER (R1) AS NOTED
 - 200.00' (R1) MEASURED AND RECORD DATA PER REFERENCE (R1)
 - (R1) DIMENSION REFERENCE (R1)- SEE REFERENCE LIST ON SHEET 2
 - (M-M) MONUMENT TO MONUMENT
 - (R) RADIAL BEARING
 - (R1) REFERENCE NUMBER
 - (1) TOTAL
 - (B) BOUNDARY
 - (C) CENTER LINE
 - (DN) OCCUPANT NUMBER
 - (MON) MONUMENT
 - (P.U.E.) PUBLIC UTILITY EASEMENT
 - (1) EASEMENT REFERENCE NUMBER - SEE SHEET 3 FOR REFERENCE LIST
- LOT LINE
 - BOUNDARY
 - EASEMENT LINE
 - CENTERLINE
 - MONUMENT LINE
 - ① 1.17" BRASS DISK STAMPED "PLS 7786" ON 1 FOOT OFFSET PER (R17)
 - ② 3/4" IRON PIPE WITH CAP "PLS 7786" PER (R17)
 - ③ 5/8" REBAR WITH CAP "PLS 7786" PER (R17)



NOTES

1. SEE SHEET 2 FOR ADDITIONAL NOTES AND REFERENCES.
2. SEE SHEET 3 FOR EXISTING EASEMENTS, EASEMENT REFERENCE LIST AND BASIS OF BEARINGS.
3. SEE SHEETS 21 AND 22 FOR LINE AND CURVE TABLES.

EASEMENT NOTE

THAT PORTION OF THE RECLAIMED WATER LINE EASEMENT RECORDED UNDER DOCUMENT NUMBER 2008-119380, IS ABANDONED BY THIS FINAL MAP. PLEASE REFER TO THE CITY CLERK'S STATEMENT ON SHEET 1.

43-52R

43-52S

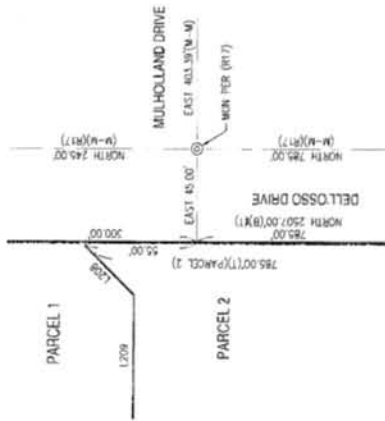
TRACT 3908
RIVER ISLANDS - STAGE 2A
LARGE LOT FINAL MAP

A PORTION OF RANCHO EL RESQUEN, ALSO BEING A PORTION OF TOWNSHIPS 1 AND 2 SOUTH, RANGE 6 EAST, M.D.M., A SUBDIVISION OF PARCELS 2, 6 AND 8 AS DESCRIBED IN PERMITS 004077, 004078, 004079, 004080, 004081, 004082, 004083, 004084, 004085, 004086, 004087, AND PARCEL 4 OF TRACT 3938 (43 MAP 12), DOCUMENT NO. 2016-004077, AND PARCEL 4 OF TRACT 3938 (43 MAP 12), SAN JOAQUIN COUNTY RECORDS, CITY OF LABRER, SAN JOAQUIN COUNTY, CALIFORNIA, JUNE, 2018

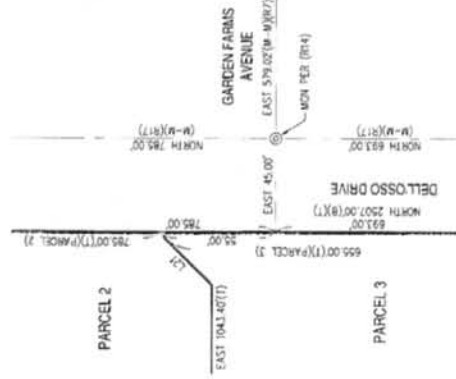


NOTES

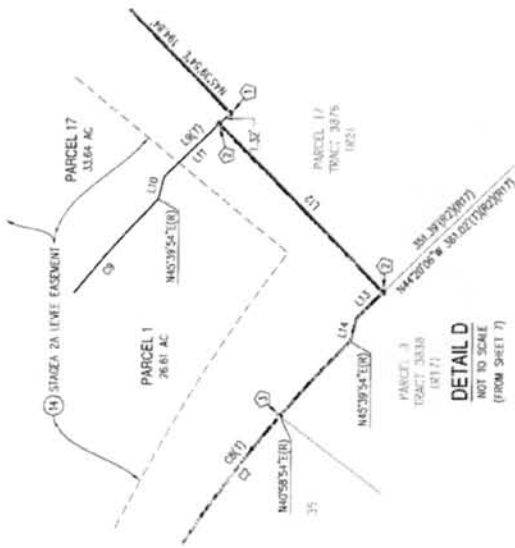
1. SEE SHEET 2 FOR ADDITIONAL NOTES AND REFERENCES.
2. SEE SHEET 3 FOR EXISTING EASEMENTS, EASEMENT REFERENCE LIST AND BASIS OF BEARINGS.
3. SEE SHEETS 21 AND 22 FOR LINE AND CURVE TABLES.
4. SEE SHEET 19 FOR LEGEND.



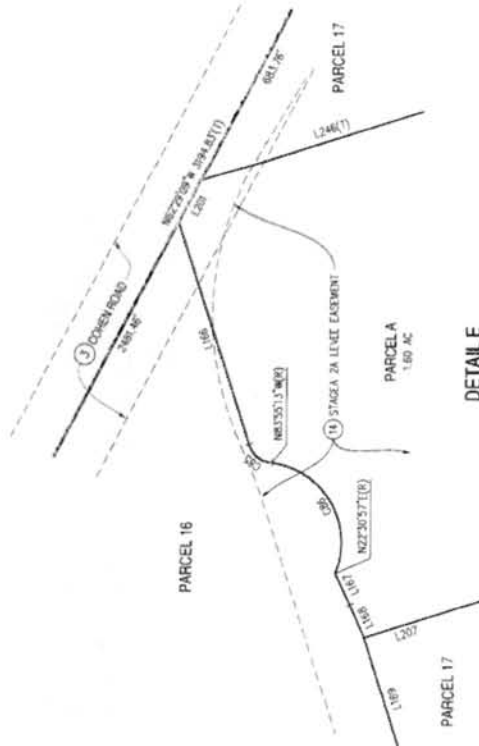
DETAIL F
 NOT TO SCALE
 (FROM SHEET 17)



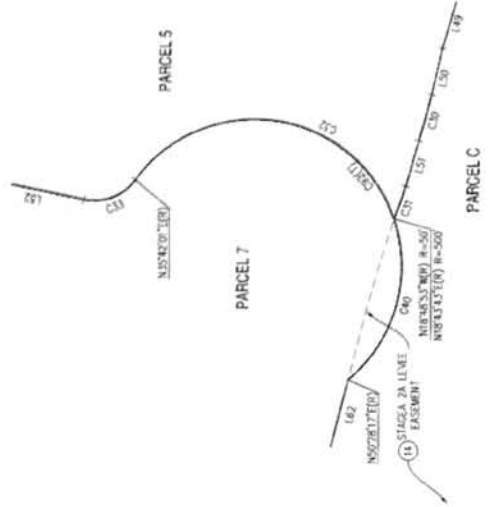
DETAIL G
 NOT TO SCALE
 (FROM SHEETS 8 & 17)



DETAIL D
 NOT TO SCALE
 (FROM SHEET 7)



DETAIL E
 NOT TO SCALE
 (FROM SHEETS 15 AND 16)



DETAIL H
 NOT TO SCALE
 (FROM SHEETS 8 AND 11)

SHEET 20 OF 22

43-52S

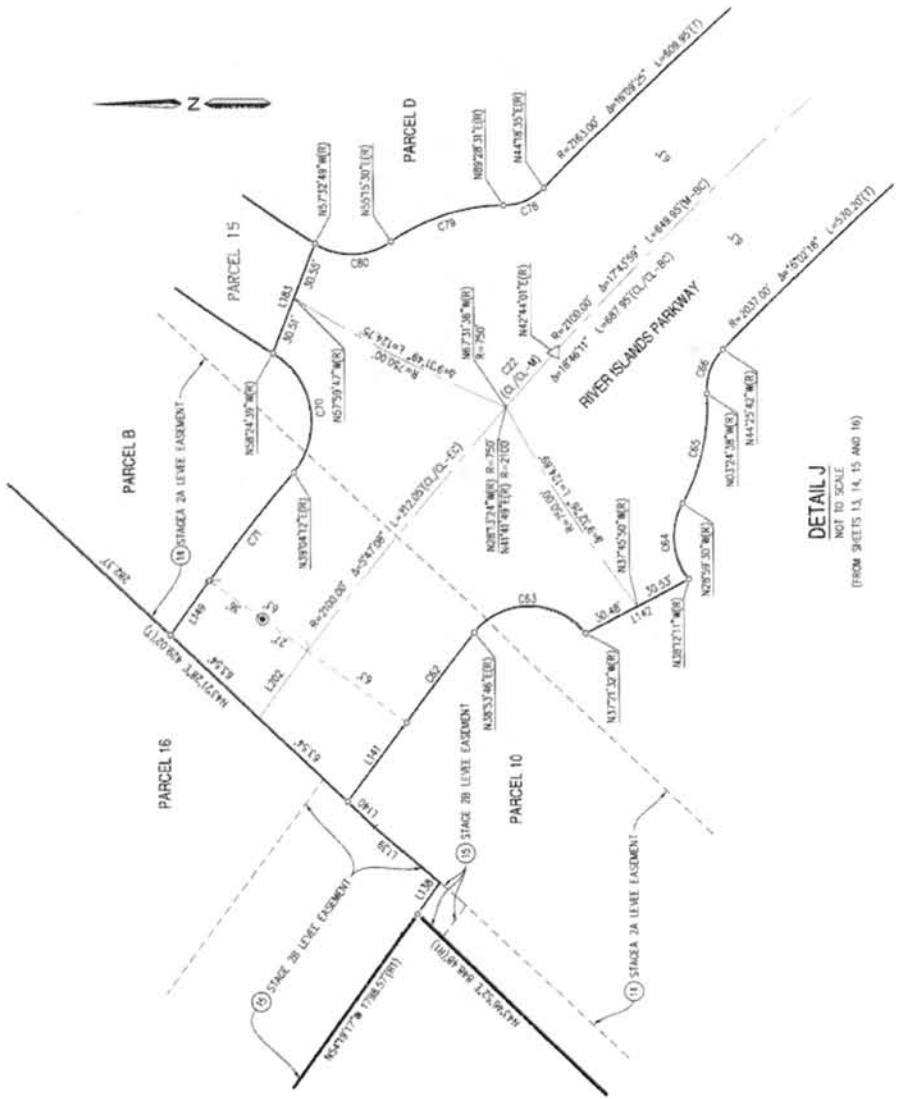
43-52U

TRACT 3908 RIVER ISLANDS - STAGE 2A LARGE LOT FINAL MAP

A PORTION OF RANCHO EL PESQUERO, ALSO BEING A PORTION OF TOWNSHIPS 1 AND 2 SOUTH, RANGE 6 EAST, M.D.M., A SUBDIVISION OF PARCELS 2, 6 AND 8 AS DESCRIBED PER DOCUMENT NO. 2016-068777, AND PARCEL 4 OF TRACT 3838 (43 MAP 12), SAN JOAQUIN COUNTY RECORDS, CITY OF LAHORE, SAN JOAQUIN COUNTY, CALIFORNIA
JUNE 2018



- NOTES**
1. SEE SHEET 2 FOR ADDITIONAL NOTES AND REFERENCES.
 2. SEE SHEET 3 FOR EXISTING EASEMENTS, EASEMENT REFERENCE LIST AND BASIS OF BEARINGS, DISTANCES, LINE AND CURVE TABLES.
 3. SEE SHEET 1 FOR LEGEND.
 4. SEE SHEET 1 FOR LEGEND.



DETAIL J
NOT TO SCALE
(FROM SHEETS 13, 14, 15 AND 16)

SHEET 22 OF 22

43-52U

CURVE	RADIUS	DELTA	LENGTH
C91	52.00	927270"	83.91'
C92	50.00	194746.16"	168.87'
C93	58.00	873204"	88.66'
C94	1830.00	729290"	237.33'
C95	1830.00	64328"	214.86'
C96	87.00	15717.15"	23.09'
C97	113.00	15721.5"	28.98'
C98	73.00	562795"	71.92'
C99	1966.00	97526"	8.86'
C100	1910.00	182440"	584.28'
C101	2100.00	579298"	187.87'
C102	570.00	42923"	46.32'
C103	70.00	274032"	344.81'
C104	65.00	892324"	40.99'
C105	47.00	4824103"	38.20'
C106	770.00	282924"	258.11'
C107	47.00	4824103"	38.20'
C108	62.00	687122"	81.00'
C109	1545.00	42923"	121.03'
C110	2650.00	13126"	75.94'

CURVE	RADIUS	DELTA	LENGTH
C46	87.00	275722"	35.91'
C47	73.00	524800"	67.27'
C48	980.00	232323"	44.43'
C49	2188.00	155107"	73.55'
C50	2538.00	470534"	181.30'
C51	2859.00	570737"	151.04'
C52	1095.00	570737"	97.80'
C53	50.00	467924"	40.37'
C54	1095.00	370405"	58.65'
C55	50.00	679634"	58.85'
C56	1451.00	121703"	110.18'
C57	50.00	772824"	62.37'
C58	55.00	907000"	86.39'
C59	87.00	15721.5"	23.09'
C60	113.00	15721.5"	28.98'
C61	1338.00	137070"	311.58'
C62	2037.00	279705"	108.11'
C63	31.00	1024442"	67.00'
C64	36.00	879554"	42.22'
C65	105.00	372408"	59.38'
C66	30.00	475626"	25.05'
C67	17.00	625227"	19.56'
C68	50.00	1473928"	128.86'
C69	780.00	970570"	123.66'
C70	42.00	972951"	71.46'
C71	2163.00	370921"	118.24'
C72	270.00	470241"	19.06'
C73	230.00	470241"	16.24'
C74	50.00	1932628"	159.25'
C75	17.00	685925"	18.88'
C76	2328.00	107077"	45.45'
C77	2163.00	111598"	45.29'
C78	30.00	452926"	23.85'
C79	105.00	343701"	82.71'
C80	36.00	677141"	42.22'
C81	780.00	873127"	103.20'
C82	87.00	15721.5"	23.09'
C83	113.00	15721.5"	28.98'
C84	2570.00	272754"	106.58'
C85	17.00	687406"	19.65'
C86	50.00	1087670"	92.86'
C87	369.00	299670"	192.78'
C88	2038.00	944117"	346.04'
C89	336.00	943527"	57.87'
C90	1264.00	879237"	211.37'

CURVE	RADIUS	DELTA	LENGTH
C1	50.00	2793948"	238.07'
C2	371.00	372338"	268.87'
C3	371.00	239433"	138.14'
C4	50.00	929290"	83.33'
C5	383.00	79527"	47.50'
C6	381.00	174258"	118.16'
C7	1545.00	163238"	446.56'
C8	371.00	670913"	441.86'
C9	371.00	372757"	177.39'
C10	3210.00	245279"	166.76'
C11	2037.00	37233"	114.27'
C12	113.00	15721.5"	28.98'
C13	87.00	15721.5"	23.09'
C14	87.00	15721.5"	23.09'
C15	1455.00	20952"	55.00'
C16	2859.00	23970"	174.74'
C17	51.00	894256"	84.85'
C18	87.00	15721.5"	23.09'
C19	113.00	15721.5"	28.98'
C20	2763.00	27235"	127.46'
C21	1455.00	25646"	151.07'
C22	2100.00	167127"	38.00'
C23	477.00	478073"	117.97'
C24	250.00	444147"	20.71'
C25	250.00	444147"	20.71'
C26	151.00	379439"	87.81'
C27	100.00	71708"	12.72'
C28	100.00	71708"	12.72'
C29	550.00	272224"	262.85'
C30	200.00	43136"	75.80'
C31	500.00	370715"	1.80'
C32	50.00	1252996"	109.51'
C33	17.00	687407"	19.65'
C34	2859.00	470225"	204.10'
C35	47.00	424837"	37.34'
C36	65.00	894767"	107.51'
C37	47.00	424837"	37.34'
C38	634.00	85525"	88.85'
C39	1455.00	109823"	277.81'
C40	50.00	697790"	60.46'
C41	609.00	44628"	50.75'
C42	73.00	403324"	21.87'
C43	87.00	235237"	35.31'
C44	630.00	387912"	432.59'
C45	1530.00	245444"	665.74'

ITEM 4.18

CITY MANAGER'S REPORT JUNE 8, 2020 CITY COUNCIL REGULAR MEETING

ITEM: APPROVE A MASTER CONSULTANT AGREEMENT AND TASK ORDER NO. 1 WITH CSG CONSULTANTS, INC.

RECOMMENDATION: Adopt Resolution Approving a Master Consultant Agreement and Task Order No. 1 with CSG Consultants, Inc. to Provide Plan Check Services for the River Islands Project

SUMMARY:

The Development Engineering Division performs plan checks for proposed construction within the street right-of-way and other public lands throughout the City. Assistance with the plan checking workload is needed to provide a timely service and keep projects on schedule, specifically with the River Islands project. Staff requested a proposal from CSG Consultants, Inc. (CSG) to assist with plan check services associated with River Islands.

Staff recommends the City to enter into a Master Consultant Agreement with CSG for engineering plan check services to ensure the City timely completes plan check services. Staff also recommends that the City Council approve Task Order No. 1 with CSG to provide plan review services related to the River Islands project. Task Order No. 1 will be fully funded by plan check fees collected from development and will only be paid when revenue has been received.

BACKGROUND:

The Development Engineering Division performs plan checks for proposed construction within the street right-of-way and other public lands throughout the City. Assistance with the plan checking workload is needed to provide a timely service and keep projects on schedule, specifically with River Islands project. Gossett Civil Engineering is currently under contract with the City to provide plan check services for the River Islands project, however, Gossett Civil Engineering does not have interest in renewing their contract with the City. Therefore, the Development Engineering Division needs to pursue a new consultant to provide plan check services.

Staff requested a proposal from CSG to assist with plan check services associated with River Islands project. Staff recommends the City to enter into a Master Consultant Agreement with CSG for plan checking services to continue to provide a timely service and keep projects on schedule.

Staff also recommends that the City Council approve Task Order No. 1 with CSG to provide plan review services related to River Islands. Task Order No. 1 will be fully funded by plan check fees collected from development and will only be paid when revenue has been received.

CITY MANAGER'S REPORT **PAGE 2**
JUNE 8, 2020 CITY COUNCIL REGULAR MEETING
APPROVE A MASTER CONSULTANT AGREEMENT AND TASK ORDER NO. 1
WITH CSG CONSULTANTS INC.

The cost for the plan check services in Task Order No. 1 is not to exceed \$120,000 and no services will be authorized until the developer has paid plan check fees in excess of the consultant cost for the scope of work authorized.

REASON FOR RECOMMENDATION:

CSG is well qualified to plan check public improvements including streets, sewer and water utilities, storm drainage, and other types of public infrastructures. Assistance with the plan checking workload is needed to provide a timely service and keep projects on schedule, specifically with the River Islands project.

FISCAL IMPACT:

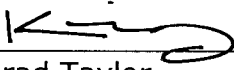
This item has been anticipated in the FY 2019/20 and FY 2020/21 budget and therefore a budget amendment is not needed.

ATTACHMENTS:

- A. Resolution Approving a Master Consultant Agreement with CSG Consultants Inc. and Task Order No. 1 to Provide Plan Check Services for the River Islands Project
- B. Master Agreement with CSG Consultants, Inc.
- C. Task Order No. 1 with CSG Consultants, Inc.

CITY MANAGER'S REPORT
JUNE 8, 2020 CITY COUNCIL REGULAR MEETING
APPROVE A MASTER CONSULTANT AGREEMENT AND TASK ORDER NO. 1
WITH CSG CONSULTANTS INC.

APPROVALS:

 FOR

Brad Taylor
Associate Engineer

5-28-2020

Date

_____
Michael King
Director of Public Works

5-28-2020

Date

 FOR

Glenn Gebhardt
City Engineer

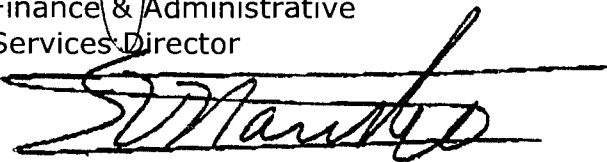
5-28-2020

Date

_____
Cari James
Finance & Administrative
Services Director


5-28-2020

Date

_____
Salvador Navarrete
City Attorney

5/28/2020

Date

_____
Stephen J. Salvatore
City Manager

6-3-2020

Date

RESOLUTION NO. 20-

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LATHROP APPROVING A MASTER CONSULTANT AGREEMENT AND TASK ORDER NO. 1 WITH CSG CONSULTANTS, INC. TO PROVIDE PLAN CHECK SERVICES FOR THE RIVER ISLANDS PROJECT

WHEREAS, the Development Engineering Division performs plan checks for proposed construction within the street right-of-way and other public lands throughout the City; and

WHEREAS, assistance with the plan checking workload is needed to provide a timely service and keep projects on schedule, specifically with the River Islands project; and

WHEREAS, Gossett Civil Engineering is currently under contract with the City to provide plan check services for River Islands project, however, Gossett Civil Engineering does not have interest in renewing their contract with the City. Therefore, the Development Engineering Division needs to pursue a new consultant to provide plan check services; and

WHEREAS, staff requested a proposal from CSG Consultants, Inc. (CSG) to assist with plan check services associated with River Islands. Staff recommends the City to enter into a Master Consultant Agreement with CSG for plan checking services to continue to provide a timely service and keep projects on schedule; and

WHEREAS, staff also recommends that the City Council approve Task Order No. 1 with CSG to provide plan review services related to the River Islands project. The cost for the plan check services in Task Order No. 1 is not to exceed \$120,000 and no services will be authorized until the developer River Islands Development, LLC has paid plan check fees in excess of the consultant cost for the scope of work authorized.

NOW, THEREFORE, BE IT RESOLVED, that the City Council of the City of Lathrop does hereby approve a master consultant agreement and Task Order No. 1 with CSG Consultants, Inc. to provide plan check services.

PASSED AND ADOPTED by the City Council of the City of Lathrop this 8th day of June 2020, by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

Sonny Dhaliwal, Mayor

ATTEST:

Teresa Vargas
City Clerk

APPROVED AS TO FORM:



Salvador Navarrete
City Attorney

CITY OF LATHROP

**MASTER CONSULTING AGREEMENT WITH
CSG CONSULTANTS, INC.**

**TO PROVIDE ENGINEERING PLAN CHECK SERVICES FOR THE
RIVER ISLANDS DEVELOPMENT PROJECT**

THIS AGREEMENT, dated for convenience this **8th day of June 2020**, is by and between **CSG Consultants, Inc.** (“CONSULTANT”) and the **City Of Lathrop**, a California municipal corporation (“CITY”);

RECITALS:

WHEREAS, CONSULTANT is specially trained, experienced, and competent to perform Engineering Plan Check Services, which are required by this agreement; and

WHEREAS, CONSULTANT has adequate staff to meet the fast pace and high volume of development review expected within River Islands; and

WHEREAS, CITY selected the CONSULTANT pursuant to said qualifications; and

WHEREAS, CONSULTANT is willing to render such Engineering Plan Check Services, as hereinafter defined, on the following terms and conditions; and

NOW, THEREFORE, CONSULTANT and the CITY agree as follows:

AGREEMENT

(1) Scope of Service

CONSULTANT agrees to perform Engineering Plan Check Services in conformance with an approved Scope of Work submitted by the CONSULTANT. CONSULTANT agrees to diligently perform these services in accordance with the upmost standards of its profession and CITY’S satisfaction.

(2) Compensation

CITY hereby agrees to pay CONSULTANT the amount indicated in each approved Task Order, for the Plan Check Services. City agrees to pay CONSULTANT within thirty (30) days of receipt of billings containing all information required per Paragraph 5 below. Compensation for any task must be equal to or less than the percentage of task complete.

CITY OF LATHROP – MASTER CONSULTING AGREEMENT
CSG CONSULTANTS, INC. TO PROVIDE ENGINEERING PLAN CHECK SERVICES

In no event shall CONSULTANT be entitled to compensation for work not included in an approved Task Order Scope of Work unless CITY's authorized representative executes a written change order or authorization describing the extra work and payment terms prior to the commencement of the work.

(3) Effective Date and Term

The effective date of this Agreement is **June 8, 2020**, and it shall terminate no later than **June 30, 2026**, provided that the City may renew this agreement under the same terms and conditions for additional twelve (12) month periods, commencing on July 1 of each year and terminating on June 30 of each subsequent year. Each such renewal shall be automatic unless CONSULTANT is given thirty (30) days' written notice of City's intention not to renew this agreement.

(4) Independent Contractor Status

It is expressly understood and agreed by both parties that CONSULTANT, while engaged in carrying out and complying with any of the terms and conditions of this Agreement, is an independent contractor and not an employee of the CITY. As an independent contractor, CONSULTANT is responsible for controlling the means and methods to complete the scope of work describe in each approved Task Order to the City's satisfaction. CONSULTANT expressly warrants not to represent, at any time or in any manner, that CONSULTANT is an employee of the CITY.

(5) Billings

CONSULTANT'S bills shall include a list of all tasks, a total amount due, the amounts previously billed, and the net amount due on the invoice. Except as specifically authorized by CITY, CONSULTANT shall not bill CITY for duplicate services performed by more than one person. In no event shall CONSULTANT submit any billing for an amount in excess of the rates or the maximum amount of compensation provided in section (2) for either task or for the entire Agreement, unless modified by a properly executed change order.

(6) Advice and Status Reporting

CONSULTANT shall provide the CITY with timely reports, orally or in writing, of all significant developments arising during performance of its services hereunder, and shall furnish to CITY such information as is necessary to enable CITY to monitor the performance of this Agreement.

CITY OF LATHROP – MASTER CONSULTING AGREEMENT
CSG CONSULTANTS, INC. TO PROVIDE ENGINEERING PLAN CHECK SERVICES

(7) **Assignment of Personnel**

CONSULTANT shall assign only competent personnel to perform services pursuant to this Agreement. If CITY asks CONSULTANT to remove a person assigned to the work called for under this Agreement, CONSULTANT agrees to do so immediately, without requiring the City to process a reason or explanation for its request. The services shall be performed by, or under the direct supervision, of CONSULTANT's Authorized Representative: **Mark Lander, P.E.**, CONSULTANT shall not replace its Authorized Representative without the prior written approval by the CITY.

(8) **Assignment and Subcontracting**

It is recognized by the parties hereto that a substantial inducement to CITY for entering into this Agreement was, and is, the professional reputation and competence of CONSULTANT. Neither this Agreement nor any interest therein may be assigned by CONSULTANT without the prior written approval of CITY'S authorized representative. CONSULTANT shall not subcontract any portion of the performance contemplated and provided for herein, other than the subcontractors noted in the proposal, without prior written approval of the CITY'S authorized representative.

(9) **Insurance**

On or before beginning any of the services or work called for by any term of this Agreement, CONSULTANT, at its own cost and expense, shall carry, maintain for the duration of the Agreement, and provide proof thereof that is acceptable to the CITY the insurance specified in subsections (a) through (c) below with insurers and under forms of insurance satisfactory in all respects to the CITY. CONSULTANT shall not allow any subcontractor to commence work on any subcontract until all insurance required of the CONSULTANT has also been obtained for the subcontractor. Verification of this insurance shall be submitted and made part of this Agreement prior to execution.

- (a) **Workers' Compensation.** CONSULTANT shall, at CONSULTANT'S sole cost and expense, maintain Statutory Workers' Compensation Insurance and Employer's Liability Insurance for any and all persons employed directly or indirectly by CONSULTANT. Said Statutory Workers' Compensation Insurance and Employer's Liability Insurance shall be provided with limits of not less than one million dollars (\$1,000,000). In the alternative, CONSULTANT may rely on a self-insurance program to meet these requirements provided that the program of self-insurance complies fully with the provisions of the California Labor Code. The insurer, if insurance is provided, or the CONSULTANT, if a program of self-insurance is provided, shall waive all rights of subrogation against the CITY for loss arising from work performed under this Agreement.

CITY OF LATHROP – MASTER CONSULTING AGREEMENT
CSG CONSULTANTS, INC. TO PROVIDE ENGINEERING PLAN CHECK SERVICES

- (b) Commercial General and Automobile Liability Insurance. CONSULTANT, at CONSULTANT'S own cost and expense, shall maintain commercial general and automobile liability insurance for the period covered by this Agreement in an amount not less than two million dollars (\$2,000,000) per occurrence, combined single limit coverage for risks associated with the work contemplated by this Agreement.

If Commercial General Liability Insurance or an Automobile Liability form or other form with a general aggregate limit is used, either the general aggregate limit shall apply separately to the work to be performed under this Agreement or the general aggregate limit shall be at least twice the required occurrence limit. Such coverage shall include but shall not be limited to, protection against claims arising from bodily and personal injury, including death resulting therefrom, and damage to property resulting from activities contemplated under this Agreement, including the use of owned and non-owned automobiles.

Coverage shall be at least as broad as Insurance Services Office Commercial General Liability occurrence form CG 0001 (ed. 11/88) and Insurance Services Office Automobile Liability form CA 0001 (ed. 12/90) Code 1 (any auto).

Each of the following shall be included in the insurance coverage or added as an endorsement to the policy:

- (i) CITY, its officers, employees, agents, and volunteers are to be covered as insured with respect to each of the following: liability arising out of activities performed by or on behalf of CONSULTANT, including the insider's general supervision of CONSULTANT; products and completed operations of CONSULTANT; premises owned, occupied or used by CONSULTANT. The coverage shall contain no special limitations on the scope of protection afforded to CITY, its officers, employees, agents, or volunteers.
- (ii) The insurance shall cover on an occurrence or an accident basis, and not on a claim made basis.
- (iii) An endorsement must state that coverage is primary insurance and that no other insurance affected by the CITY will be called upon to contribute to a loss under the coverage.

CITY OF LATHROP – MASTER CONSULTING AGREEMENT
CSG CONSULTANTS, INC. TO PROVIDE ENGINEERING PLAN CHECK SERVICES

- (iv) Any failure of CONSULTANT to comply with reporting provisions of the policy shall not affect coverage provided to CITY and its officers, employees, agents, and volunteers.
 - (v) Insurance is to be placed with California-admitted insurers with a Best's rating of no less than A: VII.
 - (vi) Notice of cancellation or non-renewal must be received by CITY at least thirty days prior to such change.
- (c) Professional Liability. CONSULTANT, at CONSULTANT'S own cost and expense, shall maintain for the period covered by this Agreement professional liability insurance for licensed professionals performing work pursuant to this Agreement in an amount not less than Two Million Dollars (\$2,000,000) per claim made and per policy aggregate covering the licensed professionals' errors and omissions, as follows:
- (i) Any deductible or self-insured retention shall not exceed \$150,000 per claim.
 - (ii) Notice of cancellation, material change, or non-renewal must be received by the CITY at least thirty days prior to such change shall be included in the coverage or added as an endorsement to the policy.
 - (iii) The policy must contain a cross liability or severability of interest clause.
 - (iv) The following provisions shall apply if the professional liability coverages are written on a claims made form:
 1. The retroactive date of the policy must be shown and must be before the date of the Agreement.
 2. Insurance must be maintained and evidence of insurance must be provided for at least five years after completion of the Agreement or the work, so long as commercially available at reasonable rates.
 3. If coverage is canceled or not renewed and it is not replaced with another claims made policy form with a retroactive date that precedes the date of this Agreement, CONSULTANT must provide extended reporting coverage for a minimum of five years after completion of the Agreement or the work.

CITY OF LATHROP – MASTER CONSULTING AGREEMENT
CSG CONSULTANTS, INC. TO PROVIDE ENGINEERING PLAN CHECK SERVICES

The CITY shall have the right to exercise at the CONSULTANT'S cost, any extended reporting provisions of the policy should the CONSULTANT cancel or not renew the coverage.

4. A copy of the claim reporting requirements must be submitted to the CITY prior to the commencement of any work under this Agreement.
- (d) Deductibles and Self-Insured Retentions. CONSULTANT shall disclose the self-insured retentions and deductibles before beginning any of the services or work called for by any term of this Agreement. During the period covered by this Agreement, upon express written authorization of the CITY's authorized representative, CONSULTANT may increase such deductibles or self-insured retentions with respect to CITY, its officers, employees, agents, and volunteers. The CITY's authorized representative may condition approval of an increase in deductible or self-insured retention levels upon a requirement that CONSULTANT procure a bond guaranteeing payment of losses and related investigations, claim administration, and defense expenses that is satisfactory in all respects to each of them.
- (e) Notice of Reduction in Coverage. In the event that any coverage required under subsections (a), (b), or (c) of this section of the Agreement is reduced, limited, or materially affected in any other manner, CONSULTANT shall provide written notice to CITY at CONSULTANT'S earliest possible opportunity and in no case later than five days after CONSULTANT is notified of the change in coverage.
- (f) In addition to any other remedies CITY may have if CONSULTANT fails to provide or maintain any insurance policies or policy endorsements to the extent and within the time herein required, CITY may, at its sole option:
- (i) Obtain such insurance and deduct and retain the amount of the premiums for such insurance from any sums due under the Agreement;
 - (ii) Order CONSULTANT to stop work under this Agreement or withhold any payment which becomes due to CONSULTANT hereunder, or both stop work and withhold any payment, until CONSULTANT demonstrates compliance with the requirements hereof;
 - (iii) Terminate this Agreement.

Exercise of any of the above remedies, however, is an alternative to other remedies CITY may have and is not the exclusive remedy for CONSULTANT'S breach.

(10) Indemnification - CONSULTANT'S Responsibility

As to the CONSULTANT'S work hereunder, it is understood and agreed that (a) CONSULTANT has the professional skills necessary to perform the work, (b) CITY relies upon the professional skills of CONSULTANT to perform the work in a skillful and professional manner, and (c) CONSULTANT thus agrees to so perform.

Acceptance by CITY of the work performed under this Agreement does not operate as a release of said CONSULTANT from such professional responsibility for the work performed. It is further understood and agreed that CONSULTANT is apprised of the scope of the work to be performed under this Agreement and CONSULTANT agrees that said work can and shall be performed in a fully competent manner in accordance with the standard of care applicable to CONSULTANT'S profession.

CONSULTANT shall indemnify, defend, and hold CITY, its officers, employees, agents, and volunteers harmless from and against any and all liability, claims, suits, actions, damages, and causes of action arising out of any personal injury, bodily injury, loss of life, or damage to property, or any violation of any federal, state, or municipal law or ordinance, to the extent caused by the willful misconduct or negligent acts or omissions of CONSULTANT, its employees, subcontractors, or agents, or on account of the performance or character of this work, except for any such claim arising out of the negligence or willful misconduct of the CITY, its officers, employees, agents, or volunteers. It is understood that the duty of CONSULTANT to indemnify and hold harmless includes the duty to defend as set forth in Section 2778 of the California Civil Code. Acceptance of insurance certificates and endorsements required under this Agreement does not relieve CONSULTANT from liability under this indemnification and hold harmless clause. This indemnification and hold harmless clause shall apply whether or not such insurance policies shall have been determined to be applicable to any of such damages or claims for damages.

(11) Licenses

If a license of any kind, which term is intended to include evidence of registration, is required of CONSULTANT, its employees, agents, or subcontractors by federal or state law, CONSULTANT warrants that such license has been obtained, is valid and in good standing, and CONSULTANT shall keep it in effect at all times during the term of this Agreement, and that any applicable bond has been posted in accordance with all applicable laws and regulations.

(12) Business Licenses

CONSULTANT shall obtain and maintain a CITY of Lathrop Business License until all Agreement services are rendered and accepted by the CITY.

CITY OF LATHROP – MASTER CONSULTING AGREEMENT
CSG CONSULTANTS, INC. TO PROVIDE ENGINEERING PLAN CHECK SERVICES

(13) Termination

Either CITY or CONSULTANT may cancel this Agreement upon 30 days written notification to the other party. In the event of termination, the CONSULTANT shall be entitled to compensation for services performed to the effective date of termination; provided, however, that the CITY may condition payment of such compensation upon CONSULTANT'S delivery to the CITY of any or all documents, photographs, computer software, video and audio tapes, and other materials provided to CONSULTANT or prepared by or for CONSULTANT or the CITY in connection with this Agreement.

(14) Funding

CONSULTANT agrees and understands that renewal of this agreement in subsequent years is contingent upon action by the City Council consistent with the appropriations limits of Article XIII (B) of the California Constitution and that the Council may determine not to fund this agreement in subsequent years.

(15) Notices

All contracts, appointments, approvals, authorizations, claims, demands, Change Orders, consents, designations, notices, offers, requests and statements given by either party to the other shall be in writing and shall be sufficiently given and served upon the other party if (1) personally served, (2) sent by the United States mail, postage prepaid, (3) sent by private express delivery service, or (4) in the case of a facsimile transmission, if sent to the telephone FAX number set forth below during regular business hours of the receiving party and followed with two (2) Days by delivery of a hard copy of the material sent by facsimile transmission. Personal service shall include, without limitation, service by delivery and service by facsimile transmission.

To City: City of Lathrop
City Clerk
390 Towne Centre
Lathrop, CA 95330

Copy to: City of Lathrop
Public Works Department
390 Towne Centre
Lathrop, CA 95330
MAIN: (209) 941-7430
FAX: (209) 941-7449

To Consultant: CSG Consultants, Inc.
550 Pilgrim Drive
Foster City, CA 94404
Phone: (650) 522-2500

CITY OF LATHROP – MASTER CONSULTING AGREEMENT
CSG CONSULTANTS, INC. TO PROVIDE ENGINEERING PLAN CHECK SERVICES

(16) Miscellaneous

- (a) Consent. Whenever in this Agreement the approval or consent of a party is required, such approval or consent shall be in writing and shall be executed by a person having the express authority to grant such approval or consent.
- (b) Controlling Law. The parties agree that this Agreement shall be governed and construed by and in accordance with the Laws of the State of California.
- (c) Definitions. The definitions and terms are as defined in these specifications.
- (d) Force Majeure. Neither party shall be deemed to be in default on account of any delay or failure to perform its obligations under this Agreement, which directly results from an Act of God or an act of a superior governmental authority.
- (e) Headings. The paragraph headings are not a part of this Agreement and shall have no effect upon the construction or interpretation of any part of this Agreement.
- (f) Incorporation of Documents. All documents constituting the Agreement documents described in Section 1 hereof and all documents which may, from time to time, be referred to in any duly executed amendment hereto are by such reference incorporated in the Agreement and shall be deemed to be part of this Agreement.
- (g) Integration. This Agreement and any amendments hereto between the parties constitute the entire Agreement between the parties concerning the Project and Work, and there are no other prior oral or written agreements between the parties that are not incorporated in this Agreement.
- (h) Modification of Agreement. This Agreement shall not be modified or be binding upon the parties unless such modification is agreed to in writing and signed by the parties.
- (i) Provision. Any agreement, covenant, condition, clause, qualification, restriction, reservation, term or other stipulation in the Agreement shall define or otherwise control, establish or limit the performance required or permitted or to be required of or permitted by either party. All provisions, whether covenants or conditions, shall be deemed to be both covenants and conditions.

CITY OF LATHROP – MASTER CONSULTING AGREEMENT
CSG CONSULTANTS, INC. TO PROVIDE ENGINEERING PLAN CHECK SERVICES

- (j) Severability. If a court of competent jurisdiction finds or rules that any provision of this Agreement is void or unenforceable, the provisions of this Agreement not so affected shall remain in full force and effect.
- (k) Status of CONSULTANT. In the exercise of rights and obligations under this Agreement, CONSULTANT acts as an independent contractor and not as an agent or employee of CITY.

CONSULTANT shall not be entitled to any rights and benefits accorded or accruing to the City Council members, officers or employees of CITY, and CONSULTANT expressly waives any and all claims to such right and benefits.

- (l) Successors and Assigns. The provisions of this Agreement shall inure to the benefit of, and shall apply to and bind, the successors and assigns of the parties.
- (m) Time of the Essence. Time is of the essence of this Agreement and each of its provisions. In the calculation of time hereunder, the time in which an act is to be performed shall be computed by excluding the first Day and including the last. If the time in which an act is to be performed falls on a Saturday, Sunday or any Day observed as a legal holiday by CITY, the time for performance shall be extended to the following Business Day.
- (n) Venue. In the event that suit is brought by either party hereunder, the parties agree that trial of such action shall be vested exclusively in the state courts of California in the County of San Joaquin or in the United States District Court for the Eastern District of California.
- (o) Recovery of Costs. The prevailing party in any action brought to enforce the terms of this Agreement or arising out of this Agreement may recover its reasonable costs, including reasonable attorney's fees, incurred or expended in connection with such action against the non-prevailing party.

(17) Notice to Proceed

Prior to commencing work under this agreement, CONSULTANT shall receive a written "Notice to Proceed" from CITY. A Notice to Proceed shall not be issued until all necessary insurances have been received. City shall not be obligated to pay CONSULTANT for any services prior to issuance of the Notice to Proceed.

CITY OF LATHROP – MASTER CONSULTING AGREEMENT
CSG CONSULTANTS, INC. TO PROVIDE ENGINEERING PLAN CHECK SERVICES


(18) Signatures

The individuals executing this Agreement represent and warrant that they have the right, power, legal capacity, and authority to enter into and to execute this Agreement on behalf of the respective legal entities of the CONSULTANT and the CITY. This agreement shall inure to the benefit of and be binding upon the parties hereto and their respective successors and assigns.

CITY OF LATHROP – MASTER CONSULTING AGREEMENT
CSG CONSULTANTS, INC. TO PROVIDE ENGINEERING PLAN CHECK SERVICES

Approved as to Form:

City of Lathrop
City Attorney



Salvador Navarrete

5-19-2020

Date

Recommended for Approval:

City of Lathrop
Public Work Director

Michael King

Date

Approved by:
Resolution No.

City of Lathrop
390 Towne Centre Drive
Lathrop, CA 95330

Stephen J. Salvatore

Date

City Manager

To Consultant:

CSG Consultants, Inc.
550 Pilgrim Drive
Foster City, CA 94404

Federal ID # _____
Lathrop Business License # _____

Signature

Date

Print Name and Title

CITY OF LATHROP

TASK ORDER NO. 1 PURSUANT TO MASTER CONSULTING AGREEMENT WITH CSG CONSULTANTS, INC. DATED JUNE 8, 2020

TO PROVIDE PLAN CHECK SERVICES FOR PHASE 1 IMPROVEMENT

THIS TASK ORDER NO. 1, dated for convenience this 8th of June 2020, is by and between **CSG Consultants, Inc.** (“CONSULTANT”) and the **City Of Lathrop**, a California municipal corporation (“CITY”);

RECITALS:

WHEREAS, on June 8, 2020, CONSULTANT entered into a Master Consulting Agreement (“AGREEMENT”) with the CITY, by which the CONSULTANT has agreed to provide Engineering Plan Check Services for the River Islands Development project; and

WHEREAS, CONSULTANT submitted a scope of work as shown in Exhibit “A”; to provide Engineering Plan Check Services for Phase 1 Improvement; and

WHEREAS, CONSULTANT is specially trained, experienced, and competent to perform Engineering Plan Check Services, which are required by this agreement; and

WHEREAS, CITY selected the CONSULTANT pursuant to said qualifications; and

WHEREAS, CONSULTANT is willing to render such Engineering Plan Check Services, as hereinafter defined, on the following terms and conditions.

NOW, THEREFORE, CONSULTANT and the CITY agree as follows:

AGREEMENT

(1) Incorporation of Master Agreement

This Task Order No. 1 hereby incorporates by reference all terms and conditions set forth in the Master Agreement for Consulting Services for this project, unless specifically modified by this Task Order.

(2) Scope of Service

CONSULTANT agrees to perform Engineering Plan Check Services in accordance with the scope of work and fee proposal attached hereto as Exhibit “A” to this Task Order. CONSULTANT agrees to diligently perform these services in accordance with the upmost standards of its profession and to the CITY’S satisfaction.

CITY OF LATHROP – TASK ORDER NO. 1 WITH CSG TO PROVIDE ENGINEERING PLAN CHECK SERVICES FOR THE RIVER ISLANDS DEVELOPMENT PROJECT

(3) **Effective Date and Term**

The effective date of this Task Order No. 1 is **June 8, 2020**, and it shall terminate no later than **June 30, 2022**.

(4) **Compensation**

CITY hereby agrees to pay CONSULTANT hourly rates and other charges not to exceed **\$120,000** for the Engineering Plan Check Services. CONSULTANT shall be paid any uncontested sum due and payable within thirty (30) days of receipt of billings containing all information pursuant to Paragraph 5 below. Compensation for any task must be equal to or less than the percentage of task complete. In no event shall CONSULTANT be entitled to compensation for work not included in Exhibit "A", unless a written change order or authorization describing the extra work and payment terms has been executed by CITY's authorized representative prior to the commencement of the work.

(5) **Notice to Proceed**

Prior to commencing work under this agreement, CONSULTANT shall receive a written "Notice to Proceed" from CITY. A Notice to Proceed shall not be issued until all necessary insurance have been received. City shall not be obligated to pay CONSULTANT for any services prior to issuance of the Notice to Proceed.

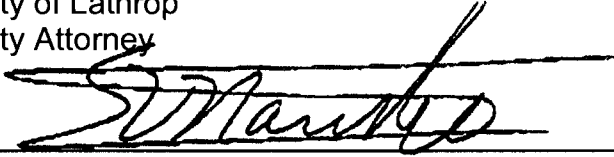
(6) **Signatures**

The individuals executing this Agreement represent and warrant that they have the right, power, legal capacity, and authority to enter into and to execute this Agreement on behalf of the respective legal entities of the CONSULTANT and the CITY. This agreement shall inure to the benefit of and be binding upon the parties hereto and their respective successors and assigns.

CITY OF LATHROP – TASK ORDER NO. 1 WITH CSG TO PROVIDE ENGINEERING
PLAN CHECK SERVICES FOR THE RIVER ISLANDS DEVELOPMENT PROJECT

Approved as to Form:

City of Lathrop
City Attorney



Salvador Navarrete

Date

Recommended for Approval:

City of Lathrop
Public Works Director

Michael King

Date

Approved by:

City of Lathrop
390 Towne Centre Drive
Lathrop, CA 95330

Stephen J. Salvatore
City Manager

Date

To Consultant:

CSG Consultants Inc., Mark Lander, P. E.
550 Pilgrim Drive
Foster City, CA 94404
Phone: (650) 522-2500

Federal ID # _____
Lathrop Business License # _____

Signature

Date

Print Name and title



550 Pilgrim Drive
Foster City, CA 94404
phone 650.522.2500
fax 650.522.2599

www.csgegr.com

June 4, 2020

Brad Taylor
Associate Engineer
City of Lathrop
390 Towne Centre Drive
Lathrop, CA 95330

RE: Task Order No. 1 River Islands: Proposal for
Phase 1 Improvement Plan and Final Map Review (683 Lots)

Dear Brad:

CSG Consultants, Inc. is pleased to present this proposal to assist the City of Lathrop with review of the River Islands Development. The scope of work consists of the following tasks:

Phase 1 Improvement Plan and Final Map Review: There is an approved Tentative Map for Phase 1. At this time, there are 2,047 remaining lots to be mapped, with an estimated 683 lots to be mapped over the next two years. It is estimated that the each remaining Final Map will consist of 40-50 lots, or a total of 13-17 Final Maps and Improvement Plan packages over the next two years, with maps being submitted every other month. The scope of improvements includes the internal tract rough grading, streets and utility improvement plans, joint trench and streetlighting plans, and landscaping. Offsite and backbone improvements are generally complete at this time and are not included in the scope of work.

The scope of work will cover map and plan processing for the initial 683 lots over a two-year time period. Work to be performed under this proposal is expected to include, but not be limited to, the following:

- 1) Review of Final Map, Rough Grading Plans, Improvement Plans, Joint Trench and Streetlight Plans, and Landscaping plans.
- 2) Review of the Hydrologic/ Hydraulic Calculations.
- 3) Review of the Sanitary Sewer Capacity Analysis.
- 4) Review of the Geotechnical Report.
- 5) Review of Basis of Design Reports for drainage, utility, and other infrastructure (as needed).
- 6) Review of the final map closure calculations, record boundary information, and title reports.
- 7) Review of miscellaneous grant deeds, easements, plats and legal descriptions, lot line adjustments and other mapping documents.
- 8) Review of construction cost estimates.
- 9) Review of the approved Vesting Tentative Map, Conditions of Approval, and Mitigation Measures.
- 10) Initial and follow-up coordination with Public Works staff during plan review.
- 11) Preparation of plan review comment letters.
- 12) Coordination with City staff (Planning, Fire, Parks, etc.) as needed.
- 13) Consultation with the Project Applicant and Design Consultants, as needed.
- 14) Coordination with other agencies as needed.

Work will be completed under the supervision of Mark Lander, P.E., who will serve as point of contact. Other CSG staff will assist as needed. Our fee for performing the work described above will be on a time and materials basis, based on our 2020 Standard Fee Schedule. A breakdown of the costs by staff and task is attached. Total costs is estimated at \$120,000.

We anticipate that one initial review, a second review, a third review and one final review will be sufficient. Each submittal will be made formerly to the City by the applicant, and similarly, review comments for each submittal will be issued to the City, with a copy to the applicant upon request. For the initial review, work will be completed within 10 work the days from the authorization to proceed. Subsequent reviews will be completed within 5 work days of receiving the plans and supporting documents. We have included time for meeting with City staff and the applicant to discuss plan check comments. In the event that additional reviews are required, CSG will complete the reviews if there is budget remaining under the estimated amount, or on an hourly basis for additional fee, if the estimated amount is exceeded.

Thank you for considering CSG Consultants for this work. We look forward to working with you on this project. Please feel free to call me at (650) 522-2562 if you would like to discuss this further.

Sincerely,

Mark Lander, P.E.
Senior Principal Engineer

cc: Hatem Ahmed, P. E.
Frank Navarro, P. E.
Sophie Truong, P.E., P.L.S.
Karma Beckham

Attachments

2020 Engineering Division Hourly Rates



CSG services are billed on a time-and-materials basis according to our Standard Rates, shown below.

Professional Engineering Services	2020 Hourly Rate
Engineering Trainee	\$60
Administrative Assistant	\$80
Analyst	\$130
Engineering Designer/CASp Inspection & Consultation	\$140
Construction Inspector	\$145
Senior Analyst	\$155
Assistant Resident Engineer	\$170
Assistant Engineer	\$145
Associate Engineer	\$170
Senior Construction Inspector	\$155
Senior Engineer	\$200
Senior Land Surveyor	\$200
Resident Engineer	\$200
Structure Representative	\$200
Senior Structural Engineer	\$220
Senior Project Manager	\$220
Principal Engineer	\$230
Senior Principal Engineer	\$250
Two-Person Survey Crew	\$330
Sustainability Program Management Services	Hourly Rate
Sustainability Program Analyst	\$130
Sustainability Program Senior Analyst	\$155
Sustainability Program Manager	\$185

All hourly rates include overhead costs including, but not limited to, salaries, benefits, Workers Compensation Insurance, travel and office expenses. CSG will coordinate the pickup and return of plans to and from CSG offices. Overtime work will be billed at 1.5x the hourly rates indicated in the table above. On each anniversary of the contract start date, CSG will initiate a rate increase based on change in CPI-U for the applicable region. CSG will mail an invoice every month for services rendered during the previous month.

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ITEM 4.19

CITY MANAGER'S REPORT JUNE 8, 2020 CITY COUNCIL REGULAR MEETING

ITEM: **ACCEPT DEDICATION OF COMMUNICATION TOWER SITE, ACCEPT IRREVOCABLE OFFER OF DEDICATION FOR J7 STREET AND APPROVE AGREEMENT FOR CONSTRUCTION AND OPERATION OF THE TOWER**

RECOMMENDATION: **Adopt Resolution Accepting Dedication of Communication Tower Site, Accepting Irrevocable Offer of Dedication for J7 Street and Approving an Agreement with River Islands Employment Center, LLC for Construction and Operation of a Communications Tower in River Islands**

SUMMARY:

River Islands Development, LLC, ("RID") is completing construction of a large utility facility that includes water tanks, a water booster pump station, a major sewer pump station, and a SCADA tower. RID has developed a communications tower site ("Site") within the Employment Center District of the River Islands at Lathrop project for the purpose of erecting a communications tower ("Tower") to serve national cellular communication providers ("Providers"), including the City of Lathrop ("City"), River Islands, related public agencies and possibly Lathrop Manteca Fire District.

RID transferred the land within the Employment Center to River Islands Employment Center, LLC (RI-EC), the entity with whom the City will enter into the Agreement for Construction and Operations of a Communications Tower in River Islands ("Agreement"). It has been determined that the additional height of the Tower can only be allowed if the facility is owned by the City of Lathrop, and so RI-EC is offering to dedicate the Site and the Tower to the City of Lathrop, pending approval of the Agreement in order to share the revenue from cell tower lease payments. The City of Lathrop desires to accept the Site dedicated by RI-EC at this time, and will accept the Tower once the improvement are complete, and the City desires to enter into the Agreement with RI-EC in order to share the revenue from cell tower lease payments.

RI-EC prepared a Grant Deed and legal property description to be used for the dedication of the Site to CITY, provided legal access to the Site as provided by an Irrevocable Offer of Dedication ("IOD") for future J7 Street, and City staff and RI-EC negotiated an Agreement for Construction and Operation of a Communications Tower in River Islands to identify how revenue from the Tower will be shared.

CITY MANAGER'S REPORT **Page 2**
JUNE 8, 2020 CITY COUNCIL REGULAR MEETING
ACCEPT TOWER SITE AND AGREEMENT FOR CONSTRUCTION AND
OPERATION OF THE TOWER

Staff recommends the City Council of the City of Lathrop:

- Accept dedication of the communications tower site located in the Employment Center area of River Islands,
- Accept the Irrevocable Offer of Dedication of Easement for Public Roadway Purposes and Public Utility Easement (J7 Street), and
- Approve an Agreement with River Islands Employment Center, LLC for Construction and Operation of a Communications Tower in River Islands.

BACKGROUND:

River Islands Development, LLC, ("RID") the developer for the River Islands Project, is required under various entitlements to construct certain public facilities and infrastructure that will be of benefit to their property. RID is completing construction of a large utility facility that includes water tanks, a water booster pump station, a major sewer pump station, and a SCADA tower. RID has developed a communications tower site ("Site") within the Employment Center District of the River Islands at Lathrop project for the purpose of erecting a communications tower ("Tower") to serve national cellular communication providers ("Providers"), including the City, River Islands, related public agencies and possibly Lathrop Manteca Fire District.

RID transferred the land within the Employment Center to River Islands Employment Center, LLC (RI-EC), the entity with whom the City will enter into the Agreement for Construction and Operations of a Communications Tower in River Islands ("Agreement"). It has been determined that the additional height of the Tower can only be allowed if the facility is owned by the City of Lathrop, and so RI-EC is offering to dedicate the Site and the Tower to the City of Lathrop, pending approval of the Agreement in order to share the revenue from cell tower lease payments. The City of Lathrop desires to accept the Site dedicated by RI-EC at this time, and accept the Tower when the improvements to the Tower and the Site are complete, and the City desires to enter into the Agreement with RI-EC in order to share the revenue from cell tower lease payments. The City and RI-EC also wish to document in the Agreement the terms and conditions to which the revenues received from use of the Tower are distributed and how the Tower is maintained and operated.

The Agreement identifies funds already spent and intended to be spent by RI-EC on the Site and Tower in Agreement Exhibit C, and identifies the portion of these costs of improvements that were the minimum required of RI-EC in Agreement Exhibit C, with the difference being the Excess Costs, in Agreement Exhibit C, by RI-EC to build the larger Tower and expanded improvements at the Site to allow cell companies to locate their facilities on the Tower. The Agreement then allocates 75% of the lease revenue to RI-EC and 25% to the City, until the Excess Costs are reimbursed. Once the Excess Costs have been fully reimbursed, RI-EC and the City will share lease revenue with each receiving 50%.

CITY MANAGER'S REPORT **Page 3**
JUNE 8, 2020 CITY COUNCIL REGULAR MEETING
ACCEPT TOWER SITE AND AGREEMENT FOR CONSTRUCTION AND
OPERATION OF THE TOWER

RI-EC prepared a Grant Deed and legal property description for the Site as included in Agreement A to be used for the dedication of the Site to CITY, and CITY desires to accept the parcel shown along with the legal access to the Site as provided by an IOD for future J7 Street as included as Agreement B.

Two cellular communications companies have requested space on the Tower. The City must first take ownership of the Site before space on the cell Tower can be leased to cellular communications companies. The final determination of the value of the 120-foot tall cell tower, versus the otherwise required SCADA tower and facilities, is being negotiated with the City Manager. Rather than delay acceptance of the Cell Site, staff is asking Council to grant authority to the City Manager to resolve the determination of the value of the 120-foot SCADA tower and cell facilities that are in excess of the otherwise required SCADA tower. Entering into lease agreements now does not create an issue, as those lease agreements will not take effect until the Tower is complete.

Staff recommends the City Council of the City of Lathrop adopt a resolution to:

- Accept dedication (Attachment "B") of the communications tower site located in the Employment Center area of River Islands, and
- Accept the Irrevocable Offer of Dedication (Attachment "C") of Easement for Public Roadway Purposes and Public Utility Easement (J7 Street), and
- Approve an Agreement (Attachment "D") with River Islands Employment Center, LLC for Construction and Operation of a Communications Tower in River Islands, with the understanding that the City Manager will resolve the determination of the value of the 120-foot SCADA tower and cell facilities that are in excess of the otherwise required SCADA tower.

REASON FOR RECOMMENDATION:

Acceptance of the Site dedication is required before the City can enter into lease agreements with cellular communications companies. Acceptance of the Irrevocable Offer of Dedication is required to provide access to the Site. Once the J7 Street improvements are completed, the City will accept dedication of that street. And finally, approval of the Agreement with River Islands Employment Center, LLC for Construction and Operation of a Communications Tower in River Islands will repay the developer for the cost of the higher tower, and will provide the City with funds to maintain the Tower and the Site. The City will accept dedication of the Tower once the improvements to the Site are complete.

FISCAL IMPACT:

CITY MANAGER'S REPORT **Page 4**
JUNE 8, 2020 CITY COUNCIL REGULAR MEETING
ACCEPT TOWER SITE AND AGREEMENT FOR CONSTRUCTION AND
OPERATION OF THE TOWER

Lease payments will fully fund maintenance of the Site and the Tower, and will repay RI-EC for the cost of increasing the tower height. The portion of lease payments retained by the City is adequate for maintenance, and income in excess of the costs of maintenance will be available to the City for any use.

ATTACHMENTS:

- A. Resolution Accepting Dedication of Communication Tower Site, Accepting Irrevocable Offer of Dedication for J7 Street and Approving an Agreement with River Islands Employment Center, LLC for Construction and Operation of a Communications Tower in River Islands
- B. Grant Deed for Communications Tower Site
- C. Irrevocable Offer of Dedication of Easement for Public Roadway Purposes and Public Utility Easement (J7 Street)
- D. Agreement by and Between City of Lathrop and River Islands Employment Center, LLC, for Construction and Operation of a Communication Tower in River Islands
- E. Site Plan for Communications Tower Site in River Islands

CITY MANAGER'S REPORT
JUNE 8, 2020 CITY COUNCIL REGULAR MEETING
ACCEPT TOWER SITE AND AGREEMENT FOR CONSTRUCTION AND
OPERATION OF THE TOWER

APPROVALS:



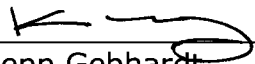
Tony Fernandes
Chief Information Officer

5-29-2020
Date



Michael King
Public Works Director

5-29-2020
Date

 FOR

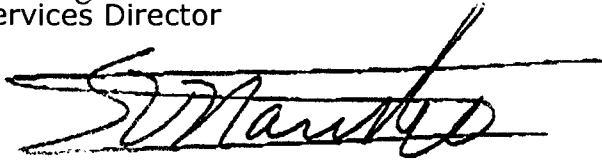
Glenn Gebhardt
City Engineer

5-29-2020
Date



Cari James
Finance and Administrative
Services Director

5-29-2020
Date



Salvador Navarrete
City Attorney

5/21/2020
Date



Stephen J. Salvatore
City Manager

6-3-2020
Date

RESOLUTION NO. 20-

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LATHROP ACCEPTING DEDICATION OF COMMUNICATION TOWER SITE, ACCEPTING IRREVOCABLE OFFER OF DEDICATION FOR J7 STREET AND APPROVING AN AGREEMENT WITH RIVER ISLANDS EMPLOYMENT CENTER, LLC FOR CONSTRUCTION AND OPERATION OF A COMMUNICATIONS TOWER IN RIVER ISLANDS

WHEREAS, River Islands Development, LLC, ("RID") the developer for the River Islands Project, is required under various entitlements to construct certain public facilities and infrastructure that will be of benefit to their property; and

WHEREAS, RID is completing construction of a large utility facility that includes water tanks, a water booster pump station, a major sewer pump station, and a SCADA tower; and

WHEREAS, RID has developed a communications tower site ("Site") within the Employment Center District of the River Islands at Lathrop project for the purpose of erecting a communications tower ("Tower") to serve national cellular communication providers ("Providers"), including the City, River Islands, related public agencies and possibly Lathrop Manteca Fire District; and

WHEREAS, RID has transferred the land within the Employment Center to River Islands Employment Center, LLC (RI-EC), the entity with whom the City will enter into the Agreement for Construction and Operations of a Communications Tower in River Islands ("Agreement"); and

WHEREAS, it has been determined that the additional height of the Tower can only be allowed if the facility is owned by the City of Lathrop, so RI-EC is offering to dedicate the Site and the Tower to the City of Lathrop, pending approval of the Agreement in order to share the revenue from cell tower lease payments; and

WHEREAS, the City and RI-EC also wish to document in the Agreement the terms and conditions to which the revenues received from use of the Tower are distributed and how the Tower is maintained and operated; and

WHEREAS, the City of Lathrop desires to accept the Site dedicated by RI-EC, will accept the Tower once all improvements are complete, and enter into the Agreement with RI-EC in order to share the revenue from cell tower lease payments; and

WHEREAS, RI-EC has caused to be prepared a Grant Deed and legal property description for the Site to be used for the dedication of the Site to the City, and the City desires to accept the parcel along with the legal access to the Site as provided by an Irrevocable Offer of Dedication ("IOD") for future J7 Street; and

WHEREAS, two cellular communications companies have requested space on the Tower, and the City must first take ownership of the Site before space on the cell Tower can be leased; and

WHEREAS, the final determination of the value of the 120-foot tall cell tower versus the otherwise required SCADA tower and facilities, is being negotiated with the City Manager, and rather than delay acceptance of the Cell Site, staff is asking Council to grant authority to the City Manager to resolve the determination of the value of the 120-foot SCADA tower and cell facilities that are in excess of the otherwise required SCADA tower.

NOW, THEREFORE, BE IT RESOLVED, that the City Council of the City of Lathrop does hereby accept dedication of the communications tower site located in the Employment Center area of River Islands, and directs the City Clerk to record the grant deed; and

NOW, THEREFORE, BE IT FURTHER RESOLVED, that the City Council of the City of Lathrop does hereby accept the Irrevocable Offer of Dedication of Easement for Public Roadway Purposes and Public Utility Easement (J7 Street), and directs the City Clerk to record the Irrevocable Offer; and

NOW, THEREFORE, BE IT FURTHER RESOLVED, that the City Council of the City of Lathrop does hereby approve an Agreement with River Islands Employment Center, LLC for Construction and Operation of a Communications Tower in River Islands, with the understanding that the City Manager will resolve the determination of the value of the 120-foot SCADA tower and cell facilities that are in excess of the otherwise required SCADA tower.

The foregoing resolution was passed and adopted this 8th day of June 2020, by the following vote of the City Council, to wit:

AYES:

NOES:

ABSENT:

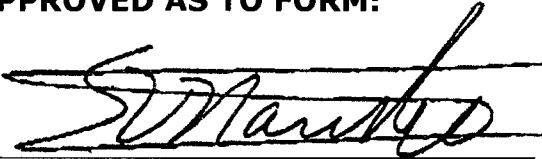
ABSTAIN:

Sonny Dhaliwal, Mayor

ATTEST:

APPROVED AS TO FORM:

Teresa Vargas, City Clerk



Salvador Navarrete, City Attorney

RECORDING REQUESTED BY, AND
WHEN RECORDED MAIL TO:

CITY OF LATHROP
ATTN: CITY CLERK
390 TOWNE CENTRE DRIVE
LATHROP, CA 95330
Exempt from payment of recording fees (GC 11922)



SPACE ABOVE THIS LINE FOR RECORDER'S USE

GRANT DEED

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged, **RIVER ISLANDS EMPLOYMENT CENTER, LLC**, a Delaware limited liability company ("**Grantor**"), hereby grants to the **CITY OF LATHROP** a California municipal corporation ("**Grantee**"), that certain real property located in the City of Lathrop, County of San Joaquin, State of California, along with all improvements thereon, as described in the legal description attached hereto as **Exhibit A ("Land")** incorporated herein by this reference.

Grantor intends to convey with the Land any and all riparian rights or other water interests to which the Land is entitled therein appurtenant or relating to the Property, whether such water rights shall be riparian, overlying, littoral, percolating, prescriptive, adjudicated, statutory or contractual ("**Water Rights**").

While Grantor intends to transfer the Water Rights with the Land, it does not intend by this grant to sever the riparian rights of the surrounding properties. With this conveyance Grantor intends to retain to any and all land surrounding the Property all riparian rights to which those lands are entitled.

Notwithstanding the above grant, Grantor intends to except and reserve unto Grantor, its successors and assigns, together with the right to grant and transfer all or a portion of the same:

A. All rights that the Land may have in and to that Water Right License 2637 (Application 5155/Permit 2720) granted by the State Water Resources Control Board and held by Island Reclamation District No. 2062.

B. The right and power to utilize, convey, remove, treat, and store the Water Rights from the Land, to divert or otherwise utilize such water, rights or interests on the Land or other property, but without, however any right to enter upon the surface of the Land in the exercise of such rights.

C. All oil, oil rights, minerals, mineral rights, natural gas rights and other hydrocarbons by whatsoever name known, geothermal steam and all products derived from any of the foregoing, that may be within or under the Land, together with the perpetual right of drilling, mining, exploring and operating therefor and storing in and removing the same from said Land or any other land including the right to whipstock or directionally drill and mine from lands other

than the Land, oil or gas wells, tunnels and shafts into, through or across the subsurface of the Land, and to bottom such whipstocked or directionally drilled wells, tunnels and shafts under and beneath or beyond the exterior limits thereof, and to redrill, retunnel, equip, maintain, repair, deepen and operate any such wells or mines without, however, the right to drill, mine, store, explore or operate through the surface or the upper five hundred feet (500') of the subsurface of the Land.

D. The right to place on, under or across the Land, transmission lines and other facilities for a community antenna television system and thereafter to own and convey such lines and facilities, and the right to enter upon the Land to service, maintain, repair, reconstruct and replace said lines and facilities; provided, however, that the exercise of such rights shall not unreasonably interfere with Grantee's reasonable use and enjoyment of the Land.

E. Nonexclusive easements in gross on, over and under the Land for the construction, installation and maintenance of electric, gas, telephone, water, sewer and drainage facilities, provided that the construction and installation of such facilities shall not unreasonably interfere with Grantee's reasonable use and enjoyment of the Land. Grantor shall give to Grantee thirty (30) days written notice before exercising the foregoing easement in gross except in case of an emergency and shall restore the surface of the easement to its condition immediately prior to Grantor's entry. Grantor shall exert its best efforts to ensure that such facilities are located within rights of way and utility areas, and under no circumstances shall such facilities be placed under building pads. Except as such easements have been conveyed to a utility company or other public or quasi-public entity, said easements in favor of Grantor shall automatically terminate and be of no further force or effect as to any portion of the Land upon the conveyance thereof to a buyer or other transferee who is entitled to receive by reason of such conveyance a Subdivision Public Report pursuant to California Business and Professions Code Section 11018.2 or any similar statute hereafter in effect, or upon conveyance to an association whose members consist in whole or in part of such buyers or other transferees.

SUBJECT TO:

1. General and special real property taxes and assessments and supplemental assessments, if any, for the current fiscal year.
2. Rights or claims of parties in possession not shown by the public records.
3. Encroachments, overlaps, boundary line disputes, or other matters which would be disclosed by an accurate survey or inspection of the premises.

IN WITNESS WHEREOF, Grantor has executed this Grant Deed as of June ____, 2020.

GRANTOR:

RIVER ISLANDS EMPLOYMENT CENTER, LLC
a Delaware limited liability company

By: _____
Susan Dell'Osso, President

ATTACH NOTARY ACKNOWLEDGMENT

EXHIBIT A
Legal Description of Land
(Attached)

**LEGAL DESCRIPTION
COMMUNICATION SITE
RIVER ISLANDS
LATHROP, CALIFORNIA**

CERTAIN REAL PROPERTY SITUATE IN THE CITY OF LATHROP, COUNTY OF SAN JOAQUIN, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

BEING A PORTION OF PARCEL 1, AS SAID PARCEL IS SHOWN ON THE MAP ENTITLED "TRACT 3876, RIVER ISLANDS, PHASE 1B, LARGE LOT FINAL MAP", FILED MARCH 31, 2016, IN BOOK 42 OF MAPS AND PLATS, AT PAGE 56, OFFICIAL RECORDS OF SAN JOAQUIN COUNTY, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE EAST LINE OF J7 COURT, AS SAID COURT IS DESCRIBED IN DOCUMENT NO. 2020-_____, OFFICIAL RECORDS OF SAN JOAQUIN COUNTY;

THENCE ALONG SAID EAST LINE, ALONG A CURVE TO THE LEFT, HAVING A RADIUS OF 56.00 FEET, FROM WHICH POINT THE RADIUS POINT BEARS SOUTH 50°36'58" WEST, THROUGH A CENTRAL ANGLE OF 05°11'29", AN ARC DISTANCE OF 5.07 FEET;

THENCE, ALONG A REVERSE CURVE, HAVING A RADIUS OF 17.00 FEET, THROUGH A CENTRAL ANGLE OF 44°34'31", AN ARC DISTANCE OF 13.23 FEET;

THENCE, NORTH 24.30 FEET;

THENCE, LEAVING SAID EAST LINE, EAST 90.00 FEET;

THENCE, SOUTH 40.00 FEET;


THENCE, WEST 81.72 FEET TO SAID POINT OF BEGINNING.

CONTAINING 3,557 SQUARE FEET, MORE OR LESS.

ATTACHED HERETO IS A PLAT TO ACCOMPANY LEGAL DESCRIPTION, AND BY THIS REFERENCE MADE A PART HEREOF.

END OF DESCRIPTION

THIS REAL PROPERTY DESCRIPTION HAS BEEN PREPARED BY ME, OR UNDER MY DIRECTION, IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYOR'S ACT.

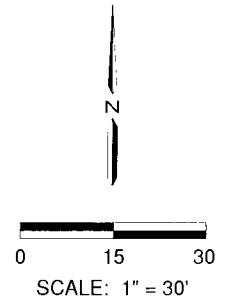


WILLIAM M. KOCH
PROFESSIONAL LAND SURVEYOR
CALIFORNIA NO. 8092



5/28/20
DATE

GOLDEN VALLEY PARKWAY (DOCUMENT NO. 2019-070952)



J7 COURT (DOCUMENT NO. 2020-)

POINT OF BEGINNING

N50°36'58"E 56.00'(R)

R=56.00'
Δ=100°06'03" L=97.87'

N00°00'00"W 180.77'
141.97'

14.50'

N90°00'00"W 634.85'

N90°00'00"E 90.00'

PROPOSED COMMUNICATION SITE
3,557 S.F.

N00°00'00"E 40.00'

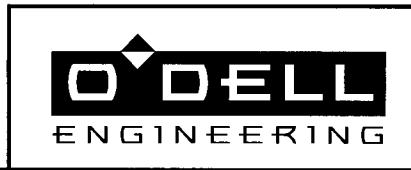
N90°00'00"W 81.72'

PARCEL 1 (42 MP 56)

CURVE TABLE			
CURVE #	RADIUS	DELTA	LENGTH
C1	17.00'	44°34'31"	13.23'
C2	56.00'	5°11'29"	5.07'

PLAT

RIVER ISLANDS				1 OF 1
COMMUNICATION SITE				
SCALE:	1"=30'	DATE:	2020-05-20	
JOB NO.:	25503			
FILE:	25503-PLAT-COMMUNICATION SITE.DWG			



T:\25503-RIVER ISLANDS\PHASE 22 - FINAL WATER TANK SITE\ACAD\LEGAL DESCRIPTION\25503-PLAT-COMMUNICATION SITE.DWG

RECORDING REQUESTED BY, AND
WHEN RECORDED MAIL TO:

CITY OF LATHROP
ATTN: CITY CLERK
390 TOWNE CENTRE DRIVE
LATHROP, CA 95330
Exempt from payment of recording fees (GC 11922)



SPACE ABOVE THIS LINE FOR RECORDER'S USE

**IRREVOCABLE OFFER OF DEDICATION OF EASEMENT
FOR PUBLIC ROADWAY PURPOSES AND PUBLIC UTILITY EASEMENT
(J7 STREET)**

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged, **RIVER ISLANDS EMPLOYMENT CENTER, LLC**, a Delaware limited liability company, (“Grantor”) hereby grant(s) to the **CITY OF LATHROP**, a municipal corporation (“Grantee”) in the County of San Joaquin, State of California, an easement for ingress, egress and road purposes, and a public utility easement (PUE), over and across the hereinafter described real property situated in City of Lathrop and more particularly described as follows:

SEE EXHIBIT A ATTACHED HERETO AND MADE A PART HEREOF

This Offer of Dedication is made pursuant to Section 7050 of the Government Code of the State of California, and may be accepted at any time by the City Engineer of the City of Lathrop. This Offer of Dedication may be terminated and right to accept such offer abandoned in the same manner as is prescribed for the vacation of streets or highways by Part 3 of Division 9 or Chapter 2 of Division 2 of the Streets and Highways Code of the State of California, whichever is applicable.

The above described easement is to be kept open, clear and free from buildings and structures of any kind. This Offer of Dedication shall be irrevocable and shall be binding on the Grantor’s heirs, executors, administrators, successors and assigns.

IN WITNESS WHEREOF, Grantor has executed this Grant Deed as of June ____, 2020.

GRANTOR:

RIVER ISLANDS EMPLOYMENT CENTER, LLC
a Delaware limited liability company

By: _____
Susan Dell'Osso, President

[ATTACH NOTARY ACKNOWLEDGMENT]

EXHIBIT A
LEGAL DESCRIPTION
ROADWAY DEDICATION AND ADJACENT PUBLIC UTILITY EASEMENT
(J7 STREET)

(See Attached)

March 11, 2020

EXHIBIT A

LEGAL DESCRIPTION
IRREVOCABLE OFFER OF DEDICATION FOR RIGHT-OF-WAY PURPOSES
(J7 COURT)
RIVER ISLANDS
LATHROP, CALIFORNIA

CERTAIN REAL PROPERTY SITUATE IN THE CITY OF LATHROP, COUNTY OF SAN JOAQUIN, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

BEING A PORTION OF PARCEL 1, AS SAID PARCEL IS SHOWN ON THE MAP ENTITLED "TRACT 3876, RIVER ISLANDS, PHASE 1B, LARGE LOT FINAL MAP", FILED MARCH 31, 2016, IN BOOK 42 OF MAPS AND PLATS, AT PAGE 56, OFFICIAL RECORDS OF SAN JOAQUIN COUNTY, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE SOUTH LINE OF GOLDEN VALLEY PARKWAY, EAST 118.05 FEET FROM THE WESTERLY TERMINUS OF COURSE L9, AS SHOWN ON SHEET 3 OF EXHIBIT B OF DOCUMENT NO. 2019-070952;

THENCE ALONG SAID SOUTH LINE, EAST 130.00 FEET;

THENCE LEAVING SAID SOUTH LINE, SOUTH 45°00'00" WEST 42.43 FEET;

THENCE, SOUTH 180.77 FEET;

THENCE, ALONG A TANGENT CURVE TO THE LEFT, HAVING A RADIUS OF 17.00 FEET, THROUGH A CENTRAL ANGLE OF 44°34'31", AN ARC DISTANCE OF 13.23 FEET;

THENCE, ALONG A REVERSE CURVE, HAVING A RADIUS OF 56.00 FEET, THROUGH A CENTRAL ANGLE OF 269°09'02", AN ARC DISTANCE OF 263.06 FEET;

THENCE, ALONG A REVERSE CURVE, HAVING A RADIUS OF 17.00 FEET, THROUGH A CENTRAL ANGLE OF 44°34'31", AN ARC DISTANCE OF 13.23 FEET;

THENCE, NORTH 180.77 FEET;

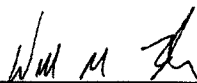
THENCE, NORTH 45°00'00" WEST 42.43 FEET TO SAID POINT OF BEGINNING.

CONTAINING 25,459 SQUARE FEET, MORE OR LESS.

ATTACHED HERETO IS A PLAT TO ACCOMPANY LEGAL DESCRIPTION, AND BY THIS REFERENCE MADE A PART HEREOF.

END OF DESCRIPTION

THIS REAL PROPERTY DESCRIPTION HAS BEEN PREPARED BY ME, OR UNDER MY DIRECTION, IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYOR'S ACT.


WILLIAM M. KOCH
PROFESSIONAL LAND SURVEYOR
CALIFORNIA NO. 8092



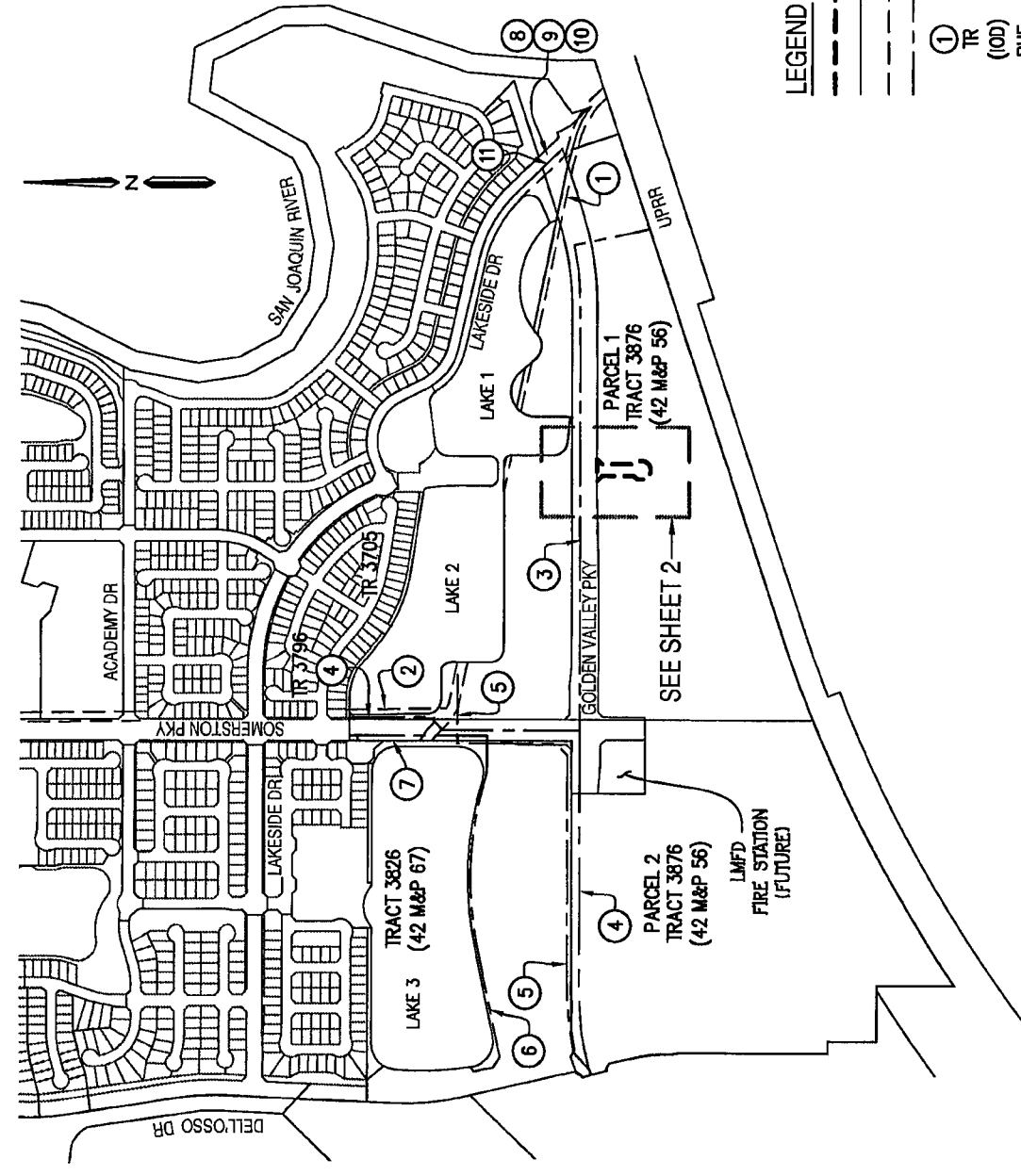
3/12/20
DATE

EASEMENTS

- ① 60' ROADWAY EASEMENT IN FAVOR OF THE COUNTY OF SAN JOAQUIN COUNTY PER 199 OR 212, S.J.C.R. (STEWART ROAD)
- ② 60' ROADWAY EASEMENT IN FAVOR OF THE COUNTY OF SAN JOAQUIN COUNTY PER 408 OR 95, S.J.C.R. (COHEN ROAD)
- ③ 15' RECYCLED WATER LINE EASEMENT IN FAVOR OF THE CITY OF LATHROP PER 2006-119379, S.J.C.R.
- ④ 15' RECYCLED WATER LINE EASEMENT IN FAVOR OF THE CITY OF LATHROP PER 2006-119380, S.J.C.R.
- ⑤ DISCHARGE EASEMENT IN FAVOR OF RIVER ISLANDS PUBLIC FINANCING AUTHORITY PER 2014-083240, S.J.C.R.
- ⑥ LAKE FILL PIPELINE EASEMENT IN IN FAVOR OF RIPFA PER 2016-156568, S.J.C.R.
- ⑦ FUTURE ROADWAY EASEMENT FOR SOMERSTON PARKWAY, SHOWN AS EASEMENT E15 ON TRACT 3876 (42 M&P 56)
- ⑧ PUBLIC UTILITY EASEMENT IN FAVOR OF THE CITY OF LATHROP PER 2013-111673, S.J.C.R.
- ⑨ PUBLIC ACCESS EASEMENT IN FAVOR OF THE CITY OF LATHROP PER 2013-111676, S.J.C.R.
- ⑩ IRREVOCABLE OFFER OF DEDICATION OF EASEMENT FOR ROADWAY PURPOSES IN FAVOR OF THE CITY OF LATHROP PER 2013-156594, S.J.C.R.
- ⑪ 40.5' WIDE PUE/PAE IN FAVOR OF THE CITY OF LATHROP PER TRACT 3704 (42 M&P 4)

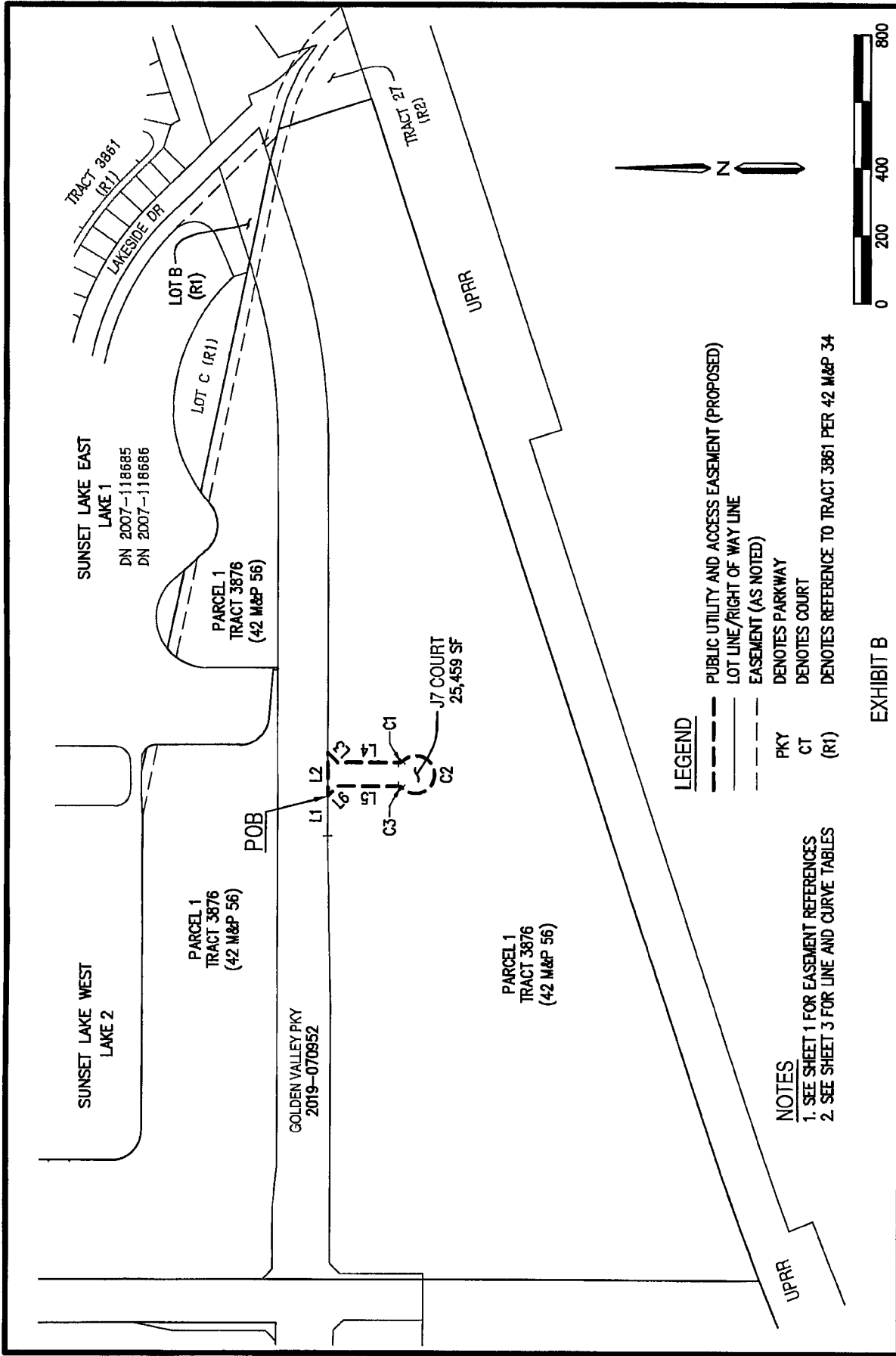
LEGEND

- ROADWAY EASEMENT (IOD)
- LOT LINE/RIGHT OF WAY LINE
- EASEMENT (AS NOTED)
- CENTERLINE
- ① EASEMENT REFERENCE NUMBER
- TR DENOTES TRACT
- (IOD) IRREVOCABLE OFFER OF DEDICATION
- PUE PUBLIC UTILITY EASEMENT
- PAE PUBLIC ACCESS EASEMENT
- LMFD LATHROP/MANATECA FIRE DISTRICT



OVERALL MAP
EXHIBIT B


<p>RIVER ISLANDS - PHASE 1B J7 COURT</p>
<p>IRREVOCABLE OFFER OF DEDICATION FOR ROADWAY EASEMENT PURPOSES CITY OF LATHROP SAN JOAQUIN COUNTY CALIFORNIA</p>
<p>SCALE: 1"=1000'</p>
<p>DRAWN BY: BW</p>
<p>FILE: 25500 PLAT J7_IOD.DWG</p>
<p>DATE: 3/11/20 SHEET: 1 OF 3</p>



LEGEND

- PUBLIC UTILITY AND ACCESS EASEMENT (PROPOSED)
- LOT LINE/RIGHT OF WAY LINE
- EASEMENT (AS NOTED)
- PKY DENOTES PARKWAY
- CT DENOTES COURT
- (R1) DENOTES REFERENCE TO TRACT 3861 PER 42 M&P 34

NOTES

1. SEE SHEET 1 FOR EASEMENT REFERENCES
2. SEE SHEET 3 FOR LINE AND CURVE TABLES

EXHIBIT B

SCALE: 1"=400'
 DRAWN BY: BW
 FILE: 25500 PLAT J7_100.DWG
 DATE: 3/1/20 SHEET: 2 OF 3

RIVER ISLANDS - PHASE 1B
 J7 COURT
 IRREVOCABLE OFFER OF DEDICATION FOR ROADWAY EASEMENT PURPOSES
 CITY OF LATHROP SAN JOAQUIN COUNTY CALIFORNIA



LINE TABLE	
NO	BEARING DISTANCE
L1	EAST 118.05'
L2	EAST 130.00'
L3	N45°00'00"E 42.43'
L4	NORTH 180.77'
L5	NORTH 180.77'
L6	N45°00'00"W 42.43'

CURVE TABLE			
CURVE	RADIUS	DELTA	LENGTH
C1	17.00'	44°34'31"	13.23'
C2	56.00'	269°09'02"	263.06'
C3	17.00'	44°34'31"	13.23'

EXHIBIT B

RIVER ISLANDS - PHASE 1B
J7 COURT

IRREVOCABLE OFFER OF DEDICATION FOR ROADWAY EASEMENT PURPOSES
CITY OF LATHROP SAN JOAQUIN COUNTY CALIFORNIA

SCALE: NO SCALE

DRAWN BY: BW

FILE: 25500 PLAT J7_100.DWG

DATE: 3/11/20 SHEET: 3 OF 3



AGREEMENT

By and Between

City of Lathrop, California, a Municipal Corporation

and

River Islands Employment Center, LLC, a Delaware Limited Liability Company

for

Construction and Operation of a Communications Tower in River Islands

This Agreement (“Agreement”) is made and entered into this **8th** day of **June, 2020**, by and between the City of Lathrop, a municipal corporation (hereinafter “CITY”) and River Islands Employment Center, LLC, a Delaware limited liability company (hereinafter “River Islands”), together the “Parties.”

RECITALS

A. River Islands has developed a communications tower site (“Site”) within the Employment Center District of the River Islands at Lathrop project for the purpose of erecting a 120-foot communications tower (“Cell Tower”) to serve national cellular communication providers (“Providers”), including CITY, River Islands, related public agencies and possibly Lathrop Manteca Fire District.

B. The Site contains 3,557 square feet and River Islands has erected the Cell Tower capable of serving the intended users.

C. CITY has been negotiating with at least two Providers and also wishes to place its own communications equipment on the Cell Tower as outlined in this Agreement.

D. River Islands has agreed to dedicate the Site and the Cell Tower to CITY for the intended purposes described herein, subject to the terms and conditions provided in this Agreement. River Islands Development, LLC, previously transferred the Property to River Islands Employment Center, LLC, who will be signing the grant deed to the City and this Agreement.

E. River Islands was required to install an 80-foot tall SCADA tower and SCADA equipment to serve the City’s needs triggered by the River Islands project. Instead, River Islands chose to install a 120-foot tower that would allow placement by cell Providers of equipment on the Cell Tower, generating income from the leases for that cell equipment. The Parties also wish to determine the terms and conditions to which the revenues received from use of the Cell Tower are distributed and how the Cell Tower is maintained and operated.

NOW THEREFORE, for valuable consideration, the receipt and sufficiency of which are hereby acknowledged, CITY and River Islands hereby agree as follows:

1. PROPERTY AND IMPROVEMENT ACQUISITION

a. The Parties agree that it is in the best interest of CITY, River Islands and the community at large for CITY to own and maintain the Site and Cell Tower and take and accept the Site as a property interest in fee from River Islands. To that end, CITY has negotiated with certain Providers to place its equipment on the Cell Tower for the benefit of its citizens that live and work in River Islands and the vicinity, and CITY has and will continue to expend its resources to complete these negotiations; such costs shall be reimbursed in accordance with Section 2 of this Agreement. In order for CITY to complete its negotiations with cellular communication providers, the Site must be deeded to CITY from River Islands. Acceptance of the property interest associated with the Site shall be a separate and distinct action from acceptance of the Cell Tower and its associated improvements which shall be subsequent to acceptance of the Site's property interest.

b. River Islands has caused to be prepared a Grant Deed and legal property description for the Site as included in **Exhibit A** to be used for the dedication of the Site to CITY. CITY agrees to accept the parcel shown in **Exhibit A** along with the legal access to the Site as provided by an Irrevocable Offer of Dedication ("IOD") for future J7 Street as included with **Exhibit B** of this Agreement.

c. CITY intends to install its Supervisory Control and Data Acquisition ("SCADA") system equipment on the Cell Tower. CITY shall provide an estimate of the SCADA system to determine the value of River Islands' obligation to provide a SCADA Tower and facility ("SCADA Tower") as a required public improvement; such estimate is included herein as **Exhibit C**. The balance of the improvement value of the Site and Cell Tower is subject to reimbursement to River Islands as described Section 2 of this Agreement.

2. RENT AND CAPITAL REIMBURSEMENT

a. River Islands has expended approximately \$331,234 on capital and development of the Site and the Cell Tower and is committed to continuing to expend funds to complete improvement of the Site and Cell Tower. A summary of costs expended, and to be expended, is included in **Exhibit C** to this Agreement. **Exhibit C** shall also include River Islands' share of the SCADA Tower; CITY's communication equipment as required by conditions of approval of entitlements for River. In accordance with Section 2 of this Agreement, River Islands shall be reimbursed for its costs to develop and construct the Site and Cell Tower minus its required share of the CITY's communication equipment described herein (SCADA Tower), and these are considered excess costs ("Excess Costs") and are also reflected in **Exhibit C**.

b. Amount of Excess Costs. The Parties acknowledge and agree that an updated Engineer's Cost Estimate of the Site and Cell Tower Costs has been prepared in connection with this Agreement and City's process to adopt this Agreement pursuant to Section 6(a) below.

Said Engineer's Cost Estimate, set forth in attached Exhibit C, reflects Site and Cell Tower Costs, which the Parties agree represents an accurate estimate of such costs based on reasonably available information as of the date of execution. Notwithstanding anything to the contrary in the foregoing, the Parties further acknowledge and agree that because all of said costs cannot reasonably be determined as of the date of execution, the Engineer's Cost Estimate shall be updated, as needed, once the Site and Cell Tower are complete ("**Reconciliation Statement**"), and the Site and Cell Tower Costs shall be adjusted accordingly at that time, as needed, to ensure that Developer is "trued up" to provide for full reimbursement as required hereunder. Said reimbursement shall become available to Developer once the relevant Provider Option and Tower Lease Agreement is adopted by the City Council as provided for herein. Developer shall provide reasonable documentation of the actual costs incurred in support of the Reconciliation Statement (which may include, among others, unconditional lien releases, invoices, proof of payment, confirmation on letterhead from relevant contractor(s)/subcontractor(s) of payment, and/or any other reasonable documentation similar in detail and content as has been previously provided to City) at the same time it offers to dedicate the Cell Tower to City; City shall then have the right, but not the obligation, to reasonably review and audit said documentation, to the extent it determines reasonably appropriate, with any such audit being completed within thirty (30) days. No later than thirty (30) days of either (a) the receipt of said documentation, or (b) the completion of any audit, whichever is applicable, then City shall confirm the Reconciliation Statement. The Parties acknowledge and agree that the amount of detail in the documentation provided by Developer to support the Reconciliation Statement shall be reasonable; shall be consistent with the level of detail provided to City in connection with the original cost estimates reflected in Exhibit C; and may consist (in whole or in part) of costs documented in writing by relevant third parties working on any portion of the Site and Cell Tower facilities that reflect actual costs incurred by Developer. Notwithstanding anything to the contrary in the foregoing, any such adjusted reimbursement amount shall be applied future reimbursement payments. Once City has accepted the offer of dedication for the Site and Cell Tower Facilities and has released any and all related liens, then City's right to audit the above-referenced documentation shall terminate. The Parties further acknowledge and agree that in the event City conducts an audit pursuant to this Section 2b, City shall not withhold any adjusted reimbursement payments to Developer for any undisputed amounts during the audit period.

c. After successful completion of the Cell Tower and CITY's SCADA system, including inspection by CITY, CITY shall accept the Cell Tower and associated improvements and take ownership and maintenance responsibility of the facility within 60 days of such inspection by CITY.

d. After successful negotiation of contracts with each cellular communication provider, CITY shall provide 75% of the resultant revenue (rent) provided by each Provider until the Excess Costs expended by River Islands, as included in **Exhibit C**, are fully reimbursed. Payment by CITY to River Islands shall be made quarterly subsequent to receiving rent from each Provider. The remaining 25% of rent received by each Provider shall be reserved by CITY for maintenance of the Site and Cell Tower, including the cost of utilities.

e. After River Islands has been reimbursed for its Excess Costs of the Site and Cell Tower, the Parties shall share the rent generated by each Provider equally (50% each). Payment by CITY to River Islands shall be made quarterly subsequent to receiving rent from each Provider.

3. TERM

a. The initial term of this Agreement shall be one (1) year from the execution date by the Parties.

b. This Agreement shall automatically renew each year from the initial term into perpetuity unless it is: (i) terminated by mutual agreement of the Parties in writing; (ii) the Agreement, in total and not subject to Section 6.b of this Agreement, is terminated by a Court of competent jurisdiction as being, as a whole, unlawful; (iii) the need for the Site and Cell Tower are no longer necessary as deemed by CITY, in which the Site shall be deeded back to River Islands within 180 days of such determination by CITY. Termination of any lease agreement with a Provider with the City which may expire or otherwise be terminated shall not in itself be grounds for termination of this Agreement.

4. WARRANTIES

a. The Parties each acknowledge and represent that it is duly organized, validly existing and in good standing and has the right, power and authority to enter into this Agreement and bind itself hereto through the party set forth as signatory for the party below.

b. River Islands represents, warrants and agrees that: (i) River Islands solely owns the Property as a legal lot in fee simple and solely owns the Cell Tower as it currently exists at the time of execution of this Agreement; (ii) the Property is not and will not be encumbered by any liens, restrictions, mortgages, covenants, conditions, easements, leases, or any other agreements of record or not of record, which would adversely affect CITY'S use of the Site and Cell Tower for its intended use; (iii) River Islands execution and performance of this Agreement will not violate any laws, ordinances, covenants or the provisions of any mortgage, lease or other agreement binding on River Islands; and (iv) if the Site becomes encumbered by a deed to secure a debt, mortgage or other security interest, then River Islands shall provide promptly to CITY a mutually agreeable subordination, non-disturbance and attornment agreement executed by River Islands and the holder of such security interest.

5. NOTICES

All notices, requests and demands hereunder shall be given by first class certified or registered mail, return receipt requested, or by a nationally recognized overnight courier, postage prepaid, to be effective when properly sent and received, refused or returned undelivered.

Notices will be addressed to the parties as follows:

If to CITY: City of Lathrop
 Attn: City Clerk
 390 Towne Centre Drive
 Lathrop, CA 95330

If to River Islands: River Islands Employment Center, LLC
 Attn: President
 73 W. Stewart Road
 Lathrop, CA 95330

6. MISCELLANEOUS PROVISIONS

a. This Agreement constitutes the entire agreement between the Parties hereto with respect to the subject matter hereof and supersedes all prior understandings or agreements with respect to the subject matter hereof. This Agreement may be modified only by written documents signed by all Parties.

b. This Agreement shall be governed by, and construed in accordance with, the laws of the State of California. If any term, covenant, condition or provision of this Agreement, or the application thereto to any person or circumstance, shall to any extent be held by a court of competent jurisdiction or rendered by the adoption of a statute by the State of California or the United States invalid, void or unenforceable, the remainder of the terms, covenant, conditions or provisions of this Agreement, or the application thereto to any person or circumstance, shall remain in full force and effect and shall in no way be affected, impaired or invalidated thereby.

In witness whereof, the City of Lathrop and River Islands have executed this Agreement as of the date or dates set forth below.

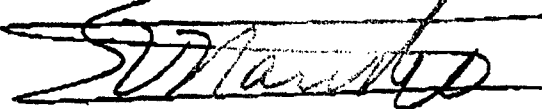
ATTEST:
City Clerk of and for the City
of Lathrop, State of California

CITY OF LATHROP,
a municipal corporation of the
State of California

BY: _____
Teresa Vargas Date
City Clerk

BY: _____
Stephen J. Salvatore Date
City Manager

APPROVED AS TO FORM BY THE CITY OF LATHROP CITY ATTORNEY

BY:  _____
Salvador Navarrete Date 5/28/2020
City Attorney

RIVER ISLANDS EMPLOYMENT CENTER, LLC,
a Delaware limited liability company

BY: _____
Susan Dell'Osso, Date
President

EXHIBIT A
COMMUNICATIONS TOWER SITE
GRANT DEED AND PROPERTY DESCRIPTION

RECORDING REQUESTED BY, AND
WHEN RECORDED MAIL TO:

 COPY

CITY OF LATHROP
ATTN: CITY CLERK
390 TOWNE CENTRE DRIVE
LATHROP, CA 95330
Exempt from payment of recording fees (GC 11922)

SPACE ABOVE THIS LINE FOR RECORDER'S USE

GRANT DEED

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged, **RIVER ISLANDS EMPLOYMENT CENTER, LLC**, a Delaware limited liability company ("**Grantor**"), hereby grants to the **CITY OF LATHROP** a California municipal corporation ("**Grantee**"), that certain real property located in the City of Lathrop, County of San Joaquin, State of California, along with all improvements thereon, as described in the legal description attached hereto as **Exhibit A** ("**Land**") incorporated herein by this reference.

Grantor intends to convey with the Land any and all riparian rights or other water interests to which the Land is entitled therein appurtenant or relating to the Property, whether such water rights shall be riparian, overlying, littoral, percolating, prescriptive, adjudicated, statutory or contractual ("**Water Rights**").

While Grantor intends to transfer the Water Rights with the Land, it does not intend by this grant to sever the riparian rights of the surrounding properties. With this conveyance Grantor intends to retain to any and all land surrounding the Property all riparian rights to which those lands are entitled.

Notwithstanding the above grant, Grantor intends to except and reserve unto Grantor, its successors and assigns, together with the right to grant and transfer all or a portion of the same:

A. All rights that the Land may have in and to that Water Right License 2637 (Application 5155/Permit 2720) granted by the State Water Resources Control Board and held by Island Reclamation District No. 2062.

B. The right and power to utilize, convey, remove, treat, and store the Water Rights from the Land, to divert or otherwise utilize such water, rights or interests on the Land or other property, but without, however any right to enter upon the surface of the Land in the exercise of such rights.

C. All oil, oil rights, minerals, mineral rights, natural gas rights and other hydrocarbons by whatsoever name known, geothermal steam and all products derived from any of the foregoing, that may be within or under the Land, together with the perpetual right of drilling, mining, exploring and operating therefor and storing in and removing the same from said Land or any other land including the right to whipstock or directionally drill and mine from lands other

than the Land, oil or gas wells, tunnels and shafts into, through or across the subsurface of the Land, and to bottom such whipstocked or directionally drilled wells, tunnels and shafts under and beneath or beyond the exterior limits thereof, and to redrill, retunnel, equip, maintain, repair, deepen and operate any such wells or mines without, however, the right to drill, mine, store, explore or operate through the surface or the upper five hundred feet (500') of the subsurface of the Land.

D. The right to place on, under or across the Land, transmission lines and other facilities for a community antenna television system and thereafter to own and convey such lines and facilities, and the right to enter upon the Land to service, maintain, repair, reconstruct and replace said lines and facilities; provided, however, that the exercise of such rights shall not unreasonably interfere with Grantee's reasonable use and enjoyment of the Land.

E. Nonexclusive easements in gross on, over and under the Land for the construction, installation and maintenance of electric, gas, telephone, water, sewer and drainage facilities, provided that the construction and installation of such facilities shall not unreasonably interfere with Grantee's reasonable use and enjoyment of the Land. Grantor shall give to Grantee thirty (30) days written notice before exercising the foregoing easement in gross except in case of an emergency and shall restore the surface of the easement to its condition immediately prior to Grantor's entry. Grantor shall exert its best efforts to ensure that such facilities are located within rights of way and utility areas, and under no circumstances shall such facilities be placed under building pads. Except as such easements have been conveyed to a utility company or other public or quasi-public entity, said easements in favor of Grantor shall automatically terminate and be of no further force or effect as to any portion of the Land upon the conveyance thereof to a buyer or other transferee who is entitled to receive by reason of such conveyance a Subdivision Public Report pursuant to California Business and Professions Code Section 11018.2 or any similar statute hereafter in effect, or upon conveyance to an association whose members consist in whole or in part of such buyers or other transferees.

SUBJECT TO:

1. General and special real property taxes and assessments and supplemental assessments, if any, for the current fiscal year.
2. Rights or claims of parties in possession not shown by the public records.
3. Encroachments, overlaps, boundary line disputes, or other matters which would be disclosed by an accurate survey or inspection of the premises.

IN WITNESS WHEREOF, Grantor has executed this Grant Deed as of June ____, 2020.

GRANTOR:

RIVER ISLANDS EMPLOYMENT CENTER, LLC
a Delaware limited liability company

By: _____
Susan Dell'Oso, President

[ATTACH NOTARY ACKNOWLEDGMENT]

**LEGAL DESCRIPTION
COMMUNICATION SITE
RIVER ISLANDS
LATHROP, CALIFORNIA**

CERTAIN REAL PROPERTY SITUATE IN THE CITY OF LATHROP, COUNTY OF SAN JOAQUIN, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

BEING A PORTION OF PARCEL 1, AS SAID PARCEL IS SHOWN ON THE MAP ENTITLED "TRACT 3876, RIVER ISLANDS, PHASE 1B, LARGE LOT FINAL MAP", FILED MARCH 31, 2016, IN BOOK 42 OF MAPS AND PLATS, AT PAGE 56, OFFICIAL RECORDS OF SAN JOAQUIN COUNTY, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE EAST LINE OF J7 COURT, AS SAID COURT IS DESCRIBED IN DOCUMENT NO. 2020-_____, OFFICIAL RECORDS OF SAN JOAQUIN COUNTY;

THENCE ALONG SAID EAST LINE, ALONG A CURVE TO THE LEFT, HAVING A RADIUS OF 56.00 FEET, FROM WHICH POINT THE RADIUS POINT BEARS SOUTH 50°36'58" WEST, THROUGH A CENTRAL ANGLE OF 05°11'29", AN ARC DISTANCE OF 5.07 FEET;

THENCE, ALONG A REVERSE CURVE, HAVING A RADIUS OF 17.00 FEET, THROUGH A CENTRAL ANGLE OF 44°34'31", AN ARC DISTANCE OF 13.23 FEET;

THENCE, NORTH 24.30 FEET;

THENCE, LEAVING SAID EAST LINE, EAST 90.00 FEET;

THENCE, SOUTH 40.00 FEET;


THENCE, WEST 81.72 FEET TO SAID POINT OF BEGINNING.

CONTAINING 3,557 SQUARE FEET, MORE OR LESS.

ATTACHED HERETO IS A PLAT TO ACCOMPANY LEGAL DESCRIPTION, AND BY THIS REFERENCE MADE A PART HEREOF.

END OF DESCRIPTION

THIS REAL PROPERTY DESCRIPTION HAS BEEN PREPARED BY ME, OR UNDER MY DIRECTION, IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYOR'S ACT.

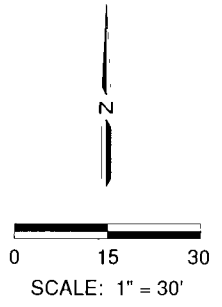


WILLIAM M. KOCH
PROFESSIONAL LAND SURVEYOR
CALIFORNIA NO. 8092



5/28/20
DATE

GOLDEN VALLEY PARKWAY (DOCUMENT NO. 2019-070952)



J7 COURT (DOCUMENT NO. 2020-)

POINT OF BEGINNING

N50°36'58"E 56.00'(R)

R=56.00'
Δ=100°06'03" L=97.84'

N00°00'00"W 180.77'
141.97'

N90°00'00"W 634.85'

N90°00'00"E 90.00'

PROPOSED COMMUNICATION SITE
3,557 S.F.

N00°00'00"E 40.00'

N90°00'00"W 81.72'

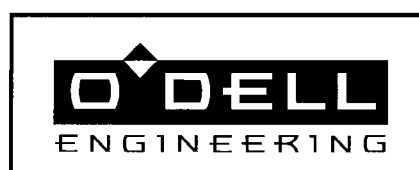
PARCEL 1 (42 MP 56)

CURVE TABLE

CURVE #	RADIUS	DELTA	LENGTH
C1	17.00'	44°34'31"	13.23'
C2	56.00'	5°11'29"	5.07'

PLAT

RIVER ISLANDS				1 OF 1
COMMUNICATION SITE				
SCALE:	1"=30'	DATE:	2020-05-20	
JOB NO.:	25503			
FILE:	25503-PLAT-COMMUNICATION SITE.DWG			



I:\25503-RIVER ISLANDS\PHASE 22 - FINAL WATER TANK SITE\ACAD\LEGAL DESCRIPTION\25503-PLAT-COMMUNICATION SITE.DWG



RIVER ISLANDS
CVL01568
(WATER TANK SITE)
LATHROP, CA 95330

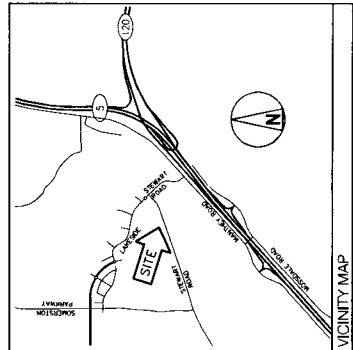
STAMP



DRAWN BY	SMUR
CHECKED BY	GL
NO. DATE	ISSUE
A	11/15/18 5K6 GEN
B	12/20/18 100K GEN & WIC REV
C	01/21/19 100K GEN & WIC REV
D	03/12/19 100K GEN & WIC REV
E	04/09/19 100K GEN & WIC REV
F	05/25/19 100K GEN & WIC REV
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SITE NUMBER: CVL01568
SITE NAME: RIVER ISLANDS
 950 STEWART ROAD
 (WATER TANK SITE)
 LATHROP, CA 95330
 JURISDICTION: CITY OF LATHROP
SITE TYPE: MONOPOLE / WIC

- GENERAL NOTES**
- CONTRACTOR SHALL VERIFY ALL PLANS, EXISTING CONDITIONS, AND DIMENSIONS OF THE JOB SITE PRIOR TO STARTING WORK. DISCREPANCIES BETWEEN DRAWINGS AND FIELD CONDITIONS ARE THE CONTRACTOR'S RESPONSIBILITY TO RESOLVE.
 - FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
 - CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR WORK ACCORDING TO THE APPLICABLE CODES AND REQUIREMENTS OF THE CITY OF LATHROP AND THE COUNTY OF YUBA. CONTRACTOR AND/OR THEIR SUBSIDIARIES MUST IMMEDIATELY NOTIFY THE CONSTRUCTION MANAGER OF ANY NECESSARY CHANGES TO COMPLETE THE WORK/PROJECT AS DESCRIBED HEREIN.
 - ALL WORK PERFORMED AND MATERIALS INSTALLED SHALL BE IN ACCORDANCE WITH THE APPLICABLE CODES AND REGULATIONS AND ORDINANCES. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LATHROP AND THE COUNTY OF YUBA PRIOR TO THE BEGINNING OF THE WORK. MECHANICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE MECHANICAL AND UTILITY REGULATIONS. ALL APPLICABLE MECHANICAL AND UTILITY REGULATIONS SHALL BE OBTAINED FROM THE CITY OF LATHROP AND THE COUNTY OF YUBA PRIOR TO THE BEGINNING OF THE WORK.
 - THE SCOPE OF WORK SHALL INCLUDE FURNISHING AND INSTALLING ALL MATERIALS AND EQUIPMENT NECESSARY TO COMPLETE THE WORK/PROJECT AS DESCRIBED HEREIN.
 - CONTRACTOR SHALL SUBMIT ALL NECESSARY DOCUMENTATION TO THE CITY OF LATHROP AND THE COUNTY OF YUBA PRIOR TO THE BEGINNING OF THE WORK. ALL DOCUMENTATION SHALL BE IN ACCORDANCE WITH THE APPLICABLE CODES AND REGULATIONS AND ORDINANCES.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LATHROP AND THE COUNTY OF YUBA PRIOR TO THE BEGINNING OF THE WORK. ALL PERMITS AND APPROVALS SHALL BE IN ACCORDANCE WITH THE APPLICABLE CODES AND REGULATIONS AND ORDINANCES.
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 - CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LATHROP AND THE COUNTY OF YUBA PRIOR TO THE BEGINNING OF THE WORK. ALL PERMITS AND APPROVALS SHALL BE IN ACCORDANCE WITH THE APPLICABLE CODES AND REGULATIONS AND ORDINANCES.
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PROJECT DESCRIPTION

RIVER ISLANDS
CVL01568
14/05/2021
950 STEWART ROAD (WATER TANK SITE)
LATHROP, CA 95330
APPLICANT: CITY OF LATHROP
PROPERTY OWNER: RIVER ISLANDS
CURRENT ZONING: C
JURISDICTION: CITY OF LATHROP
ADDRESS: 950 STEWART ROAD, LATHROP, CA 95330
CONTRACT NUMBER: 2021-001-001
PROJECT DESCRIPTION: CONSTRUCTION OF MONOPOLE AND WIC LINE FOR RIVER ISLANDS

APPLICABLE CODES

DIRECTIONS: DIRECTIONS FROM ARIET OFFICE AT 2000 GAMING MANSION, SAN RAFAEL, CA
 - TAKE I-580 NORTH TO I-680
 - TAKE I-680 SOUTH TO MANLY ROAD
 - MAKE A RIGHT TURN ON MANLY ROAD EAST
 - MAKE A RIGHT TURN ON STEWART ROAD
 - CONTINUE TO ACCESS ROAD TO SUBSTATION ON RIGHT
 950 STEWART ROAD
 WATER TANK SITE AND SUBSTATION

PROJECT SUMMARY

PROJECT NUMBER: 2021-001-001
 PROJECT TITLE: CONSTRUCTION OF MONOPOLE AND WIC LINE FOR RIVER ISLANDS
 PROJECT START DATE: 11/15/2018
 PROJECT END DATE: 12/31/2019

PROJECT TEAM

ARCHITECT/ENGINEER/CONSULTING ENGINEER	CONSTRUCTION DESIGN MANAGER
PROJECT MANAGER	PROJECT MANAGER
PROJECT SUPERVISOR	PROJECT SUPERVISOR
PROJECT ADMINISTRATOR	PROJECT ADMINISTRATOR
PROJECT CLERK	PROJECT CLERK
PROJECT ENGINEER	PROJECT ENGINEER

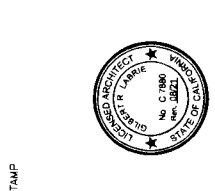
DESCRIPTION

SHEET NO.	DESCRIPTION
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99	GROUND DETAIL
100	GROUND DETAIL

1915 S. BURNETT ROAD
RIVER VISTA, CA 94571
PHONE (907) 374-5075
FAX (907) 374-0184

9001 EXECUTIVE PARKWAY
SAN RAMON, CA 94583

RIVER ISLANDS
CV101568
950 STEWART ROAD
(WATER TANK SITE)
LATHROP, CA 95330



DRAWN BY	SMJR
CHECKED BY	CL
NO. DATE	ISSUE
A	11.15.18 90% CD
B	12.20.18 90% CD GEN & W/C REV
C	12.21.18 100% CD GEN & W/C REV
D	03.12.19 100% CD PLAN CHK COMM
E	04.09.19 100% CD PLAN CHK PLNG
F	09.25.19 100% CD GEN BCHL REV

SHEET TITLE
SITE SIGNAGE

SHEET NUMBER
T-2

JOB # / WD

GENERAL NOTES

- THE FOLLOWING INFORMATION IS TO BE USED IN CONNECTION WITH THE INSTALLATION OF THE SIGNAGE. THE SIGNAGE SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING INFORMATION. THE SIGNAGE SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING INFORMATION. THE SIGNAGE SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING INFORMATION.
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NOTICE

Beyond This Point you are entering an area where RF Emissions may exceed the FCC General Population Exposure Limits

Follow all posted signs and site guidelines for working in an RF environment

REF: FCC 47CFR 1.1507(b) M&A

INFORMATION SIGN 11

CONTRACTOR SHALL INSTALL ALL INFORMATION SIGNAGE IN ACCORDANCE WITH THE FOLLOWING INFORMATION. THE SIGNAGE SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING INFORMATION. THE SIGNAGE SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING INFORMATION.

1. CONTRACTOR SHALL INSTALL ALL INFORMATION SIGNAGE IN ACCORDANCE WITH THE FOLLOWING INFORMATION. THE SIGNAGE SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING INFORMATION. THE SIGNAGE SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING INFORMATION.

2. CONTRACTOR SHALL CONTACT AT&T FOR FURTHER INFORMATION ON THE LOCATION AND INSTALLATION OF THE SIGNAGE.

CAUTION

Beyond This Point you are entering a controlled area where RF Emissions may exceed the FCC Controlled Exposure Limits

Obey all posted signs and site guidelines for working in an RF environment

REF: FCC 47CFR 1.1507(b) M&A

INFORMATION SIGN 12

CONTRACTOR SHALL INSTALL ALL INFORMATION SIGNAGE IN ACCORDANCE WITH THE FOLLOWING INFORMATION. THE SIGNAGE SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING INFORMATION. THE SIGNAGE SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING INFORMATION.

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2. CONTRACTOR SHALL CONTACT AT&T FOR FURTHER INFORMATION ON THE LOCATION AND INSTALLATION OF THE SIGNAGE.

WARNING

Beyond This Point you are entering a controlled area where RF Emissions exceed the FCC Controlled Exposure limits

Failure to obey all posted signs and site guidelines could result in serious injury

REF: FCC 47CFR 1.1507(b) M&A

at&t

This Site Owned by:
AT&T MOBILITY
5000 STEWART ROAD
SAN RAMON, CA 94583
IN CASE OF FIRE AND THE NEED FOR SHUTDOWN TO DEACTIVATE ANTENNAS CALL THE 24 Hour Emergency Contact and Access Please Call: (800)832-5662

Reference Sign:
Site Address: _____

INFORMATION SIGN 13

Federal Communications Commission
Tower Registration Number
1 2 3 4 5 6 7
Printed in accordance with Federal Communications Commission Tower Registration Number (47CFR 1.408)

ECC ASR SIGNAGE

Property of AT&T
Authorized Personnel Only

No Trespassing
Visitors will not be permitted.

In case of emergency, or prior to performing maintenance on this site, call and reference call site number _____

GATE SIGNAGE

Property of AT&T
Authorized Personnel Only

In case of emergency, or prior to performing maintenance on this site, call and reference call site number _____

FENCED COMPOUND SIGNAGE

NO TRESPASSING

INFORMATION SIGN 14

NO TRESPASSING

DOOR / EQUIPMENT SIGN

AUTHORIZED PERSONNEL ONLY

SHED / CABINET DOORS SIGNAGE

ACID HAZARD SIGN

MT2 TELECOM LP
 1015-B AIRPORT ROAD
 RIVERSIDE, CA 92507
 PHONE (707) 374-5075
 FAX (707) 374-8194

5801 BECHTEL DRIVE
 SAN FRANCISCO, CA 94133

RIVER ISLANDS
 CYLO1568
 950 STEWART ROAD
 (WATER TANK SITE)
 LATHROP, CA 95330

STAMP

DRAWN BY: SMJR

CHECKED BY: CL

NO. DATE ISSUE

A 11 15 18 80% GEN. & WIG REV

B 12 20 18 90% GEN. & WIG REV

C 12 21 18 100% GEN. & WIG REV

1 03 12 19 100% GEN. & WIG REV

2 04 09 19 100% GEN. & WIG REV

3 09 25 19 100% GEN. & WIG REV

SHEET TITLE

BATTERY SPECS

SHEET NUMBER

T-3

JOB # 180

MARATHON

MARATHON TANK SYSTEMS

Model: M12V100
 Voltage: 12V
 Capacity: 100 Ah
 Weight: 23.8 lbs
 Dimensions: 10.5" x 6.5" x 6.5"

MADE IN U.S.A.

MARATHON

From the World Leader in VRLA Battery Technology

High Performance MARATHON® Batteries

Applications: UPS, Telecommunications, Emergency Power, Medical Equipment, Marine, Industrial, etc.

TABLE 1: SPECIFICATIONS

Model	Voltage	Capacity (Ah)	Weight (lbs)	Dimensions (L x W x H)
M12V100	12V	100	23.8	10.5 x 6.5 x 6.5
M12V150	12V	150	35.7	10.5 x 6.5 x 6.5
M12V200	12V	200	47.6	10.5 x 6.5 x 6.5

TABLE 2: PERFORMANCE DATA

Temperature (°C)	Capacity (Ah)	Internal Resistance (mΩ)
25	100	15
0	90	18
-20	80	22

TABLE 3: ELECTRICAL CHARACTERISTICS

Parameter	Value
Open Circuit Voltage (OCV)	12.8V
Terminal Voltage (TV)	12.5V
Short Circuit Current (SCC)	10A
Self-Discharge Rate	3% per month

TABLE 4: ENVIRONMENTAL DATA

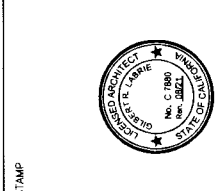
Parameter	Value
Operating Temperature Range	-20°C to 50°C
Storage Temperature Range	-30°C to 60°C
Humidity Tolerance	5% to 95% RH

BATTERY INFORMATION

BATTERY MODEL	TOTAL # OF BATTERY UNITS INSTALLED	TOTAL ELECTROLYTE VOLUME (GAL) PER UNIT	TOTAL ELECTROLYTE VOLUME (GAL)	TOTAL ACID WEIGHT	TOTAL SULFURIC ACID BY WEIGHT	TOTAL SULFURIC ACID BY VOL	TOTAL SULFURIC ACID BY VOL	TOTAL UNITS x SULFURIC ACID BY VOL	TOTAL UNITS x SULFURIC ACID BY VOL
58N INDUSTRIAL POWER MARATHON M12V100	12 UNITS	2.17 GAL	26.04 GAL	41.9% = 9.98 LB/23.80 LB	26.04 GAL	12 UNITS x 2.17 UNITS	119.74 LB	12 UNITS x 9.98 LB	119.74 LB



RIVER ISLANDS
 CVL01568
 950 STEWART ROAD
 (WATER TANK SITE)
 LATHROP, CA 95330

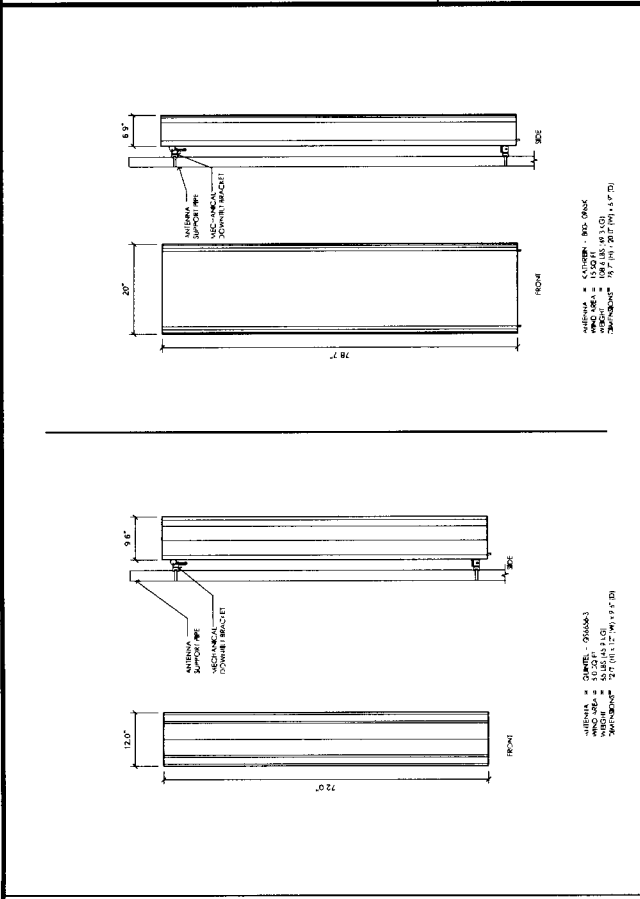


DRAWN BY:	SMUR
CHECKED BY:	CL
NO. DATE	ISSUE
1 11.15.18	90% CD
2 12.20.18	90% CD GEN & WC REV
3 12.21.18	100% CD GEN & WC REV
1 03.12.19	100% CD PLAN CHG COMM
2 04.09.19	100% CD PLAN CHG PUNG
3 09.25.19	100% CD GEN BDTL REV

SHEET TITLE
**PROPOSED AT+T
 ANTENNA LAYOUTS**

SHEET NUMBER
A-2

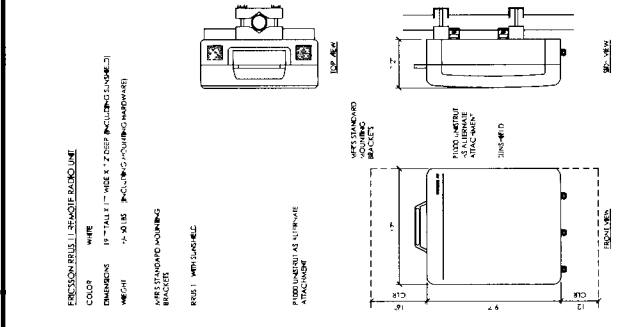
JOB # NO



ANTENNA = 4500MM, 800-1095K
 WIND AREA = 15.50 SQ FT
 WIND SPEED = 110 MPH (95 MPH 10 MIN 3 SECS)
 TOWER WEIGHT = 19.7 (19.701 TON) (4.4 P.D)

ANTENNA = 4500MM, 800-1095K
 WIND AREA = 15.50 SQ FT
 WIND SPEED = 110 MPH (95 MPH 10 MIN 3 SECS)
 TOWER WEIGHT = 19.7 (19.701 TON) (4.4 P.D)

SCALE: 3/4" = 1'-0"
 2 AT+T ANTENNA TYPES

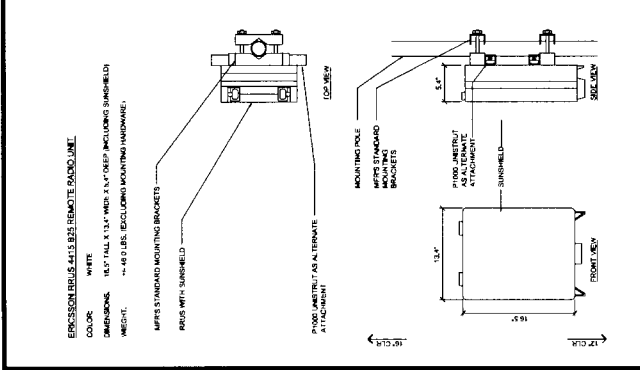


ERIKSSON REMOTE RADIO UNIT
 COLOR: WHITE
 DIMENSIONS: 11" TALL x 11" WIDE x 7" DEEP INCLUDING SHIELD
 WEIGHT: 14.5 LBS. INCLUDING MOUNTING HARDWARE

PIPO ANTENNA AS ALTERNATE ATTACHMENT
 DIMENSIONS: 13" x 13" x 5.4" (H)

MOUNTING POLE WITH STANDARD MOUNTING BRACKET
 DIMENSIONS: 13" x 13" x 5.4" (H)

SCALE: 3/4" = 1'-0"
 3 RRUS 11 (RRUS 12 SIM)

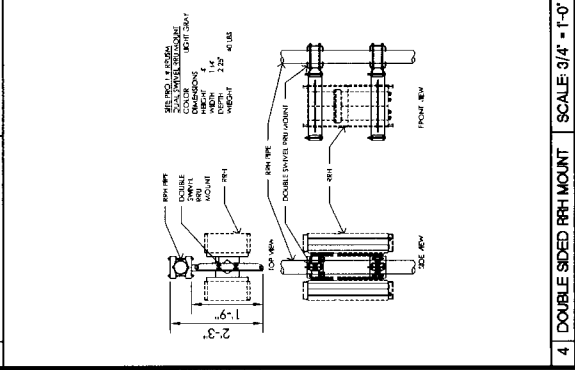
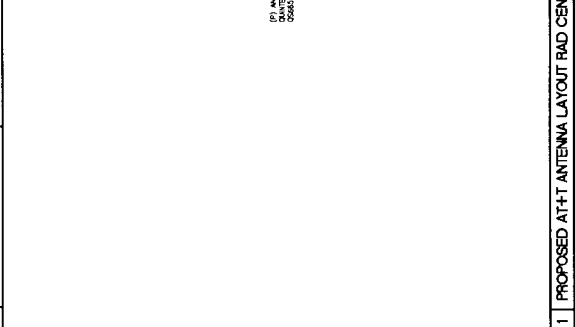
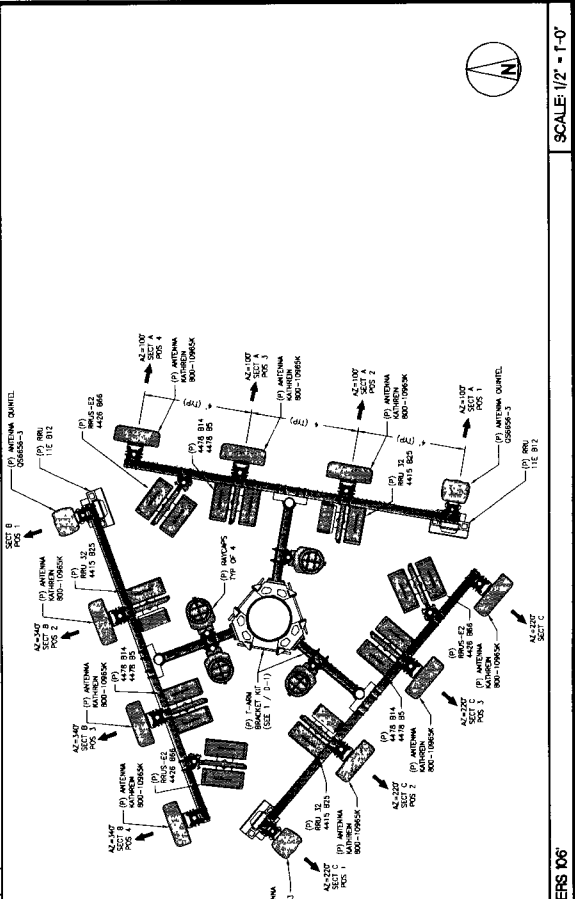


ERIKSSON REMOTE RADIO UNIT
 COLOR: WHITE
 DIMENSIONS: 11" TALL x 11" WIDE x 7" DEEP INCLUDING SHIELD
 WEIGHT: 14.5 LBS. INCLUDING MOUNTING HARDWARE

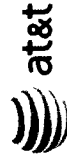
DOUBLE SIDED RRH MOUNT
 DIMENSIONS: 13.5" x 13.5" x 4.66" (H)

DOUBLE SIDED RRH MOUNT
 DIMENSIONS: 13.5" x 13.5" x 4.66" (H)

SCALE: 1/2" = 1'-0"
 5 RRUS 4445 REMOTE RADIO UNIT



SCALE: 3/4" = 1'-0"
 4 DOUBLE SIDED RRH MOUNT



5001 EXECUTIVE PARKWAY
SAN RAMON, CA 94583

RIVER ISLANDS
CVL01568
950 STEWART ROAD
(WATER TANK SITE)
LATHROP, CA 95550



STAMP

DRAWN BY:	SMJR	
CHECKED BY:	OL	
NO.	DATE	ISSUE
A	11.15.18	100% O&P
B	12.20.18	100% O&P GEN. & MFG. REV.
D	12.21.18	100% O&P GEN. & MFG. REV.
1	03.12.19	100% O&P P&L CRK COMM.
2	04.09.19	100% O&P P&L CRK PUNG.
3	09.25.19	100% O&P GEN. BOHTL. REV.

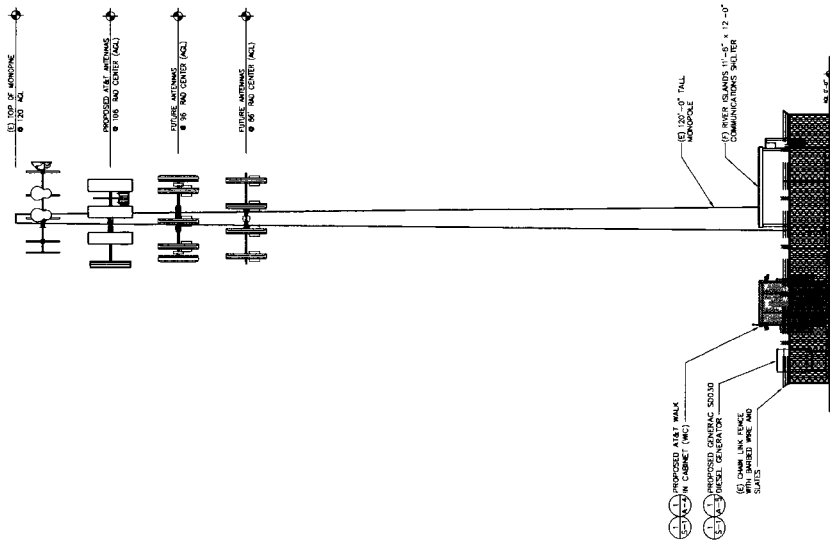
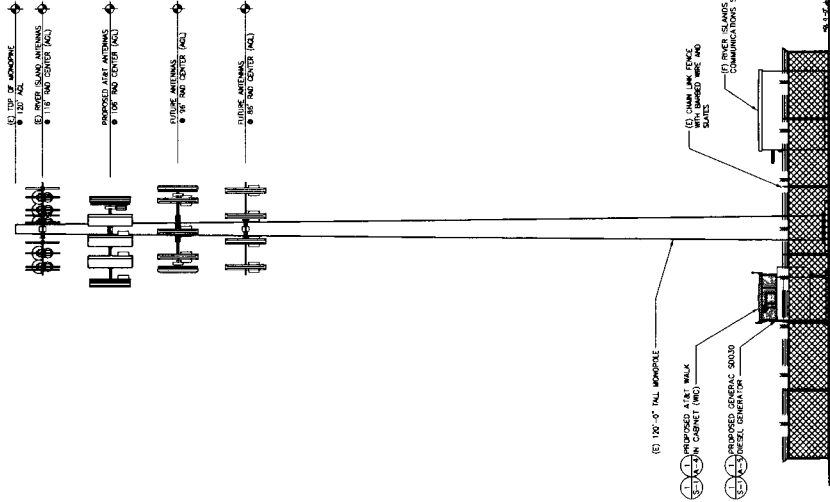
SHEET TITLE

ELEVATIONS

SHEET NUMBER

A-3

JOB # WD



SCALE: 1/8" = 1'-0"

1 | PROPOSED SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

2 | PROPOSED EAST ELEVATION

MT2 TELECOM LP
 10145-B AIRPORT ROAD
 RIVER VISTA, CA 94571
 P O BOX 458
 TEL (707) 374-6100
 FAX (707) 374-6104

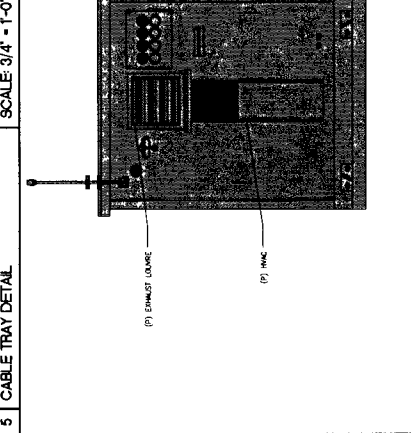
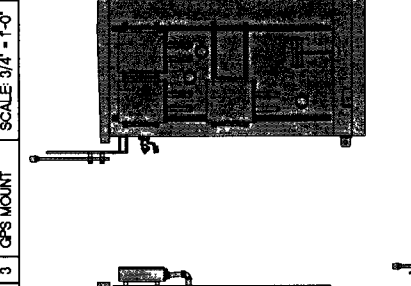
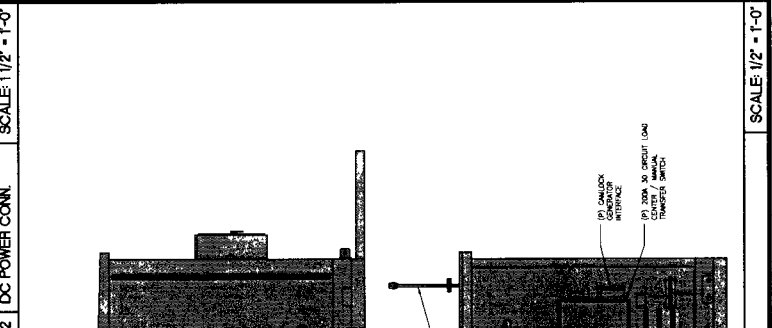
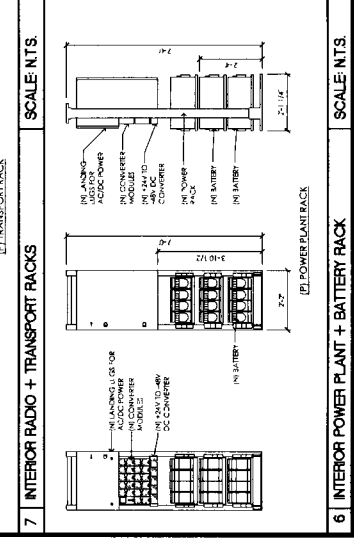
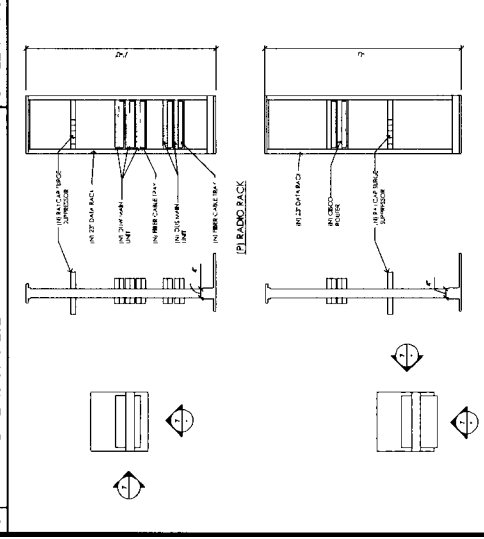
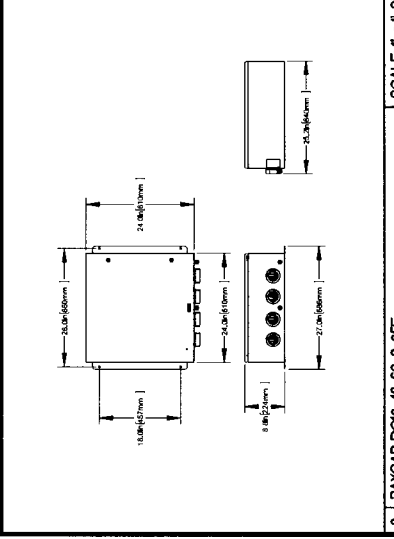
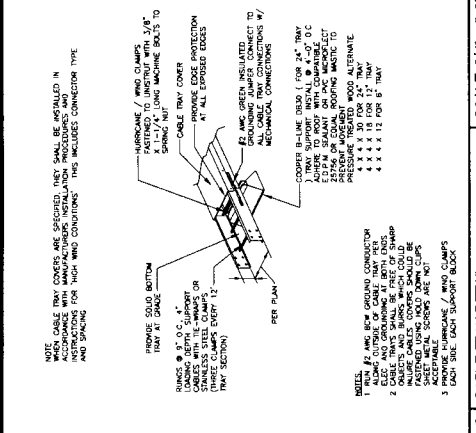
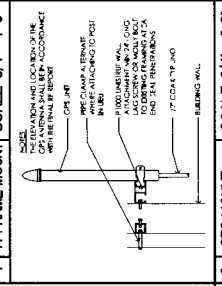
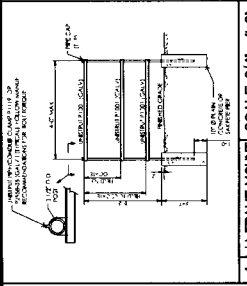
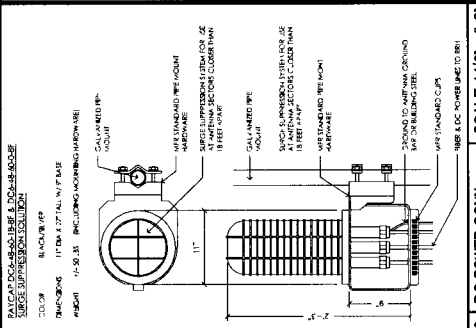
at&t
 500 EXECUTIVE PARKWAY
 SAN RAMON, CA 94583

RIVER ISLANDS
 CVL01568
 950 STEWART ROAD
 (WATER TANK SITE)
 LATHROP, CA 95330



DRAWN BY: SMUR
 CHECKED BY: CL
 NO. DATE ISSUE
 A 11.15.19 1908 CH
 B 12.20.19 1908 CH GEN. & WC REV
 C 12.21.19 1908 CH GEN. & WC REV
 1 03.12.19 1908 CH PEN CHM COMM
 2 04.09.19 1908 CH PEN CHM PUNG
 3 09.25.19 1908 CH DEN BDTL REV

SHEET TITLE
WC ELEVATIONS + DETAILS
 SHEET NUMBER
A-4
 JOB # NO



NAT 2 TELECOM, LP
1915-B AIRPORT ROAD
80 ASFA, CA 94571
PHONE (707) 374-5075
FAX (707) 374-6194



5001 DEGRADINE PARKWAY
SAN RAMON, CA 94583

RIVER ISLANDS
CVL01568
950 STEWART ROAD
(WATER TANK SITE)
LATHROP, CA 95330

WIND-CHECKED
STAR ENGINEERING
No. C-1860
REV. 02/02

STAMP

DRAWN BY:	SMWR
CHECKED BY:	OL
NO. DATE:	ISSUE
1	11/15/18 90% O&A
2	12/20/18 90% O&A GEN. & MC REV
3	12/21/18 100% O&A GEN. & MC REV
4	10/31/19 100% O&A P&N CHK CORR
5	04/09/19 100% O&A P&N CHK CORR
6	09/23/19 100% O&A GEN. B&I REV

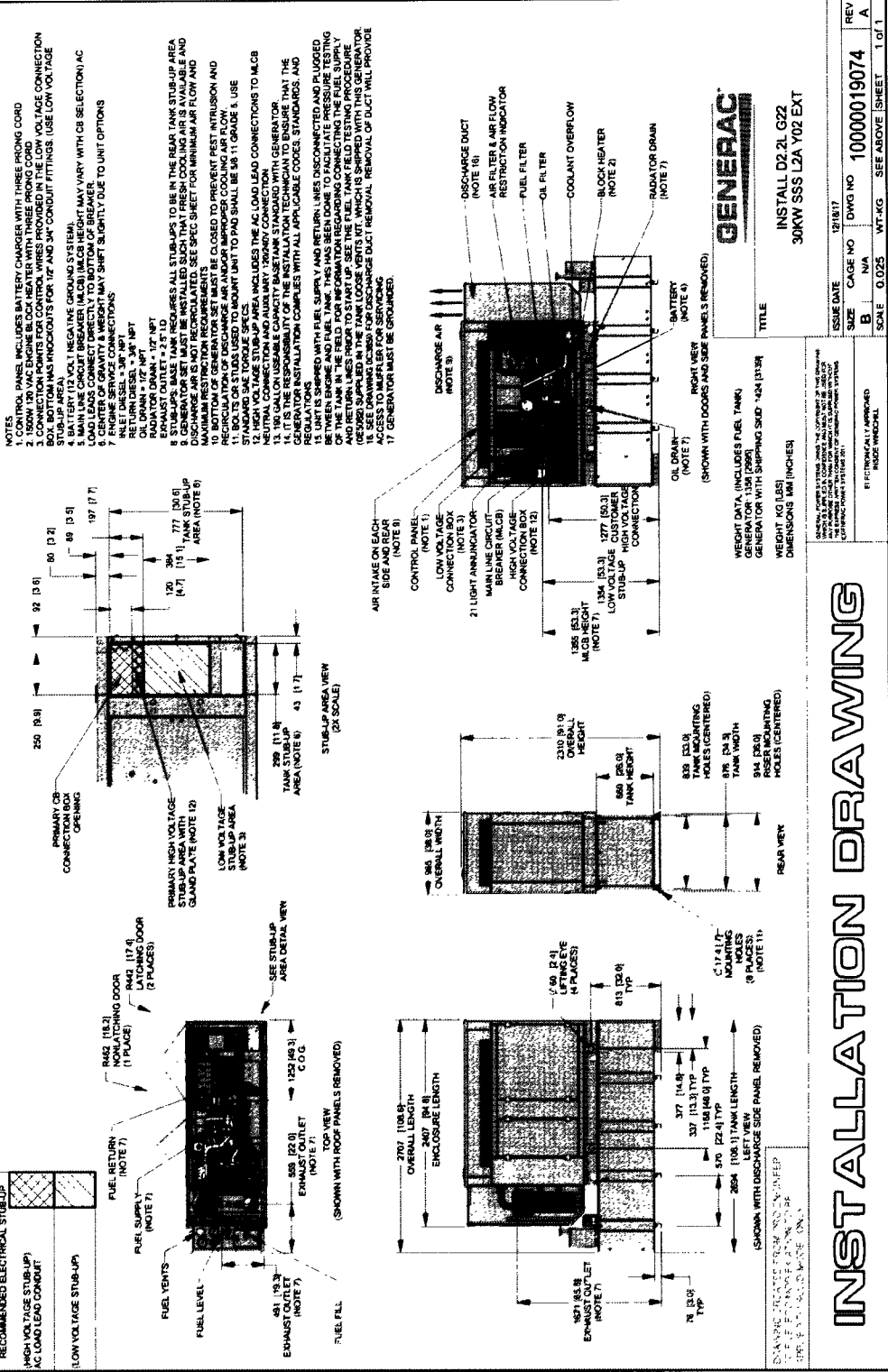
SHEET TITLE

GENERATOR SPECS

SHEET NUMBER

A-5

LOG # NO



*OPTIONAL 190 GAL BASE TANK
(HEIGHT OF UNIT SHALL INCREASE BY
11" WITH SAME WIDTH AND LENGTH)

INSTALLATION DRAWING

MT2 TELECOM LP
 1015-B, AIRWAY ROAD
 RIO VISTA, CA 94571
 PHONE: (925) 374-6194
 FAX: (925) 374-6194

at&t
 5001 EXECUTIVE PARKWAY
 SAN RAMON, CA 94583

RIVER ISLANDS
 CVL01568
 950 STEWART ROAD
 (WATER TANK SITE)
 LATHROP, CA 95330

STAMP

DRAWN BY: SMAJR

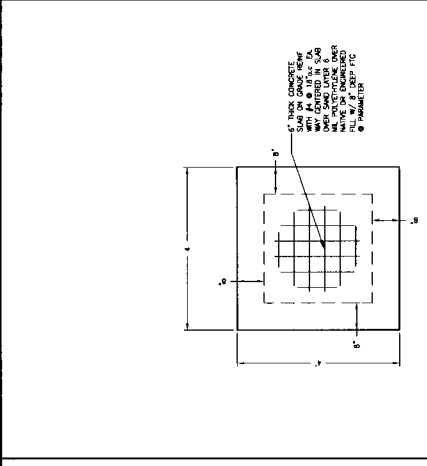
CHECKED BY: GL

NO.	DATE	ISSUE
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B	12.20.18	100% CD'S GEN & W/C REV
C	12.21.18	100% CD'S GEN & W/C REV
D	03.12.19	100% CD'S P/LN CRK COMM
E	04.09.19	100% CD'S P/LN CRK PLNG
F	08.25.19	100% CD'S GEN BDRLE REV

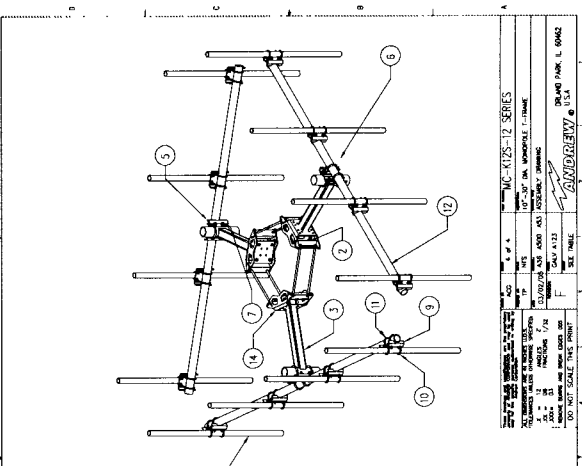
SHEET TITLE
DETAILS

SHEET NUMBER
D-1

JOB # 00



SCALE: 3/4" = 1'-0"



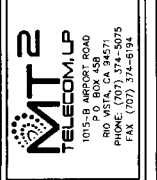
SCALE: NTS

1 COMSCOPE MC-K12S-12-96 T-ARM TOWER KIT OR EQUAL

5 NOT USED

3 NOT USED

4 NOT USED



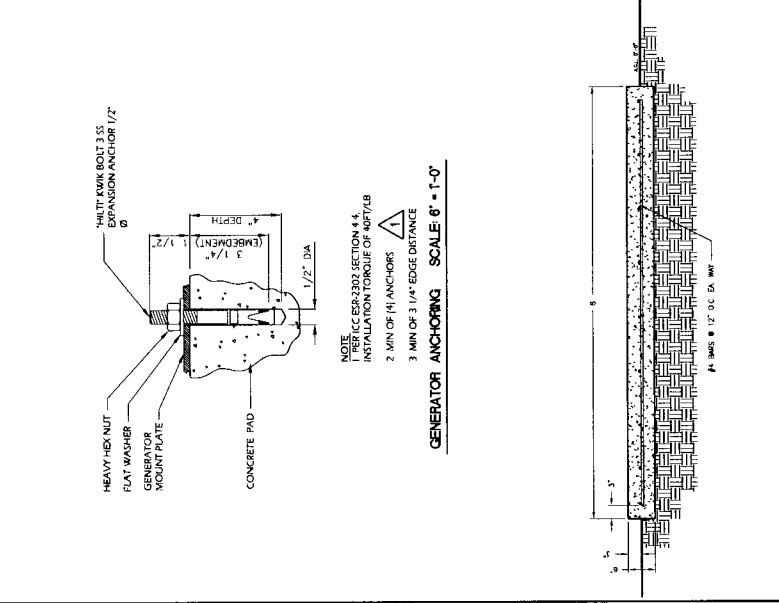
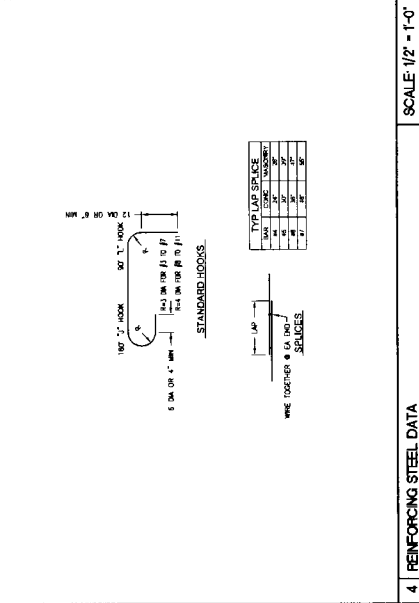
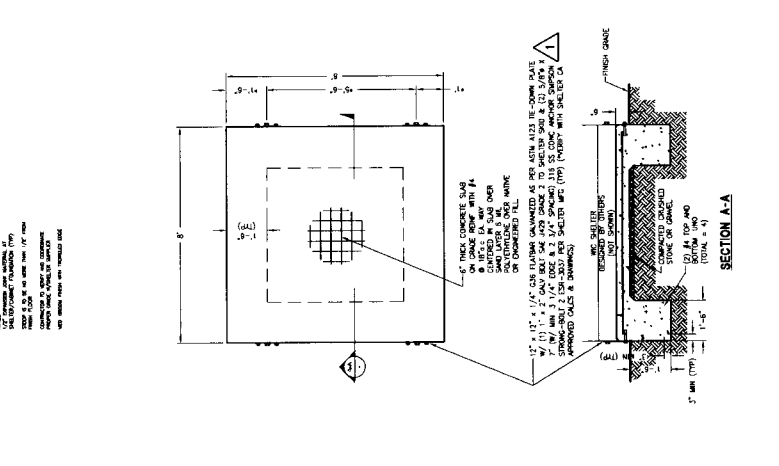
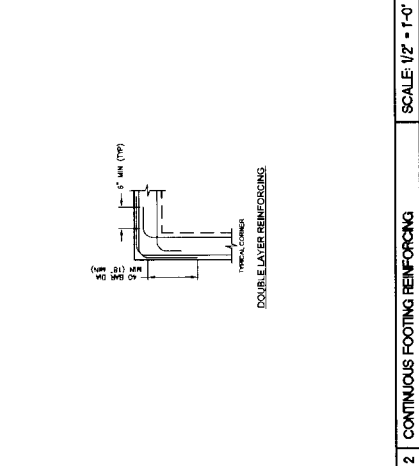
RIVER ISLANDS
CVL01568
950 STEWART ROAD
(WATER TANK SITE)
LATHROP, CA 95330



NO. DATE ISSUE

A	11.15.18	50% CD
B	12.20.18	50% CD GEN. & W.D. REV
C	12.21.18	100% CD GEN. & W.D. REV
D	01.12.19	100% CD GEN. & W.D. REV
E	02.09.19	100% CD P.N. GEN. COMM.
F	02.20.19	100% CD GEN. BENTL. REV.
G	03.25.19	100% CD GEN. BENTL. REV.

SHEET TITLE
STRUCTURAL DETAILS
SHEET NUMBER
S-1
JOB # WD



GENERAL NOTES:

- ALL MATERIALS SHALL CONFORM TO THE MINIMUM STANDARDS OF THE CALIFORNIA BUILDING CODE OR THE MOST RECENT EDITION THEREOF.
- ALL DIMENSIONS SHALL BE GIVEN UNLESS OTHERWISE SPECIFIED.
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REINFORCING CONCRETE NOTES:

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REINFORCING STEEL NOTES:

- ALL DIMENSIONS SHALL BE GIVEN UNLESS OTHERWISE SPECIFIED.
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RIVER ISLANDS
CVL01568
950 STEWART ROAD
(WATER TANK SITE)
LATHROP, CA 95330



STAMP

DRAWN BY:	SMUR	
CHECKED BY:	CL	
NO.	DATE	ISSUE
7	11-15-18	ISSUE
8	12-20-18	ISSUE
9	12-21-18	ISSUE
1	03-12-19	ISSUE
2	04-09-19	ISSUE
3	09-25-19	ISSUE

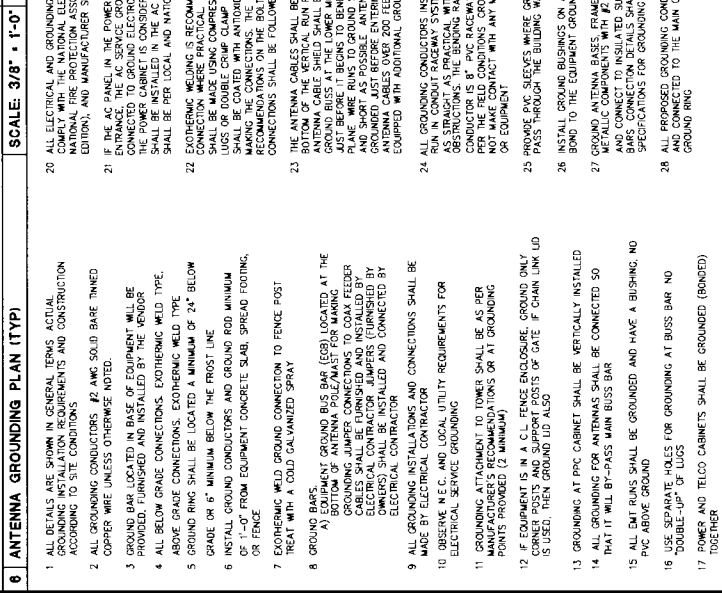
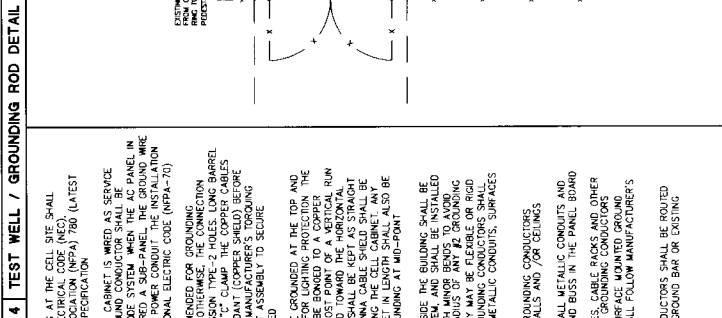
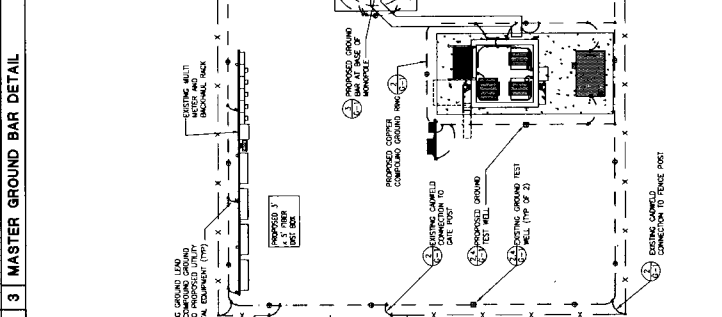
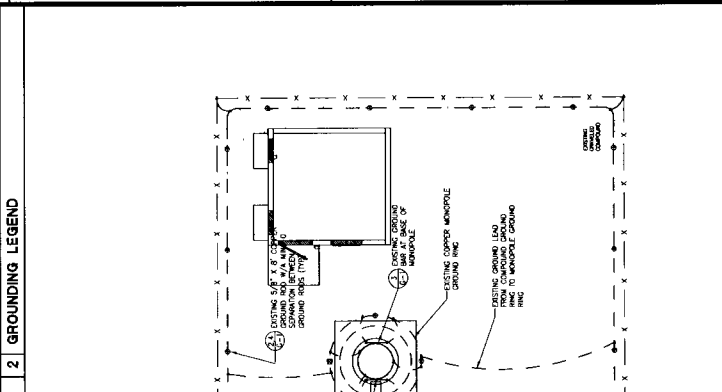
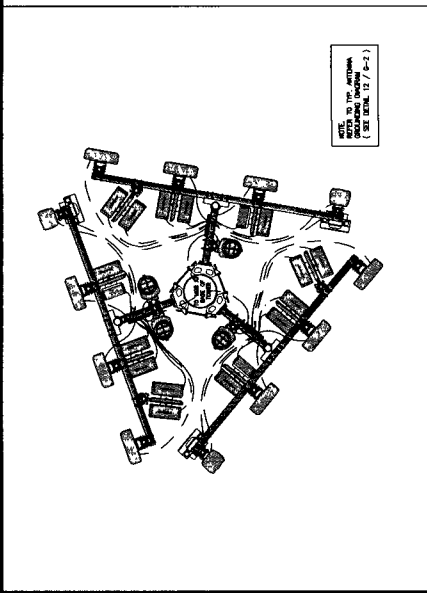
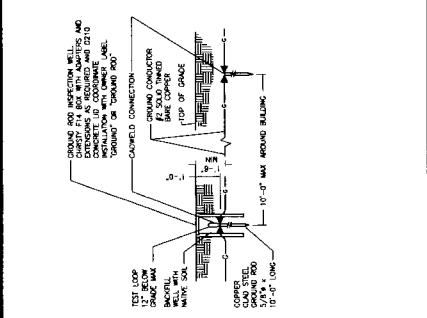
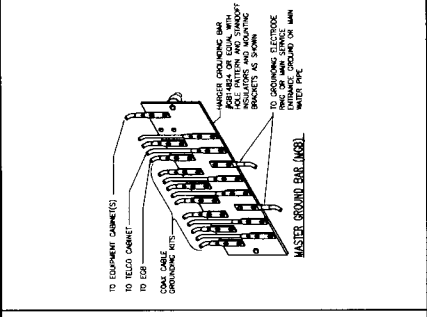
SHEET TITLE	GROUNDING SITE PLAN + DETAILS
SHEET NUMBER	G-1
JOB # W/D	

GROUNDING LEGEND

SYMBOL	DESCRIPTION
①	4" x 1/2" x 10" COPPER GALV. STEEL
②	GROUND ROD
③	EXPOSURE WELD (DASHED/ARROWS)
④	5" x 5"
⑤	2" SOLID BARE THINED COPPER WIRE UNLESS OTHERWISE NOTED
⑥	METALLIC CONNECTION
⑦	GROUNDING WELL

GROUNDING GENERAL NOTES

- ALL DETAILS ARE SHOWN IN GENERAL UNLESS ACTUAL DIMENSIONS ARE INDICATED.
- ALL EXPOSURE WELDS SHALL BE BURNED TO A MINIMUM DEPTH OF 1/8" BELOW FINISH GRADE. ELECTRIC WELDS SHALL BE ACCEPTED.
- ALL GROUNDING CONDUCTORS SHALL BE 2" SOLID BARE THINED COPPER WIRE UNLESS OTHERWISE NOTED.
- GROUND SYSTEMS MUST BE INDEPENDENTLY TESTED AND SHALL HAVE A RESISTANCE OF 5 OHMS OR LESS "AS-BUILT" IN ACCORDANCE WITH THE TESTING REPORT.
- THE GROUNDING SYSTEM SHALL BE PERMITTED TO BE USED FOR ALL ELECTRICAL CONNECTIONS.
- CHEMICAL CORROSION SHALL BE SET OFF BY APPROVED MEANS WHEN REQUIRED. USE MUST BE APPROVED BY PROJECT MANAGER.
- ALL UNDERGROUND GROUNDING CONDUCTORS ARE TO BE COVERED ABOVE GRADE. PROTECTION SHALL BE EITHER OVERLAP OR MECHANICAL. REFER TO THE STANDARD SPECIFICATIONS AND SUPPLEMENTARY NOTES PROVIDED BY THE PROJECT MANAGER.
- GROUNDING SHALL BE INSTALLED IN ACCORDANCE WITH THE TESTING REPORT.
- ONE GROUNDING WELD CONNECTOR MUST BE PROVIDED AT EACH POINT OF CONNECTION AT EACH POINT WELD CONNECTOR (EXAMPLE PART NO. A238253-1-E, FOR 1" POST).



SCALE: 3/8" = 1'-0" / 1/4" = 1'-0"

1 GROUNDING LAYOUT

2 MASTER GROUND BAR DETAIL

3 TEST WELL / GROUNDING ROD DETAIL

4 ANTENNA GROUNDING PLAN (TYP)

5 GROUNDING NOTES

- ALL DETAILS ARE SHOWN IN GENERAL UNLESS ACTUAL DIMENSIONS ARE INDICATED.
- ALL GROUNDING CONDUCTORS SHALL BE 2" SOLID BARE THINED COPPER WIRE UNLESS OTHERWISE NOTED.
- GROUND BARS LOCATED IN BASE OF EQUIPMENT SHALL BE PROVIDED WITH AN EXPOSURE WELD (DASHED/ARROWS).
- ALL BELOW GRADE CONNECTIONS EXPOSURE WELD TYPE.
- GROUND BARS SHALL BE LOCATED A MINIMUM OF 24" BELOW GRADE OR 6" MINIMUM BELOW THE FIRST LINE.
- INSTALL GROUND CONDUCTORS AND GROUND ROD MINIMUM OF 1'-0" FROM EQUIPMENT CONCRETE SLAB, SPREAD FOOTING, OR FENCE.
- EXPOSURE WELD GROUND CONNECTION TO FENCE POST TREAT WITH A COOL GALVANIZED SPRAY.
- GROUND BARS:
 - EQUIPMENT GROUND BARS (EGB) LOCATED AT THE BOTTOM OF ANTENNA POLE/MAST FOR MOUNTING ELECTRICAL CONDUCTORS SHALL BE FURNISHED AND INSTALLED BY ELECTRICAL CONTRACTOR (JUMPERS FURNISHED BY OWNERS) SHALL BE INSTALLED AND CONNECTED BY ELECTRICAL CONTRACTOR.
 - ALL GROUNDING CONDUCTORS AND CONNECTIONS SHALL BE MADE BY ELECTRICAL CONTRACTOR.
 - OBSERVE N.E.C. AND LOCAL UTILITY REQUIREMENTS FOR ELECTRICAL SERVICE GROUNDING.
- GROUNDING ATTACHMENT TO TOWER SHALL BE AS PER STANDARD PRACTICE AND CONDITIONS OR AT GROUNDING POINTS PROVIDED (IF MINIMUM).
- EQUIPMENT IS IN A GROUND ENCLOSURE GROUND ONLY. EQUIPMENT IS IN A GROUND ENCLOSURE OF GATE IF GRAN LIND LID IS USED. THEN GROUND LID ALSO.
- GROUNDING AT PVC CABINET SHALL BE VERTICALLY INSTALLED.
- ALL GROUNDING FOR ANTENNAS SHALL BE CONNECTED SO THAT IT WILL BY-PASS MAIN BUSS BAR.
- ALL BUT RINGS SHALL BE GROUNDING AND HAVE A BISHING, NO PVC ABOVE GROUND.
- USE SEPARATE HOLES FOR GROUNDING AT BUSS BAR. NO "DOUBLE-UP" OF HOLES.
- POWER AND TELCO CABINETS SHALL BE GROUNDING (BONDED) TOGETHER.
- NO LBS IS ALLOWED ON GROUNDING.
- PROVIDE STAINLESS STEEL CLAMP AND GRASS TAGS ON CDKX AT ANTENNAS AND DODDHOUSE.

EXHIBIT B
IRREVOCABLE OFFER OF DEDICATION FOR FUTURE J7 STREET

RECORDING REQUESTED BY, AND
WHEN RECORDED MAIL TO:

 COPY

CITY OF LATHROP
ATTN: CITY CLERK
390 TOWNE CENTRE DRIVE
LATHROP, CA 95330
Exempt from payment of recording fees (GC 11922)

SPACE ABOVE THIS LINE FOR RECORDER'S USE

**IRREVOCABLE OFFER OF DEDICATION OF EASEMENT
FOR PUBLIC ROADWAY PURPOSES AND PUBLIC UTILITY EASEMENT
(J7 STREET)**

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged, **RIVER ISLANDS EMPLOYMENT CENTER, LLC**, a Delaware limited liability company, (“**Grantor**”) hereby grant(s) to the **CITY OF LATHROP**, a municipal corporation (“**Grantee**”) in the County of San Joaquin, State of California, an easement for ingress, egress and road purposes, and a public utility easement (PUE), over and across the hereinafter described real property situated in City of Lathrop and more particularly described as follows:

SEE EXHIBIT A ATTACHED HERETO AND MADE A PART HEREOF

This Offer of Dedication is made pursuant to Section 7050 of the Government Code of the State of California, and may be accepted at any time by the City Engineer of the City of Lathrop. This Offer of Dedication may be terminated and right to accept such offer abandoned in the same manner as is prescribed for the vacation of streets or highways by Part 3 of Division 9 or Chapter 2 of Division 2 of the Streets and Highways Code of the State of California, whichever is applicable.

The above described easement is to be kept open, clear and free from buildings and structures of any kind. This Offer of Dedication shall be irrevocable and shall be binding on the Grantor's heirs, executors, administrators, successors and assigns.

IN WITNESS WHEREOF, Grantor has executed this Grant Deed as of June ____, 2020.

GRANTOR:

RIVER ISLANDS EMPLOYMENT CENTER, LLC
a Delaware limited liability company

By: _____
Susan Dell'Osso, President

[ATTACH NOTARY ACKNOWLEDGMENT]

March 11, 2020

EXHIBIT A

LEGAL DESCRIPTION
IRREVOCABLE OFFER OF DEDICATION FOR RIGHT-OF-WAY PURPOSES
(J7 COURT)
RIVER ISLANDS
LATHROP, CALIFORNIA

CERTAIN REAL PROPERTY SITUATE IN THE CITY OF LATHROP, COUNTY OF SAN JOAQUIN, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

BEING A PORTION OF PARCEL 1, AS SAID PARCEL IS SHOWN ON THE MAP ENTITLED "TRACT 3876, RIVER ISLANDS, PHASE 1B, LARGE LOT FINAL MAP", FILED MARCH 31, 2016, IN BOOK 42 OF MAPS AND PLATS, AT PAGE 56, OFFICIAL RECORDS OF SAN JOAQUIN COUNTY, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE SOUTH LINE OF GOLDEN VALLEY PARKWAY, EAST 118.05 FEET FROM THE WESTERLY TERMINUS OF COURSE L9, AS SHOWN ON SHEET 3 OF EXHIBIT B OF DOCUMENT NO. 2019-070952;

THENCE ALONG SAID SOUTH LINE, EAST 130.00 FEET;

THENCE LEAVING SAID SOUTH LINE, SOUTH 45°00'00" WEST 42.43 FEET;

THENCE, SOUTH 180.77 FEET;

THENCE, ALONG A TANGENT CURVE TO THE LEFT, HAVING A RADIUS OF 17.00 FEET, THROUGH A CENTRAL ANGLE OF 44°34'31", AN ARC DISTANCE OF 13.23 FEET;

THENCE, ALONG A REVERSE CURVE, HAVING A RADIUS OF 56.00 FEET, THROUGH A CENTRAL ANGLE OF 269°09'02", AN ARC DISTANCE OF 263.06 FEET;

THENCE, ALONG A REVERSE CURVE, HAVING A RADIUS OF 17.00 FEET, THROUGH A CENTRAL ANGLE OF 44°34'31", AN ARC DISTANCE OF 13.23 FEET;

THENCE, NORTH 180.77 FEET;


THENCE, NORTH 45°00'00" WEST 42.43 FEET TO SAID POINT OF BEGINNING.

CONTAINING 25,459 SQUARE FEET, MORE OR LESS.

ATTACHED HERETO IS A PLAT TO ACCOMPANY LEGAL DESCRIPTION, AND BY THIS REFERENCE MADE A PART HEREOF.

END OF DESCRIPTION

THIS REAL PROPERTY DESCRIPTION HAS BEEN PREPARED BY ME, OR UNDER MY DIRECTION, IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYOR'S ACT.


WILLIAM M. KOCH
PROFESSIONAL LAND SURVEYOR
CALIFORNIA NO. 8092



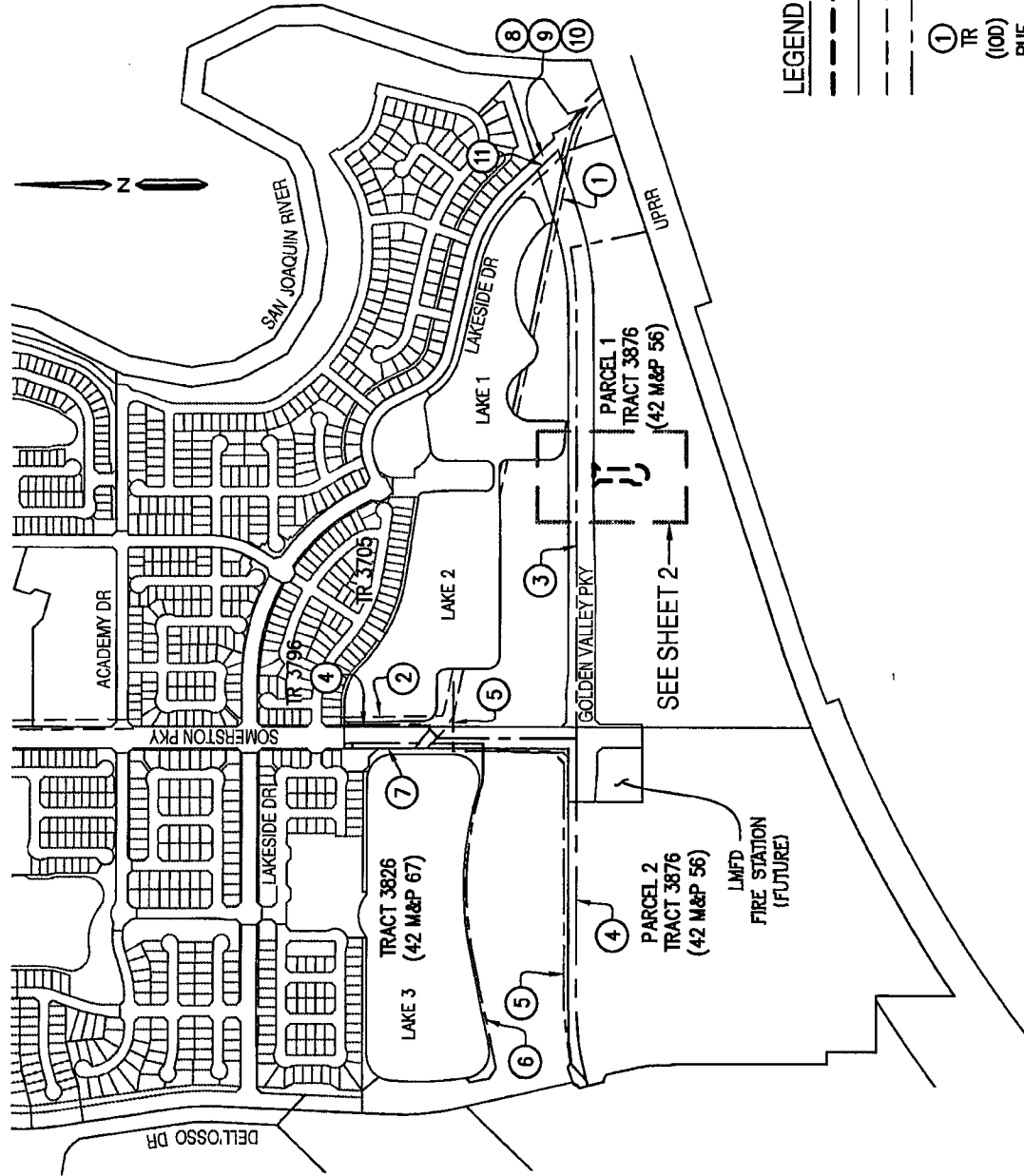
3/12/20
DATE

EASEMENTS

- ① 60' ROADWAY EASEMENT IN FAVOR OF THE COUNTY OF SAN JOAQUIN COUNTY PER 199 OR 212, S.J.C.R. (STEWART ROAD)
- ② 60' ROADWAY EASEMENT IN FAVOR OF THE COUNTY OF SAN JOAQUIN COUNTY PER 408 OR 95, S.J.C.R. (COHEN ROAD)
- ③ 15' RECYCLED WATER LINE EASEMENT IN FAVOR OF THE CITY OF LATHROP PER 2006-119379, S.J.C.R.
- ④ 15' RECYCLED WATER LINE EASEMENT IN FAVOR OF THE CITY OF LATHROP PER 2006-119380, S.J.C.R. DISCHARGE EASEMENT IN FAVOR OF RIVER ISLANDS PUBLIC FINANCING AUTHORITY PER 2014-085240, S.J.C.R.
- ⑤ LAKE FILL PIPELINE EASEMENT IN IN FAVOR OF RIPFA PER 2016-156568, S.J.C.R.
- ⑥ FUTURE ROADWAY EASEMENT FOR SOMERSTON PARKWAY, SHOWN AS EASEMENT E15 ON TRACT 3876 (42 M&P 56)
- ⑦ PUBLIC UTILITY EASEMENT IN FAVOR OF THE CITY OF LATHROP PER 2013-111673, S.J.C.R.
- ⑧ PUBLIC ACCESS EASEMENT IN FAVOR OF THE CITY OF LATHROP PER 2013-111676, S.J.C.R.
- ⑨ IRREVOCABLE OFFER OF DEDICATION OF EASEMENT FOR ROADWAY PURPOSES IN FAVOR OF THE CITY OF LATHROP PER 2013-156594, S.J.C.R.
- ⑩ 40.5' WIDE PUE/PAE IN FAVOR OF THE CITY OF LATHROP PER TRACT 3704 (42 M&P 4)

LEGEND

- ROADWAY EASEMENT (100)
- LOT LINE/RIGHT OF WAY LINE
- EASEMENT (AS NOTED)
- CENTERLINE
- ① EASEMENT REFERENCE NUMBER
- TR DENOTES TRACT
- (100) IRREVOCABLE OFFER OF DEDICATION
- PUE PUBLIC UTILITY EASEMENT
- PAE PUBLIC ACCESS EASEMENT
- LMFD LATHROP/MANATECA FIRE DISTRICT



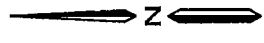
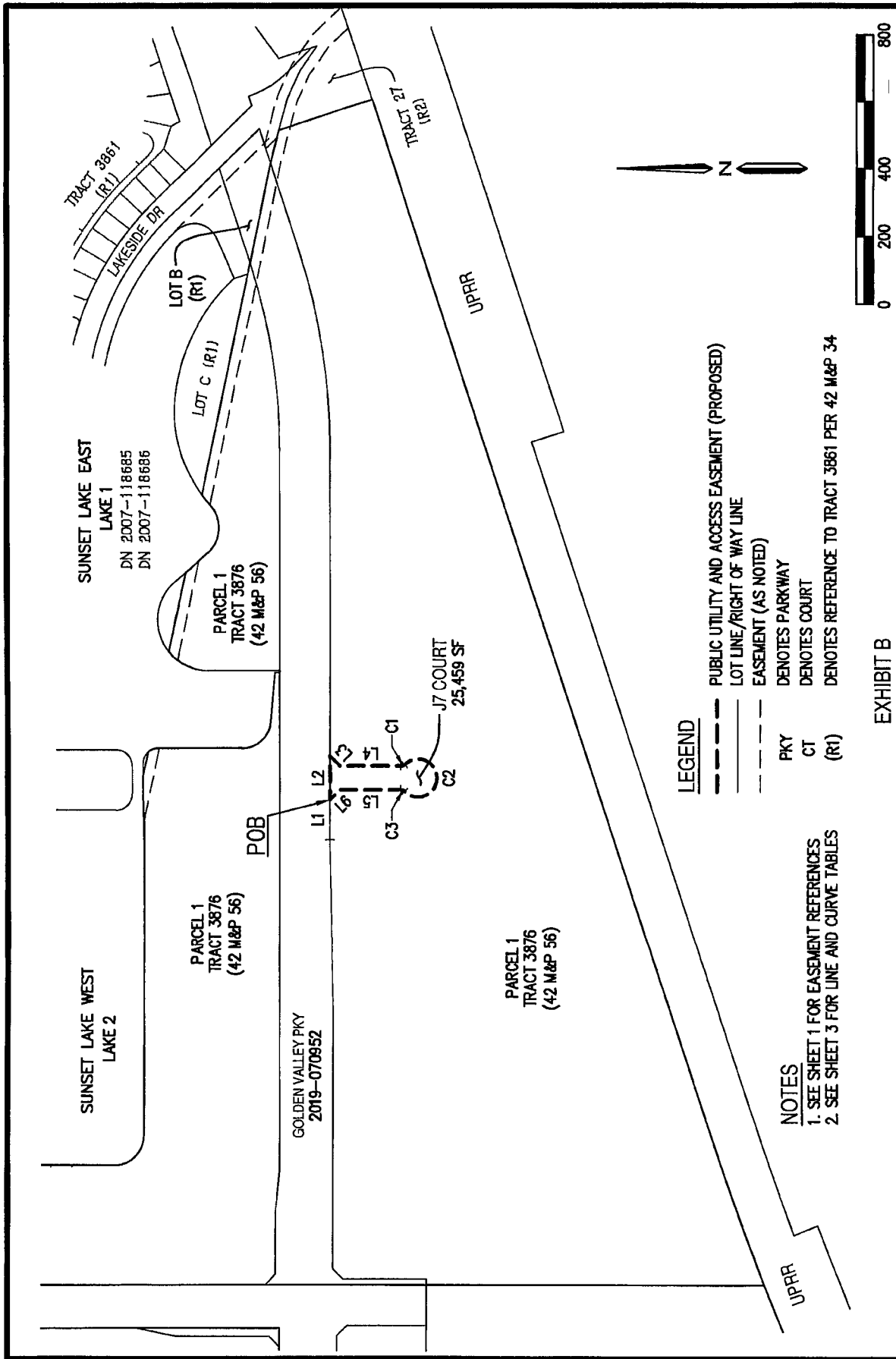
OVERALL MAP
EXHIBIT B



SCALE: 1"=1000'
DRAWN BY: BW
FILE: 25500 PLAT J7_J00.DWG
DATE: 3/11/20 SHEET: 1 OF 3

RIVER ISLANDS - PHASE 1B
J7 COURT
IRREVOCABLE OFFER OF DEDICATION FOR ROADWAY EASEMENT PURPOSES
CITY OF LATHROP SAN JOAQUIN COUNTY CALIFORNIA





- LEGEND**
- PUBLIC UTILITY AND ACCESS EASEMENT (PROPOSED)
 - LOT LINE/RIGHT OF WAY LINE
 - EASEMENT (AS NOTED)
 - PKY DENOTES PARKWAY
 - CT DENOTES COURT
 - (R1) DENOTES REFERENCE TO TRACT 3861 PER 42 M&P 34

- NOTES**
1. SEE SHEET 1 FOR EASEMENT REFERENCES
 2. SEE SHEET 3 FOR LINE AND CURVE TABLES

EXHIBIT B

SCALE: 1"=400'	<p>RIVER ISLANDS - PHASE 1B J7 COURT</p> <p>IRREVOCABLE OFFER OF DEDICATION FOR ROADWAY EASEMENT PURPOSES CITY OF LATHROP, SAN JOAQUIN COUNTY, CALIFORNIA</p>	
DRAWN BY: BW		
FILE: 25500 PLAT J7_100.DWG		
DATE: 3/11/20	SHEET: 2 OF 3	

LINE TABLE		
NO	BEARING	DISTANCE
L1	EAST	118.05'
L2	EAST	130.00'
L3	N45°00'00"E	42.43'
L4	NORTH	180.77'
L5	NORTH	180.77'
L6	N45°00'00"W	42.43'

CURVE TABLE			
CURVE	RADIUS	DELTA	LENGTH
C1	17.00'	44°34'31"	13.23'
C2	56.00'	269°09'02"	263.06'
C3	17.00'	44°34'31"	13.23'

EXHIBIT B

RIVER ISLANDS - PHASE 1B
J7 COURT

IRREVOCABLE OFFER OF DEDICATION FOR ROADWAY EASEMENT PURPOSES
CITY OF LATHROP SAN JOAQUIN COUNTY CALIFORNIA

SCALE: NO SCALE

DRAWN BY: BW

FILE: 25500 PLAT J7_J00.DWG

DATE: 3/11/20 SHEET: 3 OF 3



EXHIBIT C
SITE AND CELL TOWER COSTS; SCADA TOWER COSTS, AND RESULTING EXCESS
COSTS TO BE REIMBURSED

EXHIBIT C
 SITE AND CELL TOWER COSTS; SCADA TOWER COSTS, AND RESULTING EXCESS
 COSTS TO BE REIMBURSED

River Islands Cell Tower Site Costs		80' SCADA Tower costs		Excess Tower Costs
Description	Price	Description	Price	Price
Engineering Services	\$ 23,250	Engineering Services	\$ -	\$ 23,250
Tower Foundation	\$ 91,000	Tower Foundation	\$ 35,000	\$ 56,000
Trenching and Conduits	\$ 8,500	Trenching and Conduits	\$ 1,500	\$ 7,000
Distribution Box	\$ 5,500	Distribution Box	\$ -	\$ 5,500
H-Frame w/ Electrical and Telco	\$ 34,500	H-Frame w/ Electrical and Telco	\$ -	\$ 34,500
Grounding System	\$ 7,200	Grounding System	\$ 7,200	\$ -
120' Monopole Tower (Supply Only)	\$ 56,000	80' Monopole Tower (Supply Only) ²	\$ -	\$ 56,000
120' Monopole Tower (Install)	\$ 31,000	80' Monopole Tower (Install)	\$ 7,000	\$ 24,000
Site Fence	\$ 38,613	Site Fence ³	\$ -	\$ 38,613
Sub Total	\$ 295,563	Sub Total	\$ 50,700	\$ 244,863
Cell Tower Property (3,557 SF) ¹	\$ 35,671	Cell Tower Property (3,557 SF)	\$ -	\$ 35,671
Total	\$ 331,234	Total	\$ 50,700	\$ 280,534

Notes:

1. Property assumes same \$/Acre price as the police station (\$436,842/ Acre)
2. Existing 80' tower was intended to be relocated to this new location
3. The Water Tank/pump station site is fenced, so no added SCADA fence would have been required

GOLDEN VALLEY PARKWAY

FUTURE
EMPLOYMENT
CENTER

J7 STREET

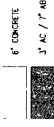
WATER TANK SITE
SEE PLANS BY OTHERS

EX STAGE 1
CROSS LEVEE

EXISTING
LID SUBSTATION

CURVE	RADIUS	DELTA	LENGTH	DESCRIPTION
D1	54.00	75.2784°	71.15	AC
C2	30.00	90.0000°	47.12	AC
C3	20.00	90.0000°	31.42	AC
C4	30.00	75.2784°	39.53	AC
C5	60.00	157.9614°	79.74	AC
C6	40.00	90.0000°	52.83	AC

LEGEND

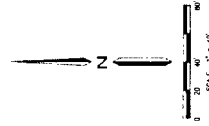


RAFT

FINAL WATER TANK SITE
GRADING REVISION EXHIBIT
RIVER ISLANDS

CITY OF LATHROP SAN JOAQUIN COUNTY CALIFORNIA
DATE: OCTOBER 02, 2019

ODELL
ENGINEERING
6200 Stonemage Mall Road, Suite 330
Pittsfield, CA 94588
Ph: 925.223.8340 odellengineering.com



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ITEM 4.20

CITY MANAGER'S REPORT JUNE 8, 2020 CITY COUNCIL REGULAR MEETING

ITEM: **APPROVE OPTION AND TOWER LEASE AGREEMENT WITH NEW CINGULAR WIRELESS PCS, LLC FOR USE OF CITY OWNED TOWER**

RECOMMENDATION: **Adopt Resolution Approving an Option and Tower Lease Agreement with New Cingular Wireless PCS, LLC for Use of City Tower and Related Budget Amendment**

SUMMARY:

River Islands Development, LLC ("RID") is completing construction of a large utility facility that includes water tanks, a water booster pump station, a significant sewer pump station, and a SCADA tower. RID decided to construct a SCADA tower that was taller than required so that the tower could include cell antennae to improve cell service in the River Islands Project and create a revenue stream from the lease payments by telecom companies ("rent"). RID transferred the land within the Employment Center to River Islands Employment Center, LLC (RI-EC). Therefore, that is the entity with whom the City will enter into the Agreement for Construction and Operations of a Communications Tower in River Islands ("Agreement").

New Cingular Wireless PCS, LLC ("Cingular") has requested the City to enter into an Option and Tower Lease Agreement ("Lease Agreement") to lease space on the City cell tower site and on the cell tower itself. The Lease Agreement has been negotiated with Cingular, who will occupy the second to the top location on the cell tower (the top location is reserved for the City facilities) and will provide monthly rent for \$2,200 to the City, to be shared with RID based on the approved Agreement.

The City determined that the additional height of the Tower can only be allowed if the City owns the facility. Tonight, as a separate item, City Council is being asked to approve the Cell Tower Site dedication by RI-EC. If this item is not approved by Council, then the Cingular Lease Agreement will need to be deferred as the City will not have the authority to enter into the lease with Cingular unless the City owns the property on which the Tower sits. Assuming Council has approved the Cell Tower Site dedication, staff recommends that the City Council adopt a resolution approving the Option and Tower Lease Agreement with New Cingular Wireless PCS, LLC.

BACKGROUND:

River Islands Development, LLC ("RID"), the developer for the River Islands Project, is required under various entitlements to construct certain public facilities and infrastructure that will be of benefit to their property. RID is completing the construction of a large utility facility that includes water tanks, a water booster pump station, a significant sewer pump station, and a SCADA tower.

CITY MANAGER'S REPORT **PAGE 2**
JUNE 8, 2020 CITY COUNCIL REGULAR MEETING
APPROVE OPTION AND TOWER LEASE AGREEMENT WITH NEW CINGULAR
WIRELESS PCS, LLC

RID has developed a communications tower site ("Site") within the Employment Center District of the River Islands at Lathrop project to erect a communications tower ("Tower") to serve national cellular communication providers ("Providers"), including the City of Lathrop ("City"), River Islands, related public agencies and possibly Lathrop-Manteca Fire District.

RID transferred the land within the Employment Center to River Islands Employment Center, LLC (RI-EC). Therefore, that is the entity with whom the City will enter into the Agreement for Construction and Operations of a Communications Tower in River Islands ("Agreement").

The City determined that the additional height of the Tower can only be allowed if the City owns the facility. Tonight, as a separate item, City Council is being asked to approve the Cell Tower Site dedication by RI-EC. If this item is not approved by Council, then the Cingular Lease Agreement will need to be deferred as the City will not have the authority to enter into the lease with Cingular unless the City owns the property on which the Tower sits.

The Site provides space for the equipment to serve four (4) separate cell companies, and the tower itself includes an area for four (4) cell antennae. Now that the City owns the Site and Tower, the City can enter into lease agreements with Providers.

New Cingular Wireless PCS, LLC ("Cingular") has requested the City of Lathrop enter into an Option and Tower Lease Agreement ("Lease Agreement") to lease space on the Site and the Tower. The Lease Agreement has been negotiated with Cingular, who will occupy the second to the top location on the cell tower (the top location is reserved for the City facilities) and will provide monthly rent for \$2,200 to the City, to be shared with RI-EC based on the approved Agreement. Under the Lease Agreement, rent paid by Cingular will increase by 2 ½ percent each year, beginning in year two (2). The initial term of the lease will be five (5) years and will automatically renew for four (4) additional five (5) year terms.

REASON FOR RECOMMENDATION:

By placing their cell antennae on the cell tower, Cingular will improve cell service in this area of Lathrop. Also, the City will be paid monthly rent during the time the tower is used. Staff recommends that the City Council adopt a resolution approving the Option and Tower Lease Agreement with New Cingular Wireless PCS, LLC.

FISCAL IMPACT:

Lease payments (\$26,400) received will be shared between the City and River Islands Employment Center, LLC (RI-EC), 75% until fully reimbursed and 25% to the City in accordance with the Agreement for Construction and Operations of a Communications Tower in River Islands. The City will recognize the revenue of \$6,600 in Fiscal Year budget 2020-21.

JUNE 8, 2020 CITY COUNCIL REGULAR MEETING

APPROVE OPTION AND TOWER LEASE AGREEMENT WITH NEW CINGULAR WIRELESS PCS, LLC

Lease payments will fully fund maintenance of the site and the tower structure and will repay River Islands for increasing the tower height. The City's share of the lease payments in excess of the maintenance costs will be available to the City for any use.

Staff requests the following budget amendment for FY 2020-21:

Increase Revenue

Communications

1010-15-10-371-90-01

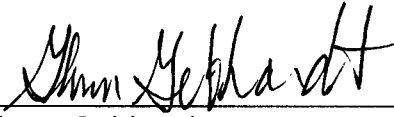
\$6,600

ATTACHMENTS:

- A. Resolution Approving an Option and Tower Lease Agreement with New Cingular Wireless PCS, LLC for Use of City Tower and Related Budget Amendment
- B. Option and Tower Lease Agreement with New Cingular Wireless PCS, LLC
- C. Site Plan for Cell Site in River Islands

CITY MANAGER'S REPORT
JUNE 8, 2020 CITY COUNCIL REGULAR MEETING
APPROVE OPTION AND TOWER LEASE AGREEMENT WITH NEW CINGULAR
WIRELESS PCS, LLC

APPROVALS:




Glenn Gebhardt
City Engineer

6-3-2020
Date



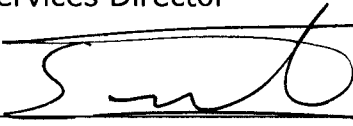
Michael King
Public Works Director

6-3-2020
Date




Cari James
Finance & Administrative
Services Director

6/3/2020
Date



Salvador Navarrete
City Attorney

6-3-2020
Date



Stephen J. Salvatore
City Manager

6-3-2020
Date

RESOLUTION NO. 20-

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LATHROP APPROVING AN OPTION AND TOWER LEASE AGREEMENT WITH NEW CINGULAR WIRELESS PCS, LLC FOR USE OF CITY TOWER AND RELATED BUDGET AMENDMENT

WHEREAS, River Islands Development, LLC, ("RID") the developer for the River Islands Project, is required under various entitlements to construct certain public facilities and infrastructure that will be of benefit to their property; and

WHEREAS, RID is completing construction of a large utility facility that includes water tanks, a water booster pump station, a significant sewer pump station, and a SCADA tower; and

WHEREAS, RID has developed a communications tower site ("Site") within the Employment Center District of the River Islands at Lathrop project to erect a communications tower ("Tower") to serve national cellular communication providers ("Providers"), including City, River Islands, related public agencies and possibly Lathrop-Manteca Fire District; and

WHEREAS, RID has transferred the land within the Employment Center to River Islands Employment Center, LLC (RI-EC), and so that is the entity with whom the City will enter into the Agreement for Construction and Operations of a Communications Tower in River Islands ("Agreement"); and

WHEREAS, it has been determined that the additional height of the Tower can only be allowed if the City of Lathrop ("City") owns the facility, and so RI-EC offered to dedicate the Site and the Tower to the City; and

WHEREAS, pending City Council approval as another item is the Cell Tower Site dedication by RI-EC. With the Council's acceptance of the grant deed and the Agreement to defray River Islands upfront costs in building the Cell Tower Site, City and RI-EC will share the revenue from cell tower rent payments and City can enter into lease agreements with Providers; and

WHEREAS, New Cingular Wireless PCS, LLC ("Cingular") has requested the City of Lathrop enter into an Option and Tower Lease Agreement ("Lease Agreement") in order to lease space on the cell tower site and the cell tower; and

WHEREAS, Cingular will occupy the second to the top location on the cell tower (the top location is reserved for the City facilities) and will provide monthly rent in the amount of \$2,200 to the City, to be shared with RID based on the approved Agreement; and

WHEREAS, accordance with the Lease Agreement, rent paid by Cingular will increase by 2 ½ percent each year beginning in year two (2); and

WHEREAS, the initial term of the lease will be five (5) years, and will automatically renew for four (4) additional five (5) year terms; and

WHEREAS, Lease payments (\$26,400) received will be shared between the City and River Islands Employment Center, LLC (RI-EC), 75% until fully reimbursed and 25% to the City in accordance with the Agreement for Construction and Operations of a Communications Tower in River Islands; and

WHEREAS, staff is requesting City Council approve a budget amendment in the amount of \$6,600 to the Communications Fund (1010) in Fiscal Year 2020-21 as follows:

Increase Revenue:

Communications	
1010-15-10-371-90-01	\$6,600

NOW, THEREFORE, BE IT RESOLVED, that the City Council of the City of Lathrop does hereby approve an Option and Tower Lease Agreement with New Cingular Wireless PCS, LLC for the use of City-owned tower.

BE IT FURTHER RESOLVED, that the City Council of Lathrop does hereby approve a budget amendment in the amount of \$6,600 to the to the Communications Fund (1010) in Fiscal Year 2020-21.

The foregoing resolution was passed and adopted this 8th day of June 2020, by the following vote of the City Council, to wit:

AYES:

NOES:

ABSENT:

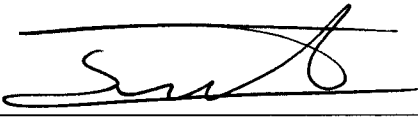
ABSTAIN:

Sonny Dhaliwal, Mayor

ATTEST:

Teresa Vargas, City Clerk

APPROVED AS TO FORM:



Salvador Navarrete, City Attorney

Market: Northern California
 Cell Site Number: CVL01568
 Search Ring Name: River Islands
 Cell Site Name: River Islands (CA)
 Fixed Asset Number: 14356021

OPTION AND TOWER LEASE AGREEMENT

THIS OPTION AND TOWER LEASE AGREEMENT ("**Agreement**"), dated as of the latter of the signature dates below (the "**Effective Date**"), is entered into by the City of Lathrop, a California municipal corporation, having a mailing address of 390 Towne Centre Drive, Lathrop, CA 95330 ("**Landlord**"), and New Cingular Wireless PCS, LLC, a Delaware limited liability company, having a mailing address of 1025 Lenox Park Boulevard NE, 3rd Floor, Atlanta, GA 30319 ("**Tenant**").

BACKGROUND

Landlord owns that certain plot, parcel or tract of land, as described on **Exhibit 1**, improved with a tower structure (the "**Tower**"), together with all rights and privileges arising in connection therewith, located in the City of Lathrop, County of San Joaquin, State of California [APN: 210-210-01] (collectively, the "**Property**"). Tenant desires to use a portion of the Property in connection with its federally licensed communications business. Landlord desires to grant to Tenant the right to use a portion of the Property in accordance with this Agreement.

The parties agree as follows:

1. OPTION TO LEASE.

(a) Landlord grants to Tenant an option (the "**Option**") to lease a portion of the Property consisting of:

(i) approximately three hundred (300) square feet including the air space above such ground space, as described on attached **Exhibit 1**, for the placement of Tenant's Communication Facility;

(ii) space for any structural steel or other improvements to support Tenant's equipment (collectively, the space referenced in (i) and (ii) is the "**Equipment Space**");

(iii) the portion of the Tower selected by Tenant and dedicated for Tenant's exclusive use with a rad center of one hundred six feet (106') above ground level as generally depicted on **Exhibit 1** (the "**Tenant RAD Center**"), and consisting of an envelope of five (5) contiguous vertical feet above the Tenant RAD Center and five (5) contiguous vertical feet below the Tenant RAD Center (for an aggregate of ten (10) contiguous vertical feet of space) (collectively, the "**Antenna Space Envelope**"). Tenant shall have the right to locate, operate or maintain its communication equipment and improvements within the Antenna Space Envelope. The Antenna Space Envelope includes any area on a horizontal plane, extending in all directions from the Tower, that is perpendicular to such ten foot (10') vertical envelope; and

(iv) those certain areas where Tenant's conduits, wires, cables, cable trays and other necessary connections (and the cables, wires, and other necessary connections and improvements of such third parties related to Tenant, such as Tenant's utility providers) are located between the Equipment Space and the Antenna Space Envelope, and between the Equipment Space and the electric power, telephone, fiber and fuel sources for the Property (hereinafter collectively referred to as the "**Connection Space**"). Landlord agrees that Tenant shall have the right to install connections between Tenant's equipment in the Equipment Space and Antenna Space Envelope; and between Tenant's equipment in the Equipment Space and the electric power, telephone, and fuel sources for the Property, and any other improvements. Landlord further agrees that Tenant shall have the right to install, replace and maintain utility lines, wires, poles, cables, conduits, pipes and other necessary connections over or along any right-of-way extending from the aforementioned public right-of-way to the Premises. Notwithstanding the foregoing, Tenant, to the extent feasible, shall locate

all lines, wires, conduits and cables on existing poles extending from the roadway into Landlord's Property. The Equipment Space, Antenna Space, and Connection Space, are hereinafter collectively referred to as the "Premises."

(b) During the Option Term, and during the Term of this Agreement, Tenant and its agents, engineers, surveyors and other representatives will have the right to enter upon the Property to inspect, examine, conduct soil borings, drainage testing, material sampling, radio frequency testing and other geological or engineering tests or studies of the Property (collectively, the "Tests"), to apply for and obtain licenses, permits, approvals, or other relief required of or deemed necessary or appropriate at Tenant's sole discretion for its use of the Premises and include, without limitation, applications for zoning variances, zoning ordinances, amendments, special use permits, and construction permits (collectively, the "Government Approvals"), initiate the ordering and/or scheduling of necessary utilities, and otherwise to do those things on or off the Property that, in the opinion of Tenant, are necessary in Tenant's sole discretion to determine the physical condition of the Property, the environmental history of the Property, Landlord's title to the Property and the feasibility or suitability of the Property for Tenant's Permitted Use, all at Tenant's expense. Tenant will not be liable to Landlord or any third party on account of any pre-existing defect or condition on or with respect to the Property, whether or not such defect or condition is disclosed by Tenant's inspection. Tenant will restore the Property to its condition as it existed at the commencement of the Option Term, reasonable wear and tear and loss by casualty or other causes beyond Tenant's control excepted.

(c) In consideration of Landlord granting Tenant the Option, Tenant agrees to pay Landlord the sum of Five Hundred and No/100 Dollars (\$500.00) within thirty (30) business days of the Effective Date. The Option will be for an initial term of one (1) year commencing on the Effective Date (the "Initial Option Term") and may be renewed by Tenant for an additional one (1) year (the "Renewal Option Term") upon notification to Landlord and the payment of an additional Five Hundred and No/100 Dollars (\$500.00) prior to the expiration date of the Initial Option Term. The Initial Option Term and any Renewal Option Term are collectively referred to as the "Option Term."

(d) The Option may be sold, assigned or transferred at any time by Tenant to an Affiliate of Tenant or to any third party agreeing to be subject to the terms hereof. Otherwise, the Option may not be sold, assigned or transferred without the written consent of Landlord, such consent not to be unreasonably withheld, conditioned or delayed. From and after the date the Option has been sold, assigned or transferred by Tenant to an Affiliate or a third party agreeing to be subject to the terms hereof, Tenant shall immediately be released from any and all liability under this Agreement, including the payment of any rental or other sums due, without any further action.

(e) During the Option Term, Tenant may exercise the Option by notifying Landlord in writing. If Tenant exercises the Option, then Landlord leases the Premises to Tenant subject to the terms and conditions of this Agreement. If Tenant does not exercise the Option during the Option Term or any extension thereof, this Agreement will terminate and the parties will have no further liability to each other.

(f) If during the Option Term, or during the Term of this Agreement the Option is exercised, Landlord decides to subdivide, sell, or change the status of the zoning of the Premises, Property or any of Landlord's contiguous, adjoining or surrounding property (the "Surrounding Property", which includes without limitation the remainder of the Tower) or in the event of foreclosure, Landlord shall immediately notify Tenant in writing. Landlord agrees that during the Option Term, or during the Term of this Agreement if the Option is exercised, Landlord shall not initiate or consent to any change in the zoning of the Premises, Property or Surrounding Property or impose or consent to any other use or restriction that would prevent or limit Tenant from using the Premises for the Permitted Use. Any and all terms and conditions of this Agreement that by their sense and context are intended to be applicable during the Option Term shall be so applicable.

2. **PERMITTED USE.** Tenant may use the Premises for the transmission and reception of communications signals and the installation, construction, maintenance, operation, repair, replacement and upgrade of its communications fixtures and related equipment, cables, accessories and improvements, which may include a suitable support structure, associated antennas, I beams, equipment shelters or cabinets and fencing and any other items necessary to the successful and secure use of the Premises (collectively, the "**Communication Facility**"), as well as the right to test, survey and review title on the Property; Tenant further has the right, but not the obligation, to add, modify and/or replace equipment in order to be in compliance with any current or future federal, state or local mandated application, including, but not limited to, emergency 911 communication services, at no additional cost to Tenant or Landlord (collectively, the "**Permitted Use**"). Landlord and Tenant agree that any portion of the Communication Facility that may be conceptually described on **Exhibit 1** will not be deemed to limit Tenant's Permitted Use. If **Exhibit 1** includes drawings of the initial installation of the Communication Facility, Landlord's execution of this Agreement will signify Landlord's approval of **Exhibit 1**. For a period of ninety (90) days following the start of construction, Landlord grants Tenant, its subtenants, licensees and sublicensees, the right to use such portions of Landlord's Surrounding Property as described in **Exhibit 1** as may reasonably be required during construction and installation of the Communication Facility. Tenant has the right to install and operate transmission cables from the equipment shelter or cabinet to the antennas, electric lines from the main feed to the equipment shelter or cabinet and communication lines from the Property's main entry point to the equipment shelter or cabinet, and to make other improvements, alterations, upgrades or additions appropriate for Tenant's Permitted Use, including the right to construct a fence around the Premises, install warning signs to make individuals aware of risks, install protective barriers, install any other control measures reasonably required by Tenant's safety procedures or applicable law, and undertake any other appropriate means to secure the Premises at Tenant's expense. Tenant has the right to install, modify, supplement, replace, upgrade, expand the equipment, increase the number of antennas or relocate the Communication Facility within the Premises at any time during the Term of this Agreement. Tenant will be allowed to make such alterations to the Property in order to ensure that Tenant's Communication Facility complies with all applicable federal, state or local laws, rules or regulations. In the event Tenant desires to modify or upgrade the Communication Facility, in a manner that requires an additional portion of the Property (the "**Additional Premises**") for such modification or upgrade, Landlord shall comply with all Federal and State laws and agrees to negotiate a reasonable amended compensation structure to this Agreement in a timely manner, and will not unreasonably withhold approval.

3. **TERM.**

(a) The initial lease term will be five (5) years ("**Initial Term**"), commencing on the effective date of written notification by Tenant to Landlord of Tenant's exercise of the Option (the "**Term Commencement Date**"). The Initial Term will terminate on the fifth (5th) anniversary of the Term Commencement Date.

(b) This Agreement will automatically renew for four (4) additional five (5) year term(s) (each additional five (5) year term shall be defined as an "**Extension Term**"), upon the same terms and conditions unless Tenant notifies Landlord in writing of Tenant's intention not to renew this Agreement at least sixty (60) days prior to the expiration of the Initial Term or then-existing Extension Term.

(c) Unless (i) Landlord or Tenant notifies the other in writing of its intention to terminate this Agreement at least six (6) months prior to the expiration of the final Extension Term, or (ii) the Agreement is terminated as otherwise permitted by this Agreement prior to the end of the final Extension Term, then upon the expiration of the final Extension Term this Agreement shall continue in force upon the same covenants, terms and conditions for a further term of one (1) year, and for annual terms thereafter ("**Annual Term**") until terminated by either party by giving to the other written notice of its intention to so terminate at least six (6) months prior to the end of any such Annual Term. Monthly rental during such Annual Terms shall be equal to the Rent paid for the last month of the final Extension Term.

(d) The Initial Term, any Extension Terms and any Annual Terms are collectively referred to as the "**Term**".

4. RENT.

(a) Commencing on the first day of the month following the date that Tenant commences construction (the "**Rent Commencement Date**"), Tenant will pay Landlord on or before the fifth (5th) day of each calendar month in advance Two Thousand Two Hundred and No/100 Dollars (\$2,200.00) (the "**Rent**"), at the address set forth above. In any partial month occurring after the Rent Commencement Date, Rent will be prorated. The initial Rent payment will be forwarded by Tenant to Landlord within forty-five (45) days after the Rent Commencement Date.

(b) In year two (2) of the Initial Term, and each year thereafter, including throughout any Extension Terms exercised, the monthly Rent will increase by Two and One-Half Percent (2.5%) over the Rent paid during the previous year.

(c) All charges payable under this Agreement such as utilities and taxes shall be billed by Landlord within one (1) year from the end of the calendar year in which the charges were incurred; any charges beyond such period shall not be billed by Landlord, and shall not be payable by Tenant. The foregoing shall not apply to monthly Rent which is due and payable without a requirement that it be billed by Landlord. The provisions of this subsection shall survive the termination or expiration of this Agreement.

5. APPROVALS.

(a) Landlord agrees that Tenant's ability to use the Premises is contingent upon the suitability of the Premises and Property for Tenant's Permitted Use and Tenant's ability to obtain and maintain all Government Approvals. Landlord authorizes Tenant to prepare, execute and file all required applications to obtain Government Approvals for Tenant's Permitted Use under this Agreement and agrees to reasonably assist Tenant with such applications and with obtaining and maintaining the Government Approvals.

(b) Tenant has the right to obtain a title report or commitment for a leasehold title policy from a title insurance company of its choice and to have the Property surveyed by a surveyor of its choice.

(c) Tenant may also perform and obtain, at Tenant's sole cost and expense, soil borings, percolation tests, engineering procedures, environmental investigation or other tests or reports on, over, and under the Property, necessary to determine if Tenant's use of the Premises will be compatible with Tenant's engineering specifications, system, design, operations or Government Approvals.

6. TERMINATION. This Agreement may be terminated, without penalty or further liability, as follows:

(a) by either party on thirty (30) days prior written notice, if the other party remains in default under Section 15 of this Agreement after the applicable cure periods;

(b) by Tenant upon written notice to Landlord, if Tenant is unable to obtain, or maintain, any required approval(s) or the issuance of a license or permit by any agency, board, court or other governmental authority necessary for the construction or operation of the Communication Facility as now or hereafter intended by Tenant;

(c) by Tenant, upon written notice to Landlord, if Tenant determines, in its sole discretion, due to the title report results or survey results, that the condition of the Premises is unsatisfactory for its intended uses;

(d) by Tenant upon written notice to Landlord for any reason or no reason, at any time prior to commencement of construction by Tenant; or

(e) by Tenant upon sixty (60) days' prior written notice to Landlord for any reason or no reason, so long as Tenant pays Landlord a termination fee equal to three (3) months' Rent, at the then-current rate, provided, however, that no such termination fee will be payable on account of the termination of this Agreement by Tenant under any termination provision contained in any other Section of this Agreement including the following: 5 Approvals, 6(a) Termination, 6(b) Termination, 6(c) Termination, 6(d) Termination, 11(d) Environmental, 18 Condemnation or 19 Casualty.

7. INSURANCE.

(a) During the Term, Tenant will carry, at its own cost and expense, the following insurance: (i) workers' compensation insurance as required by law; and (ii) commercial general liability (CGL) insurance with respect to its activities on the Property, such insurance to afford protection of up to Three Million Dollars (\$3,000,000) per occurrence and Six Million Dollars (\$6,000,000) general aggregate, based on Insurance Services Office (ISO) Form CG 00 01 or a substitute form providing substantially equivalent coverage. Tenant's CGL insurance shall contain a provision including Landlord as an additional insured. Such additional insured coverage:

(i) shall be limited to bodily injury, property damage or personal and advertising injury caused, in whole or in part, by Tenant, its employees, agents or independent contractors;

(ii) shall not extend to claims for punitive or exemplary damages arising out of the acts or omissions of Landlord, its employees, agents or independent contractors or where such coverage is prohibited by law or to claims arising out of the gross negligence of Landlord, its employees, agents or independent contractors; and

(iii) shall not exceed Tenant's indemnification obligation under this Agreement, if any.

(b) Notwithstanding the foregoing, Tenant shall have the right to self-insure the coverages required in subsection (a). In the event Tenant elects to self-insure its obligation to include Landlord as an additional insured, the following provisions shall apply (in addition to those set forth in subsection (a)):

(i) Landlord shall promptly and no later than thirty (30) days after notice thereof provide Tenant with written notice of any claim, demand, lawsuit, or the like for which it seeks coverage pursuant to this Section and provide Tenant with copies of any demands, notices, summonses, or legal papers received in connection with such claim, demand, lawsuit, or the like;

(ii) Landlord shall not settle any such claim, demand, lawsuit, or the like without the prior written consent of Tenant; and

(iii) Landlord shall fully cooperate with Tenant in the defense of the claim, demand, lawsuit, or the like.

8. INTERFERENCE.

(a) Prior to or concurrent with the execution of this Agreement, Landlord has provided or will provide Tenant with a list of radio frequency user(s) and frequencies used on the Property as of the Effective Date. Tenant warrants that its use of the Premises will not interfere with those existing radio frequency uses on the Property, as long as those existing radio frequency user(s) operate and continue to operate within their respective frequencies and in accordance with all applicable laws and regulations.

(b) Landlord will not grant, after the Effective Date of this Agreement, a lease, license or any other right to any third party, if the exercise of such grant may in any way adversely affect or interfere with the Communication Facility, the operations of Tenant or the rights of Tenant under this Agreement. Landlord will notify Tenant in writing prior to granting any third party the right to install and operate communications equipment on the Property.

(c) Landlord will not, nor will Landlord permit its employees, tenants, licensees, invitees, agents or independent contractors to interfere in any way with the Communication Facility, the operations of Tenant or the rights of Tenant under this Agreement. Landlord will cause such interference to cease within two (2) business days after receipt of notice of interference from Tenant. In the event any such interference does not cease within the aforementioned cure period, Landlord shall cease all operations which are suspected of causing interference (except for intermittent testing to determine the cause of such interference) until the interference has been corrected.

(d) For the purposes of this Agreement, "interference" may include, but is not limited to, any use on the Property or Surrounding Property that causes electronic or physical obstruction with, or degradation of, the communications signals from the Communication Facility.

9. INDEMNIFICATION.

(a) Tenant agrees to indemnify, defend and hold Landlord harmless from and against any and all injury, loss, damage or liability (or any claims in respect of the foregoing), costs or expenses (including reasonable attorneys' fees and court costs) arising directly from the installation, use, maintenance, repair or removal of the Communication Facility or Tenant's breach of any provision of this Agreement, except to the extent attributable to the negligent or intentional act or omission of Landlord, its employees, agents or independent contractors.

(b) Landlord agrees to indemnify, defend and hold Tenant harmless from and against any and all injury, loss, damage or liability (or any claims in respect of the foregoing), costs or expenses (including reasonable attorneys' fees and court costs) arising directly from the actions or failure to act of Landlord, its employees, agents or independent contractors, or Landlord's breach of any provision of this Agreement, except to the extent attributable to the negligent or intentional act or omission of Tenant, its employees, agents or independent contractors.

(c) The indemnified party: (i) shall promptly provide the indemnifying party with written notice of any claim, demand, lawsuit, or the like for which it seeks indemnification pursuant to this Section and provide the indemnifying party with copies of any demands, notices, summonses, or legal papers received in connection with such claim, demand, lawsuit, or the like; (ii) shall not settle any such claim, demand, lawsuit, or the like without the prior written consent of the indemnifying party; and (iii) shall fully cooperate with the indemnifying party in the defense of the claim, demand, lawsuit, or the like. A delay in notice shall not relieve the indemnifying party of its indemnity obligation, except (1) to the extent the indemnifying party can show it was prejudiced by the delay; and (2) the indemnifying party shall not be liable for any settlement or litigation expenses incurred before the time when notice is given.

10. WARRANTIES.

(a) Tenant and Landlord each acknowledge and represent that it is duly organized, validly existing and in good standing and has the right, power and authority to enter into this Agreement and bind itself hereto through the party set forth as signatory for the party below.

(b) Landlord represents, warrants and agrees that: (i) Landlord solely owns the Property as a legal lot in fee simple, and solely owns the Tower; (ii) the Property is not and will not be encumbered by any liens, restrictions, mortgages, covenants, conditions, easements, leases, or any other agreements of record or not of record, which would adversely affect Tenant's Permitted Use and enjoyment of the Premises under this Agreement; (iii) as long as Tenant is not in default beyond all applicable notice and cure periods, then Landlord grants to Tenant sole, actual, quiet and peaceful use, enjoyment and possession of the Premises without hindrance or ejection by any persons lawfully claiming under Landlord; (iv) Landlord's execution and performance of this Agreement will not violate any laws, ordinances, covenants or the provisions of any mortgage, lease or other agreement binding on Landlord; and (v) if the Property is or becomes encumbered by a deed to secure a debt, mortgage or other security interest, then Landlord will provide promptly to Tenant a mutually agreeable subordination, non-disturbance and attornment agreement executed by Landlord and the holder of such security interest.

11. ENVIRONMENTAL.

(a) Landlord represents and warrants that, except as may be identified in **Exhibit 11** attached to this Agreement, (i) the Property, as of the Effective Date of this Agreement, is free of hazardous substances, including asbestos-containing materials and lead paint, and (ii) the Property has never been subject to any contamination or hazardous conditions resulting in any environmental investigation, inquiry or remediation. Landlord and Tenant agree that each will be responsible for compliance with any and all applicable governmental laws, rules, statutes, regulations, codes, ordinances, or principles of common law regulating or imposing standards of liability or standards of conduct with regard to protection of the environment or worker health and safety, as may now or at any time hereafter be in effect, to the extent such apply to that party's activity conducted in or on the Property.

(b) Landlord and Tenant agree to hold harmless and indemnify the other from, and to assume all duties, responsibilities, and liabilities at the sole cost and expense of the indemnifying party for, payment of penalties, sanctions, forfeitures, losses, costs or damages, and for responding to any action, notice, claim, order, summons, citation, directive, litigation, investigation or proceeding (“**Claims**”) to the extent arising from that party’s breach of its obligations or representations under Section 11(a). Landlord agrees to hold harmless and indemnify Tenant from, and to assume all duties, responsibilities and liabilities at the sole cost and expense of Landlord for, payment of penalties, sanctions, forfeitures, losses, costs or damages, and for responding to any Claims, to the extent arising from subsurface or other contamination of the Property with hazardous substances prior to the Effective Date of this Agreement or from such contamination caused by the acts or omissions of Landlord during the Term. Tenant agrees to hold harmless and indemnify Landlord from, and to assume all duties, responsibilities and liabilities at the sole cost and expense of Tenant for, payment of penalties, sanctions, forfeitures, losses, costs or damages, and for responding to any Claims, to the extent arising from hazardous substances brought onto the Property by Tenant.

(c) The indemnifications of this Section 11 specifically include reasonable costs, expenses and fees incurred in connection with any investigation of Property conditions or any clean-up, remediation, removal or restoration work required by any governmental authority. The provisions of this Section 11 will survive the expiration or termination of this Agreement.

(d) In the event Tenant becomes aware of any hazardous substances on the Property, or any environmental, health or safety condition or matter relating to the Property that, in Tenant’s sole determination, renders the condition of the Premises or Property unsuitable for Tenant’s use, or if Tenant believes that the leasing or continued leasing of the Premises would expose Tenant to undue risks of liability to a government agency or other third-party liability, then Tenant will have the right, in addition to any other rights it may have at law or in equity, to terminate this Agreement upon written notice to Landlord.

12. ACCESS. At all times throughout the Term of this Agreement, and at no additional charge to Tenant, Tenant and its employees, agents, and subcontractors, will have twenty-four (24) hour per day, seven (7) day per week pedestrian and vehicular access (“**Access**”) to and over the Property, from an open and improved public road to the Premises, for the installation, maintenance and operation of the Communication Facility and any utilities serving the Premises. As may be described more fully in **Exhibit 1**, Landlord grants to Tenant an easement for such Access and Landlord agrees to provide to Tenant such codes, keys and other instruments necessary for such Access at no additional cost to Tenant. Upon Tenant’s request, Landlord will execute a separate recordable easement evidencing this right. Landlord shall execute a letter granting Tenant Access to the Property substantially in the form attached as **Exhibit 12**; upon Tenant’s request, Landlord shall execute additional letters during the Term. If Tenant elects to utilize an Unmanned Aircraft System (“**UAS**”) in connection with its installation, construction, monitoring, site audits, inspections, maintenance, repair, modification, or alteration activities at the Property, Landlord hereby grants Tenant, or any UAS operator acting on Tenant’s behalf, express permission to fly over the applicable Property and Premises, and consents to the use of audio and video navigation and recording in connection with the use of the UAS. Landlord acknowledges that in the event Tenant cannot obtain Access to the Premises, Tenant shall incur significant damage. If Landlord fails to provide the Access granted by this Section 12, such failure shall be a default under this Agreement.

13. REMOVAL/RESTORATION. All portions of the Communication Facility brought onto the Property by Tenant will be and remain Tenant’s personal property and, at Tenant’s option, may be removed by Tenant at any time during or after the Term. Landlord covenants and agrees that no part of the Communication Facility constructed, erected or placed on the Premises by Tenant will become, or be considered as being affixed to or a part of, the Property, it being the specific intention of Landlord that all improvements of every kind and nature constructed, erected or placed by Tenant on the Premises will be and remain the property of Tenant and may be removed by Tenant at any time during or after the Term. Tenant will repair any damage to the Property resulting from Tenant’s removal activities. Any portions of the Communication Facility that Tenant does not remove within one hundred twenty (120) days after the later of

the end of the Term and cessation of Tenant's operations at the Premises shall be deemed abandoned and owned by Landlord. Notwithstanding the foregoing, Tenant will not be responsible for the replacement of any trees, shrubs or other vegetation.

14. MAINTENANCE/UTILITIES.

(a) Tenant will keep and maintain the Premises in good condition, reasonable wear and tear and damage from the elements excepted.

(b) Landlord will maintain and repair the Property and access thereto, the Tower, and all areas of the Premises where Tenant does not have exclusive control, in good and tenantable condition, subject to reasonable wear and tear and damage from the elements. Landlord will be responsible for maintenance of landscaping on the Property, including any landscaping installed by Tenant as a condition of this Agreement or any required permit. Landlord shall maintain the Tower's structural integrity at all times (which shall mean that at no time will Landlord allow the Tower's condition to become, or remain, overstressed under the applicable structural standards set forth in the then-current version of the ANSI TIA-222). Landlord shall at all times during the Term of this Agreement reserve and have ready for Tenant's immediate use sufficient structural loading capacity on the Tower to support Tenant's installation of up to thirty-five thousand square inches (35,000 sq. in.) of Wind Load Surface Area, in the aggregate, of Communication Facilities anywhere on the Tower (the "**Allowed Wind Load Surface Area**"). "**Wind Load Surface Area**" means the Flat Plate Equivalent Area, as defined in ANSI TIA standards, of any appurtenance (excluding all mounts, platforms, cables and other non-operating equipment) at ninety degrees (90°) perpendicular to wind direction, possessing the characteristics of flat material, with associated drag factors. Landlord shall be responsible for the costs of all structural modifications to the Tower, including the costs of related Government Approvals or other approvals, to support the Allowed Wind Load Surface Area. In the event that Tenant has used the Allowed Wind Load Surface Area and an installation of a portion of the Communication Facility within the Antenna Space Envelope will require structural modifications to comply with the structural standards generally accepted within the telecommunications industry, Tenant will pay Landlord for the portion of the structural modifications that is necessary to support Tenant's loading in excess of the Allowed Wind Load Surface Area. In no event shall Tenant be responsible for Tower modification costs to support the installations of other tenants, licensees or other users of the Tower, or for the Tower to comply with applicable Laws so long as Tenant's installation is within the Allowed Wind Load Surface Area.

(c) Tenant will be responsible for paying on a monthly or quarterly basis all utilities charges for electricity, telephone service or any other utility used or consumed by Tenant on the Premises. In the event Tenant cannot secure its own metered electrical supply, Tenant will have the right, at its own cost and expense, to submeter from Landlord. When submetering is required under this Agreement, Landlord will read the meter and provide Tenant with an invoice and usage data on a monthly basis. Landlord agrees that it will not include a markup on the utility charges. Landlord further agrees to provide the usage data and invoice on forms provided by Tenant and to send such forms to such address and/or agent designated by Tenant. Tenant will remit payment within forty-five (45) days of receipt of the usage data and required forms. As noted in Section 4(c) above, any utility fee recovery by Landlord is limited to a twelve (12) month period. If Tenant submeters electricity from Landlord, Landlord agrees to give Tenant at least twenty-four (24) hours advance notice of any planned interruptions of said electricity. Landlord acknowledges that Tenant provides a communication service which requires electrical power to operate and must operate twenty-four (24) hours per day, seven (7) days per week. If an interruption in electrical power service occurs for an extended period of time, in Tenant's reasonable determination, Landlord agrees to allow Tenant the right to bring in a temporary source of power for the duration of the interruption. Landlord will not be responsible for interference with, interruption of or failure, beyond the reasonable control of Landlord, of such services to be furnished or supplied by Landlord.

(d) Tenant will have the right to install utilities, at Tenant's expense, and to improve present utilities on the Property and the Premises. Landlord hereby grants to any company providing utility or similar services, including electric power and telecommunications, to Tenant an easement over the Property, from an open and improved public road to the Premises, and upon the Premises, for the purpose of constructing, operating and maintaining such lines, wires, circuits, and conduits, associated equipment cabinets and such appurtenances thereto, as such companies may from time to time require in order to provide such services to the Premises. Upon Tenant's or the service company's request, Landlord will execute a separate recordable easement evidencing this grant, at no cost to Tenant or the service company.

15. DEFAULT AND RIGHT TO CURE.

(a) The following will be deemed a default by Tenant and a breach of this Agreement: (i) non-payment of Rent if such Rent remains unpaid for more than thirty (30) days after written notice from Landlord of such failure to pay; or (ii) Tenant's failure to perform any other term or condition under this Agreement within forty-five (45) days after written notice from Landlord specifying the failure. No such failure, however, will be deemed to exist if Tenant has commenced to cure such default within such period and provided that such efforts are prosecuted to completion with reasonable diligence. Delay in curing a default will be excused if due to causes beyond the reasonable control of Tenant. If Tenant remains in default beyond any applicable cure period, Landlord will have the right to exercise any and all rights and remedies available to it under law and equity.

(b) The following will be deemed a default by Landlord and a breach of this Agreement: (i) Landlord's failure to provide Access to the Premises as required by Section 12 of this Agreement within twenty-four (24) hours after written notice of such failure; (ii) Landlord's failure to cure an interference problem as required by Section 8 of this Agreement within two (2) business days after written notice of such failure; or (iii) Landlord's failure to perform any term, condition, or breach of any warranty or covenant under this Agreement within forty-five (45) days of written notice from Tenant specifying the failure. No such failure, however, will be deemed to exist if Landlord has commenced to cure the default within such period and provided such efforts are prosecuted to completion with reasonable diligence. Delay in curing a default will be excused if due to causes beyond the reasonable control of Landlord. If Landlord remains in default beyond any applicable cure period, Tenant will have: (1) the right to cure Landlord's default and to deduct the costs of such cure from monies due to Landlord from Tenant, and (2) any and all other rights available to it under law and equity.

16. ASSIGNMENT/SUBLEASE. Tenant will have the right to assign this Agreement or sublease the Premises and its rights herein, in whole or in part, without Landlord's consent. Upon notification to Landlord of such assignment, Tenant will be relieved of all future performance, liabilities and obligations under this Agreement to the extent of such assignment.

17. NOTICES. All notices, requests and demands hereunder will be given by first class certified or registered mail, return receipt requested, or by a nationally recognized overnight courier, postage prepaid, to be effective when properly sent and received, refused or returned undelivered. Notices will be addressed to the parties as follows:

If to Landlord: City of Lathrop
 Attn: City Attorney
 390 Towne Centre Drive
 Lathrop, CA 95330

If to Tenant: New Cingular Wireless PCS, LLC
Attn: Tower Asset Group – Lease Administration
Re: Cell Site No.: CVL01568
Search Ring Name: River Islands
Cell Site Name: River Islands (CA)
Fixed Asset No.: 14356021
1025 Lenox Park Boulevard NE, 3rd Floor
Atlanta, GA 30319

With a copy to: New Cingular Wireless PCS, LLC
Attn: Legal Department - Network Operations
Re: Cell Site No.: CVL01568
Search Ring Name: River Islands
Cell Site Name: River Islands (CA)
Fixed Asset No.: 14356021
208 S. Akard Street
Dallas, TX 75202-4206

The copy sent to Tenant's Legal Department is an administrative step which alone does not constitute legal notice. Either party hereto may change the place for the giving of notice to it by thirty (30) days' prior written notice to the other as provided herein.

18. CONDEMNATION. In the event Landlord receives notification of any condemnation proceedings affecting the Property, Landlord will provide notice of the proceeding to Tenant within forty-eight (48) hours. If a condemning authority takes all of the Property, or a portion sufficient, in Tenant's sole determination, to render the Premises unsuitable for Tenant, this Agreement will terminate as of the date the title vests in the condemning authority. The parties will each be entitled to pursue their own separate awards in the condemnation proceeds, which for Tenant will include, where applicable, the value of its Communication Facility, moving expenses, prepaid Rent, and business dislocation expenses. Tenant will be entitled to reimbursement for any prepaid Rent on a prorated basis.

19. CASUALTY. Landlord will provide notice to Tenant of any casualty or other harm affecting the Property within forty-eight (48) hours of the casualty or other harm. If any part of the Communication Facility or the Property is damaged by casualty or other harm as to render the Premises unsuitable, in Tenant's sole determination, then Tenant may terminate this Agreement by providing written notice to Landlord, which termination will be effective as of the date of such casualty or other harm. Upon such termination, Tenant will be entitled to collect all insurance proceeds payable to Tenant on account thereof and to be reimbursed for any prepaid Rent on a prorata basis. Landlord agrees to permit Tenant to place temporary transmission and reception facilities on the Property, but only until such time as Tenant is able to activate a replacement transmission facility at another location; notwithstanding the termination of this Agreement, such temporary facilities will be governed by all of the terms and conditions of this Agreement, including Rent. If Landlord or Tenant undertakes to rebuild or restore the Premises and/or the Communication Facility, as applicable, Landlord agrees to permit Tenant to place temporary transmission and reception facilities on the Property at no additional Rent until the reconstruction of the Premises and/or the Communication Facility is completed. If Landlord determines not to rebuild or restore the Property, Landlord will notify Tenant of such determination within thirty (30) days after the casualty or other harm. If Landlord does not so notify Tenant, and Tenant decides not to terminate under this Section, then Landlord will promptly rebuild or restore any portion of the Property interfering with or required for Tenant's Permitted Use of the Premises to substantially the same condition as existed before the casualty or other harm. Landlord agrees that the Rent shall be abated until the Property and/or the Premises are rebuilt or restored, unless Tenant places temporary transmission and reception facilities on the Property.

20. **WAIVER OF LANDLORD'S LIENS.** Landlord waives any and all lien rights it may have, statutory or otherwise, concerning the Communication Facility or any portion thereof. The Communication Facility shall be deemed personal property for purposes of this Agreement, regardless of whether any portion is deemed real or personal property under applicable law; Landlord consents to Tenant's right to remove all or any portion of the Communication Facility from time to time in Tenant's sole discretion and without Landlord's consent.

21. **TAXES.**

(a) Landlord shall be responsible for (i) all taxes and assessments levied upon the lands, improvements and other property of Landlord including any such taxes that may be calculated by a taxing authority using any method, including the income method, (ii) all sales, use, license, value added, documentary, stamp, gross receipts, registration, real estate transfer, conveyance, excise, recording, and other similar taxes and fees imposed in connection with this Agreement, and (iii) all sales, use, license, value added, documentary, stamp, gross receipts, registration, real estate transfer, conveyance, excise, recording, and other similar taxes and fees imposed in connection with a sale of the Property or assignment of Rent payments by Landlord. Tenant shall be responsible for (y) any taxes and assessments attributable to and levied upon Tenant's leasehold improvements on the Premises if and as set forth in this Section 21 and (z) all sales, use, license, value added, documentary, stamp, gross receipts, registration, real estate transfer, conveyance, excise, recording, and other similar taxes and fees imposed in connection with an assignment of this Agreement or sublease by Tenant. Nothing herein shall require Tenant to pay any inheritance, franchise, income, payroll, excise, privilege, rent, capital stock, stamp, documentary, estate or profit tax, or any tax of similar nature, that is or may be imposed upon Landlord.

(b) In the event Landlord receives a notice of assessment with respect to which taxes or assessments are imposed on Tenant's leasehold improvements on the Premises, Landlord shall provide Tenant with copies of each such notice immediately upon receipt, but in no event later than thirty (30) days after the date of such notice of assessment. If Landlord does not provide such notice or notices to Tenant in a timely manner and Tenant's rights with respect to such taxes are prejudiced by the delay, Landlord shall reimburse Tenant for any increased costs directly resulting from the delay and Landlord shall be responsible for payment of the tax or assessment set forth in the notice, and Landlord shall not have the right to reimbursement of such amount from Tenant. If Landlord provides a notice of assessment to Tenant within such time period and requests reimbursement from Tenant as set forth below, then Tenant shall reimburse Landlord for the tax or assessments identified on the notice of assessment on Tenant's leasehold improvements, which has been paid by Landlord. If Landlord seeks reimbursement from Tenant, Landlord shall, no later than thirty (30) days after Landlord's payment of the taxes or assessments for the assessed tax year, provide Tenant with written notice including evidence that Landlord has timely paid same, and Landlord shall provide to Tenant any other documentation reasonably requested by Tenant to allow Tenant to evaluate the payment and to reimburse Landlord.

(c) For any tax amount for which Tenant is responsible under this Agreement, Tenant shall have the right to contest, in good faith, the validity or the amount thereof using such administrative, appellate or other proceedings as may be appropriate in the jurisdiction, and may defer payment of such obligations, pay same under protest, or take such other steps as permitted by law. This right shall include the ability to institute any legal, regulatory or informal action in the name of Landlord, Tenant, or both, with respect to the valuation of the Premises. Landlord shall cooperate with respect to the commencement and prosecution of any such proceedings and will execute any documents required therefor. The expense of any such proceedings shall be borne by Tenant and any refunds or rebates secured as a result of Tenant's action shall belong to Tenant, to the extent the amounts were originally paid by Tenant. In the event Tenant notifies Landlord by the due date for assessment of Tenant's intent to contest the assessment, Landlord shall not pay the assessment pending conclusion of the contest, unless required by applicable law.

(d) Landlord shall not split or cause the tax parcel on which the Premises are located to be split, bifurcated, separated or divided without the prior written consent of Tenant.

(e) Tenant shall have the right but not the obligation to pay any taxes due by Landlord hereunder if Landlord fails to timely do so, in addition to any other rights or remedies of Tenant. In the event that Tenant exercises its rights under this Section 21(e) due to such Landlord default, Tenant shall have the right to deduct such tax amounts paid from any monies due to Landlord from Tenant as provided in Section 15(b), provided that Tenant may exercise such right without having provided to Landlord notice and the opportunity to cure per Section 15(b).

(f) Any tax-related notices shall be sent to Tenant in the manner set forth in Section 17. Promptly after the Effective Date, Landlord shall provide the following address to the taxing authority for the authority's use in the event the authority needs to communicate with Tenant. In the event that Tenant's tax address changes by notice to Landlord, Landlord shall be required to provide Tenant's new tax address to the taxing authority or authorities.

New Cingular Wireless PCS, LLC
Attn: Tower Asset Group – Taxes
Re: Cell Site No.: CVL01568
Search Ring Name: River Islands
Cell Site Name: River Islands (CA)
Fixed Asset No.: 14356021
1025 Lenox Park Boulevard NE, 3rd Floor
Atlanta, GA 30319

(g) Notwithstanding anything to the contrary contained in this Section 21, Tenant shall have no obligation to reimburse any tax or assessment for which the Landlord is reimbursed or rebated by a third party.

22. SALE OF PROPERTY.

(a) Landlord shall not be prohibited from the selling, leasing or use of any of the Property or the Surrounding Property except as provided below.

(b) If Landlord, at any time during the Term of this Agreement, decides to rezone or sell, subdivide or otherwise transfer all or any part of the Premises, or all or any part of the Property or Surrounding Property, to a purchaser other than Tenant, Landlord shall promptly notify Tenant in writing, and such rezoning, sale, subdivision or transfer shall be subject to this Agreement and Tenant's rights hereunder. In the event of a change in ownership, transfer or sale of the Property, within ten (10) days of such transfer, Landlord or its successor shall send the documents listed below in this subsection (b) to Tenant. Until Tenant receives all such documents, Tenant shall not be responsible for any failure to make payments under this Agreement and reserves the right to hold payments due under this Agreement.

- i. Old deed to Property
- ii. New deed to Property
- iii. Bill of Sale or Transfer
- iv. Copy of current Tax Bill
- v. New IRS Form W-9 & CA FTB Form 590
- vi. Completed and Signed AT&T Payment Direction Form
- vii. Full contact information for new Landlord including phone number(s)

(c) Landlord agrees not to sell, lease or use any areas of the Property or Surrounding Property for the installation, operation or maintenance of other wireless communications facilities if such installation, operation or maintenance would interfere with Tenant's Permitted Use or communications equipment as determined by radio propagation tests performed by Tenant in its sole discretion. Landlord or Landlord's prospective purchaser shall reimburse Tenant for any costs and expenses of such testing. If the radio frequency propagation tests demonstrate levels of interference unacceptable to Tenant, Landlord shall be prohibited from selling, leasing or using any areas of the Property or the Surrounding Property for purposes of any installation, operation or maintenance of any other wireless communications facility or equipment.

(d) The provisions of this Section shall in no way limit or impair the obligations of Landlord under this Agreement, including interference and access obligations.

23. RENTAL STREAM OFFER. If at any time after the Effective Date of this Agreement, Landlord receives a bona fide written offer from a third party seeking an assignment or transfer of Rent payments associated with this Agreement ("**Rental Stream Offer**"), Landlord shall immediately furnish Tenant with a copy of the Rental Stream Offer. Tenant shall have the right within twenty (20) days after it receives such copy to match the Rental Stream Offer and agree in writing to match the terms of the Rental Stream Offer. Such writing shall be in the form of a contract substantially similar to the Rental Stream Offer. If Tenant chooses not to exercise this right or fails to provide written notice to Landlord within the twenty (20) day period, Landlord may assign the right to receive Rent payments pursuant to the Rental Stream Offer, subject to the terms of this Agreement. If Landlord attempts to assign or transfer Rent payments without complying with this Section, the assignment or transfer shall be void. Tenant shall not be responsible for any failure to make payments under this Agreement and reserves the right to hold payments due under this Agreement until Landlord complies with this Section.

24. MISCELLANEOUS.

(a) **Amendment/Waiver.** This Agreement cannot be amended, modified or revised unless done in writing and signed by Landlord and Tenant. No provision may be waived except in a writing signed by both parties. The failure by a party to enforce any provision of this Agreement or to require performance by the other party will not be construed to be a waiver, or in any way affect the right of either party to enforce such provision thereafter.

(b) **Memorandum/Short Form Lease.** Contemporaneously with the execution of this Agreement, the parties will execute a recordable Memorandum of Lease substantially in the form attached as **Exhibit 24(b)**. Either party may record this Memorandum of Lease at any time during the Option Term or the Term, as the case may be, in its absolute discretion. Thereafter during the Term of this Agreement, either party will, at any time upon fifteen (15) business days' prior written notice from the other, execute, acknowledge and deliver to the other a recordable Memorandum of Lease.

(c) **Limitation of Liability.** Except for the indemnity obligations set forth in this Agreement, and otherwise notwithstanding anything to the contrary in this Agreement, Tenant and Landlord each waives any claims that each may have against the other with respect to consequential, incidental or special damages, however caused, based on any theory of liability.

(d) **Compliance with Law.** Tenant agrees to comply with all federal, state and local laws, orders, rules and regulations ("**Laws**") applicable to Tenant's use of the Communication Facility on the Property. Landlord agrees to comply with all Laws relating to Landlord's ownership and use of the Property and any improvements on the Property.

(e) **Bind and Benefit.** The terms and conditions contained in this Agreement will run with the Property and bind and inure to the benefit of the parties, their respective heirs, executors, administrators, successors and assigns.

(f) **Entire Agreement.** This Agreement and the exhibits attached hereto, all being a part hereof, constitute the entire agreement of the parties hereto and will supersede all prior offers, negotiations and agreements with respect to the subject matter of this Agreement. Exhibits are numbered to correspond to the Section wherein they are first referenced. Except as otherwise stated in this Agreement, each party shall bear its own fees and expenses (including the fees and expenses of its agents, brokers, representatives, attorneys, and accountants) incurred in connection with the negotiation, drafting, execution and performance of this Agreement and the transactions it contemplates.

(g) **Governing Law.** This Agreement will be governed by the laws of the state in which the Premises are located, without regard to conflicts of law.

(h) **Interpretation.** Unless otherwise specified, the following rules of construction and interpretation apply: (i) captions are for convenience and reference only and in no way define or limit the construction of the terms and conditions hereof; (ii) use of the term “including” will be interpreted to mean “including but not limited to”; (iii) whenever a party’s consent is required under this Agreement, except as otherwise stated in this Agreement or as same may be duplicative, such consent will not be unreasonably withheld, conditioned or delayed; (iv) exhibits are an integral part of this Agreement and are incorporated by reference into this Agreement; (v) use of the terms “termination” or “expiration” are interchangeable; (vi) reference to a default will take into consideration any applicable notice, grace and cure periods; (vii) to the extent there is any issue with respect to any alleged, perceived or actual ambiguity in this Agreement, the ambiguity shall not be resolved on the basis of who drafted the Agreement; (viii) the singular use of words includes the plural where appropriate and (ix) if any provision of this Agreement is held invalid, illegal or unenforceable, the remaining provisions of this Agreement shall remain in full force if the overall purpose of the Agreement is not rendered impossible and the original purpose, intent or consideration is not materially impaired.

(i) **Affiliates.** All references to “Tenant” shall be deemed to include any Affiliate of New Cingular Wireless PCS, LLC using the Premises for any Permitted Use or otherwise exercising the rights of Tenant pursuant to this Agreement. “Affiliate” means with respect to a party to this Agreement, any person or entity that (directly or indirectly) controls, is controlled by, or under common control with, that party. “Control” of a person or entity means the power (directly or indirectly) to direct the management or policies of that person or entity, whether through the ownership of voting securities, by contract, by agency or otherwise.

(j) **Survival.** Any provisions of this Agreement relating to indemnification shall survive the termination or expiration hereof. In addition, any terms and conditions contained in this Agreement that by their sense and context are intended to survive the termination or expiration of this Agreement shall so survive.

(k) **W-9/FTB 590.** As a condition precedent to payment, Landlord agrees to provide Tenant with both a completed IRS Form W-9 and CA FTB Form 590, or their respective equivalents, upon execution of this Agreement and at such other times as may be reasonably requested by Tenant, including, any change in Landlord’s name or address. A copy of the IRS Form W-9 and the CA FTB Form 590 in their current forms are attached hereto as **Exhibit 24(k)**.

(l) **Execution/No Option.** The submission of this Agreement to any party for examination or consideration does not constitute an offer, reservation of or option for the Premises based on the terms set forth herein. This Agreement will become effective as a binding Agreement only upon the handwritten legal execution, acknowledgment and delivery hereof by Landlord and Tenant. This Agreement may be executed in two (2) or more counterparts, all of which shall be considered one and the same agreement and shall become effective when one or more counterparts have been signed by each of the parties. All parties need not sign the same counterpart.

(m) **Attorneys' Fees.** In the event that any dispute between the parties related to this Agreement should result in litigation, the prevailing party in such litigation shall be entitled to recover from the other party all reasonable fees and expenses of enforcing any right of the prevailing party, including without limitation, reasonable attorneys' fees and expenses. Prevailing party means the party determined by the court to have most nearly prevailed even if such party did not prevail in all matters. This provision will not be construed to entitle any party other than Landlord, Tenant and their respective Affiliates to recover their fees and expenses.

(n) **WAIVER OF JURY TRIAL.** EACH PARTY, TO THE EXTENT PERMITTED BY LAW, KNOWINGLY, VOLUNTARILY AND INTENTIONALLY WAIVES ITS RIGHT TO A TRIAL BY JURY IN ANY ACTION OR PROCEEDING UNDER ANY THEORY OF LIABILITY ARISING OUT OF OR IN ANY WAY CONNECTED WITH THIS AGREEMENT OR THE TRANSACTIONS IT CONTEMPLATES.

(o) **Incidental Fees.** Unless specified in this Agreement, no unilateral fees or additional costs or expenses are to be applied by either party to the other party, including review of plans, structural analyses, consents, provision of documents or other communications between the parties.

(p) **Further Acts.** Upon request, Landlord will cause to be promptly and duly taken, executed, acknowledged and delivered all such further acts, documents, and assurances as Tenant may request from time to time in order to effectuate, carry out and perform all of the terms, provisions and conditions of this Agreement and all transactions and permitted use contemplated by this Agreement.

IN WITNESS WHEREOF, the parties have caused this Agreement to be effective as of the last date written below.

LANDLORD:

City of Lathrop,
a California municipal corporation

By: _____
Name: _____
Its: _____
Date: _____

By: _____
Name: _____
Its: _____
Date: _____

TENANT:

New Cingular Wireless PCS, LLC,
a Delaware limited liability company

By: AT&T Mobility Corporation
Its: Manager

By: _____
Name: _____
Its: _____
Date: _____

EXHIBIT 1

DESCRIPTION OF PROPERTY & PREMISES

Page 1 of 15

to the Option and Tower Lease Agreement dated as of _____, 2020, by and between the City of Lathrop, a California municipal corporation, as Landlord, and New Cingular Wireless PCS, LLC, a Delaware limited liability company, as Tenant.

The Property is legally described as follows:

**LEGAL DESCRIPTION COMMUNICATION SITE RIVER
ISLANDS LATHROP, CALIFORNIA**

CERTAIN REAL PROPERTY SITUATE IN THE CITY OF LATHROP, COUNTY OF SAN JOAQUIN, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

BEING A PORTION OF PARCEL 1, AS SAID PARCEL IS SHOWN ON THE MAP ENTITLED "TRACT 3876, RIVER ISLANDS, PHASE 1B, LARGE LOT FINAL MAP", FILED MARCH 31, 2016, IN BOOK 42 OF MAPS AND PLATS, AT PAGE 56, OFFICIAL RECORDS OF SAN JOAQUIN COUNTY, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE EAST LINE OF J7 COURT, AS SAID COURT IS DESCRIBED IN DOCUMENT NO. 2020- , OFFICIAL RECORDS OF SAN JOAQUIN COUNTY;

THENCE ALONG SAID EAST LINE, ALONG A CURVE TO THE LEFT, HAVING A RADIUS OF 56.00 FEET, FROM WHICH POINT THE RADIUS POINT BEARS SOUTH 50°36'58" WEST, THROUGH A CENTRAL ANGLE OF 05°11'29", AN ARC DISTANCE OF 5.07 FEET;

THENCE, ALONG A REVERSE CURVE, HAVING A RADIUS OF 17.00 FEET, THROUGH A CENTRAL ANGLE OF 44°34'31", AN ARC DISTANCE OF 13.23 FEET;

THENCE, NORTH 24.30 FEET;

THENCE, LEAVING SAID EAST LINE, EAST 90.00 FEET;

THENCE, SOUTH 40.00 FEET;

THENCE, WEST 81.72 FEET TO SAID POINT OF BEGINNING.

CONTAINING 3,557 SQUARE FEET, MORE OR LESS.

ATTACHED HERETO IS A PLAT TO ACCOMPANY LEGAL DESCRIPTION, AND BY THIS REFERENCE MADE A PART HEREOF.

END OF DESCRIPTION

The Premises are described and/or depicted as follows:

[100% Construction Drawings Dated December 21, 2018, Prepared by MT2 Telecom, LP, and Consisting of Fourteen (14) Pages, Appear on Following Pages]

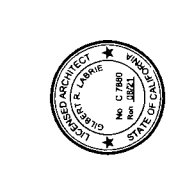
Notes:

1. THIS EXHIBIT MAY BE REPLACED BY A LAND SURVEY AND/OR CONSTRUCTION DRAWINGS OF THE PREMISES ONCE RECEIVED BY TENANT.
2. ANY SETBACK OF THE PREMISES FROM THE PROPERTY'S BOUNDARIES SHALL BE THE DISTANCE REQUIRED BY THE APPLICABLE GOVERNMENTAL AUTHORITIES.
3. WIDTH OF ACCESS ROAD SHALL BE THE WIDTH REQUIRED BY THE APPLICABLE GOVERNMENTAL AUTHORITIES, INCLUDING POLICE AND FIRE DEPARTMENTS.
4. THE TYPE, NUMBER AND MOUNTING POSITIONS AND LOCATIONS OF ANTENNAS AND TRANSMISSION LINES ARE ILLUSTRATIVE ONLY. ACTUAL TYPES, NUMBERS AND MOUNTING POSITIONS MAY VARY FROM WHAT IS SHOWN ABOVE.



RIVER ISLANDS
CVL01568
(WATER TANK SITE)
950 STEWART ROAD
LATHROP, CA 95330

STAMP



DRAWN BY	SMJR
CHECKED BY	CL
NO. DATE	ISSUE
1 11.15.18	98% CDR
2 12.20.18	98% CDR, GEN. & WIC REV.
3 03.12.19	100% CDR, GEN. & WIC REV.
4 04.09.19	100% CDR, P.M. CHK COMM.
5 08.25.19	100% CDR, GEN. BUILT REV.

SHEET TITLE
TITLE SHEET

SHEET NUMBER
T-1

SHEET INDEX

SITE NUMBER: CVL01568
SITE NAME: RIVER ISLANDS
950 STEWART ROAD
(WATER TANK SITE)
LATHROP, CA 95330
JURISDICTION: CITY OF LATHROP
SITE TYPE: MONOPOLE / WIC

20. REPRESENTATIONS OF THE NORTH, OTHER THAN THOSE FOUND ON THE PLAN OF SURVEY DRAWING, SHALL NOT BE USED TO IDENTIFY OR ESTABLISH THE BEARING OF TRUE NORTH AT THE SITE. THE CONTRACTOR SHALL VERIFY THE BEARING OF TRUE NORTH ON THE PLAN OF SURVEY DRAWING AND THE SURVEYOR'S ARCHITECT/ENGINEER PRIOR TO PROCEEDING WITH THE WORK. IF ANY DISCREPANCY IS FOUND BETWEEN THE CONTRACTOR'S MEASUREMENTS AND THE ARCHITECT/ENGINEER'S MEASUREMENTS, THE CONTRACTOR SHALL ASSUME SOLE LIABILITY FOR ANY FAILURE TO NOTIFY THE ARCHITECT/ENGINEER.

21. PENETRATIONS OF ROOF MEMBRANES SHALL BE PATCHED/FLASHED AND MADE WATER-TIGHT USING THE MATERIALS IN ACCORDANCE WITH MCA ROOFING STANDARDS AND DETAILS. CONTRACTOR SHALL OBTAIN BEFORE PROCEEDING.

DESIGN CRITERIA
MINIMUM WIND SPEED: 100 MPH
SEISMIC ZONING: 0
SITE CLASS: 1
WIND SPEED: 15 MPH
54# x 0.666
58# x 2.1
58# x 2.1
58# x 2.1
F₀ = 1.3200 ft/s

SPECIAL INSPECTION REQUIRED
1. POST-INSTALLED EXPANSION ANCHORS

At all services & growing branches, provide "Call Before You Dig" notification at 12 hours in advance.

CALL BEFORE YOU DIG
811 / 1.800.227.2800
NATIONWIDE UNDERGROUND SERVICE ALERT

15. PRIOR TO THE SUBMISSION OF BIDS, THE CONTRACTOR SHALL VERIFY THE JOB SITE AND BE RESPONSIBLE FOR ALL CONTRACT DOCUMENTS, FIELD CONDITIONS AND MEASUREMENTS AND PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER AND ARCHITECT/ENGINEER PRIOR TO PROCEEDING WITH THE WORK.

14. THE CONTRACTOR SHALL RECEIVE, IN WRITING, AUTHORIZATION TO EXCAVATE, SITE, WORK OR CONSTRUCTION IDENTIFIED BY THE CONTRACT DOCUMENTS. ALL WORK MUST BE IN ACCORDANCE WITH LOCAL, EARTHQUAKE CODES AND REGULATIONS, AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF THE WORK.

13. THE CONTRACTOR SHALL RECEIVE, IN WRITING, AUTHORIZATION TO EXCAVATE, SITE, WORK OR CONSTRUCTION IDENTIFIED BY THE CONTRACT DOCUMENTS. ALL WORK MUST BE IN ACCORDANCE WITH LOCAL, EARTHQUAKE CODES AND REGULATIONS, AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF THE WORK.

12. PANS ARE NOT TO BE SOILED AND ARE OFFERED TO BE REUSED. CONTRACTOR SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES AND DECKING NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.

6. THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AND REGULATIONS WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE:

7. THE GENERAL CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING SEQUENCES AND PROCEDURES AND ONE CONTRACTOR WITH RESPONSIBILITIES FOR THE INSTALLATION ENGINEER AND WITH THE LANDLORD'S AUTHORIZED REPRESENTATIVE.

8. CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT EXISTING UTILITIES, EARTHWORK, PAVING, CURBS, ETC. DURING CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES AND SHALL MAINTAIN ACCESS TO ALL SERVICES ROAD AT ALL TIMES.

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10. THESE DRAWINGS ARE FORMATED FOR "A" (SIZE D) DO NOT SCALE OTHER SIZE DRAWINGS.

11. THE FACILITY IS AN UNOCCUPIED JOURNAL TELECOMMUNICATION FACILITY.

12. PANS ARE NOT TO BE SOILED AND ARE OFFERED TO BE REUSED. CONTRACTOR SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES AND DECKING NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.

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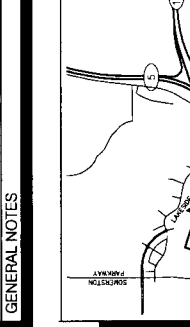
18. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CHAPTER 23 OF THE CALIFORNIA EARTHQUAKE SAFETY CODE. ALL WORK MUST BE IN ACCORDANCE WITH LOCAL, EARTHQUAKE CODES AND REGULATIONS, AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF THE WORK.

19. DETAILS ARE INTENDED TO SHOW END RESULT OF DESIGN. WORK SHALL BE IN ACCORDANCE WITH LOCAL, EARTHQUAKE CODES AND REGULATIONS, AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF THE WORK.

20. REPRESENTATIONS OF THE NORTH, OTHER THAN THOSE FOUND ON THE PLAN OF SURVEY DRAWING, SHALL NOT BE USED TO IDENTIFY OR ESTABLISH THE BEARING OF TRUE NORTH AT THE SITE. THE CONTRACTOR SHALL VERIFY THE BEARING OF TRUE NORTH ON THE PLAN OF SURVEY DRAWING AND THE SURVEYOR'S ARCHITECT/ENGINEER PRIOR TO PROCEEDING WITH THE WORK. IF ANY DISCREPANCY IS FOUND BETWEEN THE CONTRACTOR'S MEASUREMENTS AND THE ARCHITECT/ENGINEER'S MEASUREMENTS, THE CONTRACTOR SHALL ASSUME SOLE LIABILITY FOR ANY FAILURE TO NOTIFY THE ARCHITECT/ENGINEER.

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22. PANS ARE NOT TO BE SOILED AND ARE OFFERED TO BE REUSED. CONTRACTOR SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES AND DECKING NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.



PROJECT SUMMARY

APPLICABLE CODES

GENERAL NOTES

DIRECTIONS FROM A101 OFFICE AT 2800 DAWG MOUNTAIN, SAN MARINO, CA:
- GO ON I-5 FROM BOLLINGER CANYON ROAD
- TAKE I-5 NORTH TO WINTER ROAD EXIT
- MAKE A RIGHT TURN ONTO STEWART ROAD AND GO EAST
- CONTINUE TO ACCESS ROAD TO SUBSTATION ON RIGHT
- CONTINUE TO ACCESS ROAD TO SUBSTATION ON RIGHT

850 STEWART ROAD
WATER TANK SITE AND SUBSTATION

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AND REGULATIONS WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE:

2015 INTERNATIONAL BUILDING CODE (IBC)
(EXC. TITLES 24 & 29)
2015 INTERNATIONAL FIRE CODE (IFC)
2015 CALIFORNIA BUILDING CODES
2015 UNIFORM PLUMBING CODE (UPC)
2015 CALIFORNIA PLUMBING CODES
2015 CALIFORNIA ELECTRICAL CODES
2015 CALIFORNIA ELECTRICAL CODES
CITY / COUNTY ORDINANCES AND / OR LOCAL ORDINANCES

ALONG WITH ANY OTHER APPLICABLE LOCAL AND STATE LAWS AND REGULATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT ALL APPLICABLE CODES AND REGULATIONS ARE IN ACCORDANCE WITH CALIFORNIA CODE OF REGULATIONS TITLE 24, PART 2, VOL. 1, CHAPTER 11B, SECTION 205.5.

SIT. NO.	DESCRIPTION
1-1	SITE SHEET
1-2	SITE BORER
1-3	BATTERY SPACES
1-4	SITE BORER
1-5	SITE BORER
1-6	APERTURE WINDOW
1-7	ELECTRICAL
1-8	ELECTRICAL & DETAILS
1-9	FOUNDATION SPACES
1-10	DETAILS
1-11	STRUCTURAL DETAILS
1-12	POWER SHELL LUM. (MASONRY, PANEL, SCHEDULE & DETAILS)
1-13	GROUNDING SITE PLAN & DETAILS
1-14	GROUNDING DETAILS & NOTES

PROJECT DESCRIPTION

1. INSTALL POWER / TELECOM OVER TO SITE LOCATION
2. INSTALL 8" x 8" x 8" WIC ON SURFACE FOUNDATION
3. INSTALL AND JOBS WITH PER SECTION FOR A TOTAL OF (12) ON AN EXISTING MONOPOLE TOWER
4. INSTALL (1) SURGE SUPPRESSORS
5. INSTALL (1) FIBER RING, (10) DC CABLES INSTALLED ON CABLE GUY WIRE, EMERGENCY BACKUP GENERATOR WITH 180 GALLON TANK ON 8'-0" x 4'-6" CONCRETE SLAB

PROJECT TEAM

ARCHITECT/ENGINEER/SURVEYOR
10748 AIRPORT RD
SAN FRANCISCO, CA 94126
PH: 415.774.3781
FAX: (415) 774-8194
WWW: WWW.AECSURV.COM
EMAIL: ARCHITECT@AECSURV.COM

PROJECT MANAGER
CONSTRUCTION DESIGN MANAGER
MICHELL SMITH
CONSTRUCTION@AECSURV.COM
(415) 774-3781

PROJECT OWNER
RIVER ISLANDS
950 STEWART ROAD
LATHROP, CA 95330
CONTACT: MARY WARD
PHONE: 916.674.6222

PROJECT DESCRIPTION

1. INSTALL POWER / TELECOM OVER TO SITE LOCATION
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PROJECT SUMMARY

APPLICABLE CODES

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850 STEWART ROAD
WATER TANK SITE AND SUBSTATION

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AND REGULATIONS WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE:

2015 INTERNATIONAL BUILDING CODE (IBC)
(EXC. TITLES 24 & 29)
2015 INTERNATIONAL FIRE CODE (IFC)
2015 CALIFORNIA BUILDING CODES
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ALONG WITH ANY OTHER APPLICABLE LOCAL AND STATE LAWS AND REGULATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT ALL APPLICABLE CODES AND REGULATIONS ARE IN ACCORDANCE WITH CALIFORNIA CODE OF REGULATIONS TITLE 24, PART 2, VOL. 1, CHAPTER 11B, SECTION 205.5.



RIVER ISLANDS
CVL01568
 950 STEWART ROAD
 (WATER TANK SITE)
 LAHROP, CA 95330



DRAWN BY	SMUR
CHECKED BY	GL
NO. DATE	ISSUE
A	11.15.18 50X CD
B	12.20.18 50X CD, GEN. & WC REV
C	12.21.18 100X CD, GEN. & WC REV
D	03.12.19 100X CD, P.L.N. CHM COMM
E	04.09.19 100X CD, P.L.N. CHM PLNG
F	09.25.19 100X CD, GEN. BCH'L REV

SHEET TITLE
SITE SIGNAGE
 SHEET NUMBER
T-2
 JOB # NO

GENERAL NOTES

- THE FOLLOWING INFORMATION IS OBTAINED FROM A VISUAL INSPECTION OF THE SITE AND THE DRAWINGS. THE CONTRACTOR SHALL VERIFY THE ACCURACY OF THIS INFORMATION AND THE LOCATION OF ALL UTILITIES AND STRUCTURES PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES.
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NOTICE

Beyond This Point you are entering an area where RF Emissions may exceed the FCC General Population Exposure Limits

Obey all posted signs and site guidelines for working in an RF environment.

REV: FCC 4/20R 1.1307(3) at&t

INFORMATION SIGN 11

CONTRACTOR SHALL INSTALL ALL INFORMATION SIGNAGE IN ACCORDANCE WITH THE FOLLOWING INFORMATION:

- CONTRACTOR SHALL INSTALL ALL INFORMATION SIGNAGE IN ACCORDANCE WITH THE FOLLOWING INFORMATION:
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CAUTION

Beyond This Point you are entering a controlled area where RF Emissions may exceed the FCC Controlled Exposure Limits

Obey all posted signs and site guidelines for working in an RF environment.

REV: FCC 4/20R 1.1307(3) at&t

INFORMATION SIGN 12

CONTRACTOR SHALL INSTALL ALL INFORMATION SIGNAGE IN ACCORDANCE WITH THE FOLLOWING INFORMATION:

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WARNING

Beyond This Point you are entering a controlled area where RF Emissions exceed the FCC Controlled Exposure Limits

Failure to obey all posted signs and site guidelines could result in serious injury.

REV: FCC 4/20R 1.1307(3) at&t

at&t
 This Site Operated by
AT&T MOBILITY
 5001 EXECUTIVE PARKWAY
 IN CASE OF FIRE AND THE NEED FOR SHUTDOWN
 TO DEACTIVATE ANTENNAS CALL THE
 For 24 Hour Emergency Contact and Access Please Call:
 (800)832-4662
 Reference Sign #:
 SITE ADDRESS:

FENCED COMPOUND SIGNAGE

Property of AT&T
 Authorized Personnel Only

No Trespassing
 Violation will be Prosecuted

In case of emergency, or prior to performing maintenance on this site, call and reference cell site number.

1234567
 Federal Communications Commission
 Tower Registration Number
 Please in accordance with Federal Communications Commission rules and regulations (47 CFR 1.401)

ECC ASR SIGNAGE

Property of AT&T
 Authorized Personnel Only

No Trespassing
 Violation will be Prosecuted

In case of emergency, or prior to performing maintenance on this site, call and reference cell site number.

GATE SIGNAGE

Property of AT&T
 Authorized Personnel Only

No Trespassing
 Violation will be Prosecuted

In case of emergency, or prior to performing maintenance on this site, call and reference cell site number.

at&t
 This Site Operated by
AT&T MOBILITY
 5001 EXECUTIVE PARKWAY
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 TO DEACTIVATE ANTENNAS CALL THE
 For 24 Hour Emergency Contact and Access Please Call:
 (800)832-4662
 Reference Sign #:
 SITE ADDRESS:

FENCED COMPOUND SIGNAGE

NO TRESPASSING

FENCED COMPOUND SIGNAGE

AUTHORIZED PERSONNEL ONLY

DOOR / EQUIPMENT SIGN

ACID

NEPA HAZARD SIGN

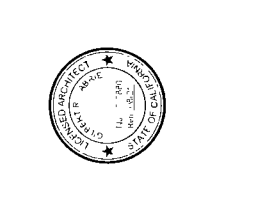
SHELTER / CABINET DOORS SIGNAGE

MIT²
TELECOM, LP
10000 GARDEN CITY BLVD.
SUITE 1000
GARDEN CITY, NY 11530
PHONE: (516) 466-1000
FAX: (516) 466-1001



RIVER ISLANDS
CVL01568
3RD TERWART ROAD
WATER LOUISIANA
LA 70096-1568

STAFF



DATE: 01/15/98	BY: J.M.F.
CHECKED BY: J.M.F.	
DATE: 01/15/98	BY: J.M.F.
DATE: 01/15/98	BY: J.M.F.
DATE: 01/15/98	BY: J.M.F.
DATE: 01/15/98	BY: J.M.F.

SHEET TITLE
BATTERY SPECS

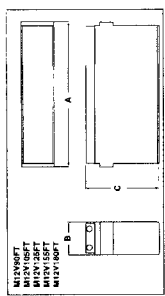
SHEET NUMBER
T-3

DATE: 01/15/98



MARATHON Form Terminal Specifications

Model	Voltage	Terminal Dimensions				Terminal Type		
		A	B	C	D			
MT100FT	12	89	143	103	50	27	9	131
MT150FT	12	108	162	122	51	27	10	131
MT200FT	12	127	181	141	52	27	10	131
MT250FT	12	146	195	155	53	27	10	131
MT300FT	12	165	209	165	54	27	10	131
MT350FT	12	184	223	175	55	27	10	131
MT400FT	12	203	237	185	56	27	10	131
MT450FT	12	222	251	195	57	27	10	131
MT500FT	12	241	265	205	58	27	10	131
MT550FT	12	260	279	215	59	27	10	131
MT600FT	12	279	293	225	60	27	10	131
MT650FT	12	298	307	235	61	27	10	131
MT700FT	12	317	321	245	62	27	10	131
MT750FT	12	336	335	255	63	27	10	131
MT800FT	12	355	349	265	64	27	10	131
MT850FT	12	374	363	275	65	27	10	131
MT900FT	12	393	377	285	66	27	10	131
MT950FT	12	412	391	295	67	27	10	131
MT1000FT	12	431	405	305	68	27	10	131



MARATHON Form Terminal Electrical Data

Model	Capacity (Ah)	Reserve Capacity (min)	Discharge Current (mA)
MT100FT	100	100	100
MT150FT	150	150	150
MT200FT	200	200	200
MT250FT	250	250	250
MT300FT	300	300	300
MT350FT	350	350	350
MT400FT	400	400	400
MT450FT	450	450	450
MT500FT	500	500	500
MT550FT	550	550	550
MT600FT	600	600	600
MT650FT	650	650	650
MT700FT	700	700	700
MT750FT	750	750	750
MT800FT	800	800	800
MT850FT	850	850	850
MT900FT	900	900	900
MT950FT	950	950	950
MT1000FT	1000	1000	1000



From the World Leader in
Pleasant for installation, maintenance, and heavy-duty operation, the Marathon battery is the most reliable, longest-lasting, and most economical power source available. Its rugged construction and advanced internal components provide a long life span, even in the most demanding environments. The Marathon battery is the only battery in the world that is designed to be used in a wide range of applications, from industrial to marine. Its high performance and reliability make it the ideal choice for any application where power is critical.

Dependable Quality Manufacturing
Quality manufacturing process, for all MARATHON batteries, insures the highest quality and reliability. Each battery is tested to meet or exceed the highest industry standards.

High Performance MARATHON Features
• Long life span
• High performance
• Dependable quality
• High reliability
• High efficiency
• High capacity
• High power
• High energy
• High performance
• High reliability
• High efficiency
• High capacity
• High power
• High energy

EXIDE
15000 INDUSTRIAL POWER
JAMAICA, NY 11435
PHONE: (516) 466-1000
FAX: (516) 466-1001

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15000 INDUSTRIAL POWER
JAMAICA, NY 11435
PHONE: (516) 466-1000
FAX: (516) 466-1001

DATE	DESCRIPTION	REV.

TIMOTHY SCHAD, L.S.
 10899 ROUND VALLEY RD.
 GRASS VALLEY, CA 95949
 PHONE (530) 271-7477
 TMS@MTPPOINT.COM



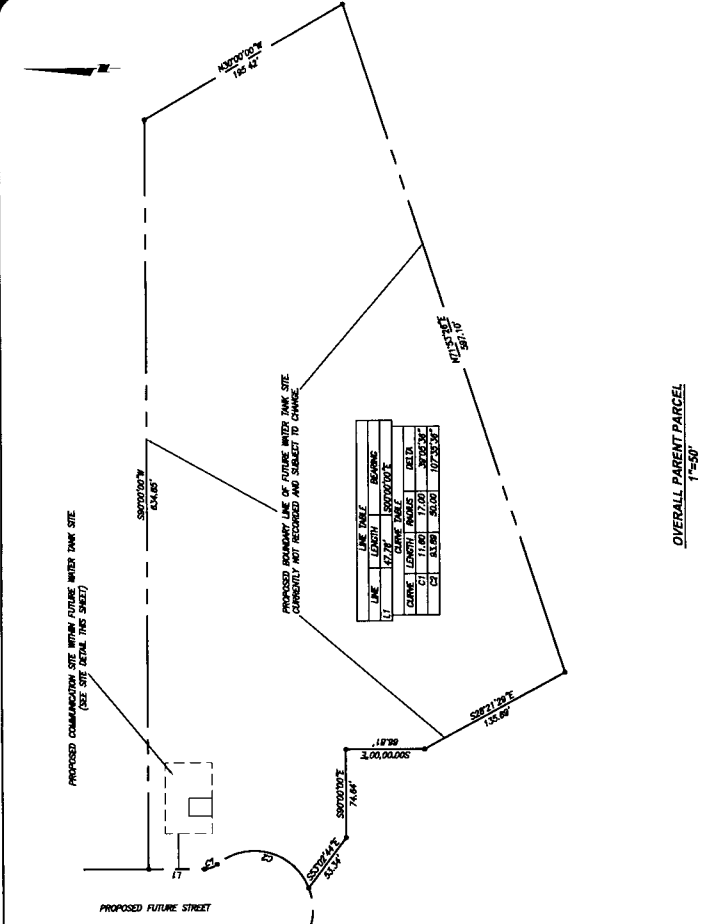
AT&T



**"RIVER ISLANDS"
 CVL01568**
 LATHROP, CA. 95330
 APN: PENDING

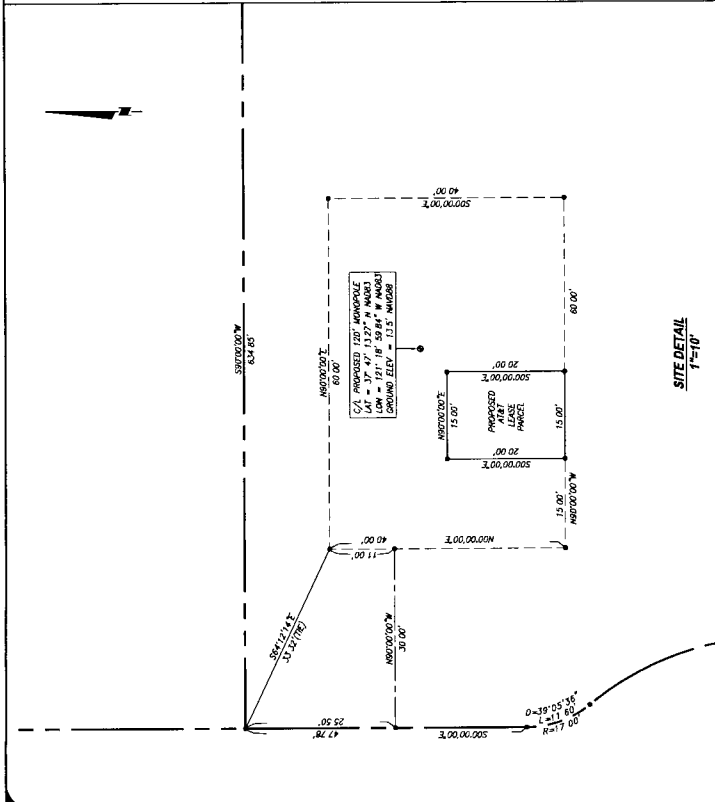
SHEET TITLE:
SITE SURVEY

LS-1



OVERALL PARENT PARCEL
 1"=50'

SITE DETAIL
 1"=10'



LEGEND

- PROPERTY LINE
- FLOW LINE
- TELEPHONE LINE
- ELECTRIC LINE
- ELECTRIC AND TELEPHONE LINES
- FENCE
- ADJACENT LAND
- TOP OF CURB
- BOTTOM FACE OF CURB
- TOP SURFACE OF PAVEMENT
- TOP SURFACE OF WALK
- GROUND WELL
- STRUCTURE

GEODETTIC LOCATION

DATE OF SURVEY: OCTOBER 17, 2017
 SITE NUMBER: NAME CVL01568/ RIVER ISLANDS
 TYPE: BOUNDARY
 THE ADDRESS: LATHROP, CA. 95330
 (TIMOTHY SCHAD, LICENSE NUMBER 4924118)
 CENTERLINE OF THE PROPOSED IMPROVEMENT TO BE
 LATITUDE: 37° 47' 13.27" NORTH (NAD 83)
 LONGITUDE: 121° 18' 09.81" WEST (NAD 83)
 GROUND ELEVATION: 135.7 (NAD 83) (2.6 G.L.)
 THE ACCURACY STANDARDS FOR THIS CERTIFICATION ARE AS FOLLOWS:
 GEODETIC COORDINATES: ± 0.003 METERS (IN FEET: ± 0.01)
 ELEVATIONS: ± 0.006 METERS (IN FEET: ± 0.02)

SURVEY NOTES

1. ALL LATITUDES AND LONGITUDES ARE IN NAD 83. ALL ELEVATIONS ARE IN NAVD 83 (AS NOTED OTHERWISE).
2. ALL BOUNDARY INFORMATION SHOWN HEREON HAS BEEN COMPILED FROM RECORD DATA. THIS IS NOT A BOUNDARY SURVEY.
3. DATE OF FIELD SURVEY: DECEMBER 17, 2017.
4. NO PRELIMINARY TITLE REPORT HAS BEEN PROVIDED. PROPOSED AT&T LEASE LIES WITHIN A FUTURE PARCEL WHICH HAS NOT YET BEEN COMPLETED AS OF THE TIME OF THIS SURVEY. ALL INFORMATION SHOWN HEREON IS SUBJECT TO CHANGE.
5. ANY ENCUMBRANCES OR OTHER TITLE RELATED ISSUES WHICH ARE PART OF THE TITLE RESPONSIBILITY OR LIABILITY FOR BOUNDARY OR TITLE ITEMS ADDRESSED HEREON, THIS IS NOT A BOUNDARY SURVEY.

LEGAL DESCRIPTION

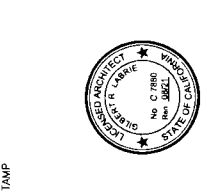
PARENT PARCEL
 PERMANENT APPROVAL
LEASE AREA
 PERMANENT APPROVAL

COORDINATES WITH THE RIGHTS OF APPROVAL AND ELEVATION ARE GIVEN IN THE PREVIOUS LEGEND. COORDINATES NECESSARY FOR THE OPERATION OF THE FACILITY TO BE INSTALLED WITHIN THE PREVIOUSLY DESCRIBED LEASE AREA.

MT2
TELECOM, LP
10125 AVENUE ROAD
P.O. BOX 453
RIO VISTA, CA 94571
PHONE (925) 374-5075
FAX (925) 374-0134



RIVER ISLANDS
CVL01568
950 STEWART ROAD
(WATER TANK SITE)
LATHROP, CA 95330

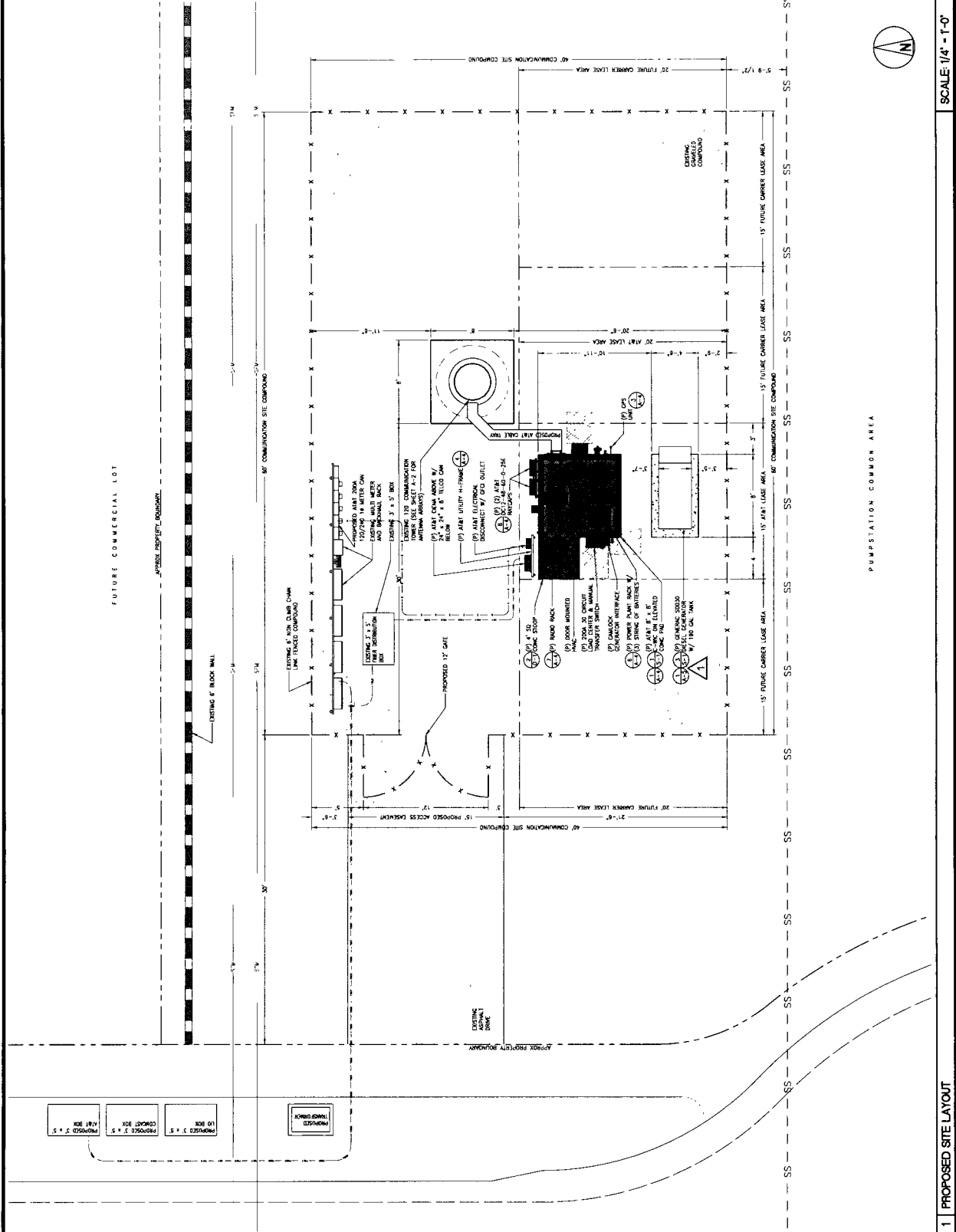


DRAWN BY	SMUR
CHECKED BY	GI
NO. DATE	ISSUE
A	11.15.18 50% CDA
B	12.20.18 50% CDA GEN & WC REV
C	12.21.18 100% CDA GEN & WC REV
1	03.12.19 100% CDA P.N. CHM CDA
2	04.09.19 100% CDA P.N. CHM CHM
3	08.25.19 100% CDA GEN BOTTL REV

SHEET TITLE
PROPOSED SITE LAYOUT

SHEET NUMBER
A-1

JOB # NO



MT2 TELECOM LP
 1075-B AIRPORT ROAD
 P.O. BOX 458
 RIVER ISLANDS, CA 94575
 FAX (707) 374-6184

at&t
 500 EXECUTIVE PARKWAY
 SAN RAMON, CALIFORNIA

**RIVER ISLANDS
 CVL01568**
 950 STEWART ROAD
 (WATER TANK SITE)
 LATHROP, CA 95530

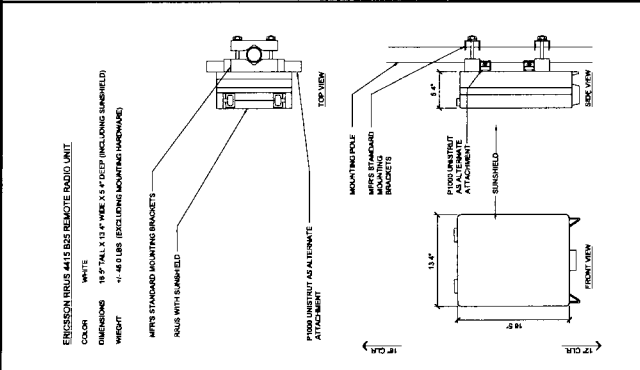
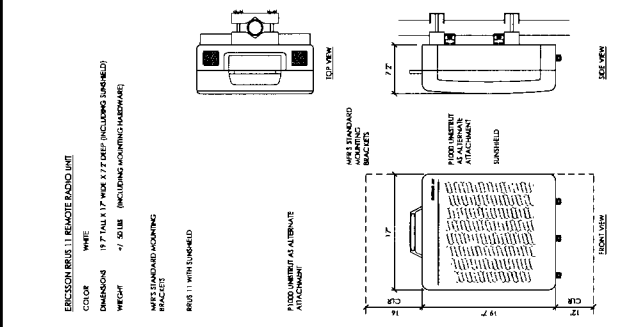
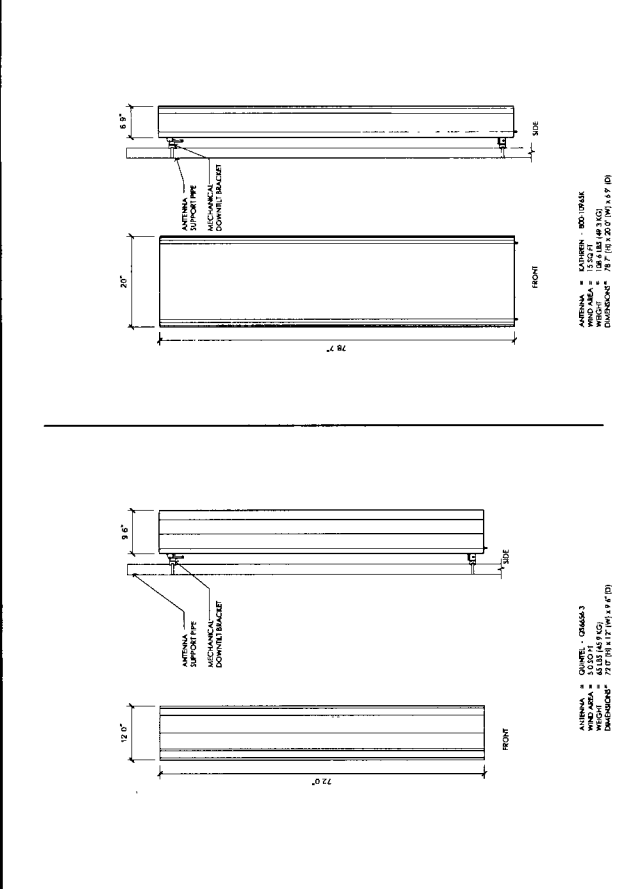
STAMP

DRAWN BY	SMUR	
CHECKED BY	CL	
NO.	DATE	ISSUE
A	11/15/18	50% CD
B	12/20/18	50% CD, GEN & W/C REV
C	12/21/18	100% CD, GEN & W/C REV
D	03/12/19	100% CD, P.L.N. CHG. COMM
E	04/02/19	100% CD, P.L.N. CHG. PHIC
F	09/25/19	100% CD, GEN. BENTL. REV

SHEET TITLE
**PROPOSED AT+T
 ANTENNA LAYOUTS**

SHEET NUMBER
A-2

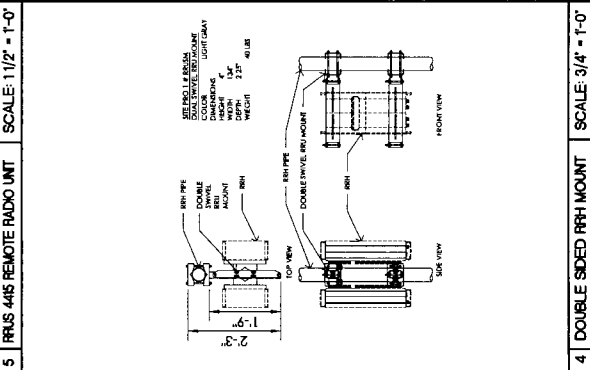
JOB # NO



5 RRUS 448 REMOTE RADIO UNIT SCALE: 3/4" = 1'-0"

2 AT+T ANTENNA TYPES SCALE: 3/4" = 1'-0"

3 RRUS 11 (RRUS 12 SIM) SCALE: 3/4" = 1'-0"



4 DOUBLE SIDED RRH MOUNT SCALE: 3/4" = 1'-0"

1 PROPOSED AT+T ANTENNA LAYOUT RAD CENTERS 106 SCALE: 1/2" = 1'-0"



RIVER ISLANDS
 CVL01568
 950 STEWART ROAD
 (WATER TANK SITE)
 LATHROP, CA 95330

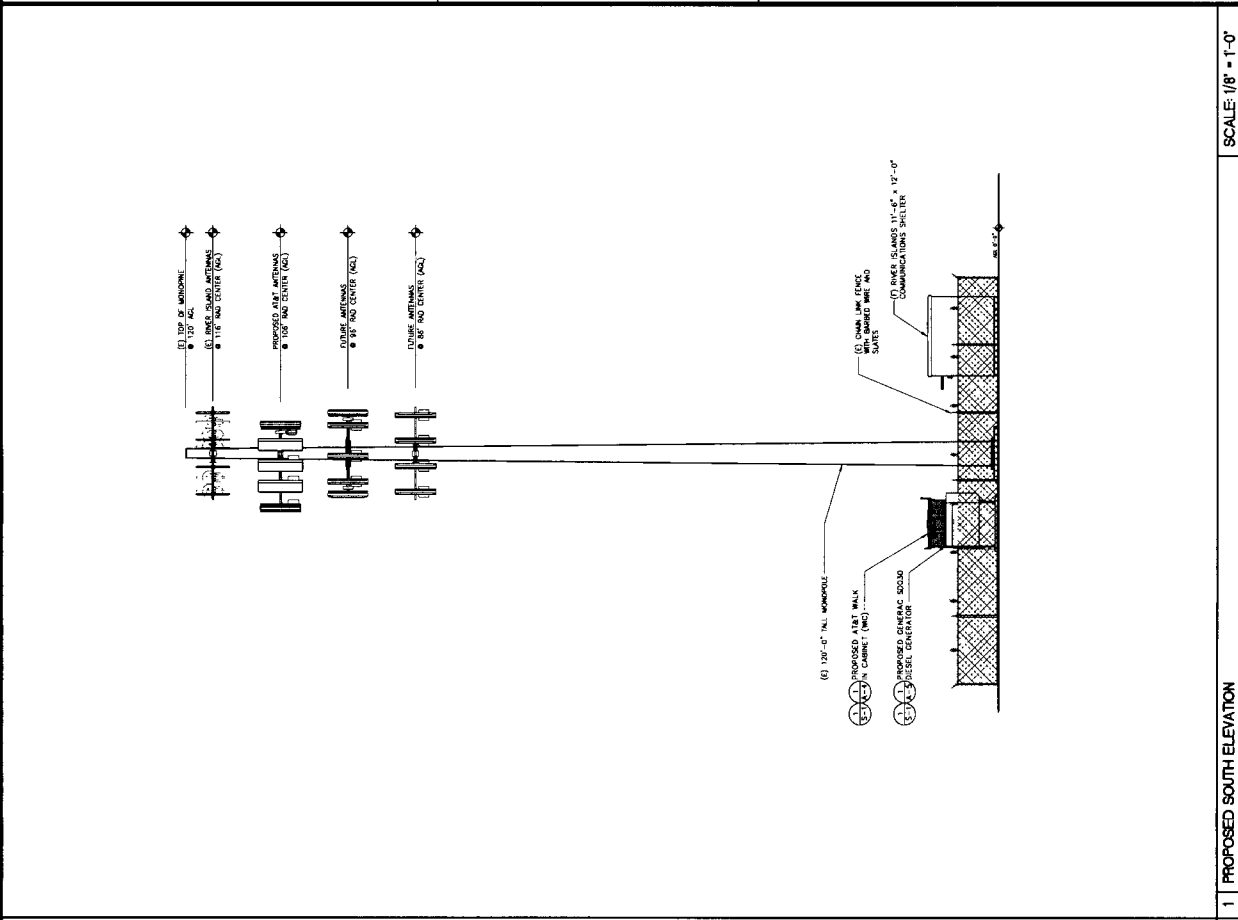


DRAWN BY	SMUR	
CHECKED BY	CL	
NO.	DATE	ISSUE
A	11.15.18	SIX DKS.
B	12.25.18	SIX DKS. GEN. & WC REV.
D	12.21.18	100% CH. GEN. & WC REV.
1	03.12.19	100% CH. PIN SH. COMM.
2	04.09.19	100% CH. PIN SH. PING.
3	08.25.19	100% CH. GEN. BUILT. REV.

SHEET TITLE
ELEVATIONS

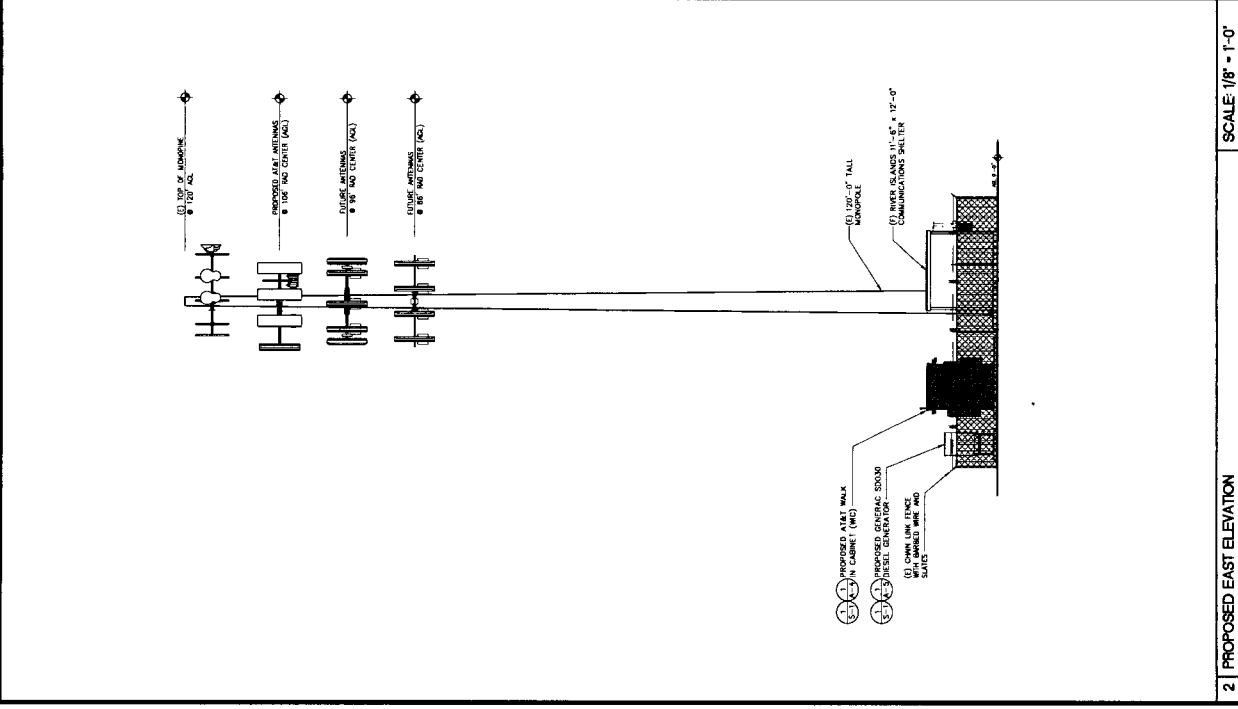
SHEET NUMBER
A-3

JOB # NO



SCALE: 1/8" = 1'-0"

1 | PROPOSED SOUTH ELEVATION



SCALE: 1/8" = 1'-0"

2 | PROPOSED EAST ELEVATION



500 WEST BAYVIEW
SAN RAMON, CA 94583

RIVER ISLANDS
CVL01568
936 STEWART BLVD
WATERLOO, CA 95734



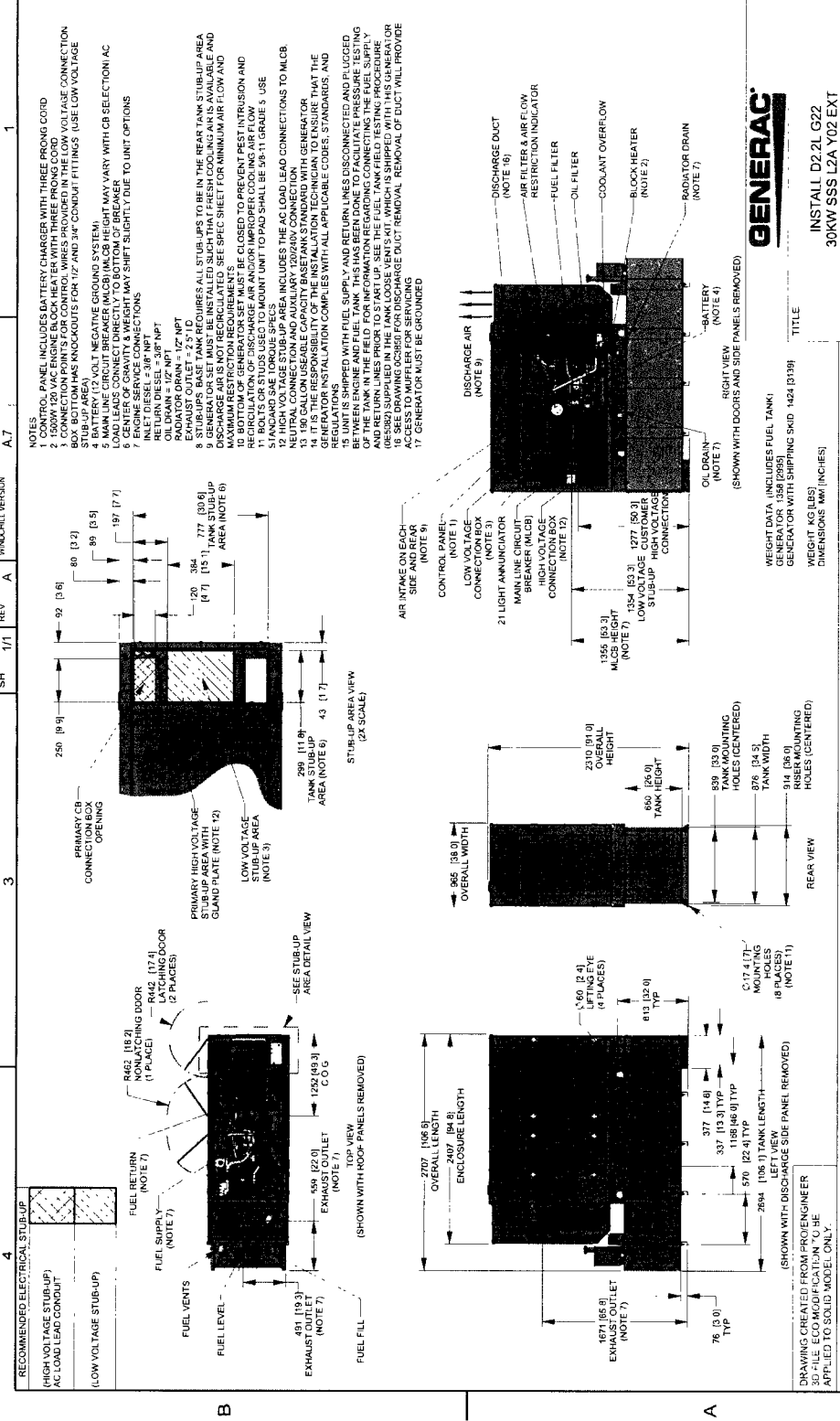
DATE	3-1-80
DESIGNED BY	
CHECKED BY	
DATE	
REVISED BY	
DATE	
REVISED BY	
DATE	
REVISED BY	
DATE	
REVISED BY	

SHEET TITLE

GENERATOR SPECS

A-5

DATE: 8/11/99



INSTALLATION DRAWING

*OPTIONAL 190 GAL BASE TANK (HEIGHT OF UNIT SHALL INCREASE BY 11" WITH SAME WIDTH AND LENGTH)

MT2
TELECOM, LP
1015 S. AIRPORT ROAD
PO BOX 100
RIO VISTA, CA 94571
PHONE (707) 374-5075
FAX (707) 374-0194



5001 EXECUTIVE PARKWAY
SAN RAMON, CA 94583

RIVER ISLANDS
CVL01568
950 STEWART ROAD
(WATER TANK SITE)
LATHROP, CA 95330

STAMP



DRAWN BY: SMAJR
CHECKED BY: OJL
NO. DATE: ISSUE
A 11/15/18 90% CD
B 12/20/18 90% CD GEN. & WC REV
C 01/21/19 100% CD GEN. & WC REV
D 03/12/19 100% CD PIN CHK COMM
E 04/09/19 100% CD PIN CHK COMM
F 09/25/19 100% CD GEN. & WC REV

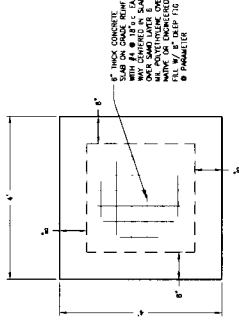
SHEET TITLE

DETAILS

SHEET NUMBER

D-1

JOB # W/D



NOTES:
1/2" EXPANDED JOINT MATERIAL AT
SHELTER/CORNER FOUNDATION (TYP)
STOPS # 10 BE NO MORE THAN 1/2" FROM
CORNER JOINTS. VERIFY AND SUBMIT
PROPER GRADE W/INSTALLER SUPPLIER
AND ROOM FINISH WITH TROWELLED EDGE

SCALE: 3/4" = 1'-0"

2 | STOOP DETAIL

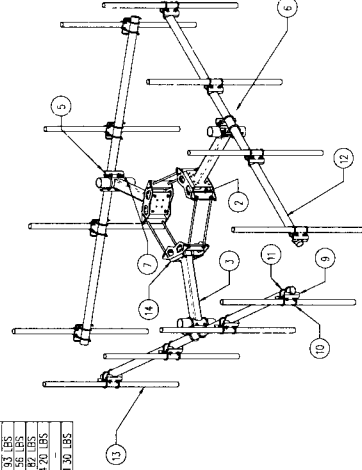
3 | NOT USED

5 | NOT USED

ITEM #	PART NO.	DESCRIPTION	QTY	WEIGHT
1	MC-K12S-12	HARDWARE KIT (NUTS)	12	0.76 LBS
2	MC-K12S-12	5/8" SINGLE SUPPORT ARM (AS2P)	3	65.99 LBS
3	MC-K12S-12	HARDWARE KIT (NUTS & B)	3	1.80 LBS
4	MC-K12S-12	5/8" X 4'-5/8" X 6" GALV. U-BOLT	6	1.43 LBS
5	MC-K12S-12	HARDWARE KIT (NUTS & B)	12	7.92 LBS
6	MC-K12S-12	1 1/2" DIA. GALV. PIPE	12	0.52 LBS
7	MC-K12S-12	1 1/2" X 5'-5/8" X 6" GALV. U-BOLT	24	0.87 LBS
8	MC-K12S-12	2 1/2" DIA. GALV. PIPE	3	94.20 LBS
9	MC-K12S-12	2 1/2" X 3'-0" X 3/8" HARDWARE KIT	1	121.99 LBS

PART LIST FOR USE WITH T-FRAME MC-K12S-12 SERIES

T-FRAME #	PIPE #	DESCRIPTION	QTY	WEIGHT
MC-K12S-12	MT-657	3/8" OD X 1/2" GALV. PIPE	8	86.2 LBS
MC-K12S-12	MT-658	3/8" OD X 3/8" GALV. PIPE	8	86.2 LBS
MC-K12S-12	MT-659	3/8" OD X 1/2" GALV. PIPE	8	86.2 LBS
MC-K12S-12	MT-660	3/8" OD X 3/8" GALV. PIPE	8	86.2 LBS
MC-K12S-12	MT-661	3/8" OD X 1/2" GALV. PIPE	8	86.2 LBS
MC-K12S-12	MT-662	3/8" OD X 3/8" GALV. PIPE	8	86.2 LBS
MC-K12S-12	MT-663	3/8" OD X 1/2" GALV. PIPE	8	86.2 LBS
MC-K12S-12	MT-664	3/8" OD X 3/8" GALV. PIPE	8	86.2 LBS



SCALE: 3/4" = 1'-0"

1 | COMSCOPE MC-K12S-12-96 T-ARM TOWER KIT OR EQUAL

4 | NOT USED

MT2 TELECOM, LP
1015 S. AIRPORT ROAD
PO BOX 100
RIO VISTA, CA 94571
PHONE (707) 374-5075
FAX (707) 374-0194

PROJECT: 1/24 03/12/19
DRAWN: SMAJR
CHECKED: OJL
DATE: 03/12/19

MC-K12S-12 SERIES
1 1/2" DIA. GALV. PIPE
1 1/2" X 5'-5/8" X 6" GALV. U-BOLT
2 1/2" DIA. GALV. PIPE
2 1/2" X 3'-0" X 3/8" HARDWARE KIT

GRAND PRAIRIE, IL 60142
ZACHRY GROUP, U.S.A.

MT2
TELECOM, LP
1015-B AIRPORT ROAD
RIVER WOODS, CA 94571
PHONE (925) 374-5075
FAX (925) 374-0134

at&t
8001 EXECUTIVE PARKWAY
SANTA MONICA, CA 90405

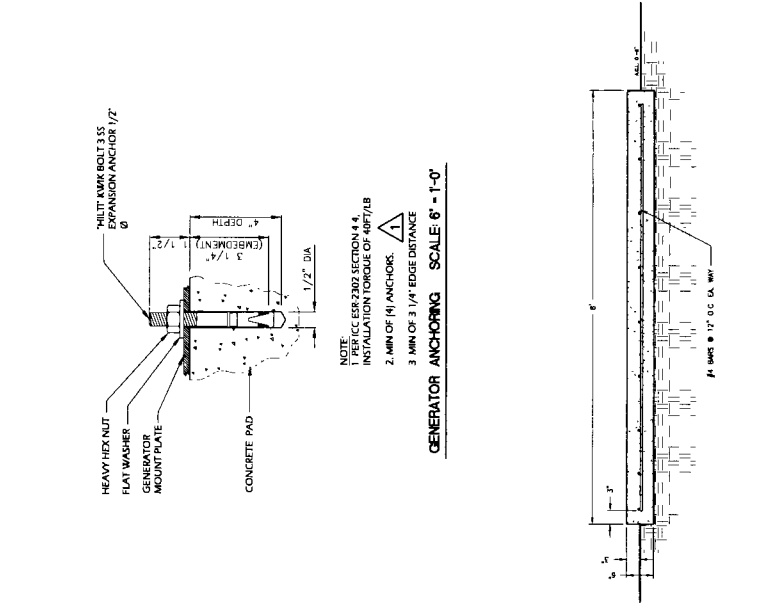
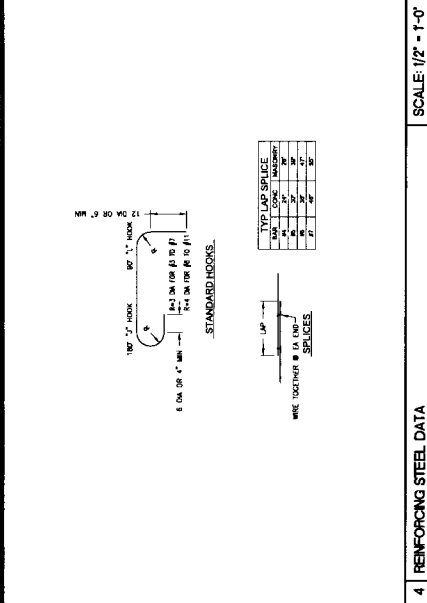
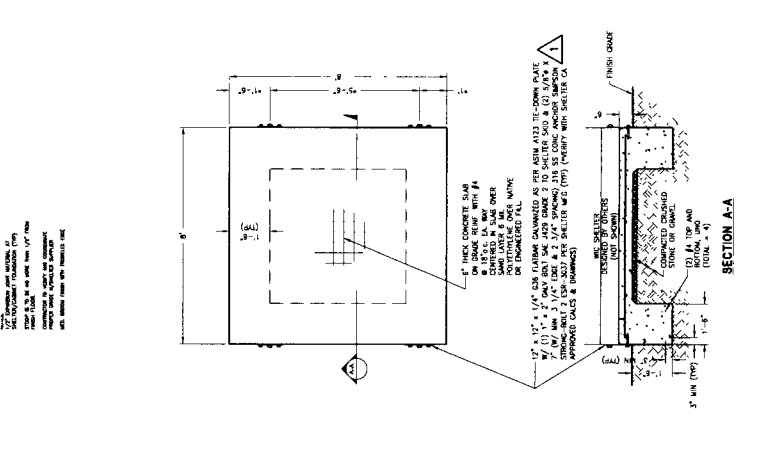
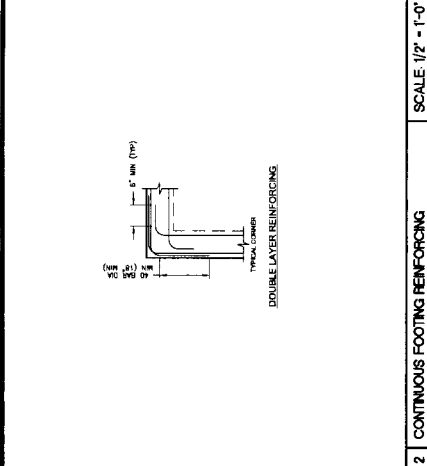
RIVER ISLANDS
CVL01568
950 STEWART ROAD
(WATER TANK SITE)
LAHOP, CA 95330



STAMP

DRAWN BY	SMUR
CHECKED BY	CL
NO. DATE	ISSUE
1 11.15.18	90% C.A.
2 12.20.18	90% C.D. GEN. & WC REV.
3 12.21.18	100% C.D. GEN. & WC REV.
4 03.12.19	100% C.D. P.L. C.M. COMM.
5 04.09.19	100% C.D. P.L. C.M. P.I.N.C.
6 09.25.19	100% C.D. GEN. REV.

SHEET TITLE
STRUCTURAL DETAILS
SHEET NUMBER
S-1
JOB # NO



6 NOT USED SCALE

4 REINFORCING STEEL DATA SCALE: 1/2" = 1'-0"

2 CONTINUOUS FOOTING REINFORCING SCALE: 1/2" = 1'-0"

3 GENERATOR CONCRETE PAD AND ANCHORING SCALE: 6" = 1'-0"

1 SLAB ON GRADE FOUNDATION - PLAN SCALE: 1/2" = 1'-0"

5 STRUCTURAL NOTES

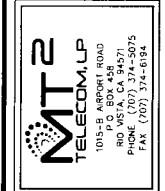
1. ALL STRUCTURAL NOTES SHALL CONFORM TO THE SPECIFICATIONS AND STANDARDS OF THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION, INC. (AISC) 13TH EDITION, 2005, AND THE AMERICAN CONCRETE INSTITUTE (ACI) 308R-02, 2002, AND THE AMERICAN IRON AND STEEL INSTITUTE (AISI) 1015-01, 2001.

2. ALL STRUCTURAL NOTES SHALL CONFORM TO THE SPECIFICATIONS AND STANDARDS OF THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION, INC. (AISC) 13TH EDITION, 2005, AND THE AMERICAN CONCRETE INSTITUTE (ACI) 308R-02, 2002, AND THE AMERICAN IRON AND STEEL INSTITUTE (AISI) 1015-01, 2001.

3. ALL STRUCTURAL NOTES SHALL CONFORM TO THE SPECIFICATIONS AND STANDARDS OF THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION, INC. (AISC) 13TH EDITION, 2005, AND THE AMERICAN CONCRETE INSTITUTE (ACI) 308R-02, 2002, AND THE AMERICAN IRON AND STEEL INSTITUTE (AISI) 1015-01, 2001.

4. ALL STRUCTURAL NOTES SHALL CONFORM TO THE SPECIFICATIONS AND STANDARDS OF THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION, INC. (AISC) 13TH EDITION, 2005, AND THE AMERICAN CONCRETE INSTITUTE (ACI) 308R-02, 2002, AND THE AMERICAN IRON AND STEEL INSTITUTE (AISI) 1015-01, 2001.

5. ALL STRUCTURAL NOTES SHALL CONFORM TO THE SPECIFICATIONS AND STANDARDS OF THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION, INC. (AISC) 13TH EDITION, 2005, AND THE AMERICAN CONCRETE INSTITUTE (ACI) 308R-02, 2002, AND THE AMERICAN IRON AND STEEL INSTITUTE (AISI) 1015-01, 2001.



RIVER ISLANDS
 CVL01568
 950 STEWART ROAD
 (WATER TANK SITE)
 LAITHROP, CA 95330

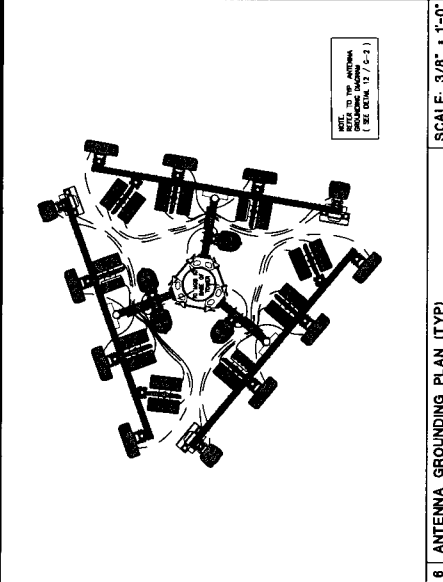
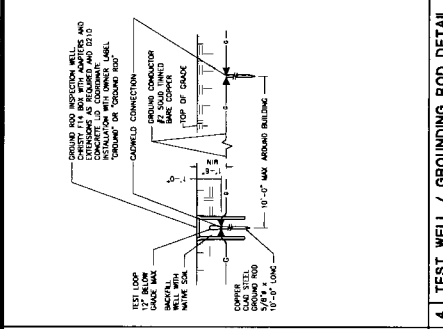
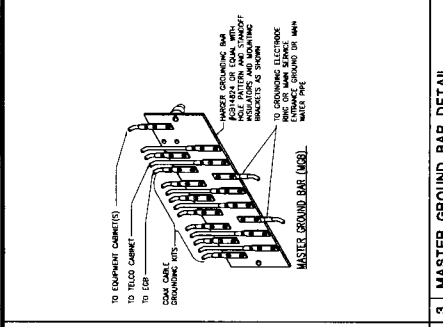


NO.	DATE	ISSUE
A	11-15-18	90% CD
B	12-20-18	100% CD GEN & WC REV
C	12-21-18	100% CD GEN & WC REV
1	03-17-19	100% CD P.N. CHK COMM
2	04-08-19	100% CD P.N. CHK P.L.N.G.
3	09-25-19	100% CD GEN. REC'D REV

GROUNDING SITE PLAN + DETAILS

SHEET NUMBER: **G-1**

SYMBOL	DESCRIPTION
(Symbol)	EXISTING WELD (DOWEL/PERMILLED)
(Symbol)	PROPOSED WELD (DOWEL/PERMILLED)
(Symbol)	EXISTING CONDUIT
(Symbol)	PROPOSED CONDUIT
(Symbol)	EXISTING WIRE
(Symbol)	PROPOSED WIRE
(Symbol)	MECHANICAL CONNECTION
(Symbol)	INSPECTION WELL



2 GROUNDING LEGEND

1. ALL DETAILS ARE SHOWN IN GENERAL TERMS. ACTUAL GROUNDING INSTALLATION AND CONSTRUCTION MAY VARY DUE TO SITE SPECIFIC CONDITIONS.
2. ALL GROUNDING CONDUCTORS SHALL BE #2 AWG SOLID BARE TINED COPPER.
3. ALL GROUNDING CONDUCTORS SHALL BE #2 AWG SOLID BARE TINED COPPER.
4. GROUNDING SYSTEM MUST BE INDEPENDENTLY TESTED AND SHALL HAVE A RESISTANCE OF 5 OHMS OR LESS. SUBMIT AN INDEPENDENT TAIL OF POTENTIAL TESTING REPORT.
5. HAZY PROJECT MANAGER IF THERE ARE ANY RETIQUILES.
6. ALL GROUNDING CONDUCTORS SHALL BE INSTALLED IN A CONDUIT WITH A MINIMUM OF 2\"/>

3 MASTER GROUND BAR DETAIL

TO GROUNDING ELECTRODE SYSTEM (G.E.S.) AS SHOWN IN THE SITE PLAN.

EXISTING CONDUIT RUN TO GROUNDING ELECTRODE SYSTEM (G.E.S.)

PROPOSED CONDUIT RUN TO GROUNDING ELECTRODE SYSTEM (G.E.S.)

EXISTING GROUND BARS

PROPOSED GROUND BARS

EXISTING GROUNDING CONDUCTORS

PROPOSED GROUNDING CONDUCTORS

EXISTING CONNECTION TO FENCE POST

4 TEST WELL / GROUNDING ROD DETAIL

10\"/>

5 GROUNDING NOTES

1. ALL DETAILS ARE SHOWN IN GENERAL TERMS. ACTUAL GROUNDING INSTALLATION REQUIREMENTS AND CONSTRUCTION ACCORDING TO SITE CONDITIONS.
2. ALL GROUNDING CONDUCTORS #2 AWG SOLID BARE TINED COPPER WIRE UNLESS OTHERWISE NOTED.
3. GROUNDING BARS LOCATED IN BASE OF EQUIPMENT WILL BE PROVIDED, FINISHED AND INSTALLED BY THE VENDOR.
4. ALL BELOW GRADE CONNECTIONS EXOTHERMIC WELD TYPE.
5. GROUNDING BARS SHALL BE LOCATED A MINIMUM OF 24\"/>

6 ANTENNA GROUNDING PLAN (TYP)

SCALE: 3/8\"/>

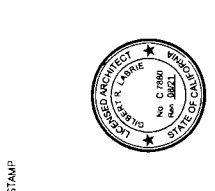


7 GROUNDING GENERAL NOTES

1. ALL GROUNDING CONDUCTORS SHALL BE #2 AWG SOLID BARE TINED COPPER.
2. ALL GROUNDING CONDUCTORS SHALL BE INSTALLED IN A CONDUIT WITH A MINIMUM OF 2\"/>



RIVER ISLANDS
CVL01568
950 STEWART ROAD
(WATER TANK SITE)
LATHROP, CA 95330



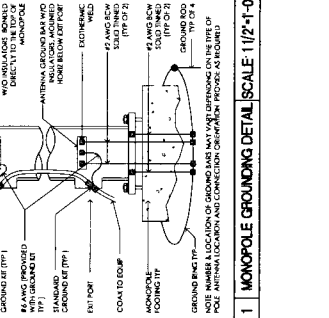
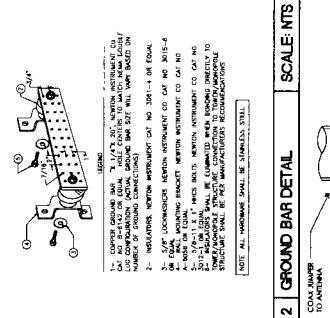
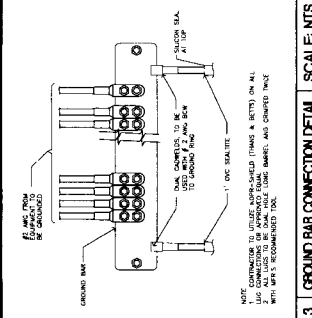
STAMP

DRAWN BY	SMUR	
CHECKED BY	CL	
NO.	DATE	ISSUE
A	11.19.18	50% CD
B	12.20.18	100% CD, GEN. & WC REV
C	12.21.18	100% CD, GEN. & WC REV
1	03.12.19	100% CD, P.L.N. CHG COMM
2	04.09.19	100% CD, P.L.N. CHG COMM
3	09.25.19	100% CD, GEN. BCL REV

SHEET TITLE
GROUNDING DETAILS + NOTES

SHEET NUMBER
G-2

JOB # NO



SYMBOL

⊕	GROUNDING LEGEND	DESCRIPTION
⊕	⊕	6 AWG STRANDED COPPER CABLE STEEL
⊕	⊕	EXTRINSIC WELD (CABLE/ROD/ANCHOR)
⊕	⊕	SECONDARY ON-SHAFT
⊕	⊕	SOIL
⊕	⊕	6 AWG STRANDED COPPER CABLE
⊕	⊕	MECHANICAL CONNECTION
⊕	⊕	INSPECTION WELL

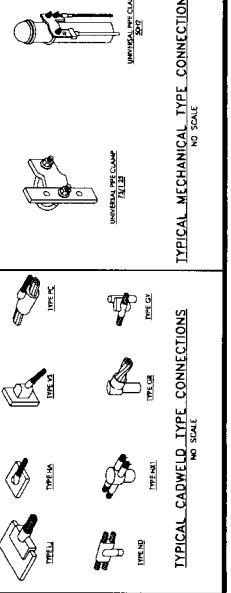
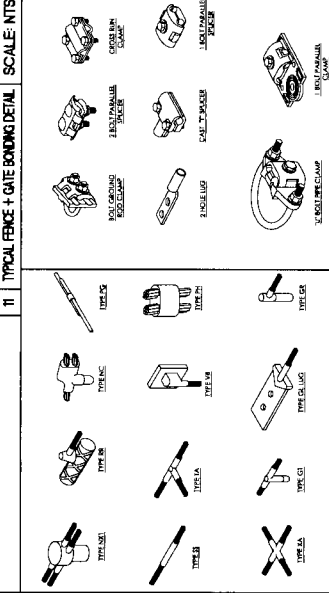
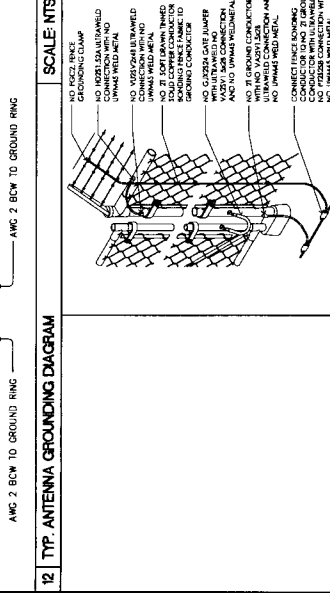
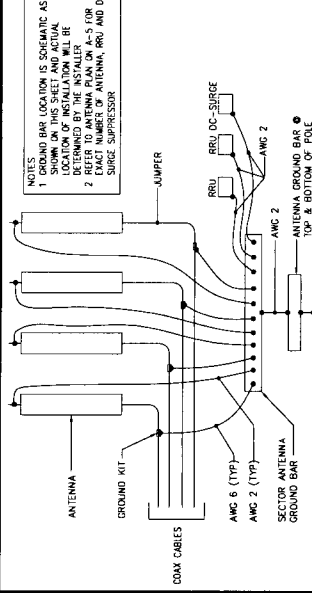
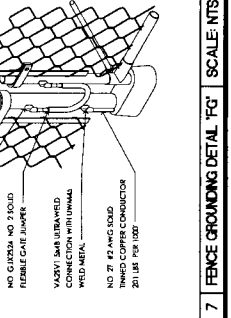
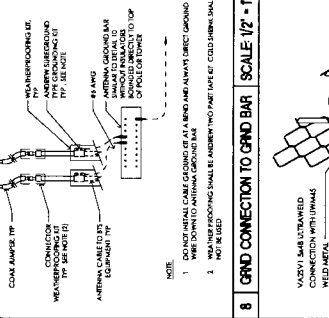
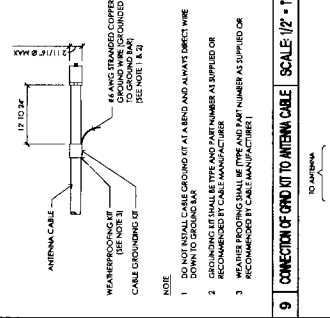
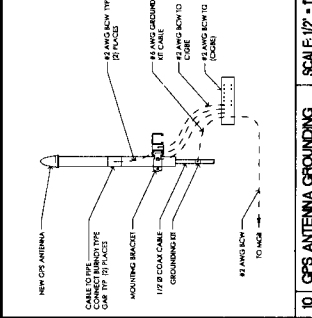
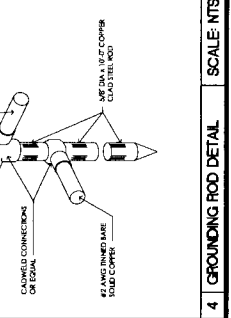
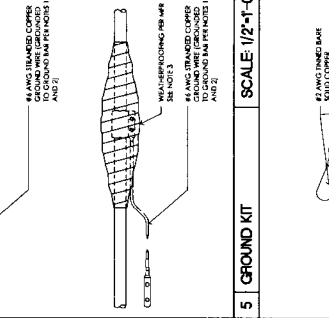
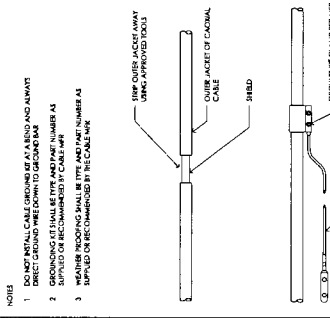
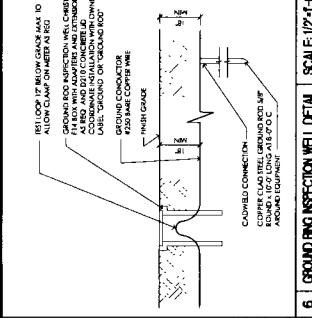


EXHIBIT 11

ENVIRONMENTAL DISCLOSURE

Landlord represents and warrants that the Property, as of the Effective Date of this Agreement, is free of hazardous substances except as follows:

1. NONE.

EXHIBIT 12
STANDARD ACCESS LETTER
[FOLLOWS ON NEXT PAGE]

[Landlord Letterhead]

DATE

Building Staff / Security Staff
Landlord, Lessee, Licensee
Street Address
City, State, Zip

Re: Authorized Access granted to New Cingular Wireless PCS, LLC ("AT&T")

Dear Building and Security Staff,

Please be advised that we have signed a lease with AT&T permitting AT&T to install, operate and maintain telecommunications equipment at the property. The terms of the lease grant AT&T and its representatives, employees, agents and subcontractors ("representatives") 24 hour per day, 7 day per week access to the leased area.

To avoid impact on telephone service during the day, AT&T representatives may be seeking access to the property outside of normal business hours. AT&T representatives have been instructed to keep noise levels at a minimum during their visit.

Please grant the bearer of a copy of this letter access to the property and to leased area. Thank you for your assistance.

Landlord Signature

EXHIBIT 24(b)
MEMORANDUM OF LEASE
[FOLLOWS ON NEXT PAGE]

**Recording Requested By
& When Recorded Return To:**

New Cingular Wireless PCS, LLC
Attn: Tower Asset Group – Lease Administration
1025 Lenox Park Boulevard NE, 3rd Floor
Atlanta, GA 30319

APN: 210-210-01

(Space Above This Line For Recorder's Use Only)

Cell Site No.: CVL01568
Search Ring Name: River Islands
Cell Site Name: River Islands (CA)
Fixed Asset No.: 14356021
State: California
County: **San Joaquin**

**MEMORANDUM
OF
LEASE**

This Memorandum of Lease is entered into on _____, 2019, by and between the City of Lathrop, a California municipal corporation, having a mailing address of 390 Towne Centre Drive, Lathrop, CA 95330 ("**Landlord**"), and New Cingular Wireless PCS, LLC, a Delaware limited liability company, having a mailing address of 1025 Lenox Park Boulevard NE, 3rd Floor, Atlanta, GA 30319 ("**Tenant**").

1. Landlord and Tenant entered into a certain Option and Tower Lease Agreement dated as of _____, 2019 ("**Agreement**"), for the purpose of installing, operating and maintaining a communication facility and other improvements. All of the foregoing is set forth in the Agreement.
2. The initial lease term will be five (5) years commencing on the effective date of written notification by Tenant to Landlord of Tenant's exercise of its option, with four (4) successive automatic five (5) year options to renew.
3. The portion of the land being leased to Tenant and associated easements are described in **Exhibit 1** annexed hereto.
4. The Agreement gives Tenant a right of first refusal in the event Landlord receives a bona fide written offer from a third party seeking an assignment or transfer of the Rent payments associated with the Agreement.
5. This Memorandum of Lease is not intended to amend or modify, and shall not be deemed or construed as amending or modifying, any of the terms, conditions or provisions of the Agreement, all of which are hereby ratified and affirmed. In the event of a conflict between the provisions of this Memorandum of Lease and the provisions of the Agreement, the provisions of the Agreement shall control. The Agreement shall be binding upon and inure to the benefit of the parties and their respective heirs, successors, and assigns, subject to the provisions of the Agreement.

IN WITNESS WHEREOF, the parties have executed this Memorandum of Lease as of the day and year first above written.

LANDLORD:

City of Lathrop,
a California municipal corporation

By: _____

Name: _____

Its: _____

Date: _____

By: _____

Name: _____

Its: _____

Date: _____

TENANT:

New Cingular Wireless PCS, LLC,
a Delaware limited liability company

By: AT&T Mobility Corporation

Its: Manager

By: _____

Name: _____

Its: _____

Date: _____

[ACKNOWLEDGMENTS APPEAR ON FOLLOWING THREE (3) PAGES]

LANDLORD ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of _____)

On _____ before me, _____,
(insert name and title of the officer)

personally appeared _____,
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature _____ (Seal)

LANDLORD ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of _____)

On _____ before me, _____,
(insert name and title of the officer)

personally appeared _____,
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature _____ (Seal)

TENANT ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of _____)

On _____ before me, _____,
(insert name and title of the officer)

personally appeared _____,
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature _____

(Seal)

EXHIBIT 1

**TO MEMORANDUM OF LEASE
DESCRIPTION OF PROPERTY AND PREMISES**

Page 1 of 2

to the Memorandum of Lease dated _____, 2019, by and between, the City of Lathrop, a California municipal corporation, as Landlord, and New Cingular Wireless PCS, LLC, a Delaware limited liability company, as Tenant.

The Property is legally described as follows:

**LEGAL DESCRIPTION COMMUNICATION SITE RIVER
ISLANDS LATHROP, CALIFORNIA**

CERTAIN REAL PROPERTY SITUATE IN THE CITY OF LATHROP, COUNTY OF SAN JOAQUIN, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

BEING A PORTION OF PARCEL 1, AS SAID PARCEL IS SHOWN ON THE MAP ENTITLED "TRACT 3876, RIVER ISLANDS, PHASE 1B, LARGE LOT FINAL MAP", FILED MARCH 31, 2016, IN BOOK 42 OF MAPS AND PLATS, AT PAGE 56, OFFICIAL RECORDS OF SAN JOAQUIN COUNTY, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE EAST LINE OF J7 COURT, AS SAID COURT IS DESCRIBED IN DOCUMENT NO. 2020- , OFFICIAL RECORDS OF SAN JOAQUIN COUNTY;

THENCE ALONG SAID EAST LINE, ALONG A CURVE TO THE LEFT, HAVING A RADIUS OF 56.00 FEET, FROM WHICH POINT THE RADIUS POINT BEARS SOUTH 50°36'58" WEST, THROUGH A CENTRAL ANGLE OF 05°11'29", AN ARC DISTANCE OF 5.07 FEET;

THENCE, ALONG A REVERSE CURVE, HAVING A RADIUS OF 17.00 FEET, THROUGH A CENTRAL ANGLE OF 44°34'31", AN ARC DISTANCE OF 13.23 FEET;

THENCE, NORTH 24.30 FEET;

THENCE, LEAVING SAID EAST LINE, EAST 90.00 FEET;

THENCE, SOUTH 40.00 FEET;

THENCE, WEST 81.72 FEET TO SAID POINT OF BEGINNING.

CONTAINING 3,557 SQUARE FEET, MORE OR LESS.

ATTACHED HERETO IS A PLAT TO ACCOMPANY LEGAL DESCRIPTION, AND BY THIS REFERENCE MADE A PART HEREOF.

END OF DESCRIPTION

The Premises are described and/or depicted as follows:

[One (1) Page Depiction of the Premises Suitable for Recording in San Joaquin County Appears on Following Page]

EXHIBIT 24(k)

IRS FORM W-9 & CA FTB FORM 590

Page 1 of 3

[IRS FORM W-9 (REVISED OCTOBER 2018) & 2019 CA FTB FORM 590
APPEAR ON FOLLOWING TWO (2) PAGES]

**Request for Taxpayer
Identification Number and Certification**

Give Form to the
requester. Do not
send to the IRS.

► Go to www.irs.gov/FormW9 for instructions and the latest information.

1 Name (as shown on your income tax return). Name is required on this line; do not leave this line blank.

2 Business name/disregarded entity name, if different from above

3 Check appropriate box for federal tax classification of the person whose name is entered on line 1. Check only **one** of the following seven boxes

<input type="checkbox"/> Individual/sole proprietor or single-member LLC	<input type="checkbox"/> C Corporation	<input type="checkbox"/> S Corporation	<input type="checkbox"/> Partnership	<input type="checkbox"/> Trust/estate
<input type="checkbox"/> Limited liability company. Enter the tax classification (C=C corporation, S=S corporation, P=Partnership) ► _____				
<input type="checkbox"/> Other (see instructions) ► _____				

4 Exemptions (codes apply only to certain entities, not individuals; see instructions on page 3):

Exempt payee code (if any) _____

Exemption from FATCA reporting code (if any) _____

5 Address (number, street, and apt. or suite no.) See instructions.

6 City, state, and ZIP code

7 List account number(s) here (optional)

Requester's name and address (optional)

Part I Taxpayer Identification Number (TIN)

Enter your TIN in the appropriate box. The TIN provided must match the name given on line 1 to avoid backup withholding. For individuals, this is generally your social security number (SSN). However, for a resident alien, sole proprietor, or disregarded entity, see the instructions for Part I, later. For other entities, it is your employer identification number (EIN). If you do not have a number, see *How to get a TIN*, later.

Note: If the account is in more than one name, see the instructions for line 1. Also see *What Name and Number To Give the Requester* for guidelines on whose number to enter.

Social security number								
				-				
or								
Employer identification number								
				-				

Part II Certification

Under penalties of perjury, I certify that:

- The number shown on this form is my correct taxpayer identification number (or I am waiting for a number to be issued to me); and
- I am not subject to backup withholding because: (a) I am exempt from backup withholding, or (b) I have not been notified by the Internal Revenue Service (IRS) that I am subject to backup withholding as a result of a failure to report all interest or dividends, or (c) the IRS has notified me that I am no longer subject to backup withholding; and
- I am a U.S. citizen or other U.S. person (defined below); and
- The FATCA code(s) entered on this form (if any) indicating that I am exempt from FATCA reporting is correct.

Certification instructions. You must cross out item 2 above if you have been notified by the IRS that you are currently subject to backup withholding because you have failed to report all interest and dividends on your tax return. For real estate transactions, item 2 does not apply. For mortgage interest paid, acquisition or abandonment of secured property, cancellation of debt, contributions to an individual retirement arrangement (IRA), and generally, payments other than interest and dividends, you are not required to sign the certification, but you must provide your correct TIN. See the instructions for Part II, later.

Sign Here	Signature of U.S. person ►	Date ►
------------------	----------------------------	--------

General Instructions

Section references are to the Internal Revenue Code unless otherwise noted.

Future developments. For the latest information about developments related to Form W-9 and its instructions, such as legislation enacted after they were published, go to www.irs.gov/FormW9.

Purpose of Form

An individual or entity (Form W-9 requester) who is required to file an information return with the IRS must obtain your correct taxpayer identification number (TIN) which may be your social security number (SSN), individual taxpayer identification number (ITIN), adoption taxpayer identification number (ATIN), or employer identification number (EIN), to report on an information return the amount paid to you, or other amount reportable on an information return. Examples of information returns include, but are not limited to, the following:

- Form 1099-DIV (dividends, including those from stocks or mutual funds)
- Form 1099-MISC (various types of income, prizes, awards, or gross proceeds)
- Form 1099-B (stock or mutual fund sales and certain other transactions by brokers)
- Form 1099-S (proceeds from real estate transactions)
- Form 1099-K (merchant card and third party network transactions)
- Form 1098 (home mortgage interest), 1098-E (student loan interest), 1098-T (tuition)
- Form 1099-C (canceled debt)
- Form 1099-A (acquisition or abandonment of secured property)

Use Form W-9 only if you are a U.S. person (including a resident alien), to provide your correct TIN.

If you do not return Form W-9 to the requester with a TIN, you might be subject to backup withholding. See *What is backup withholding, later*.

2019 Withholding Exemption Certificate

590

The payee completes this form and submits it to the withholding agent. The withholding agent keeps this form with their records.

Withholding Agent Information

Name _____

Payee Information

Name _____ SSN or ITIN EIN CA Corp no. CA 506 No no.

Address (apt., ste., room, PO box, or PMB no.) _____

City (if you have a foreign address, see instructions) _____ State _____ ZIP code _____

Exemption Reason

Check only one box.

By checking the appropriate box below, the payee certifies the reason for the exemption from the California income tax withholding requirements on payment(s) made to the entity or individual.

- Individuals — Certification of Residency:**
I am a resident of California and I reside at the address shown above. If I become a nonresident at any time, I will promptly notify the withholding agent. See instructions for General Information D, Definitions.
- Corporations:**
The corporation has a permanent place of business in California at the address shown above or is qualified through the California Secretary of State (SOS) to do business in California. The corporation will file a California tax return. If this corporation ceases to have a permanent place of business in California or ceases to do any of the above, I will promptly notify the withholding agent. See instructions for General Information D, Definitions.
- Partnerships or Limited Liability Companies (LLCs):**
The partnership or LLC has a permanent place of business in California at the address shown above or is registered with the California SOS, and is subject to the laws of California. The partnership or LLC will file a California tax return. If the partnership or LLC ceases to do any of the above, I will promptly inform the withholding agent. For withholding purposes, a limited liability partnership (LLP) is treated like any other partnership.
- Tax-Exempt Entities:**
The entity is exempt from tax under California Revenue and Taxation Code (R&TC) Section 23701 (insert letter) or Internal Revenue Code Section 501(c) (insert number). If this entity ceases to be exempt from tax, I will promptly notify the withholding agent. Individuals cannot be tax-exempt entities.
- Insurance Companies, Individual Retirement Arrangements (IRAs), or Qualified Pension/Profit-Sharing Plans:**
The entity is an insurance company, IRA, or a federally qualified pension or profit-sharing plan.
- California Trusts:**
At least one trustee and one noncontingent beneficiary of the above-named trust is a California resident. The trust will file a California fiduciary tax return. If the trustee or noncontingent beneficiary becomes a nonresident at any time, I will promptly notify the withholding agent.
- Estates — Certification of Residency of Deceased Person:**
I am the executor of the above-named person's estate or trust. The decedent was a California resident at the time of death. The estate will file a California fiduciary tax return.
- Nonmilitary Spouse of a Military Servicemember:**
I am a nonmilitary spouse of a military servicemember and I meet the Military Spouse Residency Relief Act (MSRRA) requirements. See instructions for General Information E, MSRRA.

CERTIFICATE OF PAYEE: Payee must complete and sign below.

To learn about your privacy rights, how we may use your information, and the consequences for not providing the requested information, go to ftb.ca.gov/forms and search for 1131. To request this notice by mail, call 800.852.5711.

Under penalties of perjury, I declare that I have examined the information on this form, including accompanying schedules and statements, and to the best of my knowledge and belief, it is true, correct, and complete. I further declare under penalties of perjury that if the facts upon which this form are based change, I will promptly notify the withholding agent.

Type or print payee's name and title _____ Telephone () _____

Payee's signature ► _____ Date _____

GOLDEN VALLEY PARKWAY

FUTURE
EMPLOYMENT
CENTER

J7 STREET

WATER TANK SITE
SEE PLANS BY OTHERS

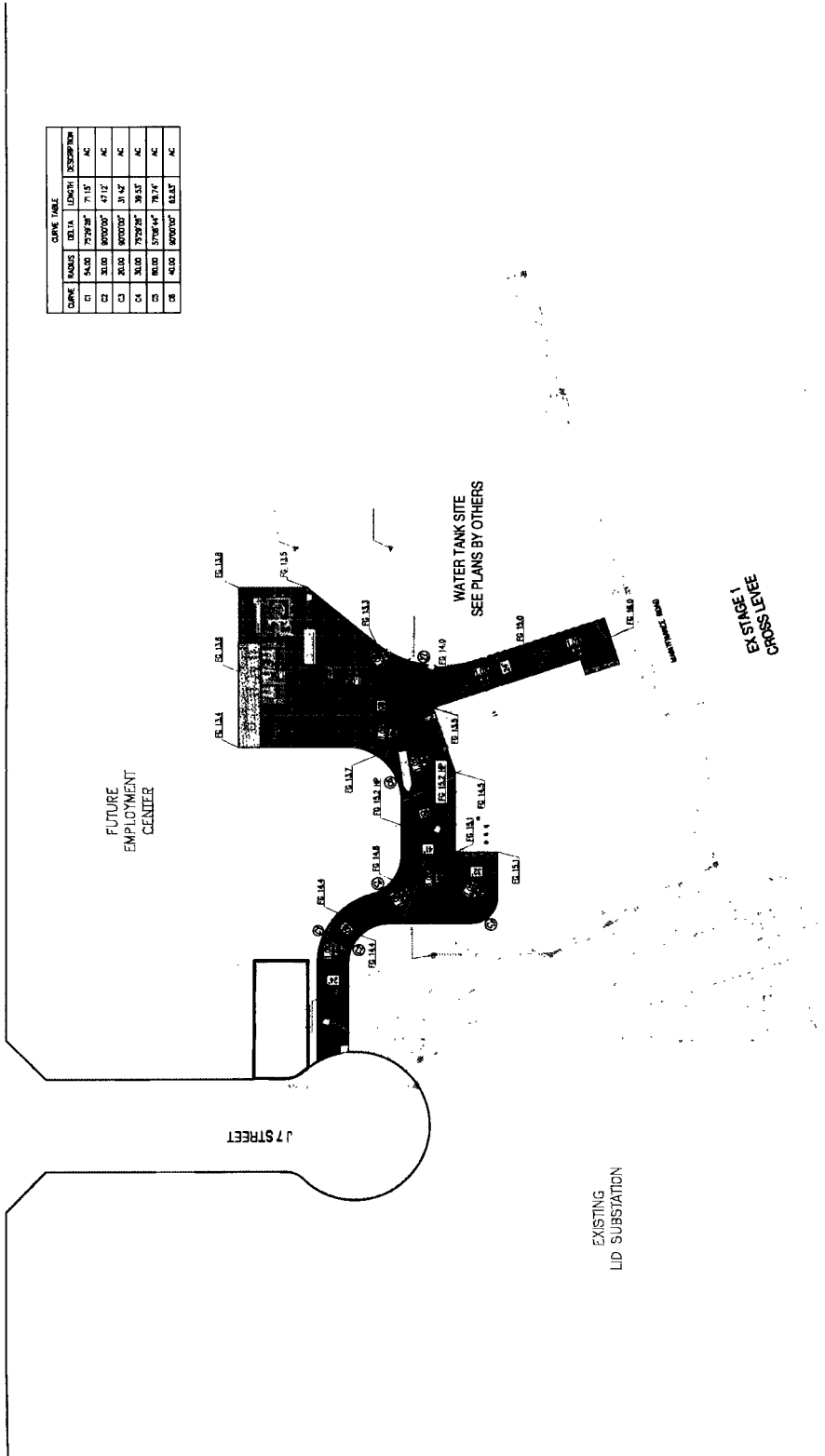
EXISTING
LID SUBSTATION

EXISTING
CROSS-LEVEE

CURVE	RADIUS	DELTA	LENGTH	DESCRIPTION
C1	54.00	75°29'58"	71.15'	AC
C2	30.00	80°00'00"	47.12'	AC
C3	30.00	80°00'00"	31.42'	AC
C4	30.00	75°29'58"	38.35'	AC
C5	80.00	57°08'44"	78.74'	AC
C6	40.00	80°00'00"	63.83'	AC

LEGEND

- 6" CONCRETE
- 3" AC / 1" AS



FINAL WATER TANK SITE
GRADING REVISION EXHIBIT
RIVER ISLANDS

CITY OF LATHROP | SAN JOAQUIN COUNTY | CALIFORNIA
DATE: OCTOBER 02, 2019

O'DELL
ENGINEERING
6200 Stonewood Mall Road, Suite 330
Pleasanton, CA 94588
PH: 925.224.8940 | odelldesign.com

* 1992-2008 SURVEY DATA IS FROM THE SAN JOAQUIN COUNTY RECORDS DEPARTMENT. THE DATA IS PROVIDED AS IS AND IS NOT TO BE USED FOR ANY OTHER PURPOSES.

ITEM 5.1

CITY MANAGER'S REPORT JUNE 8, 2020 CITY COUNCIL REGULAR MEETING

ITEM: PUBLIC HEARING (PUBLISHED NOTICE) TO CONSIDER ADOPTION OF THE CITY OF LATHROP 2020 SOUTH LATHROP SPECIFIC PLAN (SLSP) AND LATHROP GATEWAY BUSINESS PARK SPECIFIC PLAN (LGBPSP) CAPITAL FACILITIES FEES STUDY UPDATE AND THE FEES RECOMMENDED THEREIN

RECOMMENDATION: Council to Consider the Following:

1. Hold a Public Hearing; and
2. Adopt a Resolution Adopting the City of Lathrop 2020 South Lathrop Specific Plan (SLSP) and Lathrop Gateway Business Park Specific Plan (LGBPSP) Capital Facilities Fees Study Update and the Fees Recommended Therein

SUMMARY:

Capital Facilities Fees (CFF) are necessary to provide a source of revenue by which new development within the City will contribute a fair and proportionate share of the cost of providing infrastructure and community facilities. The types of projects that are funded through CFFs include major street/road construction, freeway interchange improvements, water tanks, pump stations, outfall structures, new public buildings, and others.

The City retained Goodwin Consulting Group (GCG) to assist in updating the City's CFF program for the South Lathrop Specific Plan (SLSP) and the Lathrop Gateway Business Park Specific Plan (LGBPSP) areas. GCG prepared the 2020 South Lathrop Specific Plan and Lathrop Gateway Business Park Specific Plan Capital Facilities Fees Study Update (2020 Fee Study) that recommends updating transportation, water system, sewer system, storm drainage and storm drain regional outfall fees for SLSP and transportation, water system, and storm drain regional outfall fees for LGBPSP. The purpose of the update is to replace the estimated facility construction costs that support the fees in the 2019 SLSP CFF Fee Study and the 2019 LGBPSP CFF Fee Study with the actual costs of the facilities that have been constructed to date in accordance with the reimbursement agreements between the City and South Lathrop Land, LLC. The actual facility construction costs have been verified and approved by staff.

Staff requests that City Council hold a public hearing, consider all information and public testimony and, if determined to be appropriate, adopt a resolution approving the 2020 SLSP and LGBPSP Capital Facilities Fees Study Update and the fees recommended therein.

BACKGROUND:

The City of Lathrop has prepared numerous planning documents and is constructing and/or acquiring various infrastructure improvements to accommodate the service needs of both existing and anticipated residents and businesses. A variety of financing vehicles have been utilized to pay for needed infrastructure and community amenities. One of the primary financing vehicles is CFFs. The State of California Mitigation Fee Act (also known as "AB 1600," Government Code sections 66000, et seq.) identifies the required findings which must be made by the City in any action establishing, increasing, or imposing a development impact fee as a condition of approval of a development project, as described in the 2020 Fee Study being considered for approval.

On October 14, 2019, City Council adopted the 2019 SLSP CFF Study and the 2019 LGBPSP CFF Study that provided an update to the City's CFF program for the SLSP area and established a fee program for the LGBPSP area.

In April 2020, the City contracted with GCG to update the City's CFF program for the SLSP and LGBPSP areas. GCG prepared the 2020 South Lathrop Specific Plan and Lathrop Gateway Business Park Specific Plan Capital Facilities Fees Study Update, included as Attachment B, that recommends updating transportation, water system, sewer system, storm drainage and storm drain regional outfall fees for SLSP and transportation, water system, and storm drain regional outfall fees for LGBPSP. The purpose of the update is to replace the estimated facility construction costs that support the fees in the 2019 SLSP CFF Fee Study and the 2019 LGBPSP CFF Fee Study with the actual costs of the facilities that have been constructed to date. The actual facility construction costs have been verified and approved by staff.

SLSP AREA

The South Lathrop Specific Plan area is a 315-acre development in the southeast portion of the City located south of State Route 120, north and west of the Union Pacific Railroad, and east of the San Joaquin River (Attachment C). The SLSP consists of mainly employment-generating land uses. Approximately 246 acres are zoned Light Industrial and Warehouse development and 10 acres Commercial Office development. The remaining 59 acres include open space, public and quasi-public land, the San Joaquin River, and roadways.

The 2020 Fee Study recommends updating SLSP fees, based on actual costs, for the following facilities:

- Transportation
- Water Line
- Sewer System
- Storm Drainage
- Regional Outfall Structure
- City Administration Fee (3% of other fee rates)

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 SLSP AND LGBPSP CAPITAL FACILITIES FEES UPDATE**

The following table shows the change in SLSP facilities costs as presented in the 2019 SLSP CFF Study compared to the 2020 Fee Study.

2020 SLSP Costs vs. 2019 Costs

Facility Type	2020 SLSP Cost	2019 SLSP Cost	Cost Difference	Percent Difference
Transportation	\$7,939,723	\$7,838,217	\$101,505	1.3%
Water System	\$2,484,162	\$2,634,266	(\$150,105)	-5.7%
Sewer System	\$5,071,260	\$4,481,941	\$589,319	13.1%
Storm Drainage	\$15,914,114	\$13,421,118	\$2,492,996	18.6%
Regional Outfall Structure	\$1,218,816	\$1,177,971	\$40,845	3.5%
Total	\$32,628,074	\$29,553,514	\$3,074,560	10.4%

The total 2020 actual water system cost decreases by approximately 6% compared to the 2019 estimated cost. However, the 2020 sewer system and storm drainage facilities costs increase by approximately 13% and 19%, respectively, over the 2019 estimated costs. Overall the total actual cost to be funded through the SLSP fee program increases by approximately 10.4%, or about \$3.1 million, over the 2019 costs. The storm drainage facility cost increases by the greatest amount by approximately \$2.5 million.

Transportation CFF

Transportation facilities for the SLSP include their fair share of construction of interchanges at SR 120 and Yosemite Avenue and at I-5 and Lathrop Road, roadway sections, intersections, railroad crossing improvements, and ramp improvements on Yosemite, Louise, McKinley Avenues, and Airport Way. Improvements for Airport Way/Daniels Street, Airport Way/Westbound SR 120 Ramps, and Airport Way/Eastbound SR 120 Ramps were measured by the cost to mitigate the noted locations in Manteca. Per an agreement between Lathrop and Manteca, Lathrop will not provide these funds to Manteca. Instead, they will be spent on improvements at the SR 120/Yosemite Interchange. Also, all funds collected for use at the SR 120/Yosemite Interchange will be kept in a separate account and used only for improvements at that interchange.

The total cost of the transportation facilities is \$57.2 million. Based on the City traffic model, the SLCC parcel's share of the total cost is approximately \$7.9 million. The remainder, \$49.3 million, is allocated to the Lathrop Gateway Business Park Specific Plan (LGBPSP) area, McKinley Corridor, Crossroads, and other Lathrop developments that will benefit from these improvements. The transportation fees in the 2020 Fee Study will replace the City's current Transportation CFF for SLSP. The table below summarizes the proposed Transportation fees for SLSP.

Transportation CFF

Land Use	Unit	SLSP Transportation Fee
Commercial Office	1,000 sf	\$20,539
Light Industrial	1,000 sf	\$1,340
Warehouse	1,000 sf	\$1,340

Water Line CFF

The total cost of the water system facilities for the SLSP area is estimated at \$2.5 million. The water system facilities for SLSP includes all water line improvements from Harlan Road, underneath SR 120 freeway, continuing on Glacier Street to Yosemite Avenue, and traveling to a point just north of the SR 120 interchange in order to complete the water line loop. The water system facilities also includes improvements on Glacier Street, Jefferson Way, and Yosemite Avenue.

Water Line CFFs

Water Line Cost		\$2,484,162		
Total Acres		248.67		
Cost Per Acre		\$9,990		
Assessor Parcel #	Acreage	Percent of Total Acres	Water Fee/Ac.	Water Line Fee
241-030-150-000	26.08	10.49%	\$9,990	\$260,534
241-030-160-000	49.62	19.95%	\$9,990	\$495,693
241-030-170-000	51.46	20.69%	\$9,990	\$514,075
241-030-180-000	44.72	17.98%	\$9,990	\$446,743
241-030-190-000	15.20	6.11%	\$9,990	\$151,845
241-030-200-000	12.50	5.03%	\$9,990	\$124,872
241-030-210-000	9.44	3.80%	\$9,990	\$94,304
241-030-220-000	6.90	2.77%	\$9,990	\$68,930
241-030-230-000	9.29	3.74%	\$9,990	\$92,805
241-410-020-000	1.20	0.48%	\$9,990	\$11,988
241-410-050-000	0.10	0.04%	\$9,990	\$999
241-410-370-000	5.00	2.01%	\$9,990	\$49,949
241-410-410-000	6.36	2.56%	\$9,990	\$63,535
241-410-420-000	3.00	1.21%	\$9,990	\$29,969
241-410-430-000	2.93	1.18%	\$9,990	\$29,270
241-410-440-000	4.87	1.96%	\$9,990	\$48,650
Totals:	248.67	100%		\$2,484,162

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 SLSP AND LGBPSP CAPITAL FACILITIES FEES UPDATE**

The South Lathrop Commerce Center (SLCC) Developer constructed the water line improvements. Their properties, the SLCC Parcels, will therefore not be subject to this fee, but will be provided a credit in the amount of the Water Line fee due for each building. Parcels within SLSP that are not owned by the SLCC Developer will be subject to the fee, and once collected, the fees will be provided to the SLCC Developer as reimbursement. The benefitting parcels and Water Line fee components are shown in the table below.

Sewer System CFF

Sewer system improvements were designed to serve the entire SLSP area and include collection mains, dual sewer force mains, manholes, and a sewer pump station. The total cost of the sewer system improvements is approximately \$5.1 million. Because these facilities will serve SLSP exclusively, the entire cost is allocated to 16 specific parcels in SLSP.

The SLCC Developer constructed the sewer system improvements. Their properties, the SLCC Parcels, will therefore not be subject to this fee, but will be provided a credit in the amount of the Sewer System fee due for each building. Parcels within SLSP that are not owned by the SLCC Developer will be subject to the fee, and once collected, the fees will be provided to the SLCC Developer as reimbursement. The benefitting parcels and Sewer System fees are shown in the table below.

Sewer System CFFs

Sewer Facilities Cost		\$5,071,260		
Total Acres		248.67		
Cost Per Acre		\$20,394		
Assessor Parcel #	Acreage	Percent of Total Acres	Sewer Fee/Ac.	Sewer Fee
241-030-150-000	26.08	10.49%	\$20,394	\$531,863
241-030-160-000	49.62	19.95%	\$20,394	\$1,011,927
241-030-170-000	51.46	20.69%	\$20,394	\$1,049,451
241-030-180-000	44.72	17.98%	\$20,394	\$911,999
241-030-190-000	15.20	6.11%	\$20,394	\$309,982
241-030-200-000	12.50	5.03%	\$20,394	\$254,919
241-030-210-000	9.44	3.80%	\$20,394	\$192,515
241-030-220-000	6.90	2.77%	\$20,394	\$140,715
241-030-230-000	9.29	3.74%	\$20,394	\$189,456
241-410-020-000	1.20	0.48%	\$20,394	\$24,472
241-410-050-000	0.10	0.04%	\$20,394	\$2,039
241-410-370-000	5.00	2.01%	\$20,394	\$101,968
241-410-410-000	6.36	2.56%	\$20,394	\$129,703
241-410-420-000	3.00	1.21%	\$20,394	\$61,181
241-410-430-000	2.93	1.18%	\$20,394	\$59,753
241-410-440-000	4.87	1.96%	\$20,394	\$99,317
Totals:	248.67	100%		\$5,071,260

**CITY MANAGER'S REPORT
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 SLSP AND LGBPSP CAPITAL FACILITIES FEES UPDATE**

Storm Drainage CFF

Storm drainage improvements were designed to serve the entire SLSP area and include collection mains, manholes, a detention basin, storm water quality basin, pump station and force mains. The total cost of the storm drainage improvements is approximately \$15.9 million. Because these facilities will serve SLSP exclusively, the entire cost is allocated to 16 specific parcels in SLSP.

The SLCC Developer constructed the storm drainage improvements. Their properties, the SLCC Parcels, will therefore not be subject to this fee, but will be provided a credit in the amount of the Storm Drainage fee due for each building. Parcels within SLSP that are not owned by the SLCC Developer will be subject to the fee, and once collected, the fees will be provided to the SLCC Developer as reimbursement. The benefitting parcels and Storm Drainage fees are shown in the table below.

Storm Drainage CFFs

Storm Drainage Facilities Cost		\$15,914,114		
Total Acres		248.67		
Cost Per Acre		\$63,997		
Assessor Parcel #	Acres	Percent of Total Acres	Storm Drainage Fee/Ac.	Storm Drainage Fee
241-030-150-000	26.08	10.49%	\$63,997	\$1,669,040
241-030-160-000	49.62	19.95%	\$63,997	\$3,175,527
241-030-170-000	51.46	20.69%	\$63,997	\$3,293,281
241-030-180-000	44.72	17.98%	\$63,997	\$2,861,942
241-030-190-000	15.20	6.11%	\$63,997	\$972,753
241-030-200-000	12.50	5.03%	\$63,997	\$799,961
241-030-210-000	9.44	3.80%	\$63,997	\$604,131
241-030-220-000	6.90	2.77%	\$63,997	\$441,579
241-030-230-000	9.29	3.74%	\$63,997	\$594,531
241-410-020-000	1.20	0.48%	\$63,997	\$76,796
241-410-050-000	0.10	0.04%	\$63,997	\$6,400
241-410-370-000	5.00	2.01%	\$63,997	\$319,985
241-410-410-000	6.36	2.56%	\$63,997	\$407,020
241-410-420-000	3.00	1.21%	\$63,997	\$191,991
241-410-430-000	2.93	1.18%	\$63,997	\$187,511
241-410-440-000	4.87	1.96%	\$63,997	\$311,665
Totals:	248.67	100%		\$15,914,114

Regional Outfall Structure CFF

Storm runoff from the SLSP area is anticipated to discharge to the San Joaquin River through a new outfall located near the southwest corner of the SLSP area. The proposed South Lathrop outfall facility will be a regional facility that will also serve the LGBPSP and McKinley Corridor developments in addition to the SLSP area.

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The total cost of the ROS is \$3.6 million and will be equally allocated to the three development areas. Therefore, SLSP's 33% share of the total cost is approximately \$1.2 million. The ROS fee is shown in the table below.

Regional Outfall Structure CFFs

Regional Outfall Structure (ROS) Facilities Cost		\$1,218,816		
Total Acres		248.67		
Cost Per Acre		\$4,901		
<u>Assessor Parcel #</u>	<u>Acreage</u>	<u>Percent of Total Acres</u>	<u>ROS Fee/Ac.</u>	<u>ROS Fee</u>
241-030-150-000	26.08	10.49%	\$4.901	\$127.827
241-030-160-000	49.62	19.95%	\$4.901	\$243.204
241-030-170-000	51.46	20.69%	\$4.901	\$252.223
241-030-180-000	44.72	17.98%	\$4.901	\$219.188
241-030-190-000	15.20	6.11%	\$4.901	\$74.500
241-030-200-000	12.50	5.03%	\$4.901	\$61.267
241-030-210-000	9.44	3.80%	\$4.901	\$46.269
241-030-220-000	6.90	2.77%	\$4.901	\$33.819
241-030-230-000	9.29	3.74%	\$4.901	\$45.533
241-410-020-000	1.20	0.48%	\$4.901	\$5.882
241-410-050-000	0.10	0.04%	\$4.901	\$490
241-410-370-000	5.00	2.01%	\$4.901	\$24.507
241-410-410-000	6.36	2.56%	\$4.901	\$31.173
241-410-420-000	3.00	1.21%	\$4.901	\$14.704
241-410-430-000	2.93	1.18%	\$4.901	\$14.361
241-410-440-000	4.87	1.96%	\$4.901	\$23.870
Totals:	248.67	100%		\$1,218,816

The SLCC Developer constructed the ROS. Their properties, the SLCC Parcels, will therefore not be subject to this fee, but will be provided a credit in the amount of the ROS fee due for each building. Parcels within SLSP that are not owned by the SLCC Developer will be subject to the fee, and once collected, the fees will be provided to the SLCC Developer as reimbursement.

LGBPSP AREA

The Lathrop Gateway Business Park Specific Plan area is a 384-acre master planned commercial/industrial development located in the southeastern portion of the City of Lathrop. The LGBPSP area is bound by the Union Pacific Railroad to the east and west, State Route 120 to the south, and Yosemite Avenue/Vierra Road to the north, see Attachment "D". The LGBPSP area consists of mainly employment-generating land uses. Approximately 167.6 acres are zoned Limited Industrial development, 56.7 acres Commercial Office development, and 83 acres Service Commercial development. The remaining 76.6 acres include open space, well, detention basins, and roadways.

The 2020 Fee Study recommends updating LGBPSP fees, based on actual costs, for the following facilities:

- Transportation
- Water System
- Regional Outfall Structure
- City Administration Fee (3% of other fee rates)

The following table shows the change in LGBPSP facilities costs as presented in the 2019 LGBPSP CFF Study compared to the 2020 Fee Study.

2020 LGBPSP Costs vs. 2019 Costs

Facility Type	2020 LGBPSP Cost	2019 LGBPSP Cost	LGBPSP Cost Difference	LGBPSP Percent Difference
Transportation	\$14,780,704	\$14,637,047	\$143,657	1.0%
Water System	\$1,599,223	\$1,729,373	(\$130,150)	-7.5%
Regional Outfall Structure	\$1,218,816	\$1,177,971	\$40,845	3.5%
Total	\$17,598,743	\$17,544,391	\$54,352	0.3%

The total 2020 actual water system cost decreases by approximately 8% compared to the 2019 estimated cost. The 2020 transportation and regional outfall structure facilities costs increase slightly by approximately 1% and 4%, respectively, over the 2019 estimated costs. Overall, the total cost to be funded through the LGBPSP fee program increases only 0.3% over the 2019 costs.

Transportation CFF

Transportation facilities for LGBPSP include a network of streets, intersections, and interchanges. Transportation facilities to be funded through the fee program include improvements/expansions to SR120/Yosemite interchange, I-5/Louise interchange, Yosemite Avenue, McKinley Avenue, Lathrop Road, Louise Avenue, Airport Way; intersections on Yosemite Avenue, Harlan Road, 5th Street, I-5/Louise, and Howland Road; and ramp improvements on Airport Way onto SR120. Improvements for Airport Way/Daniels Street, Airport Way/Westbound SR 120 Ramps, and Airport Way/Eastbound SR 120 Ramps were measured by the cost to mitigate the noted locations in Manteca. Per an agreement between Lathrop and Manteca, Lathrop will not provide these funds to Manteca. Instead, they will be spent on improvements at the SR 120/Yosemite Interchange. Also, all funds collected for use at the SR 120/Yosemite Interchange will be kept in a separate account and used only for improvements at that interchange.

The total cost of the transportation improvements is \$57.2 million. Based on the City traffic model, LGBPSP’s share of the total cost is approximately \$14.8 million. The remaining cost, \$42.4 million, is allocated to the SLSP area, McKinley Corridor, Crossroads, and other Lathrop developments that will benefit from these improvements. The table below shows the proposed Transportation CFFs based on land use and are per 1,000 square feet of building space for LGBPSP.

Transportation CFFs

Land Use	Unit	Transportation Fee
Shopping Center	KSF	\$17,230
Office Park	KSF	\$6,049
Industrial Park	KSF	\$1,336
Warehouse	KSF	\$1,336

Water System CFF

The total cost of the water system facilities for the LGBPSP area that is subject to this fee is estimated at \$1.6 million. The water system facilities for LGBPSP are divided into two pipeline sections. One pipeline section is referred to as the water loop and includes all water line improvements from Harlan Road, underneath SR 120 freeway, continuing on Glacier Street to Yosemite Avenue, and traveling to a point just north of the SR 120 interchange in order to complete the water line loop. LGBPSP’s share of the cost for this facility is \$557,783. The second pipeline section includes water line improvements along Yosemite Avenue within the limits of the LGBPSP area just north of SR 120 at the Yosemite Avenue interchange to D’Arcy Parkway. The cost of this section of pipeline is \$1,041,440. The water facilities have been constructed by South Lathrop Land, LLC, the master developer of the SLSP area, so LGBPSP water fee revenue will be used to reimburse the developer. The benefitting parcels and Water System fee components are shown in the table below. Development of a parcel subject to this fee will pay the full cost of the water facilities along their frontage, plus any portion of the water main not yet reimbursed between their frontage and the connection point at D’Arcy. The developer that pays this fee will then be reimbursed by other developers for whom they fronted costs when those parcels develop.

Water System CFFs

Parcel APN	Water Fee (Water Loop Facilities) a	Water Fee (Non-Water Loop Facilities) b	Total Water Fee c = a + b
241-030-050-000	\$34,740	\$0	\$34,740
241-390-050-000	\$31,560	\$62,557	\$94,117
241-390-150-000	\$18,606	\$62,078	\$80,684
241-390-200-000	\$14,956	\$137,242	\$152,197
241-390-220-000	\$16,016	\$65,270	\$81,285
241-400-010-000	\$1,531	\$0	\$1,531
241-400-020-000	\$30,736	\$0	\$30,736
241-400-030-000	\$12,777	\$0	\$12,777
241-400-040-000	\$46,987	\$19,788	\$66,776
241-400-050-000	\$37,566	\$175,542	\$213,108
241-400-060-000	\$270,265	\$242,886	\$513,151
241-400-070-000	\$33,209	\$136,763	\$169,972
241-400-080-000	\$8,832	\$25,214	\$34,046
241-400-090-000	\$0	\$37,023	\$37,023
241-400-110-000	\$0	\$77,079	\$77,079
Totals:	\$557,783	\$1,041,440	\$1,599,223

Regional Outfall Structure CFF

Storm runoff from the LGBPSP area will initially be directed to retention ponds, but in the future, this runoff will discharge to the San Joaquin River through a new outfall located near the southwest corner of the SLSP area. The proposed South Lathrop outfall facility will be a regional facility that will also serve the SLSP and McKinley Corridor developments in addition to the LGBPSP area. The total cost of the ROS is \$3.6 million and will be equally allocated to the three development areas. Therefore, LGBPSP's 33% share of the total cost is approximately \$1.2 million and will be paid in full by the first developer within LGBPSP area that pulls a building permit for a building with 100,000 or more square footage. All subsequent builders in the LGBPSP area will pay the ROS Fee which will be used to reimburse the first developer that paid the fee in full. The ROS fee rates are per 1,000 square feet of building space for LGBPSP and are shown in the table below.

Regional Outfall Structure CFFs

Land Use	Unit	ROS Fee
Shopping Center	KSF	\$364
Office Park	KSF	\$319
Industrial Park	KSF	\$197
Warehouse	KSF	\$197

Administration Fee

A 3% City administration fee will be added to the fees, discussed above, to pay for the City administrative duties associated with the fee program.

Fee Adjustments

The Capital Facilities Fees may be adjusted in future years to reflect revised facility standards, receipt of funding from alternative sources (i.e., state or federal grants), revised costs, or changes in land uses, densities, or development plans. In addition to such adjustments, each year the CFF will be adjusted by the change in the Engineering News Record (ENR) 20-City Construction Cost Index (CCI) over the prior calendar year. Pursuant to the reimbursement agreements between the City and South Lathrop Land, LLC, all water, sewer, storm drainage, and ROS facilities costs in the 2020 Fee Study have been inflated by the change in the ENR 20-City CCI from December 2018 to December 2019, which amounted to a 1.75% increase.

REASON FOR RECOMMENDATION:

The purpose of the CFF Program is to provide a source of revenue by which new development within the City will contribute a fair and proportionate share of the cost of providing public infrastructure and community facilities. The CFF Program also limits the impact that new development will have on existing residents and businesses.

As new development occurs throughout the City, it is critical that fees in the CFF program be regularly updated to ensure that CFF rates keep up with the rising costs of infrastructure, facilities, and land. The proposed CFF update is necessary to replace the estimated facility construction costs that support the fees in the 2019 SLSP CFF Fee Study and the 2019 LGBPSP CFF Fee Study with the actual costs of the facilities that have been constructed to date in accordance with the reimbursement agreements between the City and South Lathrop Land, LLC.

FISCAL IMPACT:

The 2020 Fee Study analyzed \$85.9 million worth of planned facilities throughout the City and determined SLSP and LGBPSP fair shares are approximately \$32.6 million and \$17.6 million, respectively. The remaining \$35.7 million will come from other developments. The 2020 Fee Study was funded by South Lathrop Land, LLC and Phelan Haugen Development Company.

ATTACHMENTS:

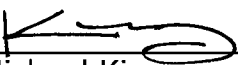
- A. Resolution Adopting the City of Lathrop 2020 South Lathrop Specific Plan (SLSP) and Lathrop Gateway Business Park Specific Plan (LGBPSP) Capital Facilities Fees Study Update and the Fees Recommended Therein
- B. 2020 South Lathrop Specific Plan and Lathrop Gateway Business Park Specific Plan Capital Facilities Fees Study Update by Goodwin Consulting Group, dated May 28, 2020
- C. SLSP Boundary Area Map
- D. LGBPSP Boundary Area Map

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SLSP AND LGBPSP CAPITAL FACILITIES FEES UPDATE**

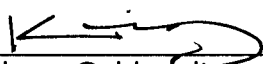
APPROVALS:

 FOR _____
Jay Davidson
Principal Engineer

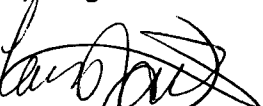
5-28-2020
Date

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Michael King
Public Works Director

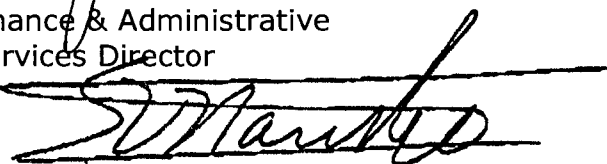
5-28-2020
Date

 FOR _____
Glenn Gebhardt
City Engineer


5-28-2020
Date

 _____
Cari James
Finance & Administrative
Services Director

5-28-2020
Date

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Salvador Navarrete
City Attorney

5/28/2020
Date

 _____
Stephen J. Salvatore
City Manager

6-3-2020
Date

RESOLUTION NO. 20-

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LATHROP ADOPTING THE CITY OF LATHROP 2020 SOUTH LATHROP SPECIFIC PLAN (SLSP) AND LATHROP GATEWAY BUSINESS PARK SPECIFIC PLAN (LGBPSP) CAPITAL FACILITIES FEES STUDY UPDATE AND THE FEES RECOMMENDED THEREIN

WHEREAS, the Capital Facilities Fees (CFF) and City planning fees are necessary to provide a source of revenue by which new development within the City will contribute a fair and proportionate share of the cost of providing infrastructure and community facilities; and

WHEREAS, as new development occurs throughout the City it is critical that fees in the CFF program be established, if necessary, and regularly updated to ensure that CFF rates keep up with the rising costs of infrastructure, facilities, and land; and

WHEREAS, the City retained Goodwin Consulting Group (GCG) to assist in updating the City's CFF program for the South Lathrop Specific Plan (SLSP) and the Lathrop Gateway Business Park Specific Plan (LGBPSP) areas; and

WHEREAS, GCG prepared the 2020 South Lathrop Specific Plan and Lathrop Gateway Business Park Specific Plan Capital Facilities Fees Study Update (2020 Fee Study) that recommends updating transportation, water system, sewer system, storm drainage and storm drain regional outfall fees for SLSP and transportation, water system, and storm drain regional outfall fees for LGBPSP; and

WHEREAS, the purpose of the update is to replace the estimated facility construction costs that support the fees in the 2019 SLSP CFF Fee Study and the 2019 LGBPSP CFF Fee Study with the actual costs of the facilities that have been constructed to date in accordance with the reimbursement agreements between the City and South Lathrop Land, LLC; and

WHEREAS, the State of California Mitigation Fee Act (also known as "AB 1600," Government Code sections 66000, et seq.) identifies the required findings which must be made by the City in any action establishing, increasing, or imposing a development impact fee as a condition of approval of a development project, as described in the Fee Studies; and

WHEREAS, the SLSP and LGBPSP Fees will be inflated each year by the Engineering News Record (ENR) 20-City Construction Cost Index; and

WHEREAS, pursuant to the reimbursement agreements between the City and South Lathrop Land, LLC, all water, sewer, storm drainage, and ROS facilities costs in the 2020 Fee Study have been inflated by the change in the ENR 20-City CCI from December 2018 to December 2019, which amounted to a 1.75% increase; and

WHEREAS, the Fee Study is based upon the analysis, input and active participation of City staff, GCG, and various reports and studies as described in the 2020 Fee Study; and

WHEREAS, notice of public hearing of this Resolution was published as required by the Mitigation Fee Act, California Government Code sections 66000 et seq.

NOW, THEREFORE, BE IT RESOLVED, that the City Council of the City of Lathrop does hereby adopt the 2020 South Lathrop Specific Plan and Lathrop Gateway Business Park Specific Plan Capital Facilities Fees Study Update dated May 28, 2020 and adds the fees to the Capital Facility Fee Program based on findings required by the State of California Mitigation Fee Act. Specifically, Council hereby makes all of the following findings:

1. The purpose of the CFFs is to provide funding for the infrastructure and facilities identified in this Nexus Study for SLSP and LGBPSP. Pursuant to the Lathrop Municipal Code Section 3.20.040 collected fees may be used for no other purpose.
2. The geographic area in which the fees will be imposed is the SLSP and LGBPSP areas. The SLSP area that is located south of State Route 120, north and west of the Union Pacific Railroad, and east of the San Joaquin River. LGBPSP is bound by the Union Pacific Railroad to the east and west, State Route 120 to the south, and Yosemite Avenue/Vierra Road to the north.
3. The estimated fair and proportionate share of the cost of SLSP's and LGBPSP's contribution to providing infrastructure and community facilities within the City are contained in this Capital Facilities Nexus Study.
4. There is a reasonable relationship between the need for the public facility and the type of development project on which the fee is imposed. New non-residential development will generate additional demand for the infrastructure and facilities identified in this 2020 Fee Study. The facilities, infrastructure improvements, and capacity enhancements included in this 2020 Fee Study will ensure that the City will maintain the desired level of service standards that are identified for the facility categories included in this Fee Study.
5. There is a reasonable relationship between the type of development projects on which the fee is imposed and the uses of the fees. The CFF revenue collected from the SLSP and LGBPSP areas will fund the facilities included in the 2020 Fee Study. These facilities will serve development in the SLSP and LGBPSP areas and the estimated fees are a fair-share cost allocation based on the impact that future development will have on these facilities and improvements. Fee accounts for the SLSP and LGBPSP areas will be established to ensure that fee revenue is applied to the infrastructure and facilities for which it is collected.

6. There is a reasonable relationship between the amount of each SLSP Fee and LGBPSP Fee and the cost of the public facility, or portion thereof, is established in this 2020 Fee Study through the use of cost allocation factors to estimate the demand for a facility or, the impact that a land use will have on a facility.

PASSED AND ADOPTED by the City Council of the City of Lathrop this 8th day of June 2020, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Sonny Dhaliwal, Mayor

ATTEST:

Teresa Vargas, City Clerk

APPROVED AS TO FORM:



Salvador Navarrete, City Attorney

GCG

GOODWIN CONSULTING GROUP

**CITY OF LATHROP
2020
SOUTH LATHROP SPECIFIC PLAN (SLSP)
AND
LATHROP GATEWAY BUSINESS PARK
SPECIFIC PLAN (LGBPSP)
CAPITAL FACILITIES FEES STUDY
UPDATE**



May 28, 2020

CITY OF LATHROP
2020 SOUTH LATHROP SPECIFIC PLAN (SLSP)
AND
LATHROP GATEWAY BUSINESS PARK SPECIFIC PLAN (LGBPSP)
CAPITAL FACILITIES FEES STUDY UPDATE

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EXECUTIVE SUMMARY

PURPOSE

The City retained Goodwin Consulting Group to assist it in updating the SLSP CFF program and the three LGBPSP Fees. The purpose of the update is to replace the estimated facility construction costs that support the fees in the 2019 SLSP Fee Study and the 2019 LGBPSP Fee Study with the actual costs of the facilities that have been constructed to date. These actual facility construction costs have been verified and approved by City staff. As a result, the proposed fees in this fee study will be based on the actual facility construction costs for SLSP and LGBPSP.

This fee study is compliant with the requirements set forth in the Mitigation Fee Act, also known as AB 1600, and ensures that a rational nexus exists between the fees and the cost or portion of the cost of the capital facilities attributable to future development in the SLSP and LGBPSP areas.

SOUTH LATHROP SPECIFIC PLAN

The South Lathrop Specific Plan area (the “SLSP”) is a 315 acre development in the southeast portion of the City. The project is located south of State Route 120, north and west of the Union Pacific Railroad, and east of the San Joaquin River. The SLSP consists of mainly employment-generating land uses. Approximately 246 acres are zoned for Light Industrial and Warehouse development and 10 acres are zoned for Commercial Office development. The remaining 59 acres include open space, public and quasi-public land, the San Joaquin River, and roadways. South Lathrop Land, L.L.C. (the “SLCC Developer”) is the primary developer of the SLSP area and owns most of the property (the “SLCC Parcels”) in the SLSP.

The current *City of Lathrop 2019 South Lathrop Specific Plan Capital Facilities Fees Study* (the “2019 SLSP Fee Study”) was adopted by the City Council in October of 2019. Not including Lathrop citywide or county fees, the current SLSP fee program includes five fees, namely, the Transportation Capital Facilities Fee (“CFF”), the Water Line CFF, Sewer System CFF, Storm Drainage CFF and the Regional Outfall Structure (“ROS”) CFF. This *City of Lathrop 2020 South Lathrop Specific Plan and Lathrop Gateway Business Park Specific Plan Capital Facilities Fees Study Update* (the “2020 Fee Study”) updates all five of these CFFs.

The SLSP was approved on July 20, 2015. The South Lathrop Commerce Center (SLCC) site plan was subsequently modified by the Planning Commission on August 8, 2018 through Site

Plan Review No. SPR-18-47 (the “Site Plan”); the parcels within that Site Plan are the SLCC Parcels. Five parcels are not within the Site Plan and are referred to as the Non-SLCC Parcels in this 2019 SLSP Fee Study. The 2019 SLSP Fee Study includes the additional square footage of development approved for the SLSP, increasing the total to 4,850,000 square feet.

LATHROP GATEWAY BUSINESS PARK SPECIFIC PLAN

The Lathrop Gateway Business Park Specific Plan (the “LGBPSP”) area is a 384-acre master planned commercial/industrial development located in the southeastern portion of the City of Lathrop. Approximately 167.6 acres in the Plan are zoned for limited industrial uses, 56.7 acres are zoned for new commercial office uses, 83.3 acres for service commercial uses, and 20.1 acres of open space, well, and detention basins. The remaining 56.5 acres will comprise of existing and future roads.

LGBPSP’s land use plan includes a maximum potential of 5.43 million square feet of building space. The LGBPSP area is bound by the Union Pacific Railroad to the east and west, State Highway Route 120 to the south, and Yosemite Avenue/Vierra Road to the north.

The current *Lathrop Gateway Business Park Specific Plan Capital Facilities Fees Study* (the “2019 LGBPSP Fee Study”) was adopted by the City Council in October of 2019. Not including Lathrop citywide or county fees, the current LGBPSP fee program includes six fees, namely, the Transportation CFF, the Water System CFF, Water Storage CFF, Sewer System CFF, Storm Drainage CFF and the Regional Outfall Structure CFF. This 2020 Fee Study updates only the Transportation CFF, the Water System CFF, and the Regional Outfall Structure CFF.

FACILITIES AND COSTS INCLUDED IN THE FEE PROGRAM

Various capital facilities and improvements will be required for the SLSP and LGBPSP areas. Facilities and cost estimates for both areas have been updated by the City and its consultants based on actual costs of facilities that have been constructed to date and are presented in this 2020 Fee Study. Table E-1 on the following page summarizes these facilities and their costs. The gross cost of the planned facilities contained in this Fee Study is \$85.9 million. Funding from other sources, totaling \$35.7 million, reduces the net amounts that will be funded with SLSP and LGBPSP Fees revenue to approximately \$32.6 million and \$17.6 million, respectively. Table E-1 summarizes the facilities and costs included in the 2020 Fee Study.

Table E-1 – SLSP and LGBPSP Facilities Costs

Facility Type	Total Estimated Cost	Funding From Other Developments¹	SLSP CFF	LGBPSP CFF
Transportation	\$57,160,965	\$34,440,539	\$7,939,723	\$14,780,704
Water System	\$4,083,384	\$0	\$2,484,162	\$1,599,223
Sewer System	\$5,071,260	\$0	\$5,071,260	\$0
Storm Drainage	\$15,914,114	\$0	\$15,914,114	\$0
Regional Outfall Structure	\$3,656,448	\$1,218,816	\$1,218,816	\$1,218,816
Total	\$85,886,171	\$35,659,355	\$32,628,074	\$17,598,743

1. Other developments include McKinley Corridor, Crossroads, and others

Tables E-2 below shows the change in SLSP facilities costs as presented in the 2019 Fee Study compared to this 2020 Fee Study. The total 2020 actual water system cost decreases by approximately 6% compared to the 2019 estimated cost. However, the 2020 sewer system and storm drainage facilities costs increase by approximately 13% and 19%, respectively, over the 2019 estimated costs. Overall the total actual cost to be funded through the SLSP fee program increases by approximately 10.4%, or about \$3.1 million, over the 2019 costs. The Storm drainage facility cost increases by the greatest amount, approximately \$2.5 million.

Table E-2 – 2020 SLSP Costs Compared to 2019 Costs

Facility Type	2020 SLSP Cost	2019 SLSP Cost	Cost Difference	Percent Difference
Transportation	\$7,939,723	\$7,838,217	\$101,505	1.3%
Water System	\$2,484,162	\$2,634,266	(\$150,105)	-5.7%
Sewer System	\$5,071,260	\$4,481,941	\$589,319	13.1%
Storm Drainage	\$15,914,114	\$13,421,118	\$2,492,996	18.6%
Regional Outfall Structure	\$1,218,816	\$1,177,971	\$40,845	3.5%
Total	\$32,628,074	\$29,553,514	\$3,074,560	10.4%

Tables E-3 below shows the change in LGBPSP facilities costs as presented in the 2019 Fee Study compared to this 2020 Fee Study. The total 2020 actual water system cost decreases by approximately 8% compared to the 2019 estimated cost. The 2020 transportation and regional outfall structure facilities costs increase slightly by approximately 1% and 4%, respectively, over the 2019 estimated costs. Overall the total cost to be funded through the LGBPSP fee program increases only 0.3% over the 2019 costs.

Table E-3 – 2020 LGBPSP Costs Compared to 2019 Costs

Facility Type	2020 LGBPSP Cost	2019 LGBPSP Cost	LGBPSP Cost Difference	LGBPSP Percent Difference
Transportation	\$14,780,704	\$14,637,047	\$143,657	1.0%
Water System	\$1,599,223	\$1,729,373	(\$130,150)	-7.5%
Regional Outfall Structure	\$1,218,816	\$1,177,971	\$40,845	3.5%
Total	\$17,598,743	\$17,544,391	\$54,352	0.3%

TRANSPORTATION FACILITIES

Transportation facilities for the SLSP include their fair share of construction of interchanges at SR 120 and Yosemite Avenue and at I-5 and Lathrop Road, roadway sections, intersections, railroad crossing improvements, and ramp improvements on Yosemite, Louise, McKinley Avenues, and Airport Way. Transportation facilities for SLSP include a network of streets, intersections, and interchanges.

LGBPSP facilities to be funded through the fee program include improvements/expansions to SR120/Yosemite interchange, I-5/Louise interchange, Yosemite Avenue, McKinley Avenue, Lathrop Road, Louise Avenue, Airport Way; intersections on Yosemite Avenue, Harlan Road, 5th Street, I-5/Louise, and Howland Road; and ramp improvements on Airport Way onto SR120.

The total cost of the transportation facilities is \$57.2 million. Based on its traffic model, the City's traffic consultant, Fehr and Peers, determined that the SLSP and LGBPSP shares of the total cost are \$7.9 million and \$14.8 million, respectively. The remainder, \$34.4 million, is allocated to the McKinley Corridor, Crossroads, and other Lathrop developments.

WATER SYSTEM FACILITIES

Water system facilities include all water lines, pipes, mains, valves, and fire hydrants located in or adjacent to Yosemite Avenue within the limits of the SLSP and LGBPSP areas from SR 120

right-of-way at the Yosemite Avenue interchange to D'Arcy Parkway, plus the pipelines on D'Arcy Parkway to the point of connection (the "Non-Water Loop Facilities").

Facilities also include all water lines, pipes, mains, and valves directly related to the water line improvements from Harlan Road, under SR120 freeway, along Glacier Road and connecting to Yosemite Avenue interchange in order to complete the water line loop (the "Water Loop Facilities"). The water facilities have been constructed by South Lathrop Land, LLC, the master developer of the South Lathrop Specific Plan area, so LGBPSP water fee revenue will be used to reimburse the SLCC Developer.

Pursuant to a reimbursement agreement between the City and the SLCC Developer, the pro rata share of the Non-Water Loop Facilities cost shall be based on a benefitting parcel's frontage along Yosemite Avenue, including the cost of the water main and appurtenances along the border of the benefitting parcel; plus, from the benefitting parcel to the point of connection on D'Arcy, any portion of the main and appurtenances costs not yet collected through Water Fees (Non-Water Loop Facilities) by the City.

This approach will require the first properties along Yosemite, between SR 120 and D'Arcy, to reimburse the full cost of the water main and facilities fronting their property, even though development on each side of the street is responsible for only one half the cost of that water main and facilities. Reimbursement for fee overpayment to the property owner that made the overpayment, including payment by the property on the side of Yosemite opposite the developing side, would be paid from Water System Fees (Non-Water Loop Facilities) collected from future developing parcels that are subject to this fee.

The total cost of the water system facilities for SLSP and LGBPSP is \$4.1 million. The City, along with its engineering consultant determined that SLSP share of the total cost is approximately \$2.5 million; the remaining cost, \$1.6 million, is allocated to the LGBPSP area.

SEWER SYSTEM FACILITIES

Sewer system improvements for the SLSP area include collection mains and dual sewer force mains that connect the sewer pump station to the Lathrop Consolidated Treatment Facility, manholes, and clean outs, sewer pump station, including the pumps, dewatering, electronic controls, fencing, City conduit with fiber, lighting, monitoring equipment, security during construction, backup generator, entry gates, landscaping, as well as soft costs and City related costs. The total cost of the SLSP sewer system improvements is \$5.1 million and because these facilities will serve SLSP exclusively, the entire cost is allocated to SLSP.

STORM DRAINAGE FACILITIES

Storm drainage facilities for the SLSP area include the drainage collection system, including pipelines, manholes, public laterals and storm drain inlets, a detention basin and storm water

quality basin, levee toe drain, storm drain pump station and force main, as well as soft costs and City related costs. The total cost of the storm drainage improvements is \$15.9 million and because these facilities will serve SLSP exclusively, the entire cost is allocated to SLSP.

REGIONAL OUTFALL STRUCTURE FACILITIES

The total cost of the ROS is \$3.7 million. Facilities include grading, dewatering, piping, sheetpiles, a concrete headwall, rip rap, soft costs and City related costs. The City and its engineering consultant have determined that the cost of the ROS should be equally allocated to three development areas in the City that will benefit from this facility – namely SLSP, LGBPSP, and the McKinley Corridor development. Accordingly, SLSP and LGBPSP are each allocated 33% of the total cost, or \$1.2 million to each development area.

LGBPSP’s share of the total cost will be paid in full by the first developer within LGBPSP that pulls a building permit for a building with 100,000 or more square footage. All subsequent builders will pay the ROS Fee which will be used to reimburse the first developer of LGBPSP.

FEE SUMMARY

Tables E-4 below and E-5 on the following page summarize the SLSP fees calculated in this report. Table E-4 includes the SLSP Transportation Fees; these fees will be levied based on building square footage. Table E-5 includes SLSP Water Line, Sewer, Storm Drainage and ROS Fees; these fees will be levied only on the specific parcels identified in Table E-5. A 3.0% City administration fee will be added to these fees to pay for the City administrative duties associated with the fee program.

Table E-4
SLSP Transportation Fee Summary

Land Use	Unit	SLSP Transportation Fee
Commercial Office	1,000 sf	\$20,539
Light Industrial	1,000 sf	\$1,340
Warehouse	1,000 sf	\$1,340

Table E-5
SLSP Fee Summary¹

<u>Assessor Parcel #</u>	<u>Water Line Fees</u>	<u>Sewer Fees</u>	<u>Storm Drainage Fees</u>	<u>ROS Fees</u>
241-030-150-000	\$260,534	\$531,863	\$1,669,040	\$127,827
241-030-160-000	\$495,693	\$1,011,927	\$3,175,527	\$243,204
241-030-170-000	\$514,075	\$1,049,451	\$3,293,281	\$252,223
241-030-180-000	\$446,743	\$911,999	\$2,861,942	\$219,188
241-030-190-000	\$151,845	\$309,982	\$972,753	\$74,500
241-030-200-000	\$124,872	\$254,919	\$799,961	\$61,267
241-030-210-000	\$94,304	\$192,515	\$604,131	\$46,269
241-030-220-000	\$68,930	\$140,715	\$441,579	\$33,819
241-030-230-000	\$92,805	\$189,456	\$594,531	\$45,533
241-410-020-000	\$11,988	\$24,472	\$76,796	\$5,882
241-410-050-000	\$999	\$2,039	\$6,400	\$490
241-410-370-000	\$49,949	\$101,968	\$319,985	\$24,507
241-410-410-000	\$63,535	\$129,703	\$407,020	\$31,173
241-410-420-000	\$29,969	\$61,181	\$191,991	\$14,704
241-410-430-000	\$29,270	\$59,753	\$187,511	\$14,361
241-410-440-000	\$48,650	\$99,317	\$311,665	\$23,870
Totals:	\$2,484,162	\$5,071,260	\$15,914,114	\$1,218,816

1. The SLCC Developer constructed the water, sewer, and storm drainage facilities that are the basis for these fees. The SLCC Parcels will therefore not be subject to these fees but will be provided a credit in the amount of the fees due for each building. Parcels within SLSP that are not owned by the SLCC Developer will be subject to these fees, and once collected, the fees will be provided to the SLCC Developer as reimbursement.

Tables E-6 below and E-7 on the following page summarize the LGBPSP fees calculated in this report. A 3.0% administration fee will be added to these fees to pay for administrative tasks associated with the fee program.

Table E-6
LGBPSP Fee Summary

Land Use	Unit	Transportation Fee	Water System Fee	Regional Outfall (ROS) Fee
Shopping Center	1,000 sf	\$17,230	(1)	\$364
Office Park	1,000 sf	\$6,049	(1)	\$319
Industrial Park	1,000 sf	\$1,336	(1)	\$197
Warehouse	1,000 sf	\$1,336	(1)	\$197

(1) The water system fee will be levied only on those specific parcels in the LGBPSP that will benefit from these facilities.

Table E-7
LGBPSP Water System Fee Summary

Parcel APN	Water Fee (Water Loop Facilities) a	Water Fee (Non-Water Loop Facilities) b	Total Water Fee c = a + b
241-030-050-000	\$34,740	\$0	\$34,740
241-390-050-000	\$31,560	\$62,557	\$94,117
241-390-150-000	\$18,606	\$62,078	\$80,684
241-390-200-000	\$14,956	\$137,242	\$152,197
241-390-220-000	\$16,016	\$65,270	\$81,285
241-400-010-000	\$1,531	\$0	\$1,531
241-400-020-000	\$30,736	\$0	\$30,736
241-400-030-000	\$12,777	\$0	\$12,777
241-400-040-000	\$46,987	\$19,788	\$66,776
241-400-050-000	\$37,566	\$175,542	\$213,108
241-400-060-000	\$270,265	\$242,886	\$513,151
241-400-070-000	\$33,209	\$136,763	\$169,972
241-400-080-000	\$8,832	\$25,214	\$34,046
241-400-090-000	\$0	\$37,023	\$37,023
241-400-110-000	\$0	\$77,079	\$77,079
Totals:	\$557,783	\$1,041,440	\$1,599,223

LATHROP CITYWIDE AND SAN JOAQUIN COUNTYWIDE FEES

The SLSP and LGBPSP Fees calculated in this 2020 Fee Study, if adopted by the City Council, will update the existing SLSP and LGBPSP CFF program. In addition to the SLSP and LGBPSP Fees shown in this 2020 Fee Study, the SLSP and LGBPSP areas will also be subject to other Lathrop citywide and regional impact fees in the CFF program such as the Municipal Service Facilities CFF and the Mossdale Tract Regional Levee Impact Fee.

The SLSP and LGBPSP areas will also be subject to San Joaquin County fees, such as the San Joaquin County Regional Transportation Impact Fee (RTIF) and the County Capital Facilities Fee. The SLSP and LGBPSP areas shall participate in the City’s agriculture mitigation program and the San Joaquin Multi-Species Habitat Conservation and Open Space Plan by paying the per-acre fees for the loss of farmland as well as to mitigate for habitat impacts to covered special status species.

WATER AND SEWER CONNECTION FEES – SLCC PARCELS

With approval of Parcel Map 17-01, per the Development Agreement, the SLCC Developer allocated to all SLCC Parcels ground water from Well No. 9 at the rate of 500 gal/day/acre. This volume will allow dry warehouse development. With each building permit, the developer will purchase SSJID surface water (SSJID Buy-in Fee per 2018 SLSP Study) for 2/3 of the total demand for the parcel being developed. With approval of Parcel Map 17-01, per the Development Agreement, the SLCC Developer allocated to all SLCC Parcels wastewater treatment capacity at the Combined Treatment Facility on Christopher Way, plus storage and disposal capacity at the current industrial rate of 355 gal/day/acre. Additional existing sewer fees that will be charged to the SLCC Parcels include the “Recycled Water Outfall” fee for a future river discharge of recycled water. This is an existing fee listed for Mossdale Village.

WATER AND SEWER CONNECTION FEES – NON-SLCC PARCELS

In addition to the SLSP Fees shown in the 2020 Fee Study, the Non-SLCC Parcels will also be subject to other Lathrop citywide fees in the CFF program for water and sewer connection fees. Water connection fees for the Non-SLCC Parcels will include the ‘Surface Water Supply Full Cost’ fee existing for Mossdale Village. Because no capital cost for surface water has been funded for the Non-SLCC Parcels in the past, the full cost is due. This fee represents two-thirds of the water required to come from surface water. Water connection fees for the Non-SLCC Parcels will also include the “Water System Buy-in” fee charged for the East Lathrop Area, which represents one-third of the water required from ground water, plus the “Water System Well Improvement” fee existing for the Mossdale Village area. This fee covers the cost of arsenic removal in the City wells.

For Non-SLCC Parcels, sewer connection fees will include the cost of wastewater treatment capacity at the Combined Treatment Facility on Christopher Way plus the cost of designing, building, permitting and land acquisition to build storage ponds and disposal spray fields for recycled water. Treatment capacity may be purchased through the City from developers with excess capacity. Ponds and spray fields may be constructed by the developer, purchased through the City from a developer with excess capacity, or purchase may be negotiated with the City. Additional existing sewer fees that will be charged to the Non-SLCC Parcels include the “Recycled Water Outfall” fee for a future river discharge of recycled water, and the “Sewer/Recycled Water System” fee to reimburse the cost of constructing recycled water mains west of Interstate 5. Both of these are existing fees for Mossdale Village and are applicable to Non-SLCC Parcels.

WATER AND SEWER CONNECTION FEES – LGBPSP

In addition to the LGBPSP Fees shown in the 2020 Fee Study, the LGBPSP area will also be subject to other Lathrop citywide fees in the CFF program for water and sewer connection fees. Water connection fees for the LGBPSP area will include the “Surface Water Supply Full Cost” fee existing for Mossdale Village. Because no capital cost for surface water has been funded for the LGBPSP area in the past, the full cost is due. This fee represents two-thirds of the water required to come from surface water. Water connection fees for the LGBPSP area will also include the “Water System Buy-in” fee existing for the East Lathrop Area, which represents one-third of the water required from ground water, by buying into the East Lathrop water system plus the “Water System Well Improvement” fee existing for the Mossdale Village area. This fee covers the cost of arsenic removal in the City wells.

Sewer connection fees will include the cost of wastewater treatment capacity at the Combined Treatment Facility on Christopher Way plus the cost of designing, building, permitting and land to build storage ponds and disposal spray fields for recycled water. Treatment capacity may be purchased through the City from developers with excess capacity. Ponds and spray fields may be constructed by the developer, purchased through the City from a developer with excess capacity, or purchase may be negotiated with the City. Additional existing sewer fees that will be charged to the LGBPSP area include the “Recycled Water Outfall” fee for a future river discharge of recycled water, and the “Sewer/Recycled Water System” fee to reimburse the cost of constructing recycled water mains west of Interstate 5. Both of these are existing fees for Mossdale Village.

FEE ADJUSTMENTS

The SLSP and LGBPSP Fees may be adjusted in the future years to reflect revised costs or changes in the land use plan. In addition to such adjustments, the SLSP and LGBPSP Fees will be inflated each year by the Engineering News Record (ENR) 20-City Construction Cost Index. Pursuant to reimbursement agreements, all water, sewer, storm drainage, and ROS facilities costs in this 2020 Fee Study have been inflated by the change in the ENR 20-City CCI from December 2018 to December 2019, which amounted to a 1.75% increase.

The last inflation adjustment conducted by the City in January 2020 was based on the December 2019 ENR 20-City Index of 11,381. Future annual inflation adjustments for the facilities costs and fees included in this 2020 Fee Study will be based on this number.

1. INTRODUCTION

BACKGROUND - SLSP

The South Lathrop Specific Plan area is a 315 acre development in the southeast portion of the City. Specifically, the project is located south of State Route 120, north and west of the Union Pacific Railroad, and east of the San Joaquin River. Exhibit I on the following page identifies the location of the project within the City. The SLSP consists of mainly employment-generating land uses. Approximately 246.4 acres are zoned for Light Industrial and Warehouse development and 10 acres are zoned Commercial Office. The remaining 59 acres includes open space, public and quasi-public lands, the San Joaquin River, and roadways.

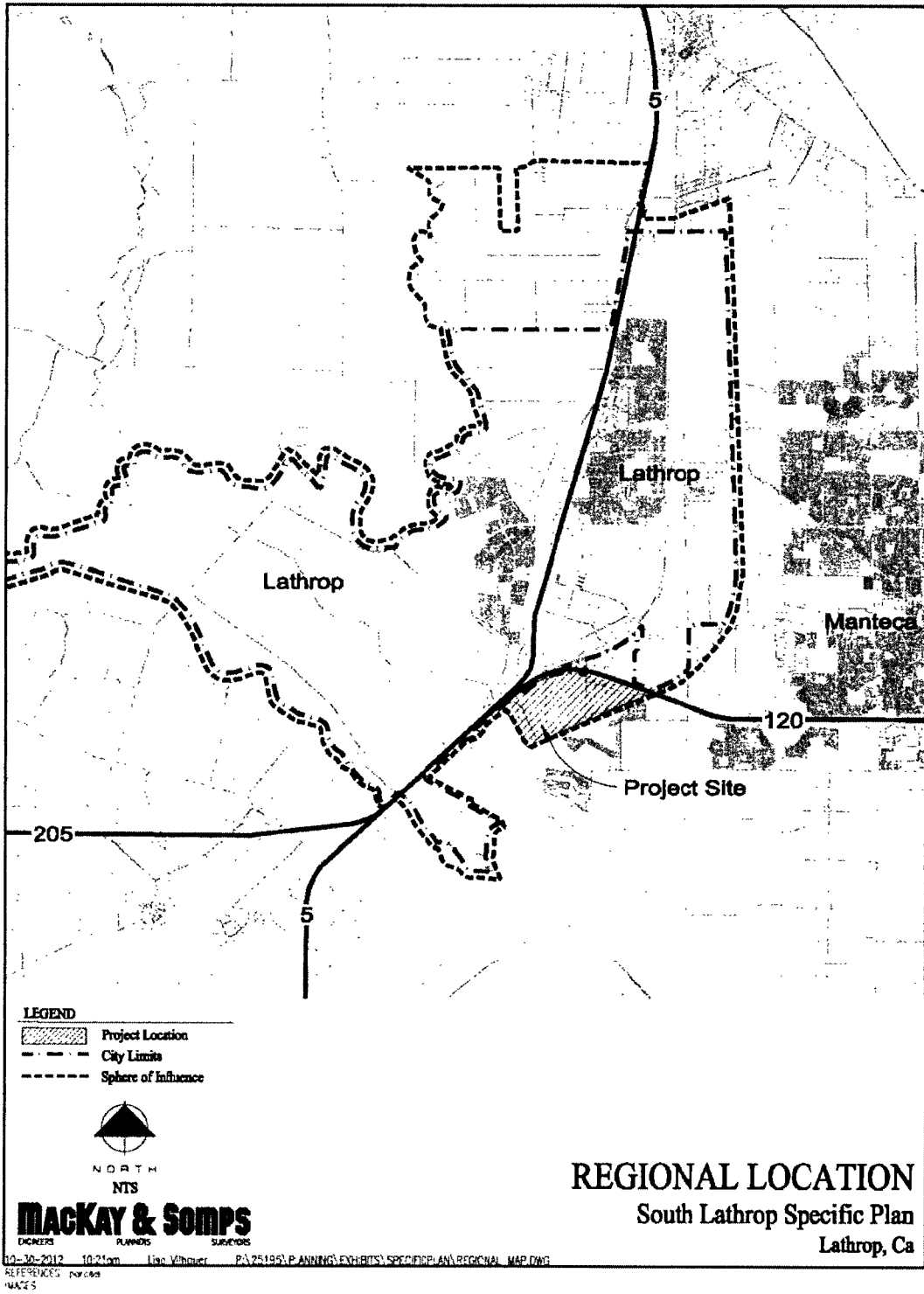
FEES INCLUDED IN 2020 SLSP CAPITAL FACILITIES FEE STUDY

The City's 2019 SLSP Fee Study was adopted by the City Council in October 2019. Not including Lathrop citywide or county fees, the 2019 SLSP Fee Study includes five fees, namely, the Transportation CFF, the Water Line CFF, Sewer System CFF, the Storm Drainage CFF, and the ROS CFF. This 2020 Fee Study updates the facility costs of all five of the existing CFFs, as well as the Administration Fee, including the following fee categories:

- Transportation CFF
- Water Line CFF
- Sewer System CFF
- Storm Drainage CFF
- Regional Outfall Structure CFF
- City Administration Fee (3.0% of other fee rates)

These fees will be referred to in this 2020 Fee Study as the "SLSP Fees". In addition to the SLSP Fees listed above, the SLSP development will also be subject to certain Lathrop citywide and regional CFF fees and San Joaquin County countywide fees.

Exhibit 1 – SLSP Project Site



BACKGROUND - LGBPSP

The LGBPSP area is a 384 acre master planned commercial/industrial development located in the southeastern portion of the City of Lathrop. The development includes approximately 167.6 acres that are zoned for limited industrial uses; 56.7 acres are zoned for new commercial office uses, 83.3 acres zoned for service commercial uses, and 20.1 acres of open space, well, and detention basins. The remaining 56.5 acres are for existing and future roads.

LGBPSP's land use plan includes a maximum potential of 5.43 million square feet of building space. The LGBPSP area is bound by the Union Pacific Railroad to the east and west, State Highway Route 120 to the south, and Yosemite Avenue/Vierra Road to the north. Exhibit 2 on the following page identifies the location of the LGBPSP area.

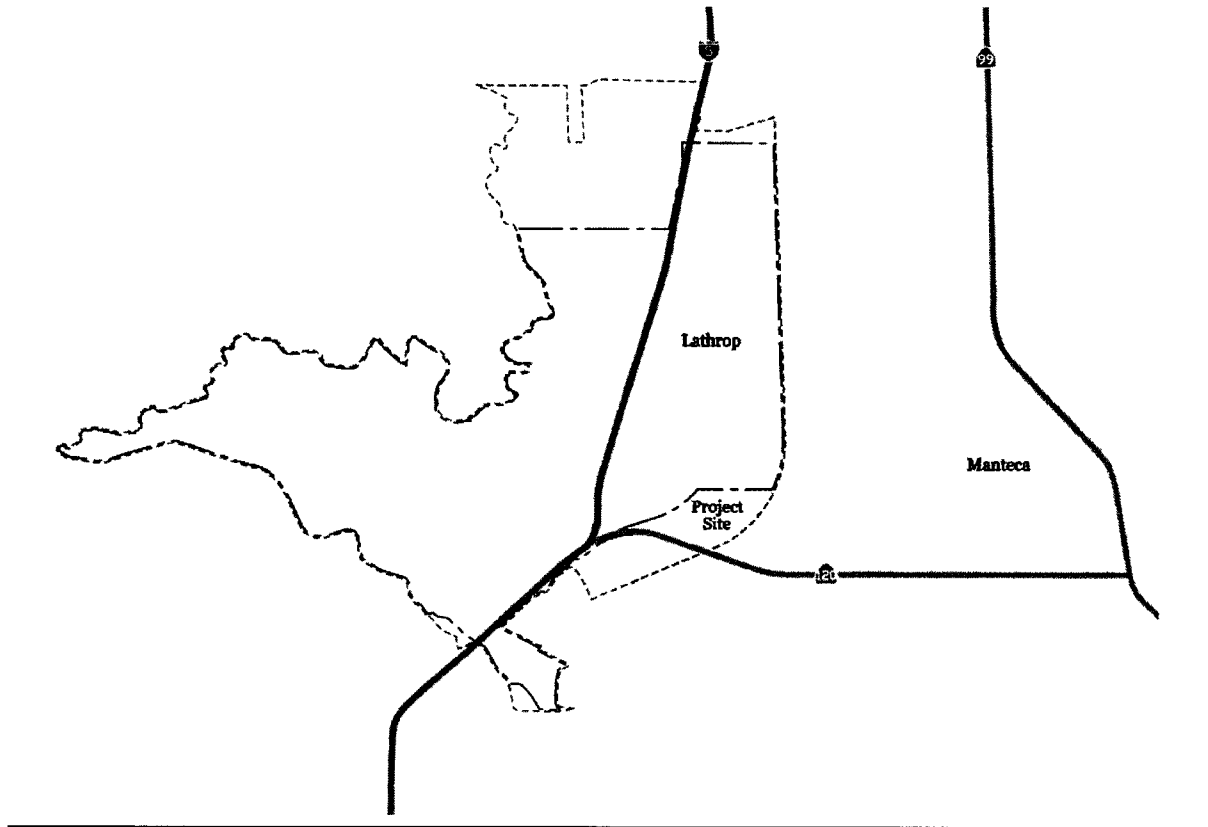
FEES INCLUDED IN FOR LGBPSP

The 2019 LGBPSP Fee Study includes five fees that are specific to the LGBPSP area. This 2020 Fee Study updates the facilities costs of only three of those fees, as well as the Administration Fee, including the following categories:

- Transportation CFF
- Water System CFF
- Regional Outfall Structure CFF
- Administration Fee (3.0% of other fee rates)

These fees will be referred to as “LGBPSP Fees” in this 2020 Fee Study. In addition to the LGBPSP Fees listed above, the LGBPSP development will also be subject to certain City of Lathrop citywide and regional CFF fees as well as San Joaquin County countywide fees.

Exhibit 2 – LGBPSP Project Site



MITIGATION FEE ACT (AB 1600)

The Mitigation Fee Act, commonly known as Assembly Bill (AB) 1600, was enacted by the State of California in 1987 and created Section 66000 et. seq. of the Government Code. AB 1600 requires that all public agencies satisfy the following requirements when establishing, increasing, or imposing a fee as a condition of approval for a development project:

1. Identify the purpose of the fee
2. Identify the use to which the fee will be put
3. Determine how there is a reasonable relationship between:
 - A. The fee's use and the type of development project on which the fee is imposed
 - B. The need for the public facility and the type of development project on which the fee is imposed

- C. The amount of the fee and the cost of the public facility or portion of the public facility attributable to the development on which the fee is imposed

The purpose of this Fee Study is to demonstrate that the fees calculated herein comply with the Mitigation Fee Act. The assumptions, methodologies, facility standards, costs, and cost allocation factors that were used to establish the nexus between the fees and the development on which the fees will be levied are summarized in subsequent chapters of this report.

ORGANIZATION OF REPORT

The remainder of this report has been organized into the following chapters:

Chapter 2	Identifies the land uses, acres, and square footage assumptions included in the 2020 Fee Study
Chapter 3	Provides an explanation of the fee methodology used to calculate the fees in the this 2020 Fee Study
Chapter 4	Summarizes the capital facilities and costs in the fee program
Chapters 5 - 9	Provides the details of the fee calculations for transportation, water lines, sewer system, storm drainage, and regional outfall structure
Chapter 10	Provides a summary of the SLSP Fees and LGBPSP Fees calculated in this 2020 Fee Study
Chapter 11	Discusses the nexus findings for the fees
Chapter 12	Addresses implementation of the fee program, future fee adjustments, and administrative duties required by the fee law

2. LAND USES

SLSP Land Uses

The SLSP area includes approximately 315 acres. The majority of the acreage, about 244.1 acres, is planned for Limited Industrial land uses. This land use category will allow for a large range of development types, including warehouse/distribution, light industrial, manufacturing, office, retail sales and services, R&D, recreation vehicle sales, and equipment and machinery sales and repair services, to name just a few. The Limited Industrial zoning category allows for floor area ratios (FAR) ranging from 0.15 to 0.65. The maximum estimated building square footage for the Limited Industrial land in the SLCC portion of SLSP is 4,775,000. However, Site Plan Review No. SPR-18-47 allows Clean Light Industrial uses within the Commercial Office land use area, increasing the potential industrial uses to a maximum of 4,850,000 sf.

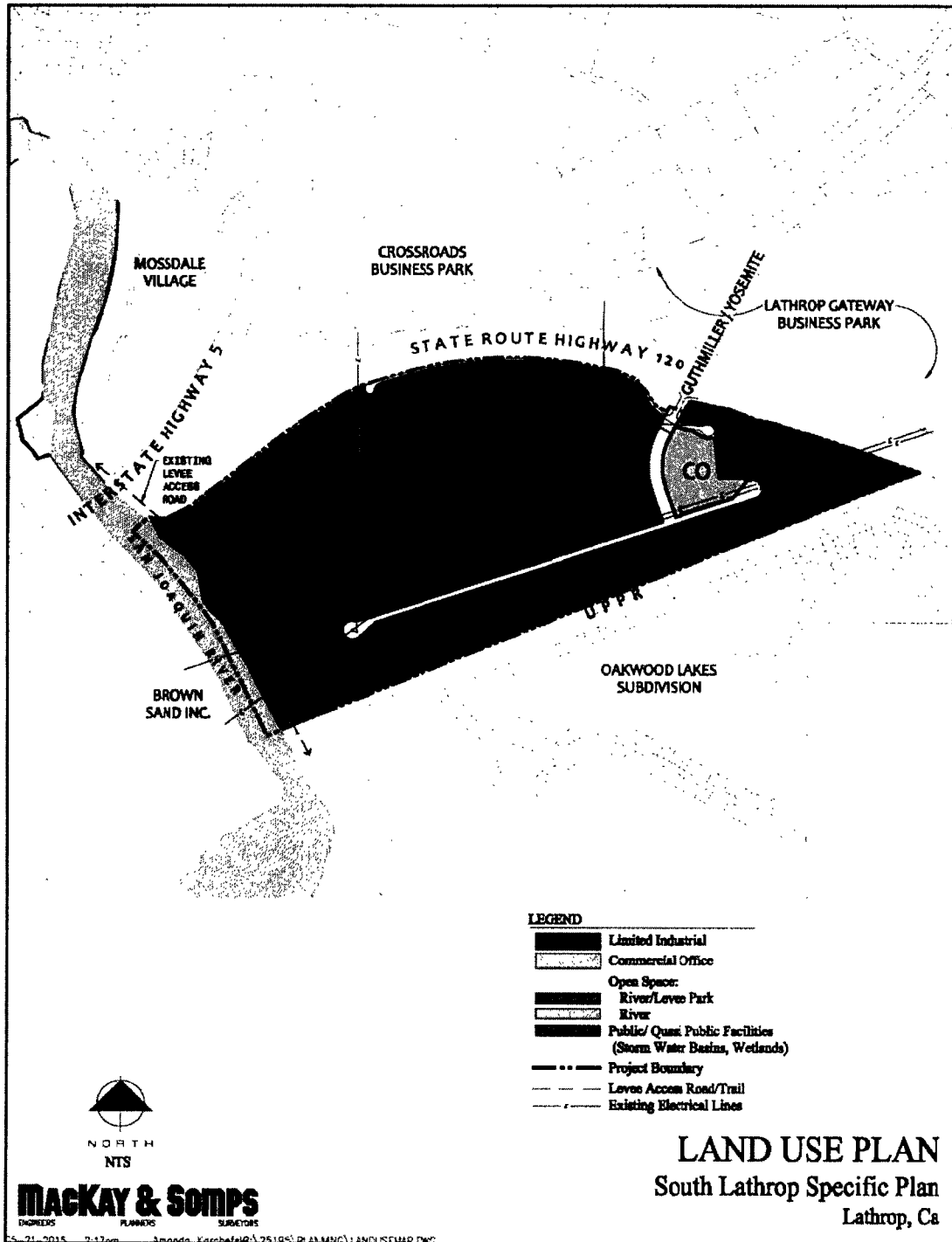
The SLCC also includes 4.5 acres of Commercial Office property situated close to the SR 120 corridor that will provide for local and regional serving office and commercial uses, including financial institutions, administrative support centers, restaurants, hotel/motels, or Clean Light Industrial uses. Although the zoning could allow for 130,000 square feet, the EIR anticipated that a more likely size would be 75,000 square feet of building space, and so that is the building space used in this 2020 Fee Study.

The Open Space land use designation includes about 31.5 acres of San Joaquin River frontage that extends to the centerline of the river. This area includes trails that will connect to the City's trail system. The Public/Quasi-Public Facilities land use consists of 11.6 acres of land that is planned for storm water and recycled water basins. Lastly, 23.3 acres are set aside for existing and future roads. Table 2-1 summarizes the land uses, acres, and building square feet and Exhibit 2 on the following pages identifies the land uses in the SLSP area.

Table 2-1 – SLSP Land Use Summary

<u>Land Use</u>	<u>Average</u>		
	<u>FAR</u>	<u>Acres</u>	<u>Sq. Ft.</u>
Commercial Office	0.38	4.5	75,000
Light Industrial	0.39	66.1	1,120,000
Warehouse	0.47	177.9	3,655,000
Subtotal¹		248.6	4,850,000
<u>Open Space</u>		<u>Acres</u>	
River/Levee Park		21.0	
River		10.5	
Public/Quasi Public		11.6	
Existing and Future Major Roads		23.3	
Subtotal		66.4	
Total		315.0	

Exhibit 3 – SLSP Land Uses



LGBPSP Land Uses

The LGBPSP is a master planned commercial/industrial development that includes approximately 384 acres. Much of the acreage, about 167.6 acres, is planned for Limited Industrial land uses. This land use category will allow for a broad range of development types, including industrial, manufacturing, assembly, warehousing/distribution, office, limited ancillary retail sales, supporting retail services, trailer and recreational vehicle sales, research and development, equipment and machinery repair, rental, and other such necessary uses and supporting services. The Limited Industrial sector is located in the central portion of the Plan area, with access from both Yosemite and McKinley Avenues, and is envisioned as an important employment-generating land use. The Limited Industrial zoning category allows for floor-area-ratios (FAR) ranging from 0.15 to 0.65. The maximum estimated building square footage for the Limited Industrial land in LGBPSP is 3,139,282.

The Service Commercial land use designation includes about 83.3 acres. This area is afforded immediate arterial road access to McKinley and Yosemite Avenues, and the ACE transit line station. This land use area is characterized by service and materials-oriented users such as professional and administrative support services, automotive, truck, boat, and other vehicle sales and services, bicycle shops, building materials businesses, and other product sales and services, warehousing and distribution. The Service Commercial zoning category allows for FAR ratios ranging from 0.15 to 0.66. The maximum estimated building square footage for the Service Commercial land in LGBPSP is 1,554,656.

The LGBPSP also includes 56.7 acres of Commercial Office property situated close to the SR 120 corridor that can provide for local and regional serving office and commercial uses, including financial institutions, administrative support centers, restaurants, and hotel/motels. These strategic uses create a retail commercial land use hub around the interchange. The mix of uses provides regional and local businesses with business workspace, service, and product sales. The Commercial Office zoning category allows for FAR ratios ranging from 0.20 to 0.60. The maximum estimated building square footage for the Commercial Office land in LGBPSP is 740,956.

The remaining acreage will be used for well sites, detention basins, and open space categories. There are three well site facilities that occupy 2.9 acres. The detention category makes up 15.6 acres and the open space area comprises 1.6 acres designated as landscape buffer and slope banks between on-site land uses and major roadways. Roads and pedestrian and bicycle paths will take up the remaining 56.5 acres in the development. Exhibit 4 on the following page provides an illustration of the land uses in the LGBPSP plan.

Exhibit 4 – LGBPSP Land Uses

Lathrop Gateway Business Park Specific Plan | Executive Summary

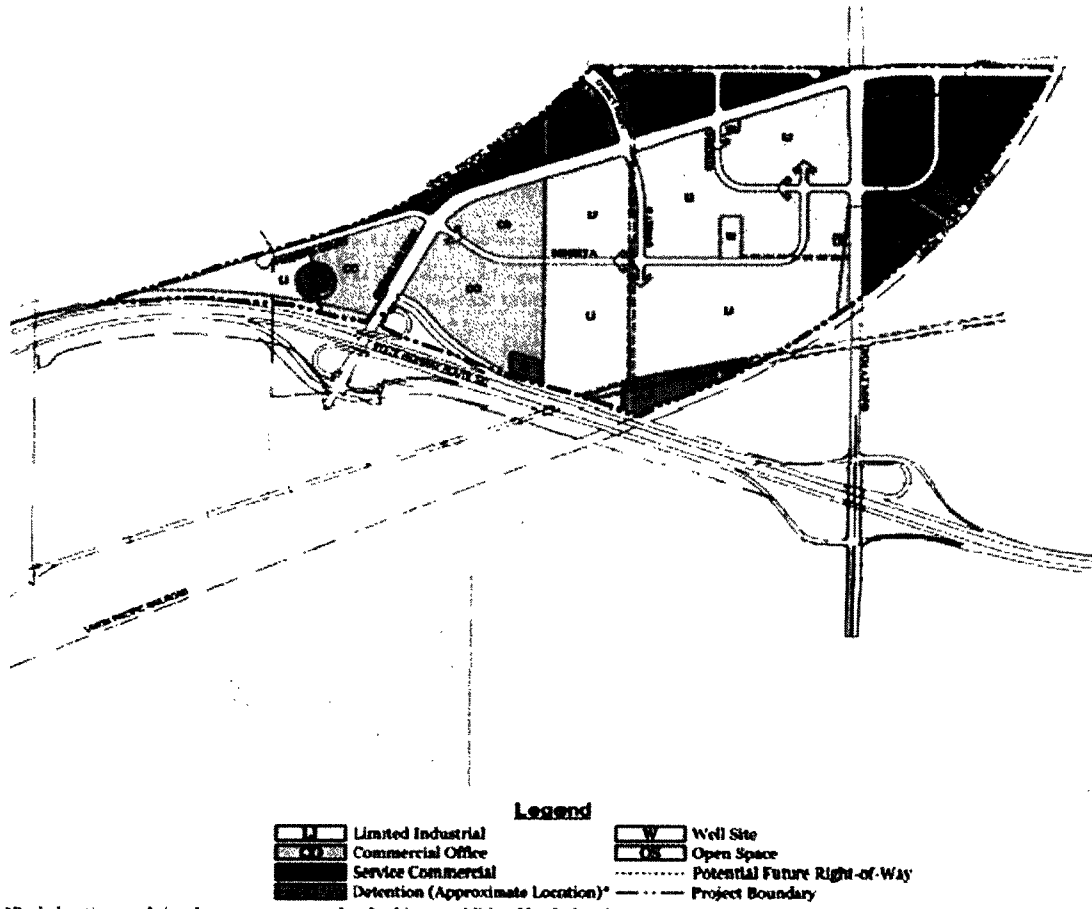


Figure 1.2: Land Use Plan		Date: April 2010	
Lathrop Gateway Business Park Specific Plan Lathrop, California		NOT TO SCALE	WOOD ROGERS

May 25, 2010

1-9

Table 2-2 – LGBPSP Land Use Summary

<u>Land Use¹</u>	<u>Average</u>	<u>Net</u>	
	<u>FAR</u>	<u>Acres</u>	<u>Sq. Ft.</u>
Shopping Center	0.30	14.5	189,747
Office Park	0.34	64.3	958,168
Industrial Park	0.43	103.8	1,944,257
Warehouse	0.43	124.7	2,334,794
Subtotal		307.3	5,426,966
<u>Land Use - Public</u>		<u>Acres</u>	
Well Site		2.9	-
Detention		15.6	-
Major and Existing Roads		56.5	-
Open Space		1.6	-
Subtotal		76.6	
Total		383.9	5,426,966

1. Based on land uses presented in the Fehr & Peers Lathrop Gateway Business Park Specific Plan Project Trip Generation and Traffic Analysis, dated September 28, 2018.

3. FEE METHODOLOGY

When impact fees are calculated, an analysis must be presented in enough detail to demonstrate that a logical and thorough consideration was applied in the process of determining how the fees relate to the impacts from new development. Various findings pursuant to the impact fee statute must be made to ensure that a reasonable relationship exists between the fee amount and the impact caused by development on which the fee will be levied. Following is a discussion of the method used in this 2020 Fee Study to allocate facilities costs to development and determine the fees in the 2020 Fee Study.

FEE METHODOLOGY

The plan-based fee methodology is used in this 2020 Fee Study. This methodology is used for facilities that must be designed based on future demand projections within a geographic location. Typically, a formal plan such as a specific plan, facilities needs assessment, or master plan identifies and supports the level of facilities required to serve the plan area. This plan would typically consider the existing facilities already in place and determine what additional facilities would be necessary to accommodate new development. For example, the need for transportation-related improvements depends specifically on the projected number of trips that must be accommodated on specific roadways. An analysis of existing facilities, geographic constraints, and current levels of service must be completed in order to identify the future facility needs. This information is analyzed in conjunction with a projection of the amount and location of future development in the plan area to determine the adequacy of existing facilities and the demand for new improvements that will be required. Depending on the level of existing facilities, the plan-based fee methodology may allocate planned facilities costs to either future development only or to future and existing development. The steps to calculate a fee under the plan-based fee methodology include the following:

- Step 1** Identify existing facilities and estimate future demand for facilities at build out of the plan area
- Step 2** Determine facilities needed to serve anticipated growth in the plan area
- Step 3** Estimate the gross cost of facilities needed to serve the future development in the plan area

- Step 4** Subtract the gross cost of any facilities included in the facilities plan that will cure any existing deficiency in service or will serve other development areas
- Step 5** Subtract revenues available from alternative funding sources, such as federal or state grants, if any, to identify a net facilities cost that will be allocated to future development.
- Step 6** Select cost allocation factors (e.g., trips generated, gallons per day, C-values, acres) that will be used to allocate facility costs on a proportional impact basis; apply cost allocation factors to each of the land use categories based on their relative service demand or impact on each type of facility
- Step 7** Estimate the total impact from future development by multiplying the total number of units/acres/square feet for each respective land use by its cost allocation factor. Sum the total cost allocation factors for each land use category
- Step 8** Determine the percentage distribution of the cost allocation factors for each land use category by dividing the total of the cost allocation factors for each land use category by the total of all cost allocation factors for all land use categories
- Step 9** Multiply the percent distribution for each land use category, as determined in Step 8, by the total facilities cost to determine the portion of the facility cost that is allocated to each land use category
- Step 10** Divide the facilities cost that is allocated to each land use category, as determined in Step 9, by the number of units to determine the facilities fees per unit, per 1,000 square feet of building space, per acre, or per parcel, as applicable, to determine the fees

COST ALLOCATION FACTORS

Cost allocation factors are used to allocate facilities costs to different land uses based on each land use's specific impact on that facility. These factors establish the nexus in the Fee Mitigation Act that requires that the amount of the fee and the cost of the public facility attributable to the development on which the fee is imposed is reasonably related. Cost allocation factors, if chosen correctly, will produce fees that represent a reasonable relationship and are relatively proportionate to the impact created by different land uses on a facility type.

For example, trip generation rates are typically used as cost allocation factors for transportation facilities because they reasonably measure the impact of different types of development on a transportation system. A fast food restaurant, for example, attracts many customers throughout a normal day. On the other hand, a laundry mat will attract much fewer customers in a day than a fast food restaurant. Therefore the trip generation rate of a fast food restaurant is much higher than that of a laundry mat. As a result, the fast food restaurant’s transportation fee will be much higher than the laundry mat’s fee. Tables 3-1 below and Table 3-2 on the following page show the cost allocation factors used in this 2020 Fee Study to allocate costs and calculate the SLSP and LGBPSP Fees.

Table 3-1 – SLSP Cost Allocation Factors

Land Use	Transportation (per KSF)	Water Line	Sewer	Storm Drainage	Regional Outfall Structure
	<i>Adjusted PM Peak Hr Trips</i>				
Commercial Office	2.46	Acre	Acre	Acre	Acre
Light Industrial	0.16	Acre	Acre	Acre	Acre
Warehouse	0.16	Acre	Acre	Acre	Acre

Source: Fehr and Peers; City of Lathrop; Goodwin Consulting Group

Table 3-2 – LGBPSP Cost Allocation Factors

Land Use	Transportation (per KSF)	Water (Water Loop) (per Acre)	Water (Excl. Water Loop) (per Linear Ft)	Storm Drainage & ROS (Per Acre)
	<i>Adjusted</i>			
	<i><u>PM Peak Hr Trips</u></i>			<i><u>C-Value</u></i>
Shopping Center	2.88	Acre	Frontage LF	0.90
Office Park	1.01	Acre	Frontage LF	0.90
Industrial Park	0.22	Acre	Frontage LF	0.70
Warehouse	0.22	Acre	Frontage LF	0.70

Source: Fehr and Peers; EKI; City of Lathrop

REIMBURSEMENT AGREEMENTS

In March 2019, the SLCC Developer entered into several reimbursement agreements (the “Agreements”) with the City of Lathrop to construct backbone infrastructure facilities. The infrastructure in the Agreements includes the water lines, sewer system, storm drainage, and the ROS facilities that are included in this 2020 Fee Study. Because the facilities will be oversized, the Developer will receive credits for its fair share of the facilities costs and a reimbursement for any oversizing of the facilities. The City has consented in the Agreements to reimburse the SLCC Developer for facility oversizing with fees collected from other developers in SLSP (i.e., Non-SLCC Parcels) and LGBPSP. A provision in the Agreements requires the costs of the water line, sewer system, ROS, and storm drainage facilities to be allocated to benefiting properties based on gross acres. The City’s engineering consultant has identified in the Agreements those properties that benefit from the facilities and this 2020 Fee Study utilizes that information to calculate the water line, sewer system, ROS, and storm drainage fees.

4. CAPITAL FACILITIES AND COSTS

Table 4-1 below summarizes the updated costs for transportation, water system, sewer system, storm drainage, and ROS facilities planned for SLSP and LGBPSP. The total cost of these facilities is \$85.9 million, with transportation facilities being the largest cost component at \$57.2 million. SLSP, LGBPSP, McKinley Corridor, Crossroads, and other local developments will provide the majority of the funding for the transportation improvements. SLSP's allocated share is \$7.9 million and LGBPSP's allocated share is \$14.8 million. For water line facilities costs, LGBPSP allocated share is \$1.6 million, leaving SLSP with its fair share obligation of \$2.5 million. The total cost of the sewer system is \$5.1 million and will serve only the SLSP development. The total storm drainage facilities cost is \$15.9 million and will serve only the SLSP development and therefore there will be no contributions from other developments. For the ROS facility, SLSP and LGBPSP will each fund approximately \$1.2 million each and other local developments will contribute the remaining \$1.2 million. The total funding contribution from the SLSP and LGBPSP CFFs will be \$32.6 million and \$17.6 million, respectively.

As previously mentioned in this report, the total SLSP facilities cost has increased by approximately 10.4% over the facilities cost estimate incorporated in the 2019 SLSP Fee Study. The LGBPSP total facilities cost in this 2020 Fee Study has increased only 0.3% over the total facilities cost estimate incorporated in the 2019 SLSP Fee Study.

Table 4-1 – Facilities Costs

Facility Type	Total Estimated Cost	Funding From Other Developments ¹	SLSP CFF	LGBPSP CFF
Transportation	\$57,160,965	\$34,440,539	\$7,939,723	\$14,780,704
Water System	\$4,083,384	\$0	\$2,484,162	\$1,599,223
Sewer System	\$5,071,260	\$0	\$5,071,260	\$0
Storm Drainage	\$15,914,114	\$0	\$15,914,114	\$0
Regional Outfall Structure	\$3,656,448	\$1,218,816	\$1,218,816	\$1,218,816
Total	\$85,886,171	\$35,659,355	\$32,628,074	\$17,598,743

1. Other developments include McKinley Corridor, Crossroads, and others

5. TRANSPORTATION FEE – SLSP AND LGBPSP

This section of the report identifies the facilities, costs, and the fee rates required to fund the transportation facilities in the SLSP and LGBPSP areas.

FACILITIES AND COSTS

The transportation facilities for SLSP and LGBPSP are identified in Tables A-1 and B-1 in Appendices A and B of this report. Facilities include a network of streets, intersections, and interchanges and include improvements/expansions to SR120/Yosemite interchange, I-5/Louise interchange, Yosemite Avenue, McKinley Avenue, Lathrop Road, Louise Avenue, Airport Way; intersections on Yosemite Avenue, Harlan Road, 5th Street, I-5/Louise, and Howland Road; and ramp improvements on Airport way onto SR120. Improvements numbered 18, 19 and 20 in Tables A-1 and B-1 were measured by the cost to mitigate the noted locations in Manteca. Per an agreement between Lathrop and Manteca, Lathrop will not provide these funds to Manteca. Instead, they will be spent on improvements at the SR 120/Yosemite Interchange. Also, all funds collected for use at the SR 120/Yosemite Interchange will be kept in a separate account and used only for improvements at that interchange.

The total cost of the facilities is \$57.2 million. Based on its traffic model, the City's traffic consultant, Fehr and Peers, determined that the SLSP and LGBPSP allocated fair share amounts of the total cost are \$7.9 million and \$14.8 million, respectively. The remainder, \$34.4 million, is allocated to McKinley Corridor, Crossroads, and other Lathrop developments. Tables A-1 and B-1 in the appendices of this report identify the detailed transportation facilities costs as well as the allocation of those costs to SLSP, LGBPSP, and other developments in the surrounding area.

SLSP COST ALLOCATION FACTORS AND TRANSPORTATION FEES

For the SLSP area, the \$7.9 million in transportation facilities costs is allocated to the Commercial Office, Light Industrial, and Warehouse land uses. Table A-2 in Appendix A shows this allocation is based on the PM Peak Hour trip generation factors shown in Table 5-1 below. These allocation factors measure the amount of trips generated for a given land use and therefore, establish a reasonable relationship, or nexus, between the cost of the transportation facilities that is attributable to each of the land uses and the amount of the Transportation Fees, as determined in this 2020 Fee Study.

Table 5-1
SLSP Transportation Cost Allocation Factors

Land Use	Unit	Transportation
		<i>Adjusted PM Peak Hr Trips</i>
Commercial Office	KSF	2.46
Light Industrial	KSF	0.17
Warehouse	KSF	0.17

Table A-2 in Appendix A shows the calculation of the Transportation Fees based on the allocation of the \$7.9 million cost to the SLSP area. Table 5-2 presents the resulting Transportation Fees per 1,000 square feet of building space.

Table 5-2
SLSP Transportation Fees

Land Use	Unit	SLSP Transportation Fee
Commercial Office	1,000 sf	\$20,539
Light Industrial	1,000 sf	\$1,340
Warehouse	1,000 sf	\$1,340

LGBPSP COST ALLOCATION FACTORS AND TRANSPORTATION FEES

For LGBPSP area, the \$14.8 million in transportation facilities costs is allocated to the Shopping Center, Office Park, Industrial Park, and Warehouse land uses. Table B-2 in Appendix B shows this allocation is based on the PM Peak Hour trip generation factors shown in Table 5-3 below. The PM Peak Hour trip generation rates have been adjusted to account for internal trips as well as pass-by trips. Additionally, the trip rates for the Industrial Park and Warehouse land use categories have been assigned weighted averages of their two rates so as to avoid any future loss of fee revenue that would result if more Warehouse development occurred than currently planned. These trip generation allocation factors establish a reasonable relationship, or nexus, between the cost of the transportation facilities that is attributable to each of the land uses and the amount of the Transportation Fees, as determined in this 2020 Fee Study.

Table 5-3
LGBPSP Transportation Cost Allocation Factors

Land Use	Unit	Transportation
		<i>Adjusted PM Peak Hr Trips</i>
Shopping Center	KSF	2.88
Office Park	KSF	1.01
Industrial Park	KSF	0.22
Warehouse	KSF	0.22

Table B-2 in Appendix B shows the calculation of the Transportation Fees based on the allocation of the \$14.8 million cost to the LGBPSP area. Table 5-4 presents the resulting Transportation Fees per 1,000 square feet of building space.

Table 5-4
LGBPSP Transportation Fees

Land Use	Unit	Transportation Fee
Shopping Center	KSF	\$17,230
Office Park	KSF	\$6,049
Industrial Park	KSF	\$1,336
Warehouse	KSF	\$1,336

6. WATER SYSTEM FEES – SLSP AND LGBPSP

This section of the report identifies the facilities, costs, and the fees required to fund the water system facilities for the SLSP and LGBPSP areas.

FACILITIES AND COSTS

The total cost of the water system improvements is \$4.1 million and these facilities have already been constructed by the SLCC Developer. This total cost is the actual cost, as approved by City staff, and pursuant to the Agreements, was inflated in this 2020 Fee Study by the change in the ENR 20-City CCI from December 2018 to December 2019, which amounted to a 1.75% inflation increase.

The City's engineering consultants determined that approximately, \$2.5 million, or 61% of the total cost should be allocated to SLSP area and \$1.6 million, or 39% of the cost should be allocated to the LGBPSP area.

SLSP WATER FACILITIES

Water line facilities referred to as the Water Loop include mains crossing SR 120 from the POC at Harlan Road to the point of connection on Glacier Street, on Glacier Street to the Yosemite Avenue, and on Yosemite Avenue from Glacier Street to the point at the north edge of the SR 120 right-of-way.

Other Non-Water Loop water line facilities include improvements on Glacier Street, Jefferson Way, and Yosemite Avenue. Improvements include all water lines, pipes, mains, valves, and fire hydrants as well as soft costs and City related costs.

The total water line cost allocated to SLSP is \$2.5 million and includes Water Loop and Non-Water Loop facilities. Table A-3 in Appendix A identifies the detailed water line costs.

LGBPSP WATER FACILITIES

Non-Water Loop facilities include all water lines, pipes, mains, valves, and fire hydrants located in or adjacent to Yosemite Avenue within the limits of the LGBPSP area from SR 120 right-of-way at the Yosemite Avenue interchange to D'Arcy Parkway, plus the pipelines on D'Arcy Parkway to the point of connection.

Water Loop Facilities also include all water lines, pipes, mains, and valves directly related to the water line improvements from Harlan Road, under SR120 freeway, along Glacier Road and connecting to Yosemite Avenue interchange in order to complete the water line loop.

The total water system cost allocated to LGBPSP is \$1.6 million. Tables B-3 and B-5 in Appendix B identify the detailed water system costs.

COST ALLOCATION FACTORS - SLSP

For SLSP the total cost of the water facilities is allocated to 16 specific parcels in SLSP that the City's consultant engineers have identified as benefitting from these facilities. Costs are allocated based on the acreage of each parcel.

COST ALLOCATION FACTORS - LGSPSP

For LGBPSP the cost allocation factors for the two sections of water pipelines are based on the stated methodology prescribed in the Agreement executed between the City and the SLCC Developer. In the Agreement it is prescribed that the water facilities associated with the water loop pipeline section shall be allocated based on gross acres to the properties that were identified by the engineers as benefitting from these facilities. For the non-water loop pipeline facilities, the engineers determined that these facilities costs should be allocated to parcels that front the pipeline based on the length of each parcel's frontage.

Pursuant to the Agreement, the pro rata share of the Non-Water Loop facilities cost shall be based on a benefitting parcel's frontage along Yosemite Avenue, including the cost of the water main and appurtenances along the border of the benefitting parcel; plus, from the benefitting parcel to the point of connection on D'Arcy, any portion of the main and appurtenances costs not yet collected through Water Fees (Non-Water Loop Facilities) by the City.

This approach will require the first properties along Yosemite, between SR 120 and D'Arcy, to reimburse the full cost of the water main and facilities fronting their property, even though development on each side of the street is responsible for only one half the cost of that water main and facilities. Reimbursement for fee overpayment to the property owner that made the overpayment, including payment by the property on the side of Yosemite opposite the developing side, would be paid from Water System Fees (Non-Water Loop Facilities) collected from future developing parcels that are subject to this fee.

WATER SYSTEM FEES

Tables 6-1 and 6-2 below and on the following page show the fees for the benefitting parcels in SLSP and LGBPSP. The water facilities have been constructed by the SLCC Developer, so the SLSP Water Line Fee and LGBPSP Water System Fee revenue will be used to reimburse the SLCC Developer.

Table 6-1
SLSP Water Line Fees

Water Line Cost		\$2,484,162		
Total Acres		248.67		
Cost Per Acre		\$9,990		
<u>Assessor Parcel #</u>	<u>Acreage</u>	<u>Percent of Total Acres</u>	<u>Water Fee/Ac.</u>	<u>Water Line Fee</u>
241-030-150-000	26.08	10.49%	\$9,990	\$260,534
241-030-160-000	49.62	19.95%	\$9,990	\$495,693
241-030-170-000	51.46	20.69%	\$9,990	\$514,075
241-030-180-000	44.72	17.98%	\$9,990	\$446,743
241-030-190-000	15.20	6.11%	\$9,990	\$151,845
241-030-200-000	12.50	5.03%	\$9,990	\$124,872
241-030-210-000	9.44	3.80%	\$9,990	\$94,304
241-030-220-000	6.90	2.77%	\$9,990	\$68,930
241-030-230-000	9.29	3.74%	\$9,990	\$92,805
241-410-020-000	1.20	0.48%	\$9,990	\$11,988
241-410-050-000	0.10	0.04%	\$9,990	\$999
241-410-370-000	5.00	2.01%	\$9,990	\$49,949
241-410-410-000	6.36	2.56%	\$9,990	\$63,535
241-410-420-000	3.00	1.21%	\$9,990	\$29,969
241-410-430-000	2.93	1.18%	\$9,990	\$29,270
241-410-440-000	4.87	1.96%	\$9,990	\$48,650
Totals:	248.67	100%		\$2,484,162

Table 6-2
LGBPSP Water System Fees

Parcel APN	Water Fee (Water Loop Facilities) a	Water Fee (Non-Water Loop Facilities) b	Total Water Fee c = a + b
241-030-050-000	\$34,740	\$0	\$34,740
241-390-050-000	\$31,560	\$62,557	\$94,117
241-390-150-000	\$18,606	\$62,078	\$80,684
241-390-200-000	\$14,956	\$137,242	\$152,197
241-390-220-000	\$16,016	\$65,270	\$81,285
241-400-010-000	\$1,531	\$0	\$1,531
241-400-020-000	\$30,736	\$0	\$30,736
241-400-030-000	\$12,777	\$0	\$12,777
241-400-040-000	\$46,987	\$19,788	\$66,776
241-400-050-000	\$37,566	\$175,542	\$213,108
241-400-060-000	\$270,265	\$242,886	\$513,151
241-400-070-000	\$33,209	\$136,763	\$169,972
241-400-080-000	\$8,832	\$25,214	\$34,046
241-400-090-000	\$0	\$37,023	\$37,023
241-400-110-000	\$0	\$77,079	\$77,079
Totals:	\$557,783	\$1,041,440	\$1,599,223

7. SEWER SYSTEM FEES - SLSP

This section of the report identifies the facilities, costs, and the fee rates required to fund the sewer system in the SLSP area.

FACILITIES AND COSTS

The total cost of the sewer system improvements is \$5.1 million; these facilities have already been constructed by the SLCC Developer. This total cost is the actual cost, as approved by City staff, and pursuant to the Agreements, was inflated in this 2020 Fee Study by the change in the ENR 20-City CCI from December 2018 to December 2019, which amounted to a 1.75% inflation increase.

Sewer system improvements include collection mains and sewer force mains that connect to the Lathrop Consolidated Treatment Facility, manholes, and clean outs, sewer pump station, including the pumps, dewatering, electronic controls, fencing, City conduit with fiber included, lighting, monitoring equipment, security during construction, backup generator, entry gates, and landscaping. The entire cost of the sewer system improvements is allocated to SLSP area because these facilities will serve only SLSP. Table A-5 in Appendix A identifies the detailed facilities costs

COST ALLOCATION FACTORS

The total \$5.1 million sewer system facilities cost is allocated to 16 specific parcels in SLSP that the City's consultant engineers have identified as benefitting from these facilities. Costs are allocated based on the acreage of each parcel. Table 7-1 on the following page shows the cost allocation to the 16 parcels based on the acreage of the parcel.

SEWER SYSTEM FEES

Table 7-1 shows the fees for the benefitting parcels in SLSP. The Sewer System Fees collected by the City will be used to reimburse the SLCC Developer.

Table 7-1
SLSP Sewer System Fees

Sewer Facilities Cost		\$5,071,260		
Total Acres		248.67		
Cost Per Acre		\$20,394		
<u>Assessor Parcel #</u>	<u>Acres</u>	<u>Percent of Total Acres</u>	<u>Sewer Fee/Ac.</u>	<u>Sewer Fee</u>
241-030-150-000	26.08	10.49%	\$20,394	\$531,863
241-030-160-000	49.62	19.95%	\$20,394	\$1,011,927
241-030-170-000	51.46	20.69%	\$20,394	\$1,049,451
241-030-180-000	44.72	17.98%	\$20,394	\$911,999
241-030-190-000	15.20	6.11%	\$20,394	\$309,982
241-030-200-000	12.50	5.03%	\$20,394	\$254,919
241-030-210-000	9.44	3.80%	\$20,394	\$192,515
241-030-220-000	6.90	2.77%	\$20,394	\$140,715
241-030-230-000	9.29	3.74%	\$20,394	\$189,456
241-410-020-000	1.20	0.48%	\$20,394	\$24,472
241-410-050-000	0.10	0.04%	\$20,394	\$2,039
241-410-370-000	5.00	2.01%	\$20,394	\$101,968
241-410-410-000	6.36	2.56%	\$20,394	\$129,703
241-410-420-000	3.00	1.21%	\$20,394	\$61,181
241-410-430-000	2.93	1.18%	\$20,394	\$59,753
241-410-440-000	4.87	1.96%	\$20,394	\$99,317
Totals:	248.67	100%		\$5,071,260

8. STORM DRAINAGE FEE - SLSP

This section of the report identifies the facilities, costs, and the fee rates required to fund the storm drainage facilities in the SLSP area.

FACILITIES AND COSTS

The total cost of the storm drainage improvements is \$15.9 million; these facilities have already been constructed by the SLCC Developer. This total cost is the actual cost, as approved by City staff, and pursuant to the Agreements, was inflated in this 2020 Fee Study by the change in the ENR 20-City CCI from December 2018 to December 2019, which amounted to a 1.75% inflation increase.

Storm drainage facilities include the drainage collection system, including pipelines, manholes, public laterals and storm drain inlets, a detention basin and storm water quality basin, levee toe drain, storm drain pump station and force main, as well as soft costs and City related costs. The total cost of the storm drainage improvements is \$15.9 million and because these facilities will serve SLSP exclusively, the entire cost is allocated to SLSP area. The detailed storm drainage facilities and costs are shown in Table A-7 in Appendix A.

COST ALLOCATION FACTORS

The total \$15.9 million storm drainage facilities cost is allocated to 16 specific parcels in SLSP that the City's consultant engineers have identified as benefitting from these facilities. Costs are allocated based on the acreage of each parcel. Table 8-1 on the following page shows cost allocation to the 16 parcels based on the acreage of the parcel.

STORM DRAINAGE FEES

Table 8-1 shows the fees for the benefitting parcels in SLSP. The Storm Drainage Fees collected by the City will be used to reimburse the SLCC Developer.

Table 8-1
SLSP Storm Drainage Fees

Storm Drainage Facilities Cost		\$15,914,114		
Total Acres		248.67		
Cost Per Acre		\$63,997		
<u>Assessor Parcel #</u>	<u>Acreage</u>	<u>Percent of Total Acres</u>	<u>Storm Drainage Fee/Ac.</u>	<u>Storm Drainage Fee</u>
241-030-150-000	26.08	10.49%	\$63,997	\$1,669,040
241-030-160-000	49.62	19.95%	\$63,997	\$3,175,527
241-030-170-000	51.46	20.69%	\$63,997	\$3,293,281
241-030-180-000	44.72	17.98%	\$63,997	\$2,861,942
241-030-190-000	15.20	6.11%	\$63,997	\$972,753
241-030-200-000	12.50	5.03%	\$63,997	\$799,961
241-030-210-000	9.44	3.80%	\$63,997	\$604,131
241-030-220-000	6.90	2.77%	\$63,997	\$441,579
241-030-230-000	9.29	3.74%	\$63,997	\$594,531
241-410-020-000	1.20	0.48%	\$63,997	\$76,796
241-410-050-000	0.10	0.04%	\$63,997	\$6,400
241-410-370-000	5.00	2.01%	\$63,997	\$319,985
241-410-410-000	6.36	2.56%	\$63,997	\$407,020
241-410-420-000	3.00	1.21%	\$63,997	\$191,991
241-410-430-000	2.93	1.18%	\$63,997	\$187,511
241-410-440-000	4.87	1.96%	\$63,997	\$311,665
Totals:	248.67	100%		\$15,914,114

9. REGIONAL OUTFALL STRUCTURE FEE – SLSP AND LGBPSP

This section of the report identifies the facilities, costs, and the fee rates required to fund the Regional Outfall Structure servicing the SLSP, LGBPSP, and surrounding areas.

FACILITIES AND COSTS

The total cost of the Regional Outfall Structure is \$3.6 million and these facilities have been constructed by the SLCC Developer. This total cost is the actual cost, as approved by City staff, and pursuant to the Agreements, was inflated in this 2020 Fee Study by the change in the ENR 20-City CCI from December 2018 to December 2019, which amounted to a 1.75% inflation increase.

The South Lathrop Specific Plan states that storm runoff from the SLSP area is anticipated to discharge to the San Joaquin River through a new outfall located near the southwest corner of the SLSP area. The proposed South Lathrop outfall facility will be a regional facility that will also serve the LGBPSP and McKinley Corridor developments in addition to the SLSP area.

Facilities include grading, dewatering, piping, sheetpile, a concrete headwall, rip rap, soft costs and City related costs. The City and its engineering consultant have determined that the cost of the ROS should be equally allocated to three development areas in the City that will benefit from this facility – namely SLSP, LGBPSP, and the McKinley Corridor development. Accordingly, SLSP and LGBPSP are each allocated a 33% share of the total cost, or \$1.2 million. The detailed ROS facilities and costs are shown in Table A-9 in Appendix A of this report.

COST ALLOCATION FACTORS

For the SLSP area, the \$1.2 million share of the ROS facilities is allocated to 16 specific parcels in SLSP that the City’s consultant engineers have identified as benefitting from these facilities. Costs are allocated based on the acreage of each parcel.

For the LGBPSP area, the \$1.2 million share of the ROS facilities cost is allocated to LGBPSP land uses in Table B-8 in Appendix B based on the City’s C-value factors. C-value factors, which measure the amount of water runoff for a given land use, establish a reasonable relationship, or nexus, between the cost of the ROS facilities that is attributable to each of the land uses and the amount of the ROS Fees, as determined in this 2020 Fee Study.

REGIONAL OUTFALL STRUCTURE FEES

Table 9-1 shows the fees for the benefitting parcels in SLSP. The ROS Fees collected by the City will be used to reimburse the SLCC Developer.

**Table 9-1
SLSP Regional Outfall Structure Fee¹**

Regional Outfall Structure (ROS) Facilities Cost				\$1,218,816
Total Acres				248.67
Cost Per Acre				\$4,901
<u>Assessor Parcel #</u>	<u>Acreege</u>	<u>Percent of Total Acres</u>	<u>ROS Fee/Ac.</u>	<u>ROS Fee</u>
241-030-150-000	26.08	10.49%	\$4,901	\$127,827
241-030-160-000	49.62	19.95%	\$4,901	\$243,204
241-030-170-000	51.46	20.69%	\$4,901	\$252,223
241-030-180-000	44.72	17.98%	\$4,901	\$219,188
241-030-190-000	15.20	6.11%	\$4,901	\$74,500
241-030-200-000	12.50	5.03%	\$4,901	\$61,267
241-030-210-000	9.44	3.80%	\$4,901	\$46,269
241-030-220-000	6.90	2.77%	\$4,901	\$33,819
241-030-230-000	9.29	3.74%	\$4,901	\$45,533
241-410-020-000	1.20	0.48%	\$4,901	\$5,882
241-410-050-000	0.10	0.04%	\$4,901	\$490
241-410-370-000	5.00	2.01%	\$4,901	\$24,507
241-410-410-000	6.36	2.56%	\$4,901	\$31,173
241-410-420-000	3.00	1.21%	\$4,901	\$14,704
241-410-430-000	2.93	1.18%	\$4,901	\$14,361
241-410-440-000	4.87	1.96%	\$4,901	\$23,870
Totals:	248.67	100%		\$1,218,816

1. The SLCC Developer constructed the ROS. Their properties, the SLCC Parcels, will therefore not be subject to this fee, but will be provided a credit in the amount of the ROS fee due for each building. Parcels within SLSP that are not owned by the SLCC Developer will be subject to the fee, and once collected, the fees will be provided to the SLCC Developer as reimbursement.

Table 9-2 shows the ROS Fees for the LGBPSP area. The ROS Fees collected by the City will be used to reimburse the SLCC Developer.

Table 9-2
LGSPSP Regional Outfall Structure Fee

Land Use	Unit	ROS Fee
Shopping Center	KSF	\$364
Office Park	KSF	\$319
Industrial Park	KSF	\$197
Warehouse	KSF	\$197

10. FEE SUMMARY

The Tables 10-1 below and 10-2 on the following page summarize the fees calculated in this report that are proposed for the SLSP area. Table 10-1 shows the Transportation Fees.

Table 10-2 includes the Water Line, Sewer, Storm Drainage, and ROS Fees; these fees will be levied only on the specific parcels identified in Table 10-2. A 3.0% City administration fee will be added to these fees to pay for the City administrative duties associated with the fee program.

Table 10-1
SLSP Transportation Fee Summary

Land Use	Unit	SLSP Transportation Fee
Commercial Office	1,000 sf	\$20,551
Light Industrial	1,000 sf	\$1,341
Warehouse	1,000 sf	\$1,341

Table 10-2
SLSP Fee Summary¹

<u>Assessor Parcel #</u>	<u>Water Line Fees</u>	<u>Sewer Fees</u>	<u>Storm Drainage Fees</u>	<u>ROS Fees</u>
241-030-150-000	\$260,534	\$531,863	\$1,669,040	\$127,827
241-030-160-000	\$495,693	\$1,011,927	\$3,175,527	\$243,204
241-030-170-000	\$514,075	\$1,049,451	\$3,293,281	\$252,223
241-030-180-000	\$446,743	\$911,999	\$2,861,942	\$219,188
241-030-190-000	\$151,845	\$309,982	\$972,753	\$74,500
241-030-200-000	\$124,872	\$254,919	\$799,961	\$61,267
241-030-210-000	\$94,304	\$192,515	\$604,131	\$46,269
241-030-220-000	\$68,930	\$140,715	\$441,579	\$33,819
241-030-230-000	\$92,805	\$189,456	\$594,531	\$45,533
241-410-020-000	\$11,988	\$24,472	\$76,796	\$5,882
241-410-050-000	\$999	\$2,039	\$6,400	\$490
241-410-370-000	\$49,949	\$101,968	\$319,985	\$24,507
241-410-410-000	\$63,535	\$129,703	\$407,020	\$31,173
241-410-420-000	\$29,969	\$61,181	\$191,991	\$14,704
241-410-430-000	\$29,270	\$59,753	\$187,511	\$14,361
241-410-440-000	\$48,650	\$99,317	\$311,665	\$23,870
Totals:	\$2,484,162	\$5,071,260	\$15,914,114	\$1,218,816

1. The SLCC Developer constructed the water, sewer, and storm drainage facilities that are the basis for these fees. The SLCC Parcels will therefore not be subject to these fees but will be provided a credit in the amount of the fees due for each building. Parcels within SLSP that are not owned by the SLCC Developer will be subject to these fees, and once collected, the fees will be provided to the SLCC Developer as reimbursement.

The Table 10-3 below summarizes the fees calculated in this report that are proposed for the LGBPSP area.

Table 10-3
LGBPSP Fee Summary

Land Use	Unit	Transportation Fee	Water System Fee	Regional Outfall (ROS) Fee
Shopping Center	1,000 sf	\$17,230	(1)	\$364
Office Park	1,000 sf	\$6,049	(1)	\$319
Industrial Park	1,000 sf	\$1,336	(1)	\$197
Warehouse	1,000 sf	\$1,336	(1)	\$197

(1) The water system fee will be levied only on those specific parcels in the LGBPSP that will benefit from these facilities.

Table 10-4
LGBPSP Water System Fee Summary

Parcel APN	Water Fee (Water Loop Facilities) a	Water Fee (Non-Water Loop Facilities) b	Total Water Fee c = a + b
241-030-050-000	\$34,740	\$0	\$34,740
241-390-050-000	\$31,560	\$62,557	\$94,117
241-390-150-000	\$18,606	\$62,078	\$80,684
241-390-200-000	\$14,956	\$137,242	\$152,197
241-390-220-000	\$16,016	\$65,270	\$81,285
241-400-010-000	\$1,531	\$0	\$1,531
241-400-020-000	\$30,736	\$0	\$30,736
241-400-030-000	\$12,777	\$0	\$12,777
241-400-040-000	\$46,987	\$19,788	\$66,776
241-400-050-000	\$37,566	\$175,542	\$213,108
241-400-060-000	\$270,265	\$242,886	\$513,151
241-400-070-000	\$33,209	\$136,763	\$169,972
241-400-080-000	\$8,832	\$25,214	\$34,046
241-400-090-000	\$0	\$37,023	\$37,023
241-400-110-000	\$0	\$77,079	\$77,079
Totals:	\$557,783	\$1,041,440	\$1,599,223

LATHROP CITYWIDE AND SAN JOAQUIN COUNTYWIDE FEES

The SLSP and LGBPSP Fees calculated in this 2020 Fee Study, if adopted by the City Council, will update the existing SLSP and LGBPSP CFF program. In addition to the SLSP and LGBPSP Fees shown in this 2020 Fee Study, the SLSP and LGBPSP areas will also be subject to other Lathrop citywide and regional impact fees in the CFF program such as the Municipal Service Facilities CFF and the Mossdale Tract Regional Levee Impact Fee.

The SLSP and LGBPSP areas will also be subject to San Joaquin County fees, such as the San Joaquin County Regional Transportation Impact Fee (RTIF) and the County Capital Facilities Fee. The SLSP and LGBPSP areas shall participate in the City’s agriculture mitigation program and the San Joaquin Multi-Species Habitat Conservation and Open Space Plan by paying the per-acre fees for the loss of farmland as well as to mitigate for habitat impacts to covered special status species.

WATER AND SEWER CONNECTION FEES – SLCC PARCELS

With approval of Parcel Map 17-01, per the Development Agreement, the SLCC Developer allocated to all SLCC Parcels ground water from Well No. 9 at the rate of 500 gal/day/acre. This volume will allow dry warehouse development. With each building permit, the developer will purchase SSJID surface water (SSJID Buy-in Fee per 2018 SLSP Study) for 2/3 of the total demand for the parcel being developed. With approval of Parcel Map 17-01, per the Development Agreement, the SLCC Developer allocated to all SLCC Parcels wastewater treatment capacity at the Combined Treatment Facility on Christopher Way, plus storage and disposal capacity at the current industrial rate of 355 gal/day/acre. Additional existing sewer fees that will be charged to the SLCC Parcels include the “Recycled Water Outfall” fee for a future river discharge of recycled water. This is an existing fee listed for Mossdale Village.

WATER AND SEWER CONNECTION FEES – NON-SLCC PARCELS

In addition to the SLSP Fees shown in the 2020 Fee Study, the Non-SLCC Parcels will also be subject to other Lathrop citywide fees in the CFF program for water and sewer connection fees. Water connection fees for the Non-SLCC Parcels will include the ‘Surface Water Supply Full Cost’ fee existing for Mossdale Village. Because no capital cost for surface water has been funded for the Non-SLCC Parcels in the past, the full cost is due. This fee represents two-thirds of the water required to come from surface water. Water connection fees for the Non-SLCC Parcels will also include the “Water System Buy-in” fee charged for the East Lathrop Area, which represents one-third of the water required from ground water, plus the “Water System Well Improvement” fee existing for the Mossdale Village area. This fee covers the cost of arsenic removal in the City wells.

For Non-SLCC Parcels, sewer connection fees will include the cost of wastewater treatment capacity at the Combined Treatment Facility on Christopher Way plus the cost of designing, building, permitting and land acquisition to build storage ponds and disposal spray fields for recycled water. Treatment capacity may be purchased through the City from developers with excess capacity. Ponds and spray fields may be constructed by the developer, purchased through the City from a developer with excess capacity, or purchase may be negotiated with the City. Additional existing sewer fees that will be charged to the Non-SLCC Parcels include the “Recycled Water Outfall” fee for a future river discharge of recycled water, and the “Sewer/Recycled Water System” fee to reimburse the cost of constructing recycled water mains west of Interstate 5. Both of these are existing fees for Mossdale Village and are applicable to Non-SLCC Parcels.

WATER AND SEWER CONNECTION FEES – LGBPSP

In addition to the LGBPSP Fees shown in the 2020 Fee Study, the LGBPSP area will also be subject to other Lathrop citywide fees in the CFF program for water and sewer connection fees. Water connection fees for the LGBPSP area will include the “Surface Water Supply Full Cost” fee existing for Mossdale Village. Because no capital cost for surface water has been funded for the LGBPSP area in the past, the full cost is due. This fee represents two-thirds of the water required to come from surface water. Water connection fees for the LGBPSP area will also include the “Water System Buy-in” fee existing for the East Lathrop Area, which represents one-third of the water required from ground water, by buying into the East Lathrop water system plus the “Water System Well Improvement” fee existing for the Mossdale Village area. This fee covers the cost of arsenic removal in the City wells.

Sewer connection fees will include the cost of wastewater treatment capacity at the Combined Treatment Facility on Christopher Way plus the cost of designing, building, permitting and land to build storage ponds and disposal spray fields for recycled water. Treatment capacity may be purchased through the City from developers with excess capacity. Ponds and spray fields may be constructed by the developer, purchased through the City from a developer with excess capacity, or purchase may be negotiated with the City. Additional existing sewer fees that will be charged to the LGBPSP area include the “Recycled Water Outfall” fee for a future river discharge of recycled water, and the “Sewer/Recycled Water System” fee to reimburse the cost of constructing recycled water mains west of Interstate 5. Both of these are existing fees for Mossdale Village.

FEE ADJUSTMENTS

The SLSP and LGBPSP Fees may be adjusted in the future years to reflect revised costs or changes in the land use plan. In addition to such adjustments, the SLSP and LGBPSP Fees will be inflated each year by the Engineering News Record (ENR) 20-City Construction Cost Index. Pursuant to reimbursement agreements, all water, sewer, storm drainage, and ROS facilities costs in this 2020 Fee Study have been inflated by the change in the ENR 20-City CCI from December 2018 to December 2019, which amounted to a 1.75% increase.

The last inflation adjustment conducted by the City in January 2020 was based on the December 2019 ENR 20-City Index of 11,381. Future annual inflation adjustments for the facilities costs and fees included in this 2020 Fee Study will be based on this number.

11. NEXUS FINDINGS

Development in the City will create a need for additional public facilities as well as expansion of existing facilities to serve future residents and employees. The CFF program will provide funding for public facilities in accordance with the policies and goals set forth by the City. As required pursuant to the Mitigation Fee Act, the SLSP and LGBPSP Fees calculated in this 2020 Fee Study meet the nexus requirements of the law, as outlined below.

NEXUS TEST

Purpose of the Fees

The purpose of the SLSP and LGBPSP Fees is to provide funding for the infrastructure and facilities identified in this 2020 Fee Study.

Use of Fee

SLSP Fee and LGBPSP Fee revenue will be used to fund future development's fair share of the cost of infrastructure and facilities that have been identified by the City as necessary to serve new development in the SLSP and LGBPSP areas.

Determine how there is a reasonable relationship between the need for the public facility and the type of development project on which the fee is imposed.

New non-residential development will generate additional demand for the infrastructure and facilities identified in this 2020 Fee Study. The facilities, infrastructure improvements, and capacity enhancements included in this 2020 Fee Study will ensure that the City will maintain the desired level of service standards that are identified for the facility categories included in this Fee Study.

Determine how there is a reasonable relationship between the fee's use and the type of development project on which the fee is imposed.

Fee revenue collected from the SLSP and LGBPSP areas will fund the facilities included in this 2020 Fee Study. These facilities will serve development in the SLSP and LGBPSP areas and the estimated fees are a fair-share cost allocation based on the impact that future development will have on these facilities and improvements. Fee accounts for the SLSP and LGBPSP areas will be established to ensure that fee revenue is applied to the infrastructure and facilities for which it is collected.

Determine how there is a reasonable relationship between the amount of the fee and the cost of the public facility or portion of the public facility attributable to the development on which the fee is imposed.

A reasonable relationship between the amount of each SLSP Fee and LGBPSP Fee and the cost of the public facility, or portion thereof, is established in this Fee Study through the use of cost allocation factors to estimate the demand for a facility or, the impact that a land use will have on a facility. For example, the cost allocation for the Transportation Fee is based on the number trips generated for each specific land use. The trip generation rates, which differ between land use categories, measure each land use's impact on facilities and infrastructure. As a result, each land use category or development type is allocated its fair share of the cost based on its impact, as identified by its cost allocation factor.

By assigning the demand for infrastructure and facilities based on the cost allocation factors for each land use and quantifying that demand in the calculation of the SLSP and LGBPSP Fees, a reasonable relationship is established between the amount of the fee and the cost of the facilities attributable to the different types of non-residential development in the SLSP and LGBPSP areas.

12. FEE PROGRAM ADMINISTRATION

FEE IMPLEMENTATION

According to the California Government Code, prior to levying a new fee or increasing an existing fee, a public agency must hold at least one open and public meeting. At least 10 days prior to this meeting, the agency must make data on facility costs and funding sources available to the public. Notice of the time and place of the meeting, and a general explanation of the matter, are to be published in accordance with Section 6062a of the Government Code, which states that publication of notice shall be posted over a 10-day period in a newspaper regularly published once a week or more. Two publications, with at least five days intervening between the dates of the first and last publication, not counting such publication dates, are sufficient. The Fee Study and fees established herein will be adopted through a City ordinance and resolution. Once the fee program is adopted by the Lathrop City Council, it shall become effective no sooner than sixty days after the final legislative action.

FEE ADJUSTMENTS

The SLSP and the LGBPSP Fees will be adjusted in future years to reflect revised facility standards, receipt of funding from alternative sources (i.e., state or federal grants), revised costs, or changes in land use. In addition to such adjustments, each year the SLSP Fees and the LGBPSP Fees will be adjusted by the change in the ENR 20-City construction cost index over the prior calendar year. The last inflation adjustment conducted by the City in January 2019 was based on the December 2019 ENR 20-City Index of 11,381. Future annual inflation adjustments for the facilities costs and fees included in this 2020 Fee Study will be based on this number.

ANNUAL ADMINISTRATIVE DUTIES

The Government Code requires a public agency to report, every year and every fifth year, certain financial information regarding their impact fees. Within 180 days after the last day of each fiscal year the public agency must make the following information available for the past fiscal year:

- (a) A brief description of the type of fee in the account or fund
- (b) The amount of fee revenue
- (c) The beginning and ending balance of the account or fund
- (d) The amount of fee revenue collected and interest earned

- (e) An identification of each public improvement on which fees were expended and the amount of expenditures on each improvement, including the total percentage of the cost of public improvement that was funded with fees
- (f) An identification of an approximate date by which time construction on the improvement will commence if the local agency determines that sufficient funds have been collected to complete financing on an incomplete public improvement
- (g) A description of each interfund transfer or loan made from the account or fund, when it will be repaid and at what interest rate
- (h) The amount of any refunds made once it is determined that sufficient monies have been collected to fund all projects

The public agency must make this information available for public review and must also present it at the next regularly scheduled public meeting not less than 15 days after this information is made available to the public.

FIFTH-YEAR ADMINISTRATIVE DUTIES

For the fifth year following the first deposit into the fee account and every five years thereafter, the public agency must make the following findings with respect to any remaining funds in the fee accounts:

- (a) Identify the purpose to which the fee is to be put
- (b) Demonstrate a reasonable relationship between the fee and the purpose for which it is charged
- (c) Identify all sources and amounts of funding anticipated to complete financing incomplete improvements
- (d) Designate the approximate dates on which funding is expected to be deposited into the appropriate accounts or funds

As with the annual report, the five-year report must be made public within 180 days after the end of the public agency's fiscal year and must be reviewed at the next regularly scheduled public meeting. The public agency must make these findings; otherwise the law states that the City must refund the fee revenue to the then current owners of the development project.

APPENDIX A

SLSP Capital Facilities Costs and Fee Calculations

**Table A-1
Transportation Facilities Costs Allocated to Developments in Lathrop**

Improvement	Cost Estimate	SLSF	LGBSP	MC	Crossroads	Other Lathrop	Through Trips
Ph 1 SR 120 / Yosemite		42.95%	42.95%	1.00%	12.40%	0.70%	
Encroachment Permit Project	\$ 2,305,608	\$ 990,259	\$ 990,259	\$ 23,056	\$ 285,895	\$ 16,139	
Ph 2 SR 120 / Yosemite		42.95%	42.95%	1.00%	12.40%	0.70%	
Interim Phase	\$ 15,004,000	\$ 6,444,218	\$ 6,444,218	\$ 150,040	\$ 1,860,496	\$ 105,028	
Full Interchange (100% of relocate all WB ramps)	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
3 I-5 / Lathrop Road		1.50%	2.20%	0.36%	1.50%	94.44%	
Full Interchange (61% of \$33,000,000 = \$20,000,000)	\$ 20,000,000	\$ 300,000	\$ 440,000	\$ 72,000	\$ 300,000	\$ 18,888,000	
4 Yosemite Avenue - Segment 1 SR 120 to Yosemite Court Improvement Cost (100%)	\$ 663,000	\$ 14,586	\$ 84,788	\$ 11,735	\$ 51,051	\$ 23,537	
5 Yosemite Avenue - Segment 2 Yosemite Court to D'Arcy Parkway Improvement Cost (100%)	\$ 756,000	\$ 16,632	\$ 84,788	\$ 13,381	\$ 58,212	\$ 26,838	
6 Yosemite Avenue - Segment 3 D'Arcy Parkway to McKinley Avenue Improvement Cost (100%)	\$ 430,000	\$ 8,084	\$ 71,522	\$ 33,970	\$ 42,570	\$ 37,840	
7 Yosemite Avenue - Segment 4 McKinley Avenue to UPRR Tracks Improvement Cost (100%)	\$ 380,000	\$ 7,144	\$ 71,522	\$ 30,020	\$ 37,620	\$ 33,440	
8 Yosemite Avenue - Segment 5 SR 120 to SLSF Street A Improvement Cost (\$530,000) Developer Constructed	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
9 Yosemite Avenue - Intersection 1 Yosemite Avenue / Yosemite Court Improvement Cost (100%)	\$ 630,000	\$ 13,860	\$ 84,788	\$ 11,151	\$ 48,510	\$ 22,365	
10 Yosemite Avenue - Intersection 2 Yosemite Avenue / D'Arcy Parkway Improvement Cost (100%)	\$ 420,000	\$ 7,896	\$ 71,522	\$ 33,180	\$ 41,580	\$ 36,960	
11 Yosemite Avenue - Intersection 3 Yosemite Avenue / McKinley Avenue Improvement Cost (100%)	\$ 770,000	\$ 14,476	\$ 71,522	\$ 60,830	\$ 76,230	\$ 67,760	
12 Yosemite Avenue - Intersection 4 Yosemite Avenue / SLSF Street A Improvement Cost (\$375,000) Developer Constructed	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
13 Yosemite Avenue At-Grade UPRR Crossing Improvement Cost (100%)	\$ 600,000	\$ 11,280	\$ 71,522	\$ 47,400	\$ 59,400	\$ 52,800	
14 McKinley Avenue - Segment 1 Yosemite Avenue to UPRR Crossing Improvement Cost (100%)	\$ 432,000	\$ 173	\$ 78,888	\$ 65,750	\$ 12,010	\$ 13,306	
15 McKinley Avenue At-Grade UPRR Crossing Improvement Cost (100%)	\$ 600,000	\$ 240	\$ 78,888	\$ 91,320	\$ 16,680	\$ 18,480	
16 Lathrop Road / McKinley Avenue Improvement Cost (100%)	\$ 500,000	\$ 250	\$ 1,400	\$ 1,200	\$ 1,900	\$ 495,250	
17 Louise Avenue / McKinley Avenue Improvement Cost (100%)	\$ 600,000	\$ 2,580	\$ 39,000	\$ 90,600	\$ 5,400	\$ 462,420	
18 ¹ Airport Way / Daniels Street Improvement Cost (100%)	\$ 620,000	\$ 3,844	\$ 9,300	\$ 2,480	\$ 1,364	\$ 20,150	\$ 582,862.00
19 ¹ Airport Way / WB SR 120 Ramps Improvement Cost (30%)	\$ 4,950,000	\$ 30,690	\$ 74,250	\$ 19,800	\$ 10,890	\$ 160,875	\$ 4,653,495.00
20 ¹ Airport Way / EB SR 120 Ramps Improvement Cost (30%)	\$ 4,950,000	\$ 30,690	\$ 74,250	\$ 19,800	\$ 10,890	\$ 160,875	\$ 4,653,495.00
Subtotals - (2019 \$)	\$ 54,610,608	\$ 7,896,901	\$ 12,483,380	\$ 777,714	\$ 2,920,698	\$ 20,642,062	\$ 9,889,852
Subtotals - (2020 \$)²	\$ 54,934,899	\$ 7,939,723	\$ 12,554,638	\$ 782,393	\$ 2,937,034	\$ 20,769,943	\$ 9,951,169
		14.46%	22.86%	1.42%	5.35%	37.80%	18.11%
21 Harlan Road / Lathrop Road Inter. Improvement Cost (100%)	\$ 650,000		\$ 27,300				
22 5th Street / Lathrop Road Inter. Improvement Cost (100%)	\$ 650,000		\$ 22,100				
23 I-5 / Louise Avenue Interchange Improvement Cost (100%)	\$ 39,200,000		\$ 2,116,800				
24 Howland Road / Louise Avenue Inter. Improvement Cost (100%)	\$ 650,000		\$ 46,150				
Gateway Inter./Interchange #21 -#24 (2019 \$):	\$ -	\$ -	\$ 2,212,350				
Gateway Inter./Interchange #21 -#24 (2020 \$):²			\$ 2,226,067				
Totals	\$ 7,939,723	\$ 14,780,704					

1. Although mitigation funds will be measured by the cost to mitigate the intersections listed above, the City may use those funds to improve intersections in Lathrop alone

2. All costs except the Phase 1 SR 120/Yosemite Encroachment Permit Project cost, which is the actual cost, are inflated from 2019 costs by 0.62% based on the ENR CCI from Sept 2019 to Dec 2019.

Source: Feer & Peers

Table A-2
SLSP Transportation Facilities Fee Calculation

	Bldg SF	PM Peak Hour Trip Rate	Percent Adjustment For Trips¹	Adjusted PM Peak Trips Per KSF	Total New Trips	Percent Allocation	Cost Allocation	Transportation Fee
Cost:	\$7,939,723							
<u>Land Use</u>	<u>Bldg SF</u>	<u>Per KSF</u>		<u>Per KSF</u>				<u>Per KSF</u>
Commercial Office	75,000	3.73	66.1%	2.46	185	19.4%	\$1,540,432	\$20,539
Light Industrial	1,120,000	0.17	94.4%	0.16	180	18.9%	\$1,500,986	\$1,340
Warehouse	3,655,000	0.17	94.4%	0.16	588	61.7%	\$4,898,305	\$1,340
Total	4,850,000				953	100.0%	\$7,939,723	

¹ Adjustment made for internal and pass-by trips.

Source: Fehr and Peers; Goodwin Consulting Group; City of Lathrop

Table A-3
SLSP Water Line Costs

HARD COSTS	Subtotal
<u>Teichert- Work Authorization (Original) for the Offsite Backbone Improvements</u>	
Water (Harlan Road)- 12" Water Main	\$127,715
<u>Teichert- Work Authorization #4 (Mass Grading of Detention Basins)</u>	
Erosion Control	\$3,099
<u>Teichert- Work Authorization #6 (Dewatering for Storm Drain Pipe, Water Pipe and Sanitary Sewer Pipe)</u>	
Dewatering for Water Pipe	\$281,580
<u>Teichert- Work Authorization #16 (Construction of the Backbone Infrastructure Improvements)</u>	
Domestic Water- Water Mains, Valves, Fire Hydrants, Blow-Off, ARV, Etc.	\$1,365,633
<u>Teichert- Work Authorization #19 (Allowance for Wet Weather)</u>	
Water Pumped after Extended Rain Event, Unsuitable Material (Wet)	\$38,250
<u>Noceti Work</u>	
Removal of Debris, Fencing, Irrigation Pipe, Wells, Etc.	\$172,168
<u>General Conditions (2% of Hard Costs)</u>	
	\$39,769
HARD COST SUBTOTAL:	\$2,028,214
SOFT COSTS	
City Bond (Performance & Material Bond)	\$39,684
MacKay & Soms- Civil Engineering	\$106,799
Miller Starr	\$4,017
Project Management - CMS Total for Stan Ploof and Ben Navarro	\$36,314
Project Management - aRE Development consultant	\$432
ENGEO- Geotechnical Design, SWPPP & Inspections	\$80,848
Jim Miller- Water/Sanitary Sewer Consultant	\$4,545
Development Fee (5% of all project costs):	\$136,787
SOFT COST SUBTOTAL:	\$409,426
CITY COSTS	
Staff Costs	\$3,863
CITY COST SUBTOTAL:	\$3,863
TOTAL WATER LINE COSTS - 2019 \$:	\$2,441,503
TOTAL WATER LINE COSTS - 2020 \$¹:	\$2,484,162

1. All costs, except for City-Related Costs, are inflated by the 20-City ENR CCI increase from Dec. 2018 to Dec. 2019, which is 1.75%.

Source: MacKay & Soms

**Table A-4
SLSP Water Line Fee**

Water Line Cost				\$2,484,162
Total Acres				248.67
Cost Per Acre				\$9,990
<u>Assessor Parcel #</u>	<u>Acreage</u>	<u>Percent of Total Acres</u>	<u>Water Fee/Ac.</u>	<u>Water Line Fee</u>
241-030-150-000	26.08	10.49%	\$9,990	\$260,534
241-030-160-000	49.62	19.95%	\$9,990	\$495,693
241-030-170-000	51.46	20.69%	\$9,990	\$514,075
241-030-180-000	44.72	17.98%	\$9,990	\$446,743
241-030-190-000	15.20	6.11%	\$9,990	\$151,845
241-030-200-000	12.50	5.03%	\$9,990	\$124,872
241-030-210-000	9.44	3.80%	\$9,990	\$94,304
241-030-220-000	6.90	2.77%	\$9,990	\$68,930
241-030-230-000	9.29	3.74%	\$9,990	\$92,805
241-410-020-000	1.20	0.48%	\$9,990	\$11,988
241-410-050-000	0.10	0.04%	\$9,990	\$999
241-410-370-000	5.00	2.01%	\$9,990	\$49,949
241-410-410-000	6.36	2.56%	\$9,990	\$63,535
241-410-420-000	3.00	1.21%	\$9,990	\$29,969
241-410-430-000	2.93	1.18%	\$9,990	\$29,270
241-410-440-000	4.87	1.96%	\$9,990	\$48,650
Totals:	248.67	100%		\$2,484,162

Table A-5
SLSP Sewer System Facilities Costs

HARD COSTS	Subtotal
<u>Teichert- Work Authorization (Original) for the Offsite Backbone Improvements</u>	
Yosemite Sewer- 6" SSFM (Twin Line), ARV's, Dewatering, Jack & Bore, Pave Shoulder, Traffic Control, etc	\$704,780
<u>Teichert- Work Authorization #4 (Mass Grading of Detention Basins)</u>	
Erosion Control	\$3,099
<u>Teichert- Work Authorization #6 (Dewatering for Storm Drain Pipe, Water Pipe and Sanitary Sewer Pipe)</u>	
Dewatering Sewer Pipe and Sewer Pump Station, etc.	\$347,580
<u>Teichert- Work Authorization #10 (Material for Storm Drain & Sanitary Sewer Pump Station)</u>	
Sanitary Sewer Pump Station- Materials	\$124,801
<u>Teichert- Work Authorization #11 (Pumps for Sanitary Sewer Pump Station)</u>	
Pumps & Accessories	\$71,226
<u>Teichert- Work Authorization #12 (Construction Labor for Storm Drain and Sanitary Sewer Pump Station)</u>	
Sanitary Sewer Pump Station (Labor to Install)- Sanitary Sewer Mains and Manholes	\$956,767
<u>Teichert- Work Authorization #15 (Construction of the Sanitary Sewer Pump Station)</u>	
Sanitary Sewer Pump Station - Excavation, Backfill, Structural and Electrical	\$1,407,973
<u>Teichert- Work Authorization #16 (Construction of the Backbone Infrastructure Improvements)</u>	
Sanitary Sewer Forcemain, Pigging stations, etc.	\$141,407
<u>Teichert- Work Authorization #19 (Allowance for Wet Weather)</u>	
Pump Out Sanitary Sewer Pump Station, Water Pumped After Extended Rain Event, Unsuitable Material (Wet)	\$144,000
<u>Teichert- Work Authorization #27 (Vinyl Chain Link Fence around Pump Stations & Detention Basin)</u>	
Fencing Around Pump Stations	\$15,542
<u>Teichert- Work Authorization #31 (Junction Boxes for Pump Cables - Pump Stations)</u>	
Junction Boxes for Cables to Pump Stations	\$13,510
<u>Noceti Work</u>	
Removal of Debris, Fencing, Irrigation Pipe, Wells, Etc.	\$172,168
<u>Robertson's</u>	
Cement	\$99,202
<u>Mason</u>	
Painting	\$8,682
<u>Tennyson</u>	
Conduits and boxes	\$32,374
<u>General Conditions (2% of Hard Costs)</u>	\$84,862
HARD COST SUBTOTAL:	\$4,327,973
SOFT COSTS	
City Bond (Performance & Material Bond)	\$60,625
MacKay & Soms- Civil Engineering	\$163,154
Miller Starr	\$6,136
Project Management - CMS Total for Stan Ploof and Ben Navarro	\$55,475
UPRR Permit For Sewer Crossing	\$24,800
Project Management - aRE Development consultant	\$659
ENGEO- Geotechnical Design, SWPPP & Inspections	\$123,509
Jim Miller- Water/Sanitary Sewer Consultant	\$6,944
Development Fee (5% of all project costs):	\$208,964
SOFT COST SUBTOTAL:	\$650,266
CITY COSTS	
Staff Costs	\$5,901
CITY COST SUBTOTAL:	\$5,901
TOTAL SEWER SYSTEM COSTS - 2019 \$:	\$4,984,141
TOTAL SEWER SYSTEM COSTS - 2020 \$¹:	\$5,071,260

1. All costs, except for City-Related Costs, are inflated by the 20-City ENR CCI increase from Dec. 2018 to Dec. 2019, which is 1.75%.

Source: MacKay & Soms

**Table A-6
SLSP Sewer System Fee**

Sewer Facilities Cost				\$5,071,260
Total Acres				248.67
Cost Per Acre				\$20,394
<u>Assessor Parcel #</u>	<u>Acreage</u>	<u>Percent of Total Acres</u>	<u>Sewer Fee/Ac.</u>	<u>Sewer Fee</u>
241-030-150-000	26.08	10.49%	\$20,394	\$531,863
241-030-160-000	49.62	19.95%	\$20,394	\$1,011,927
241-030-170-000	51.46	20.69%	\$20,394	\$1,049,451
241-030-180-000	44.72	17.98%	\$20,394	\$911,999
241-030-190-000	15.20	6.11%	\$20,394	\$309,982
241-030-200-000	12.50	5.03%	\$20,394	\$254,919
241-030-210-000	9.44	3.80%	\$20,394	\$192,515
241-030-220-000	6.90	2.77%	\$20,394	\$140,715
241-030-230-000	9.29	3.74%	\$20,394	\$189,456
241-410-020-000	1.20	0.48%	\$20,394	\$24,472
241-410-050-000	0.10	0.04%	\$20,394	\$2,039
241-410-370-000	5.00	2.01%	\$20,394	\$101,968
241-410-410-000	6.36	2.56%	\$20,394	\$129,703
241-410-420-000	3.00	1.21%	\$20,394	\$61,181
241-410-430-000	2.93	1.18%	\$20,394	\$59,753
241-410-440-000	4.87	1.96%	\$20,394	\$99,317
Totals:	248.67	100%		\$5,071,260

Table A-7
SLSP Storm Drainage Facilities Costs

HARD COSTS	Total
Teichert- Work Authorization #3 (Storm Drain Force Main Pipe)	
48" PVC Storm Drain Force Main Pipe	\$671,254
Teichert- Work Authorization #4 (Mass Grading of Detention Basins)	
Grading- Clearing & Grubbing, Cut/Fill, Erosion Control, Etc.	\$230,222
Teichert- Work Authorization #5 (Backbone Storm Drain Material Purchase)	
84", 72", 60" and 48" RCP Material	\$2,775,002
Teichert- Work Authorization #18 (Credit of 60" RCP)	
60" RCP Material Credit	(\$983,979)
Teichert- Work Authorization #6 (Dewatering for Storm Drain Pipe, Water Pipe and Sanitary Sewer Pipe)	
Dewatering 84" RCP, 48" FM Storm Drain Yosemite Ave & Basin, Etc.	\$379,580
Teichert- Work Authorization #7 (Dewatering for Storm Drain Pipe Installation on Glacier Street)	
Glacier Street Dewatering for 48" Storm Drain Pipe Installation	\$527,220
Teichert- Work Authorization #9 (Toe Drain Construction at the Base of the River Levee)	
Purchase of 12" Toe Drain Pipe and all costs of construction	\$350,300
Teichert- Work Authorization #10 (Material for Storm Drain & Sanitary Sewer Pump Station)	
Storm Water Pump Station- Materials	\$36,497
Teichert- Work Authorization #12 (Construction Labor for Storm Drain and Sanitary Sewer Pump Station)	
Storm Water Pump Station and Storm Drain Pipe (Labor to Install)	\$1,515,349
Teichert- Work Authorization #13 (Steel Pipe for Storm Drain Force Main for ROS)	
Purchase Welded Steel Pipe for ROS	\$364,802
Teichert- Work Authorization #14 (Construction of the Storm Drain Pump Station)	
Storm Drain Pump Station- Excavation, Backfill, Structural and Electrical	\$4,260,489
Teichert- Work Authorization #16 (Construction of the Backbone Infrastructure Improvements)	
Storm Drain System pipe (36", 24", 15" & 12"), inlets, Fencing, Etc.	\$2,215,187
Teichert- Work Authorization #19 (Allowance for Wet Weather)	
Pump Out Storm Drain Pump Station, Water Pumped After Extended Rain Event, Unsuitable Material (Wet)	\$117,750
Teichert- Work Authorization #27 (Vinyl Chain Link Fence around Pump Stations & Detention Basin)	
Fencing Around Storm Drain Pump Station and Detention Basin	\$31,084
Teichert- Work Authorization #31 (Junction Boxes for Pump Cables - Pump Stations)	
Junction Boxes for Cables to Pump Stations	\$13,510
Saybrook Pump Equipment	
Purchased Pumps from Saybrook and sold back-up generator	\$163,937
Kelly Business Park- Storage of Pumps	
Storage of Pumps for Pump Station at Kelly Business Park	\$15,840
Noceti Work	
Removal of Debris, Fencing, Irrigation Pipe, Wells, Etc.	\$172,168
Robertson's	
Cement	\$99,202
Mason	
Painting	\$8,682
Shape	
Pump Maintenance & Rotation - Shape	\$1,200
Tennyson	
Conduits and boxes	\$32,374
Smith Denison	
Install Conduit from Crossroads Pump Station to Glacier Street	\$38,790
Sefnco Communications	
Cost of Fiber	\$50,825
General Conditions (2% of Hard Costs)	\$261,746
HARD COST SUBTOTAL:	\$13,349,031
SOFT COSTS	
Pump Station Pump Mechanical Breakdown Warranty Insurance Policy	\$17,632
City Bond (Performance & Material Bond)	\$217,930
MacKay & Soms- Civil Engineering	\$586,497
Miller Starr	\$22,059
Project Management - CMS Total for Stan Ploof and Ben Navarro	\$199,420
Project Management - aRE Development consultant	\$2,370
ENGEO- Geotechnical Design, SWPPP & Inspections	\$448,483
Jim Miller- Water/Sanitary Sewer Consultant	\$24,961
Development Fee (5% of all project costs):	\$751,175
SOFT COST SUBTOTAL:	\$2,270,527
CITY COSTS	
Staff Costs	\$21,213
CITY COST SUBTOTAL:	\$21,213
TOTAL STORM DRAIN SYSTEM COSTS - 2019 \$:	\$15,640,771
TOTAL STORM DRAIN SYSTEM COSTS - 2020 \$¹:	\$15,914,114

1. All costs, except for City-Related Costs, are inflated by the 20-City ENR CCI increase from Dec. 2018 to Dec. 2019, which is 1.75%.
Source: MacKay & Soms

**Table A-8
SLSP Storm Drainage Fee**

Storm Drainage Facilities Cost		\$15,914,114		
Total Acres		248.67		
Cost Per Acre		\$63,997		
<u>Assessor Parcel #</u>	<u>Acreage</u>	<u>Percent of Total Acres</u>	<u>Storm Drainage Fee/Ac.</u>	<u>Storm Drainage Fee</u>
241-030-150-000	26.08	10.49%	\$63,997	\$1,669,040
241-030-160-000	49.62	19.95%	\$63,997	\$3,175,527
241-030-170-000	51.46	20.69%	\$63,997	\$3,293,281
241-030-180-000	44.72	17.98%	\$63,997	\$2,861,942
241-030-190-000	15.20	6.11%	\$63,997	\$972,753
241-030-200-000	12.50	5.03%	\$63,997	\$799,961
241-030-210-000	9.44	3.80%	\$63,997	\$604,131
241-030-220-000	6.90	2.77%	\$63,997	\$441,579
241-030-230-000	9.29	3.74%	\$63,997	\$594,531
241-410-020-000	1.20	0.48%	\$63,997	\$76,796
241-410-050-000	0.10	0.04%	\$63,997	\$6,400
241-410-370-000	5.00	2.01%	\$63,997	\$319,985
241-410-410-000	6.36	2.56%	\$63,997	\$407,020
241-410-420-000	3.00	1.21%	\$63,997	\$191,991
241-410-430-000	2.93	1.18%	\$63,997	\$187,511
241-410-440-000	4.87	1.96%	\$63,997	\$311,665
Totals:	248.67	100%		\$15,914,114

Table A-9
Regional Outfall Structure Cost

Description	Total
Grading, Dewatering & Cleanup	
Labor	\$ 23,875
Equipment	\$ 17,865
Material	\$ 7,650
Piping (6 Wall Spools)	
Labor	\$ 10,500
Equipment	\$ 5,625
Material	\$ 35,625
Sheetpile	
Labor	\$ 5,250
Subcontract	\$ 914,100
Concrete Headwall	
Labor	\$ 155,250
Equipment	\$ 29,785
Material	\$ 135,653
Subcontract	\$ 21,500
Armorflex	
Labor	\$ 17,150
Equipment	\$ 16,160
Material	\$ 71,025
Rip Rap	
Labor	\$ 36,850
Equipment	\$ 17,653
Material	\$ 132,000
Subtotal:	\$ 1,653,516
Changing Orders:	
Additional Shoring WA #28	\$ 524,319
RD-17 Requirement for Crane Bridge WA #30	\$ 26,589
Concrete for ROS	\$ 135,653
Subtotal Change Orders:	\$ 686,562
Allocation of General Conditions	
General Conditions 2%	\$ 46,802
Soft Costs	\$ 1,015,404
City-Related Costs	\$ 194,625
Total ROS Construction Costs - 2019 \$	\$ 3,596,908
Total ROS Construction Costs - 2020 \$¹	\$ 3,656,448

1. All costs, except for City-Related Costs, are inflated by the 20-City ENR CCI increase from Dec. 2018 to Dec. 2019, which is 1.75%.

Source Teichert, City of Lathrop

**Table A-10
SLSP Regional Outfall Structure Fee**

Regional Outfall Structure (ROS) Facilities Cost¹				\$1,218,816
Total Acres				248.67
Cost Per Acre				\$4,901
<u>Assessor Parcel #</u>	<u>Acreage</u>	<u>Percent of Total Acres</u>	<u>ROS Fee/Ac.</u>	<u>ROS Fee</u>
241-030-150-000	26.08	10.49%	\$4,901	\$127,827
241-030-160-000	49.62	19.95%	\$4,901	\$243,204
241-030-170-000	51.46	20.69%	\$4,901	\$252,223
241-030-180-000	44.72	17.98%	\$4,901	\$219,188
241-030-190-000	15.20	6.11%	\$4,901	\$74,500
241-030-200-000	12.50	5.03%	\$4,901	\$61,267
241-030-210-000	9.44	3.80%	\$4,901	\$46,269
241-030-220-000	6.90	2.77%	\$4,901	\$33,819
241-030-230-000	9.29	3.74%	\$4,901	\$45,533
241-410-020-000	1.20	0.48%	\$4,901	\$5,882
241-410-050-000	0.10	0.04%	\$4,901	\$490
241-410-370-000	5.00	2.01%	\$4,901	\$24,507
241-410-410-000	6.36	2.56%	\$4,901	\$31,173
241-410-420-000	3.00	1.21%	\$4,901	\$14,704
241-410-430-000	2.93	1.18%	\$4,901	\$14,361
241-410-440-000	4.87	1.96%	\$4,901	\$23,870
Totals:	248.67	100%		\$1,218,816

1. SLSP's fair share of the total ROS cost is 33.3%.

APPENDIX B

LGBPSP Capital Facilities Costs and Fee Calculations

**Table B-1
Transportation Facilities Costs Allocated to Developments in Lathrop**

Improvement	Cost Estimate	SLSP	Transit	MC	Crossroads	Other Lathrop	Through Trips
Ph 1 SR 120 / Yosemite Encroachment Permit Project	\$ 2,305,608	\$ 990,259	\$ 990,259	\$ 23,056	\$ 285,895	\$ 16,139	
Ph 2 SR 120 / Yosemite Interim Phase	\$ 15,004,000	\$ 6,444,218	\$ 6,444,218	\$ 150,040	\$ 1,860,496	\$ 105,028	
2 Full Interchange (100% of relocate all WB ramps)	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
3 I-5 / Lathrop Road Full Interchange (61% of \$33,000,000 = \$20,000,000)	\$ 20,000,000	\$ 300,000	\$ 440,000	\$ 72,000	\$ 300,000	\$ 18,888,000	
4 Yosemite Avenue - Segment 1 SR 120 to Yosemite Court Improvement Cost (100%)	\$ 663,000	\$ 14,586	\$ 562,091	\$ 11,735	\$ 51,051	\$ 23,537	
5 Yosemite Avenue - Segment 2 Yosemite Court to D'Arcy Parkway Improvement Cost (100%)	\$ 756,000	\$ 16,632	\$ 640,937	\$ 13,381	\$ 58,212	\$ 26,838	
6 Yosemite Avenue - Segment 3 D'Arcy Parkway to McKinley Avenue Improvement Cost (100%)	\$ 430,000	\$ 8,084	\$ 307,536	\$ 33,970	\$ 42,570	\$ 37,840	
7 Yosemite Avenue - Segment 4 McKinley Avenue to UPRR Tracks Improvement Cost (100%)	\$ 380,000	\$ 7,144	\$ 271,776	\$ 30,020	\$ 37,620	\$ 33,440	
8 Yosemite Avenue - Segment 5 SR 120 to SLSP Street A Improvement Cost (\$530,000) Developer Constructed	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
9 Yosemite Avenue - Intersection 1 Yosemite Avenue / Yosemite Court Improvement Cost (100%)	\$ 630,000	\$ 13,860	\$ 534,114	\$ 11,151	\$ 48,510	\$ 22,365	
10 Yosemite Avenue - Intersection 2 Yosemite Avenue / D'Arcy Parkway Improvement Cost (100%)	\$ 420,000	\$ 7,896	\$ 300,384	\$ 33,180	\$ 41,580	\$ 36,960	
11 Yosemite Avenue - Intersection 3 Yosemite Avenue / McKinley Avenue Improvement Cost (100%)	\$ 770,000	\$ 14,476	\$ 550,704	\$ 60,830	\$ 76,230	\$ 67,760	
12 Yosemite Avenue - Intersection 4 Yosemite Avenue / SLSP Street A Improvement Cost (\$375,000) Developer Constructed	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
13 Yosemite Avenue At-Grade UPRR Crossing Improvement Cost (100%)	\$ 600,000	\$ 11,280	\$ 429,120	\$ 47,400	\$ 59,400	\$ 52,800	
14 McKinley Avenue - Segment 1 Yosemite Avenue to UPRR Crossing Improvement Cost (100%)	\$ 432,000	\$ 173	\$ 340,762	\$ 65,750	\$ 12,010	\$ 13,306	
15 McKinley Avenue At-Grade UPRR Crossing Improvement Cost (100%)	\$ 600,000	\$ 240	\$ 473,280	\$ 91,320	\$ 16,680	\$ 18,480	
16 Lathrop Road / McKinley Avenue Improvement Cost (100%)	\$ 500,000	\$ 250	\$ 1,400	\$ 1,200	\$ 1,900	\$ 495,250	
17 Louise Avenue / McKinley Avenue Improvement Cost (100%)	\$ 600,000	\$ 2,580	\$ 39,000	\$ 90,600	\$ 5,400	\$ 462,420	
18 ¹ Airport Way / Daniels Street Improvement Cost (100%)	\$ 620,000	\$ 3,844	\$ 9,300	\$ 2,480	\$ 1,364	\$ 20,150	\$ 582,862.00
19 ¹ Airport Way / WB SR 120 Ramps Improvement Cost (30%)	\$ 4,950,000	\$ 30,690	\$ 74,250	\$ 19,800	\$ 10,890	\$ 160,875	\$ 4,653,495.00
20 ¹ Airport Way / EB SR 120 Ramps Improvement Cost (30%)	\$ 4,950,000	\$ 30,690	\$ 74,250	\$ 19,800	\$ 10,890	\$ 160,875	\$ 4,653,495.00
Subtotals - (2019 \$)	\$ 54,610,608	\$ 7,896,901	\$ 12,483,380	\$ 777,714	\$ 2,920,698	\$ 20,642,062	\$ 9,889,852
Subtotals - (2020 \$)²	\$ 54,934,899	\$ 7,939,723	\$ 12,554,638	\$ 782,393	\$ 2,937,034	\$ 20,769,943	\$ 9,951,169
		14.46%	22.86%	1.42%	5.35%	37.80%	18.11%
21 Harlan Road / Lathrop Road Inter Improvement Cost (100%)	\$ 650,000		\$ 27,300				
22 5th Street / Lathrop Road Inter Improvement Cost (100%)	\$ 650,000		\$ 22,100				
23 I-5 / Louise Avenue Interchange Improvement Cost (100%)	\$ 39,200,000		\$ 2,116,800				
24 Howland Road / Louise Avenue Inter. Improvement Cost (100%)	\$ 650,000		\$ 46,150				
Gateway Inter./Interchange #21 -#24 (2019 \$):	\$ -	\$ -	\$ 2,212,350				
Gateway Inter./Interchange #21 -#24 (2020 \$):²			\$2,226,067				
Totals	\$ 7,939,723	\$ 14,780,704					

1 Although mitigation funds will be measured by the cost to mitigate the intersections listed above, the City may use those funds to improve intersections in Lathrop alone
2 All costs except the Phase 1 SR 120/Yosemite Encroachment Permit Project cost, which is the actual cost, are inflated from 2019 costs by 0.62% based on the ENR CCI from Sept 2019 to Dec. 2019
Source: Feer & Peers

Table B-2
LGBPSP Transportation Facilities Fee Calculation

	Bldg SF	PM Peak Hour Trip Rate	Percent Adjustment For Trips¹	Adjusted PM Peak Trips Per KSF	Total New Trips	Percent Allocation	Cost Allocation	Transportation Fee
Cost:	\$14,780,704							
Land Use	<i>Bldg SF</i>	<i>Per KSF</i>		<i>Per KSF</i>				<i>Per KSF</i>
Shopping Center	189,747	3.81	75.5%	2.88	546	22.1%	\$3,269,368	\$17,230
Office Park	958,168	1.07	94.4%	1.01	968	39.2%	\$5,795,598	\$6,049
Industrial Park	1,944,257	0.24	94.4%	0.22	434	17.6%	\$2,597,039	\$1,336
Warehouse	2,334,794	0.24	94.4%	0.22	521	21.1%	\$3,118,699	\$1,336
Total	5,426,967				2,468	100.0%	\$14,780,704	

1. Adjustment made for internal and pass-by trips.

Source: Fehr and Peers; Goodwin Consulting Group; City of Lathrop

**Table B-3
LGBPSP WATER SYSTEM COSTS - WATER LOOP FACILITIES**

HARD COSTS	Unit	Unit Cost	QTY	Total
<u>Work Authorization (Original) for the Offsite Backbone Improvements</u>				
<u>Water (Harlan Road)</u>				
12" Water Harlan Road	LF	\$89	1,435.00	\$127,715
Jack & Bore	LF	\$1,485	580.00	\$861,300
12" Butterfly Valve	EA	\$2,500	5.00	\$12,500
ARV	EA	\$5,000	1.00	\$5,000
Blow Off W-10	EA	\$6,100	2.00	\$12,200
Connect to Existing Waterline	EA	\$5,000	2.00	\$10,000
Subtotal				\$1,028,715
<u>Water (Yosemite Avenue)</u>				
12" Water (shoulder)	LF	\$107.00	608.00	\$65,056
<u>Water (Material)</u>				
12" Ductile Iron TR Flex in Casing	LF	\$153.00	580.00	\$88,740
12" Dewatering Line in Basin	LF	\$49.00	1,285.00	\$62,965
Caltrans Silt Fencing for Water Line Construction	LF	\$6.25	1,950.00	\$12,188
Railroad Flagging for Rail Crossing	Day	\$1,125.00	30.00	\$33,750
Subtotal				\$197,643
General Conditions (2% of Hard Costs)				\$25,828
TOTAL HARD COSTS:				\$1,317,242
<u>SOFT COSTS</u>				
Geotechnical Design, SWPPP & Inspections	LS	\$32,500	1.00	\$32,500
Legal	LS	\$10,001	1.00	\$10,001
Performance & Material Bond (includes One-Year Warranty Bond)	LS	\$14,850	1.00	\$14,850
Civil Engineering & Governmental Agency Coordination, Staking	LS	\$122,350	1.00	\$122,350
UPRR Permit	LS	\$22,300	1.00	\$22,300
Development Fee (5% of all project costs)	LS	\$75,962	1.00	\$75,962
SOFT COST SUBTOTAL:				\$277,963
<u>CITY COSTS</u>				
Staff Costs				\$15,489
CITY COST SUBTOTAL:				\$15,489
WATER SYSTEM IMPROVEMENT (WATER LOOP) COSTS - 2019 \$:				\$1,610,693
WATER SYSTEM IMPROVEMENT (WATER LOOP) COSTS - 2020 \$:¹				\$1,638,609
PORTION OF WATER SYSTEM (WATER LOOP) COSTS APPLIED TO LGBPSP (34.04%) - 2020 \$:				<u>\$557,783</u>

1. All costs, except for City-Related Costs, are inflated by the 20-City ENR CCI increase from Dec. 2018 to Dec. 2019, which is 1.75%.

Source MacKay & Soms

Table B-4

LGBPSP Water System Fee - Water Loop Facilities

Water Facilities Cost - Water Loop Facilities			\$557,783
Total Acres			94.73
Cost Per Acre			\$5,888
<u>APN</u>	<u>Acreage</u>	<u>Percentage of Total Acres</u>	<u>Total Water Fee</u>
241-030-050-000	5.90	6.23%	\$34,740
241-390-050-000	5.36	5.66%	\$31,560
241-390-150-000	3.16	3.34%	\$18,606
241-390-200-000	2.54	2.68%	\$14,956
241-390-220-000	2.72	2.87%	\$16,016
241-400-010-000	0.26	0.27%	\$1,531
241-400-020-000	5.22	5.51%	\$30,736
241-400-030-000	2.17	2.29%	\$12,777
241-400-040-000	7.98	8.42%	\$46,987
241-400-050-000	6.38	6.73%	\$37,566
241-400-060-000	45.90	48.45%	\$270,265
241-400-070-000	5.64	5.95%	\$33,209
241-400-080-000	1.50	1.58%	\$8,832
Totals:	94.73	100%	\$557,783

Source: MacKay & Soms; Goodwin Consulting Group

Table B-5
LGBPSP WATER SYSTEM COSTS - NON-WATER LOOP FACILITIES

HARD COSTS	Unit	Unit Cost	QTY	Total
12" Waterline from SR 120 to POC on D'Arcy Pkwy	LF	\$107	3,463	\$370,541
ARV	EA	\$5,000	1	\$5,000
12" BFV	EA	\$2,500	17	\$42,500
Fire Hydrants	LF	\$11,750	3	\$35,250
6" Fire Hydrants Stubs w/value	LF	\$2,250	9	\$20,250
Patch Pave (Detail R-28B)	SF	\$13.10	16,240	\$212,744
Traffic Loops/Signal Mod During Construction	LS	\$17,000	1	\$17,000.00
Traffic Control	LS	\$62,000	1	\$62,000
General Conditions	LS	\$15,306	1	\$15,306
HARD COST SUBTOTAL:				\$780,591
SOFT COSTS				
Geotechnical Design, SWPPP & Inspections	LS	\$32,500	1	\$32,500
Legal	LS	\$10,001	1	\$10,001
Performance & Material Bond (Includes One-Year Warranty Bond)	LS	\$14,850	1	\$14,850
Civil Engineering & Governmental Agency Coordination, Staking	LS	\$122,350	1	\$122,350
Development Fee (5% of all project costs)	LS	\$48,015	1	\$48,015
SOFT COST SUBTOTAL:				\$227,715
CITY COSTS				
Staff Costs				\$15,489
CITY COST SUBTOTAL:				\$15,489
WATER SYSTEM IMPROVEMENT (NON-WATER LOOP) COSTS - 2019 \$:				\$1,023,795
WATER SYSTEM IMPROVEMENT (NON-WATER LOOP) COSTS - 2020 \$¹:				\$1,041,440

1. All costs, except for City-Related Costs, are inflated by the 20-City ENR CCI increase from Dec. 2018 to Dec. 2019, which is 1.75%.

Source: MacKay & Soms

Table B-6

LGBPSP Water System Fee - Non-Water Loop Facilities

Water Facilities Cost - Non-Water Loop Facilities			\$1,041,440
Total Frontage Linear Feet			6,526
Cost Per Linear Foot of Frontage			\$159.58
	Frontage	Percentage of	
<u>APN</u>	<u>Linear Feet</u>	<u>Total Frontage LF</u>	<u>Water Fee</u>
241-390-050-000	392	6.01%	\$62,557
241-390-150-000	389	5.96%	\$62,078
241-390-200-000	860	13.18%	\$137,242
241-390-220-000	409	6.27%	\$65,270
241-400-040-000	124	1.90%	\$19,788
241-400-050-000	1,100	16.86%	\$175,542
241-400-060-000	1,522	23.32%	\$242,886
241-400-070-000	857	13.13%	\$136,763
241-400-080-000	158	2.42%	\$25,214
241-400-090-000	232	3.56%	\$37,023
241-400-110-000	483	7.40%	\$77,079
Totals:	6,526	100%	\$1,041,440

Source: MacKay & Somps; Goodwin Consulting Group

Table B-7
Regional Outfall Structure Cost

Description	Total
Grading, Dewatering & Cleanup	
Labor	\$ 23,875
Equipment	\$ 17,865
Material	\$ 7,650
Piping (6 Wall Spools)	
Labor	\$ 10,500
Equipment	\$ 5,625
Material	\$ 35,625
Sheetpile	
Labor	\$ 5,250
Subcontract	\$ 914,100
Concrete Headwall	
Labor	\$ 155,250
Equipment	\$ 29,785
Material	\$ 135,653
Subcontract	\$ 21,500
Armorflex	
Labor	\$ 17,150
Equipment	\$ 16,160
Material	\$ 71,025
Rip Rap	
Labor	\$ 36,850
Equipment	\$ 17,653
Material	\$ 132,000
Subtotal:	\$ 1,653,516
Changing Orders:	
Additional Shoring WA #28	\$ 524,319
RD-17 Requirement for Crane Bridge WA #30	\$ 26,589
Concrete for ROS	\$ 135,653
Subtotal Change Orders:	\$ 686,562
Allocation of General Conditions	
General Conditions 2%	\$ 46,802
Soft Costs	\$ 1,015,404
City-Related Costs	\$ 194,625
Total ROS Construction Costs - 2019 \$	\$ 3,596,908
Total ROS Construction Costs - 2020 \$¹	\$ 3,656,448

1. All costs, except for City-Related Costs, are inflated by the 20-City ENR CCI increase from Dec. 2018 to Dec. 2019, which is 1.75%.

Source: Teichert, City of Lathrop

Table B-8
LGBPSP Regional Outfall Structure Fee Calculation¹

	Bldg SF	Acres	C-Value	Total C-Value	C-Value Percent Allocation	Cost Allocation	ROS Fee
Cost:		\$1,218,816					
<u>Land Use</u>			<u>Per Acre</u>				<u>Per KSF</u>
Shopping Center	189,747	14.5	0.90	13.1	5.7%	\$68,986	\$364
Office Park	958,168	64.3	0.90	57.9	25.1%	\$305,638	\$319
Industrial Park	1,944,257	103.8	0.70	72.7	31.5%	\$383,572	\$197
Warehouse	2,334,794	124.7	0.70	87.3	37.8%	\$460,619	\$197
Total	5,426,966	307.3		230.9	100.0%	\$1,218,816	

1. The City estimates that 33.3% of the cost of the ROS is LGBPSP's fair share.

Source: Teichert; City of Lathrop; Goodwin Consulting Group

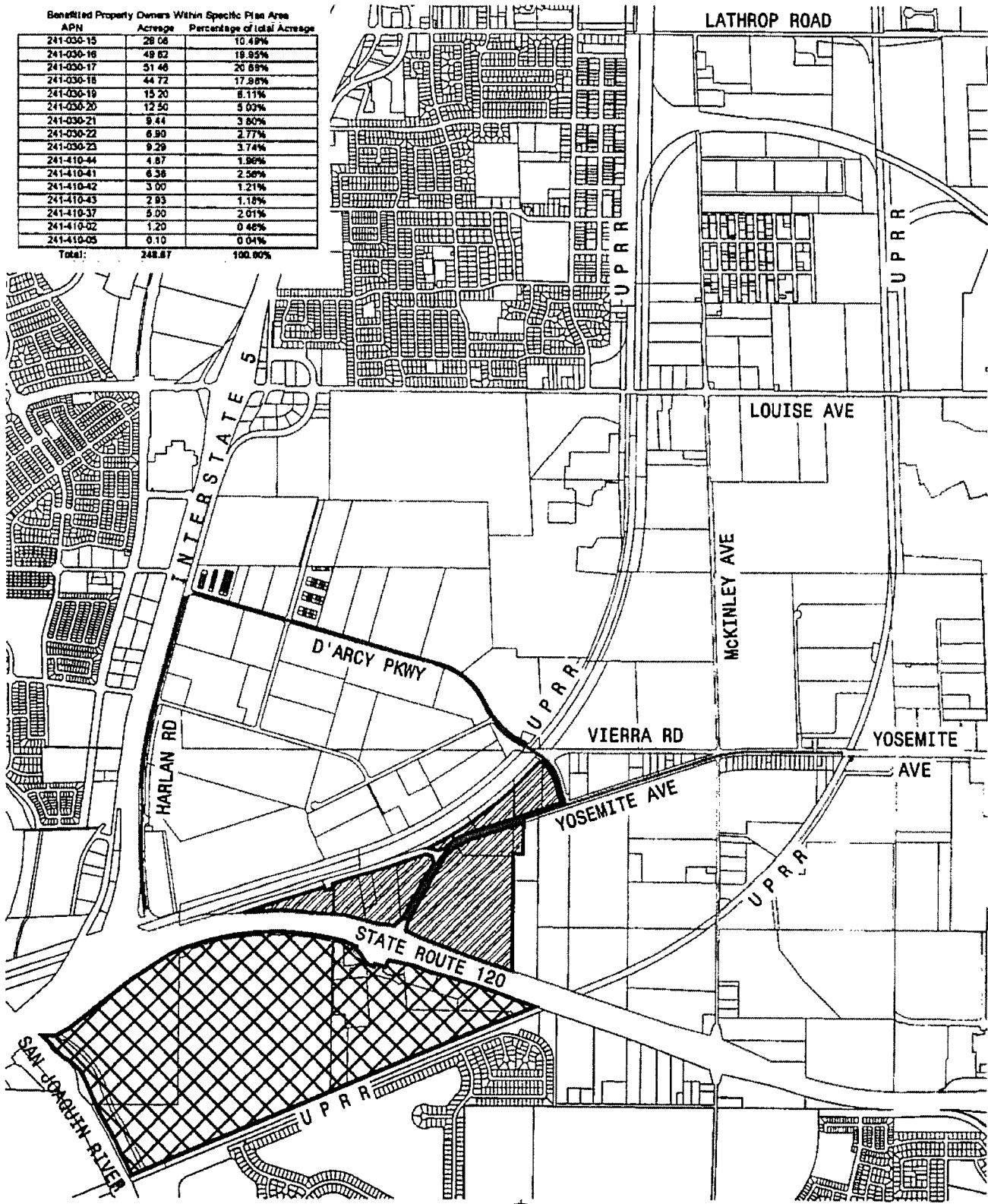
APPENDIX C



SLSP

Map of Benefitting Area and Parcels

REIMBURSEMENT AGREEMENT WITHIN SOUTH LATHROP SPECIFIC PLAN AREA
 EXHIBIT 5A: BENEFITTED PROPERTY OWNERS - "WATER LOOP"

Benefitted Property Owners Within Specific Plan Area		
APN	Acres	Percentage of total Acres
241-030-15	28.08	10.48%
241-030-16	49.82	19.95%
241-030-17	51.46	20.89%
241-030-18	44.72	17.88%
241-030-19	15.20	6.11%
241-030-20	12.50	5.03%
241-030-21	9.44	3.80%
241-030-22	6.90	2.77%
241-030-23	9.29	3.74%
241-410-44	4.87	1.96%
241-410-41	6.38	2.56%
241-410-42	3.00	1.21%
241-410-43	2.83	1.18%
241-410-37	5.00	2.01%
241-410-02	1.20	0.48%
241-410-05	0.10	0.04%
Total:	248.87	100.00%



-  SOUTH LATHROP SPECIFIC PLAN
-  LATHROP GATEWAY BUSINESS PARK SPECIFIC PLAN (INCLUDED IN REIMBURSEMENT AGREEMENT FOR PROPERTIES OUTSIDE SLSP)

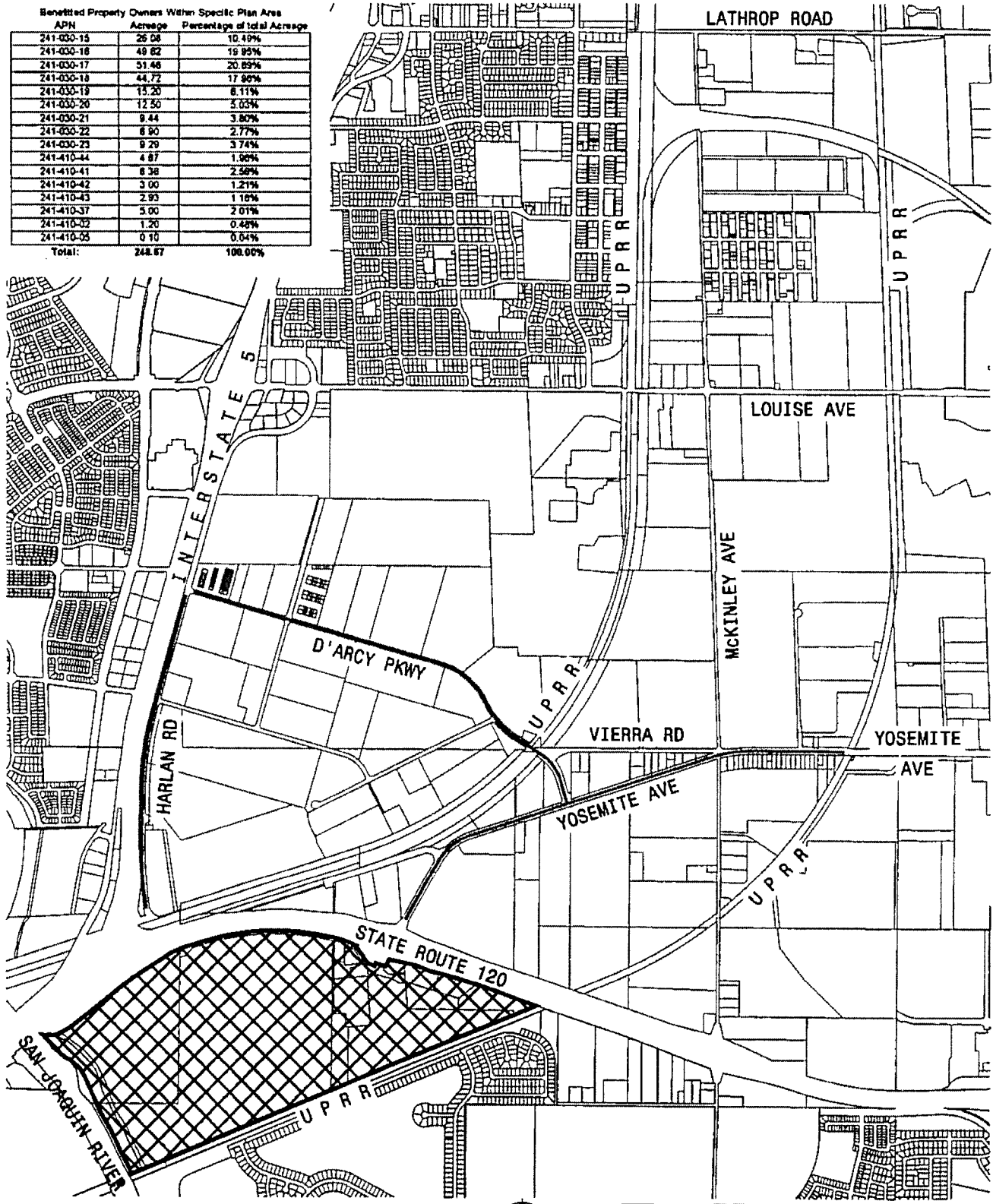


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 ENGINEERS PLANNERS SURVEYORS
 JOB NO. 25223 000 DATE: 12.06.2018

REIMBURSEMENT AGREEMENT WITHIN SOUTH LATHROP SPECIFIC PLAN AREA
 EXHIBIT 5B: BENEFITTED PROPERTY OWNERS

Benefitted Property Owners Within Specific Plan Area

APN	Acreage	Percentage of total Acreage
241-030-15	26.08	10.49%
241-030-16	49.82	19.95%
241-030-17	51.46	20.09%
241-030-18	44.72	17.50%
241-030-19	15.20	6.11%
241-030-20	12.50	5.03%
241-030-21	9.44	3.80%
241-030-22	8.90	2.77%
241-030-23	9.29	3.74%
241-410-44	4.87	1.98%
241-410-41	8.38	2.56%
241-410-42	3.00	1.21%
241-410-43	2.93	1.18%
241-410-37	5.00	2.01%
241-410-02	1.20	0.48%
241-410-05	0.10	0.04%
Total:	248.67	100.00%



 SOUTH LATHROP SPECIFIC PLAN



MACKAY & SOMPS

ENGINEERS PLANNERS SURVEYORS
 JOB NO. 25223.000 DATE 12.08.2018

APPENDIX D

LGBPSP

Map of Water Line Improvements

And

Benefitting Area and Parcels

Exhibit B-1: Water Facilities Map (Water Loop)

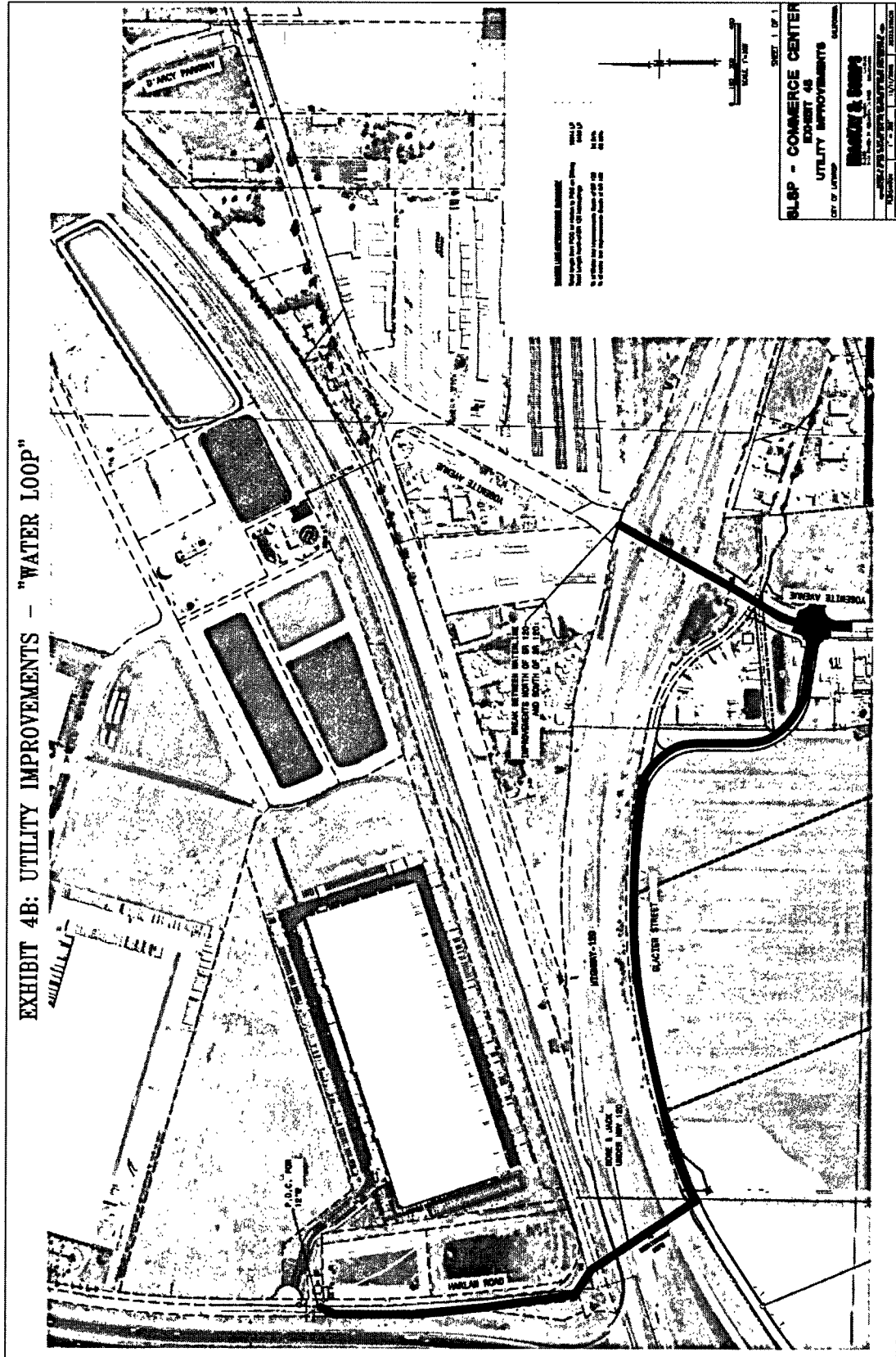
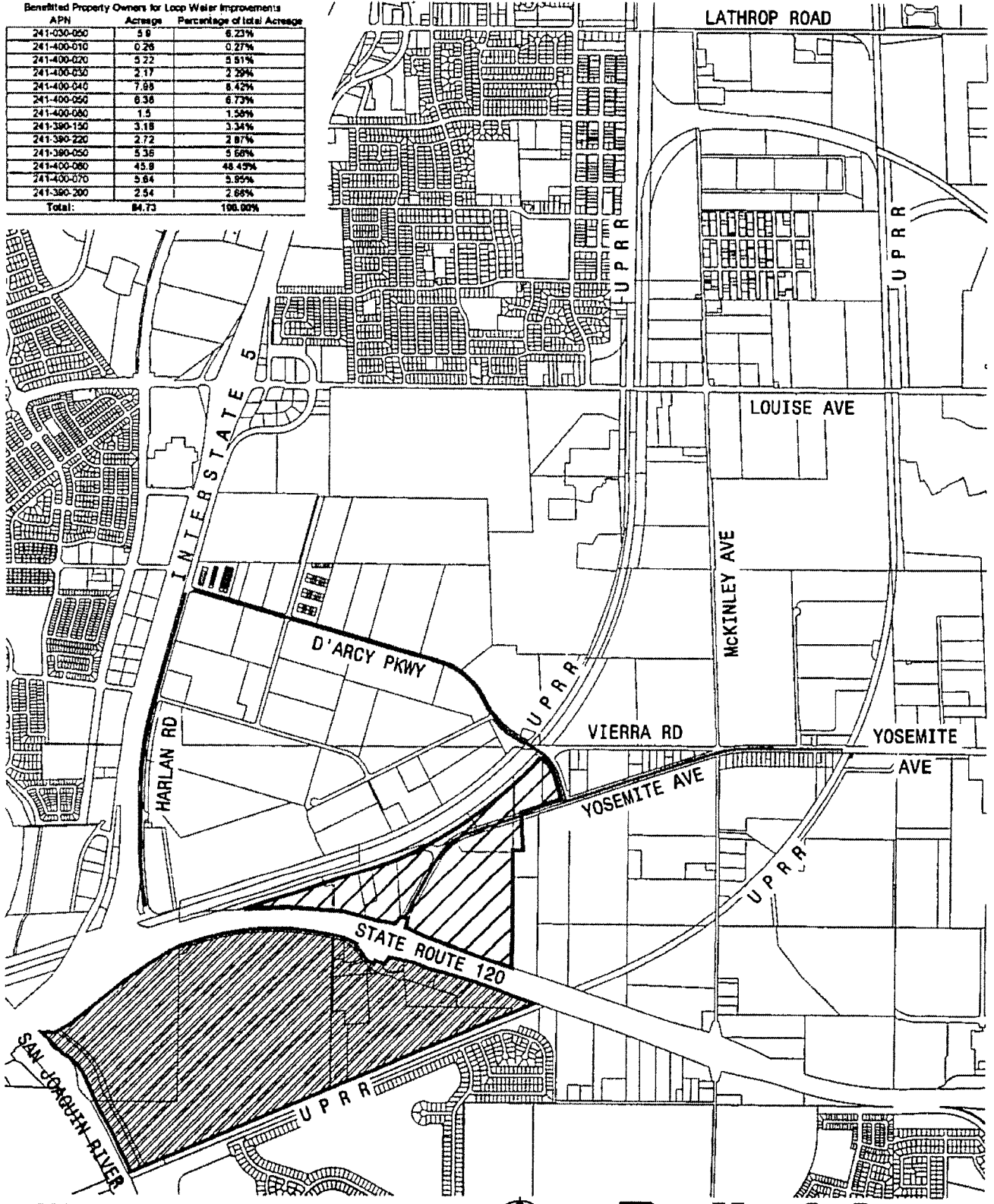


Exhibit B-2 - Water Facilities (Water Loop) Benefitting Properties

REIMBURSEMENT AGREEMENT FOR SOUTH LATHROP BENEFITTING PROPERTY OWNERS OUTSIDE SOUTH LATHROP
 EXHIBIT 6B: BENEFITTED PROPERTY OWNERS - "WATER LOOP"

Benefitted Property Owners for Loop Water Improvements

APN	Acreage	Percentage of total Acreage
241-030-060	5.8	6.23%
241-400-010	0.26	0.27%
241-400-020	5.22	5.51%
241-400-030	2.17	2.29%
241-400-040	7.88	8.42%
241-400-050	8.38	8.73%
241-400-060	1.5	1.56%
241-390-190	3.18	3.34%
241-390-220	2.72	2.87%
241-390-050	5.36	5.66%
241-400-080	45.8	48.43%
241-400-070	9.84	10.35%
241-390-200	2.54	2.68%
Total:	84.73	100.00%



-  LATHROP GATEWAY BUSINESS PARK SPECIFIC PLAN
-  SOUTH LATHROP SPECIFIC PLAN (INCLUDED IN REIMBURSEMENT AGREEMENT FOR PROPERTIES WITHIN SLSP)



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 JOB NO. 25223 000 DATE: 12 06 2018

Exhibit B-3 - Water Facilities Map (Excluding Water Loop)

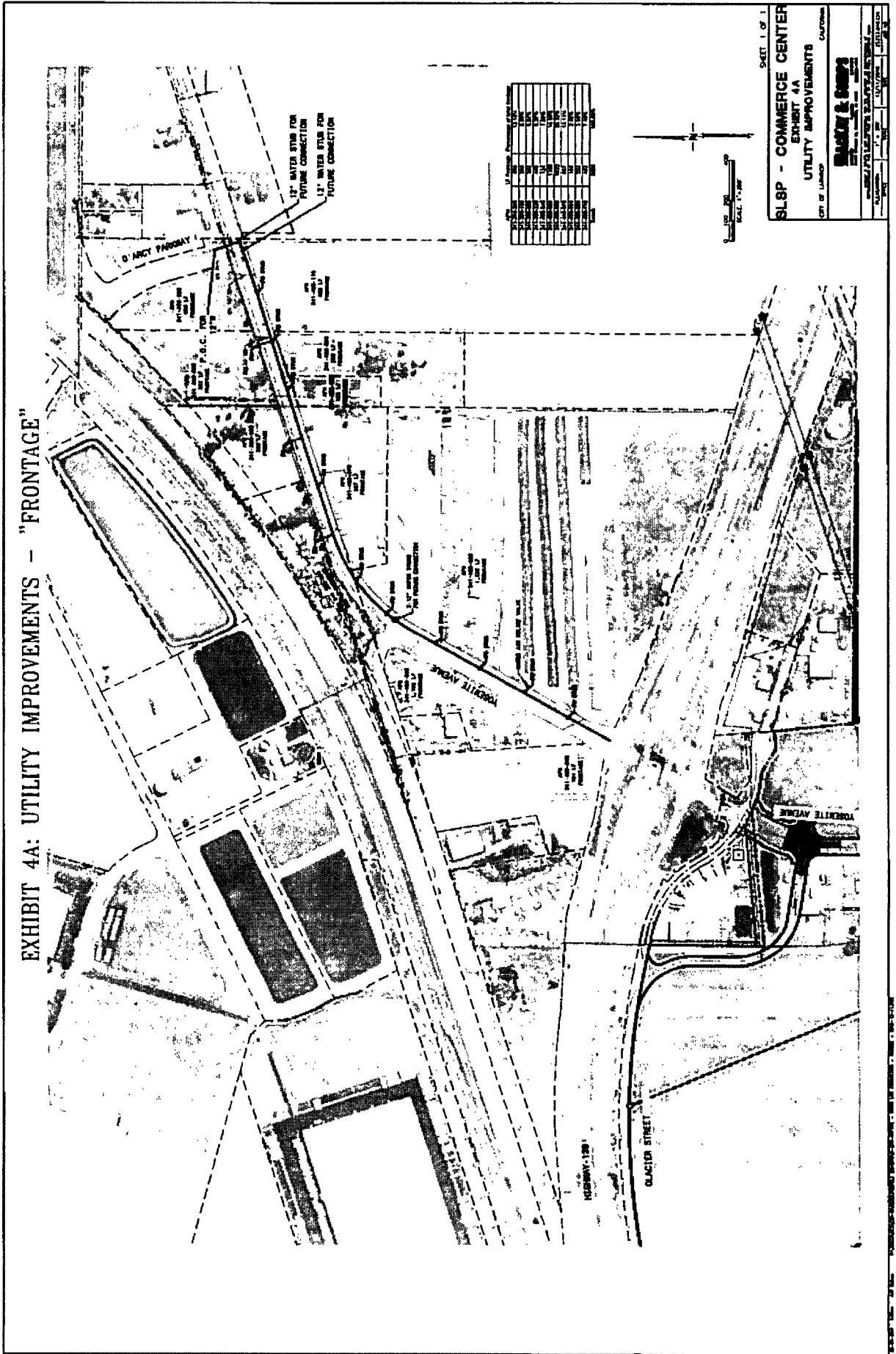
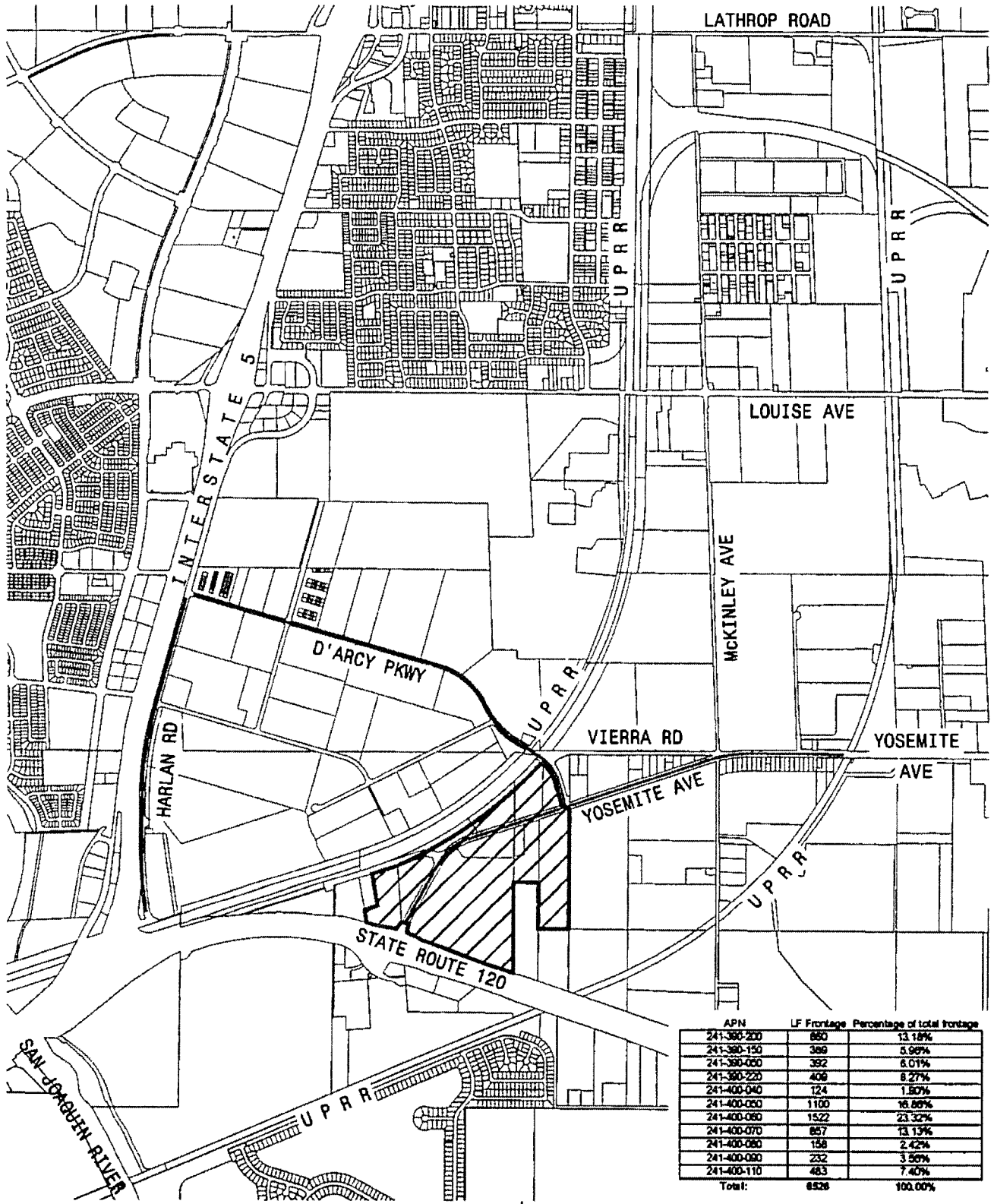


Exhibit B-4 - Water Facilities (Non-Water Loop) Benefitting Properties

REIMBURSEMENT AGREEMENT FOR SOUTH LATHROP BENEFITTING PROPERTY OWNERS OUTSIDE SOUTH LATHROP
 EXHIBIT 6A: BENEFITTED PROPERTY OWNERS - FRONTAGE



APN	LF Frontage	Percentage of total frontage
241-380-200	880	13.18%
241-380-150	369	5.60%
241-380-050	392	6.01%
241-380-225	406	6.27%
241-400-040	124	1.90%
241-400-050	1100	16.86%
241-400-060	1522	23.32%
241-400-070	857	13.13%
241-400-080	158	2.42%
241-400-090	232	3.56%
241-400-110	483	7.40%
Total:	6528	100.00%

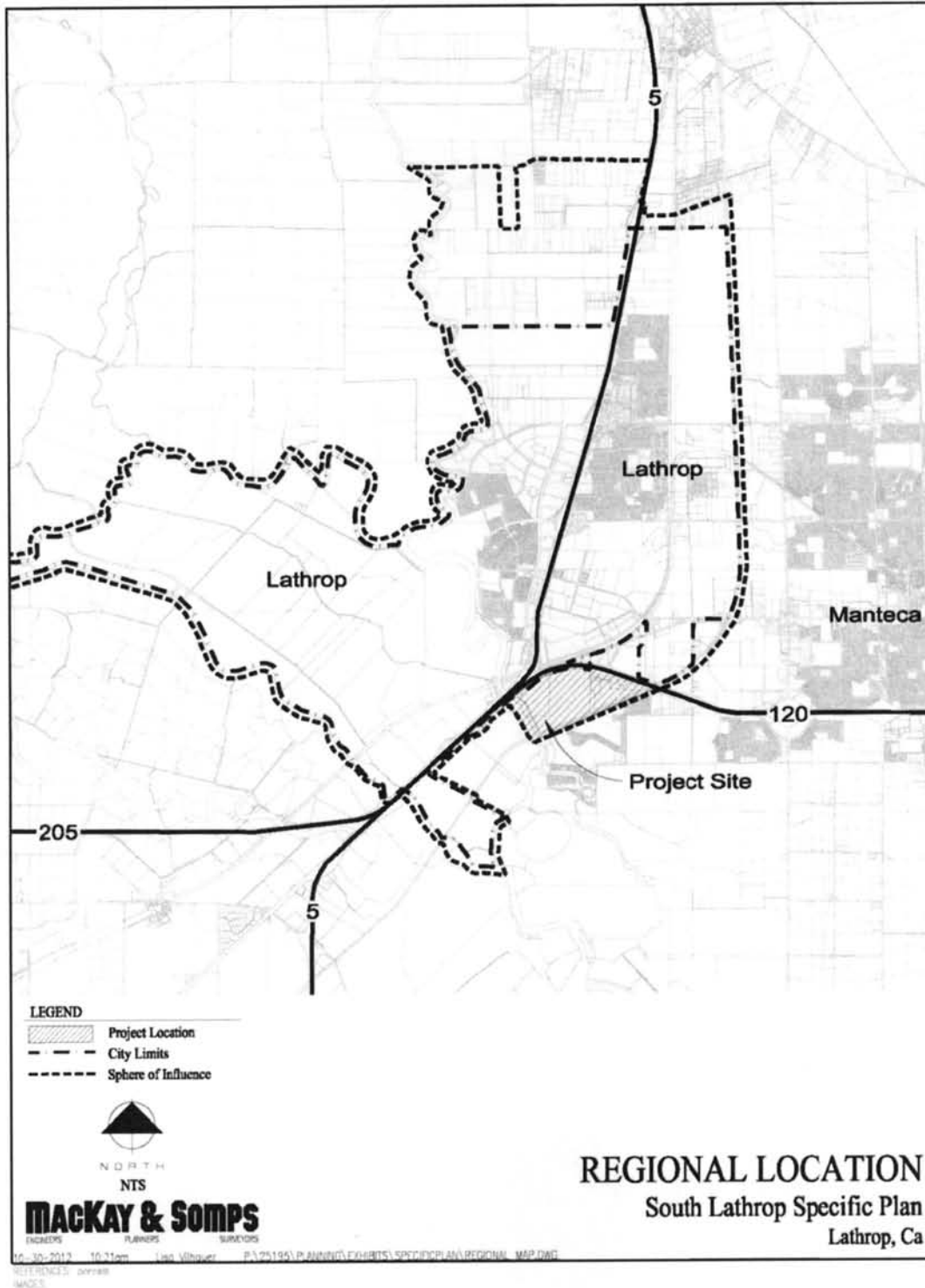
 LATHROP GATEWAY BUSINESS PARK SPECIFIC PLAN



MACKAY & SOMPS
 ENGINEERS PLANNERS SURVEYORS

JOB NO. 25223 000 DATE: 12 06 2018

ATTACHMENT C SLSP AREA MAP



ITEM 5.2

CITY STAFF REPORT JUNE 8, 2020 CITY COUNCIL REGULAR MEETING

ITEM: NAMING OF NEW CITY PARKS

RECOMMENDATION: Adopt a Resolution to name the Neighborhood Park in Mossdale after William S. Moss and the Neighborhood Park in Stanford Crossing in Honor of Leland and Jane Stanford and Related Budget Amendment

SUMMARY:

On March 5, 2020 the Parks and Recreation Commission voted to recommend Council approve the proposed naming of two of the city's newest neighborhood Parks.

Staff requests that the City Council adopt a resolution to name the neighborhood park within the Mossdale development as William S. Moss Park, and the neighborhood park within the Stanford Crossing Development as Leland and Jane Stanford Park.

BACKGROUND:

The Parks and Recreation Department is requesting the City Council review and consider the Park and Facility Naming Applications to name two new parks within the City of Lathrop.

Mossdale Neighborhood Park

Mossdale Neighborhood Park is an approximately 4.15 acre park site located on the corner of Inland Passage Way and Golden Spike Trail. The Parks and Recreation Department is proposing to name this park location after William S. Moss. William Moss, originally a river boat captain from Ohio, arrived in California in the 1850's as part of the Gold Rush. He arrived in San Francisco and crossed the San Joaquin River on a ferry here in Lathrop. Recognizing the river ferry as a potentially lucrative business venture, he negotiated with the owners and purchased the river ferry. Following the purchase, he renamed the ferry to Moss' Ferry. This purchase was so successful for Mr. Moss that he returned to Ohio and sold all of his holdings and moved his family and his livestock to California. Upon his return, he purchased approximately 10,000 acres of property along the eastern bank of the San Joaquin River south of Stockton. This land became known as Moss' Dale, which is now known to us as Mossdale Landing.

Stanford Crossing Neighborhood Park

Stanford Crossing Neighborhood Park is an approximately 4.13 acre park site located on what will be Locomotive Street adjacent to the Lathrop Generations Center. The Parks and Recreation Department is proposing to name this location after Leland and Jane Stanford. Leland Stanford, one of the "Big Four" builders of the transcontinental railroad, was responsible for the development of the railroad through San Joaquin

CITY STAFF REPORT **PAGE 2**
JUNE 8, 2020 CITY COUNCIL REGULAR MEETING
ADOPT A RESOLUTION TO NAME 2 NEW CITY PARKS AND RELATED BUDGET
AMENDMENT

County. As part of the team developing the railroad, Mr. Stanford discussed this business partnership with the council of Stockton for the location of the tracks through Stockton. When an agreement could not be reached, it is said that Stanford’s company laid the tracks approximately 200 yards outside of the Stockton limits and continued south, arriving at a location adjacent to the eastern edge of the San Joaquin river to develop a town to compete with Stockton. The town was originally known as Wilson’s station and renamed to Lathrop to honor his wife’s (Jane Lathrop) family. Mr. and Mrs. Stanford were also known for founding Stanford University as a gift to the children of California.

REASON FOR RECOMMENDATION:

The naming of parks and facilities provides an opportunity to capture and retain some of the history of the City of Lathrop. Not only is this a unique opportunity for the current residents of Lathrop but an educational opportunity for the future families of Lathrop in regards to the history of our City.

FISCAL IMPACT:

The Parks and Recreation Department would like to include a monument at each park location to include a brief biography for the person or persons honored by each park. The monuments will be designed to match park signs and will cost approximately \$5900 per location. The \$5900 expense at William S. Moss Park (Mossdale South Neighborhood Park) will be included as part of the park construction expenses associated with PK 19-03. Funding for the installation of the monument at Leland and Jane Stanford Park (Stanford Crossing Neighborhood Park) will be directed from Measure C funds (1060-99-00-990-90-10) when approved by the Measure C oversight committee:

Estimated Costs of Park Monument per Location:

Custom Precast Monument with laser etched plaque	\$ 3,700
Installation of monument	\$ 1,500
15% project contingency	<u>\$ 780</u>

Monument Costs **\$ 5,980**

ATTACHMENTS:

- A. Resolution approving the naming of William S. Moss Park and Leland and Jane Stanford Park and authorize related budget amendment.
- B. Parks and Facilities Naming Application: William S. Moss
- C. Parks and Facilities Naming Application: Leland and Jane Stanford

CITY STAFF REPORT
JUNE 8, 2020 CITY COUNCIL REGULAR MEETING
ADOPT A RESOLUTION TO NAME 2 NEW CITY PARKS AND RELATED BUDGET
AMENDMENT

APPROVALS:



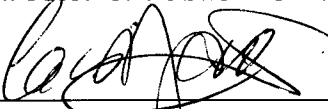
Zachary Jones
Director of Parks and Recreation

6-2-2020
Date



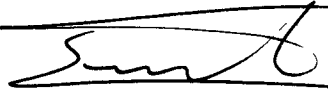
Michael King
Director of Public Works

6-2-2020
Date



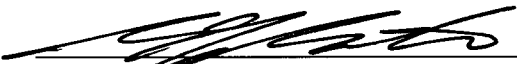
Cari James
Director of Finance and Administrative Services

6-2-2020
Date



Salvador Navarrete
City Attorney

6-2-2020
Date



Stephen J. Salvatore
City Manager

6-3-2020
Date

RESOLUTION NO. 20-

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LATHROP
APPROVING NAMING OF THE NEIGHBORHOOD PARK IN MOSSDALE AFTER
WILLIAM S. MOSS AND THE NEIGHBORHOOD PARK IN STANFORD
CROSSING IN HONOR OF LELAND AND JANE STANFORD AND RELATED
BUDGET AMENDMENT**

WHEREAS, on March 5, 2020 the Parks and Recreation Commission voted to recommend Council City Council adopt a resolution to name the neighborhood park within the Mosssdale development as William S. Moss Park, and the neighborhood park within the Stanford Crossing Development as Leland and Jane Stanford Park; and

WHEREAS, City Council considered the placement of a monument at each park location to include a brief biography of the person or persons the park is being named to honor; and whereas the associated expense of \$5,980 at William S. Moss park is included as part of the park construction costs associated with PK19-03; and

WHEREAS, City Council also considered a budget amendment to cover the expenses of \$5,980 for the monument placement Leland and Jane Stanford Park from Measure C funds (1060-99-00-990-90-10) upon approval by the Measure C oversight committee;

NOW, THEREFORE, BE IT RESOLVED, that the City Council of the City of Lathrop names the new neighborhood park within the Mosssdale development as William S. Moss Park, and the new neighborhood park within the Stanford Crossing Development as Leland and Jane Stanford Park, the placement of monuments at each location, as well as the related budget amendment of \$5,980 from Measure C funds, upon approval by the Measure C oversight committee, for the placement of a monument at Leland and Jane Stanford park.

The foregoing resolution was passed and adopted this 8th day of June, 2020, by the following vote of:

AYES:

NOES:

ABSTAIN:

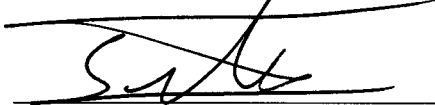
ABSENT:

Sonny Dhaliwal, Mayor

ATTEST:

Teresa Vargas, City Clerk

APPROVED AS TO FORM:



Salvador Navarrete, City Attorney

FOR OFFICE USE ONLY

Application Number:

Application Date:

Received By:

THIS FORM IS TO BE COMPLETED BY THE APPLICANT PRIOR TO FILING
 (Please Print)

Park, Address, Recreation Facility to be Considered for Naming:
593 Inland Passage Way, Lathrop CA 95330 (APN 24170028)
(Mossdale South Neighborhood Park)

Suggested Name:

Capt. William S. Moss Park or William S. Moss Park

APPLICANT INFORMATION

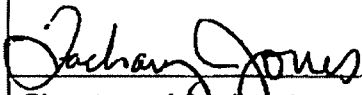
Applicant's Name	Zachary Jones				
On Behalf of (Organization)	City of Lathrop				
Mailing Address	390 Towne Center Drive				
City	Lathrop	State	CA	Zip	95330
Home Phone		Work Phone	290-941-7385	Cell	209-992-0039
Email	zjones@ci.lathrop.ca.us				

APPLICATION CHECKLIST – ADDITIONAL ITEMS NEEDED

- A minimum of 3 Letters of Support must be attached. Letters of Support should be from non-related individuals who served with, or are in a position to substantiate, the nomination and add clarity to the reasons why the individual is being nominated. Letters of Support are required for all suggested names, not just those in honor of an individual.
- A one page typed justification for the suggested name as well as how it relates to the Park and Facilities Naming Criteria listed on pages 2 & 3.
- Other relevant items of support could include, but are not limited to: newspaper articles, photos, proclamations, awards, certificates, etc.

Certifications and Signature

I, the undersigned do hereby certify that I have read and understand the attached cover sheet(s) and that the facts and information contained in this application and supporting documents are true and correct, to the best of my knowledge.

	2 - 26 - 2020
Signature of Applicant	Date
Zachary Jones	
Please print signed name here	

For City Use Only

Location of Park or Facility	
Did Person Live in Lathrop? How Long?	
Meeting with Parks & Recreation Director	
Parks & Recreation Commission Review Date #1	
Public Input Methods	
Parks & Recreation Commission Review Date #2	
Action by Parks & Recreation Commission	
City Council Date	
City Council Action	
Dedication	
Signage Installation	

Parks and Facilities Naming Application

Last Revised 09-07-10

Captain William Simms Moss

(1798 – March 25, 1883)



Captain William Simms Moss, b. VA son of Captain Zealy Moss and Jeannet or Janet Glasscock (daughter of Gregory Glascock & Jemima Dulin).

He was born in 1798 in Virginia and raised on a wealthy Southern plantation. Moss had worked various jobs on the Mississippi and Illinois rivers starting as a flat-boater and then working his way up to captain before buying a steamboat of his own. That allowed him to make a small fortune and he purchased several boats that plied on the Illinois and Mississippi rivers. Thus, William Moss, now became Capt. William Moss. This prosperity allowed Capt. Moss to branch out into the telegraph business, newspaper publishing, and railroad investments.

In 1856, he made his first trip to California and after being impressed with what he saw, he decided to make California his home. When he traveled from San Francisco and reached the San Joaquin River, Moss crossed the river on the Doak and Bonsell ferry. As California was booming with gold rush activity, Moss saw the river ferry as a good investment and convinced the owners to sell it to him. He changed the name to Moss' Ferry

After Moss' venture on the river proved profitable. He returned to Illinois and began liquidating his holdings including a large family plantation in his native Virginia. He sold much of what he owned back in Illinois, but managed to bring several hundred cattle and horses with him to California. Upon arriving here this time, he purchased about 10,000 acres in San Joaquin County, along the San Joaquin river near Stockton and went into farming.

This large valley of land, immediately east of the San Joaquin River adjacent to the Moss' Ferry river crossing, became known as Moss' dale. Today this property is known as Mossdale Landing in Lathrop, CA. Later Captain Moss purchased a home in San Leandro and began investing his money in other enterprises such as the establishment of the "Democratic Press" newspaper in 1864 until the death of Abraham Lincoln, an founding of the San Francisco Examiner which he ultimately sold to Senator George Hearst, William Randolph Hearst's father.

Moss was married twice, first to Mary Choate, to whom he married in Illinois and who passed away in Illinois. She was the mother of three of Capt. Mosses children: Mrs. Anna W. (Jack), Mrs. Henrietta W. (Griffith) and Louis Moss. His second marriage, which also took place in Illinois, was to Caroline Buttrick, a native of Massachusetts. She bore Capt. Moss four children: Mrs. Mary (Percival), William S., Bradley, and Mrs. Caroline (McDougald).

After his wife, Caroline's, passing at their San Leandro home, Capt. Moss took up residence on his ranch in San Joaquin County, and it was there that he passed away of natural causes on March 25, 1883 at the age of 85.



Department of Parks and Recreation

390 Towne Centre Drive, Lathrop, CA 95330
Phone (209) 941-7220 – Fax (209) 941-7229
www.ci.lathrop.ca.us

January 29, 2019

City of Lathrop
Park and Facility Naming
390 Towne Centre Drive
Lathrop, CA 95330

To Whom It May Concern,

This letter is to express my desire to dedicate the park space currently known as Mossdale South Neighborhood Park in the name of Captain William S. (Semmes) Moss. Capt. Moss was an important historical figure in the development of the City of Lathrop. As the one of the original farmers of the region William Moss is the namesake of the section of the Lathrop community known as Mossdale Crossing.

I believe the naming of parks and facilities provides an opportunity to capture and retain some of the history of the City of Lathrop. Not only is this a unique opportunity for the current citizens of Lathrop but an educational opportunity for the future families of Lathrop in regards to the history of our City.

I have included an informational page about Capt. Moss and how he came to be one of the earliest farmers of our region. I hope that you will consider this important figure in the history of Lathrop for the naming of Mossdale South Neighborhood Park.

Thank you for your time and consideration.

Sincerely

Zachary Jones, Director
Department of Parks and Recreation
City of Lathrop
390 Towne Centre Drive
Lathrop, CA 95330

Enclosures

- Application for Parks and Facilities Naming



Office of the City Manager

*390 Towne Centre Drive, Lathrop, CA 95330
Phone (209) 941-7220 – Fax (209) 941-7229
www.ci.lathrop.ca.us*

February 10, 2020

City of Lathrop
Park and Facility Naming
390 Towne Centre Drive
Lathrop, CA 95330

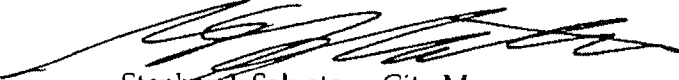
To Whom It May Concern,

This letter is to express my support of the dedication of the park space currently known as Mossdale South Neighborhood Park in the name of Captain William S. (Simms) Moss. Capt. Moss was an important historical figure in the development of the City of Lathrop. As one of the original farmers of the region William Moss is the namesake of the section of the Lathrop community known as Mossdale Crossing.

I also believe the naming of parks and facilities provides an opportunity to capture and retain some of the history of the City of Lathrop. Not only is this a unique opportunity for the current citizens of Lathrop but an educational opportunity for the future families of Lathrop in regards to the history of our City.

Thank you for your time and consideration.

Thank you,



Stephen J. Salvatore, City Manager
City of Lathrop
390 Towne Centre Drive
Lathrop, CA 95330

Enclosures

- Application for Parks and Facilities Naming

February 2020

City of Lathrop
Park and Facility Naming
390 Towne Centre Drive
Lathrop, CA 95330

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Thank you for your time and consideration.

Sincerely



Bennie Gatto
Resident
Lathrop Mayor 1991-92, 1994-95
[REDACTED]
Lathrop, CA 95330

February 2020

City of Lathrop
Park and Facility Naming
390 Towne Centre Drive
Lathrop, CA 95330

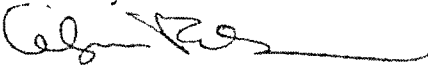
To Whom It May Concern,

This letter is to express my support of the dedication of the park space currently known as Mossdale South Neighborhood Park in the name of Captain William S. (Simms) Moss. Capt. Moss was an important historical figure in the development of Lathrop. As one of the original farmers of the region, William Moss is the namesake of the section of the Lathrop community known as Mossdale Crossing.

I believe that Lathrop's significant history is a treasure that must be preserved and the naming of parks and facilities provides an opportunity to capture and retain some of our rich and vast history. Not only is this a unique opportunity for the current citizens of the City of Lathrop to highlight our amazing journey in time but an educational opportunity for the future families of Lathrop in regards to our history.

Thank you for your time and consideration.

Sincerely



Gloryanna Rhodes
Resident
Lathrop, CA 95330

**City of Lathrop Parks & Recreation Department
Parks & Facilities Naming Application**

Attachment C

FOR OFFICE USE ONLY

Application Number:

Application Date:

Received By:

THIS FORM IS TO BE COMPLETED BY THE APPLICANT PRIOR TO FILING
(Please Print)

**Park, Address, Recreation Facility to be Considered for Naming:
405 Locomotive Street, Lathrop CA 95330 (APN 19203043)
(Stanford Crossing Neighborhood Park)**

Suggested Name:

Leland and Jane Stanford Park

APPLICANT INFORMATION

Applicant's Name	Zachary Jones				
On Behalf of (Organization)	City of Lathrop				
Mailing Address	390 Towne Center Drive				
City	Lathrop	State	CA	Zip	95330
Home Phone		Work Phone	290-941-7385	Cell	209-992-0039
Email	zjones@ci.lathrop.ca.us				

APPLICATION CHECKLIST – ADDITIONAL ITEMS NEEDED

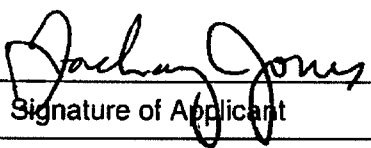
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- Other relevant items of support could include, but are not limited to: newspaper articles, photos, proclamations, awards, certificates, etc.

Parks and Facilities Naming Application

Last Revised 09-07-10

Certifications and Signature

I, the undersigned do hereby certify that I have read and understand the attached cover sheet(s) and that the facts and information contained in this application and supporting documents are true and correct, to the best of my knowledge.

	2-26-2020
Signature of Applicant	Date
Zachary Jones	
Please print signed name here	

For City Use Only

Location of Park or Facility	
Did Person Live in Lathrop? How Long?	
Meeting with Parks & Recreation Director	
Parks & Recreation Commission Review Date #1	
Public Input Methods	
Parks & Recreation Commission Review Date #2	
Action by Parks & Recreation Commission	
City Council Date	
City Council Action	
Dedication	
Signage Installation	

Parks and Facilities Naming Application

Last Revised 09-07-10



Leland and Jane Stanford

Amasa Leland Stanford was born in 1824 in Colonie, New York. Leland was one of eight children of Josiah and Elizabeth Phillips Stanford. **Jane Elizabeth Lathrop** born in 1828 in Albany, New York, she was the daughter of shopkeeper Dyer Lathrop and Jane Anne (Shields) Lathrop. Leland and Jane were married on September 30, 1850, and lived in Port Washington, Wisconsin Port Washington, where he had practiced law since 1848.

In 1852, having lost his law library and other property to a fire, Stanford followed his five brothers to California during the California Gold Rush. His wife, Jane, returned temporarily to Albany and her family. He went into business with his brothers and became the keeper of a general store for miners at Michigan City, California, later the name changed to Michigan Bluff in Placer County; later he had a wholesale

house. He served as a justice of the peace and helped organize the Sacramento Library Association, which later became the Sacramento Public Library. In 1855, he returned to Albany to join his wife but found the pace of Eastern life too slow after the excitement of developing California.

In 1856, he and Jane moved to Sacramento, where he engaged in mercantile pursuits on a large scale. Stanford was one of the four merchants known popularly as "The Big Four" who were the key investors in Chief Engineer Theodore Dehone Judah's plan for the Central Pacific Railroad, which the five of them incorporated on June 28, 1861, and of which Stanford was elected president. The other three associates were Charles Crocker, Mark Hopkins, and Collis P. Huntington.

Stanford ran unsuccessfully for governor of California in 1859. He was nominated again in 1861 and won the election. He served one term, then limited to two years. The couple did not have any children for years, until their only child, a son, Leland DeWitt Stanford, was born in 1868 when his father was forty-four.

While the Central Pacific was under construction, Stanford and his associates in 1868 acquired control of the Southern Pacific Railroad. Stanford was elected president of the Southern Pacific, a post he held until 1890 (except for a brief period in 1869–70 when Tevis was acting president) when he was ousted by Collis Huntington. As head of the railroad company that built the western portion of the "First Transcontinental Railroad" from Sacramento eastward over the Sierra Nevada mountains in California to Nevada and Utah, Stanford presided at the ceremonial driving of "Last Spike" in Promontory, Utah on May 10, 1869. The grade of the CPRR met that of the Union Pacific Railroad, which had been built westward from its eastern terminus at Council Bluffs, Iowa/Omaha, Nebraska. He was even given the honor of driving the final spike.

The couple did not have any children for years, until their only child, a son, Leland DeWitt Stanford (Leland Stanford, Jr.), was born in 1868 when his father was forty-four. In 1884, while on a family grant tour of Europe Leland Stanford Jr. contracted typhoid and eventually passed away after weeks of alternately improving and worsening conditions. This was two months shy of his 16th birthday.

In 1887, Stanford and Company endeavored to found a town as a rival to Stockton along the San Joaquin River built up the city to a population of 10,000 people prior to the existence of the railroad. The company laid out the town subdividing the tract west of the railroad hotel into 16 oblong blocks. Up to this time the town had been known as Wilson's station. The company named the city Lathrop, to honor Jane Stanford's family.

To honor their only child the couple decided "The children of California shall be our children" the couple founded Leland Stanford Junior University. The university officially opened its doors in 1891 under the direction of Leland Stanford until his death in June of 1893. Jane took control of the university upon the passing of her husband. It was under her direction that Stanford University gained an early focus on the arts. Jane Stanford advocated for the admission of women and for that reason the university had been coeducational since its founding. As a remaining founder Jane Stanford continued to maintain a great deal of legal control of the university until her untimely death in 1905.



Department of Parks and Recreation

390 Towne Centre Drive, Lathrop, CA 95330
Phone (209) 941-7220 – Fax (209) 941-7229
www.ci.lathrop.ca.us

February 25, 2020

City of Lathrop
Park and Facility Naming
390 Towne Centre Drive
Lathrop, CA 95330

To Whom It May Concern,

This letter is to express my desire to dedicate the park space currently known as Stanford Crossing Neighborhood Park in the name of Leland and Jane Stanford. Mr. and Mrs. Stanford were important historical figures in the development of the City of Lathrop. As the one of "The Big Four" of the transcontinental railroad Mr. Stanford was responsible for the creation and naming of the city now known as Lathrop, after his wife Jane (Lathrop) Stanford's family.

I believe the naming of parks and facilities provides an opportunity to capture and retain some of the history of the City of Lathrop. Not only is this a unique opportunity for the current citizens of Lathrop but an educational opportunity for the future families of Lathrop in regards to the history of our City.

I have included an informational page about the Stanford's and how they arrived in our region in conjunction with the arrival of the transcontinental railroad. I hope that you will consider this important part of Lathrop's history for the naming of Stanford Crossing Neighborhood Park.

Thank you for your time and consideration.

Sincerely

Zachary Jones, Director
Department of Parks and Recreation
City of Lathrop
390 Towne Centre Drive
Lathrop, CA 95330

Enclosures

- Application for Parks and Facilities Naming



Office of the City Manager

390 Towne Centre Drive, Lathrop, CA 95330
Phone (209) 941-7220 – Fax (209) 941-7229
www.ci.lathrop.ca.us

February 26, 2020

City of Lathrop
Park and Facility Naming
390 Towne Centre Drive
Lathrop, CA 95330

To Whom It May Concern,

This letter is to express my support of the dedication of the park space currently known as Stanford Crossing Neighborhood Park in the name of Leland and Jane Stanford. The Stanford family were important historical figures in the development of the City of Lathrop. As the one of "The Big Four" of the transcontinental railroad Mr. Stanford was responsible for the creation and naming of the city now known as Lathrop, after his wife Jane (Lathrop) Stanford's family.

I also believe the naming of parks and facilities provides an opportunity to capture and retain some of the history of the City of Lathrop. Not only is this a unique opportunity for the current citizens of Lathrop but an educational opportunity for the future families of Lathrop in regards to the history of our City.

Thank you for your time and consideration.

Thank you,

Stephen J. Salvatore, City Manager
City of Lathrop
390 Towne Centre Drive
Lathrop, CA 95330

Enclosures

- Application for Parks and Facilities Naming

February 2020

City of Lathrop
Park and Facility Naming
390 Towne Centre Drive
Lathrop, CA 95330

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Thank you for your time and consideration.

Sincerely

Vada & Bob Klingman
Resident
[REDACTED]
Lathrop, CA 95330

Vada Klingman
Robert D. Klingman

February 2020

City of Lathrop
Park and Facility Naming
390 Towne Centre Drive
Lathrop, CA 95330

To Whom It May Concern,

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Thank you for your time and consideration.

Sincerely



Anna Dimas
Resident

██████████
Lathrop, CA 95330

ITEM: PUBLIC HEARING (PUBLISHED NOTICE) TO CONSIDER FISCAL YEAR 2020/21 ASSESSMENTS FOR INDUSTRIAL LIGHTING MAINTENANCE DISTRICT; RESIDENTIAL LIGHTING MAINTENANCE DISTRICT; MOSSDALE LANDSCAPE AND LIGHTING DISTRICT; STONEBRIDGE LANDSCAPING MAINTENANCE DISTRICT; STONEBRIDGE DRAINAGE AND LIGHTING DISTRICT; STORM DRAIN DISTRICT ZONE 1; AND STORM DRAIN DISTRICT ZONE 1A

RECOMMENDATION: Council to Consider the Following:

- 1. Hold a Public Hearing; and**
- 2. Adopt Resolution Approving the Final Engineer's Report and Ordering the Levy and Collection of Assessments for the City of Lathrop Industrial Lighting Maintenance District for Fiscal Year 2020/21; Maximum Assessment for the District for Fiscal Year 2020/21 not to exceed Zone A \$7.94; Zone B \$40.47; Zone C \$7.94, and Proposed Annual Assessment for Fiscal Year 2020/21 Zone A \$7.94; Zone B \$40.47; Zone C \$7.94.**
- 3. Adopt Resolution Approving the Final Engineer's Report and Ordering the Levy and Collection of Assessments for the City of Lathrop Residential Lighting Maintenance District for Fiscal Year 2020/21; Maximum Assessment for the District for Fiscal Year 2020/21 not to exceed Zone A \$44.30; Zone B \$47.47; Zone C \$31.21; Zone D \$58.06; Zone E \$61.04; Zone F \$35.11; Zone G \$8.03, and Proposed Annual Assessment for Fiscal Year 2020/21 Zone A \$44.30; Zone B \$47.47; Zone C \$31.21; Zone D \$58.06; Zone E \$61.04; Zone F \$35.11; Zone G \$8.03.**
- 4. Adopt Resolution Approving the Final Engineer's Report and Ordering the Levy and Collection of Assessments for the Mossdale Landscape and Lighting Maintenance District for Fiscal Year 2020/21; Maximum Assessment for Fiscal Year 2020/21 not to exceed \$284.38, and Proposed Annual Assessment for Fiscal Year 2020/21 \$276.10.**

- 5. Adopt Resolution Approving the Final Engineer's Report and Ordering the Levy and Collection of Assessments for the Stonebridge Landscape Maintenance District and the Stonebridge Drainage & Lighting District for Fiscal Year 2020/21; Maximum Assessments for each District for Fiscal Year 2020/21 not to exceed \$438.78, and Proposed Annual Assessments for Fiscal year 2020/21 for Stonebridge Landscape Maintenance District is \$292.88 and for Stonebridge Drainage & Lighting District is \$248.14.**
- 6. Adopt Resolution Approving the Final Engineer's Report and Ordering the Levy and Collection of Assessments for the Storm Drain District Zone 1 and Storm Drain District Zone 1A for Fiscal Year 2020/21; Proposed Annual Assessment for Fiscal Year 2020/21 for Storm Drain Zone 1 not to exceed \$112.52, and Proposed Annual Assessment for Fiscal Year 2020/21 for Storm Drain Zone 1A not to exceed \$199.92.**

SUMMARY:

At the May 11, 2020 City Council Meeting, Staff presented the preliminary Engineer's Report and Intent to Levy for the Industrial Lighting Maintenance District, Residential Lighting Maintenance District, Mossdale Landscape and Lighting Maintenance District, Stonebridge Landscape Maintenance District, Stonebridge Drainage & Lighting District, Storm Drain District Zone 1, and Storm Drain District Zone 1A (the "Districts") to Council for approval and requested to set a public hearing date to initiate the final approval process.

The City Council approved the preliminary Engineer's Report and Intent to Levy for all Districts, and set the public hearing date for June 8, 2020. The public hearing was published in the Manteca Bulletin on May 23 & 29 of 2020.

Four (4) out of seven (7) Districts present a "general benefit," meaning, that the improvements benefit the public at large, including the City. General benefit is excluded from a District's assessment. The City covers the costs of the general benefit utilizing resources from the General Fund.

The general benefit cost for all districts for Fiscal Year 2020/21 is \$30,705.

CITY MANAGER'S REPORT **PAGE 3**
JUNE 8, 2020 CITY COUNCIL MEETING REGULAR MEETING
FISCAL YEAR 2020/21 ASSESSMENTS FOR ALL MAINTENANCE ASSESSMENT
DISTRICTS EXCEPT WOODFIELD PARK

The Storm Drain District Zone 1A require a general fund subsidy. This districts do not generate sufficient revenue to cover its operating expenses.

The total amount needed from the General Fund to cover the General Benefit costs and the General Fund subsidy Storm for Drain Zone 1A is \$51,284.00.

Table 1 below displays the current and proposed assessment rates.

Table 1

District	FY 19/20 Rates	FY 20/21 Proposed Rates	% Change	Notes
Mossdale LMD	\$268.06	\$276.10	3.00%	Levy needed to minimize draw on reserve
Storm Drain Zone 1	\$112.52	\$112.52	0.00%	Rate unchanged since FY 1996/97
Storm Drain Zone 1A	\$199.92	\$199.92	0.00%	Rate unchanged since FY 1996/97
Stonebridge LMD	\$265.64	\$292.88	10.25%	Increased levy needed to minimize draw on reserve
Stonebridge BAD	\$236.32	\$248.14	5.00%	Increased levy needed to minimize draw on reserve
Industrial LMD	\$7.75 or \$39.50	\$7.94 or \$40.47	2.45%	Max Levy needed to minimize draw on reserve
Residential LMD	\$7.79 to \$59.26	\$8.03 to \$61.04	3.00%	Max Levy needed to minimize draw on reserve

Please note that the assessment and budget amounts shown in the final Engineer's Reports have not been modified from the approved Preliminary Engineer's Reports on May 11th.

Tonight, the City Council is being asked to approve the final Engineer's Report for all Districts and order the levy and collection of annual assessments for Fiscal Year 2020/21.

City Council may order amendments to the Engineer's Reports or confirm as submitted. If approved, the assessment information will be submitted to the County Auditor-Controller, and included on the property tax roll for each benefiting parcel for Fiscal Year 2020/21. The collected monies will fund each District's operation and maintenance costs.

BACKGROUND:

Maintenance Districts are formed to fund services and improvements that provide special benefit to the properties within the District's boundaries. Improvements may include landscaping, park sites, street lightning and storm drainage.

The Districts levies are made pursuant to the Landscaping and Lighting Act of 1972, Part 2 of Division 15 of the California Streets and Highways Code (the "Act"),

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applicable to the provisions of Proposition 218 (California Constitutional Articles XIII C and XIII D).

Each parcel within a District is assessed in accordance to assessment methodology adopted and approved by the City Council at the time of District formation. The assessments are paid by the property owner as a part of each parcel's secured property tax bill.

NBS Government Finance Group performs an annual assessment of the Districts, evaluating costs of the maintenance, operations, and servicing of the improvements to be maintained. The assessment process is generally initiated in March. Upon the completion of the assessment, NBS submits a preliminary Engineer's Report (the "Report") to City staff which includes a district overview, estimate of costs, method of apportionment, district diagrams, and parcel listing. City staff utilizes the Report findings to produce the District's annual budget.

Staff thoroughly evaluates cost increases and cost savings for each District when preparing the budget. Staff uses quantified costs such as: routine maintenance and mowing contracts; equipment repair; weed abatement; shrub and tree pruning; radios and computers; irrigation parts and controllers; water; electricity; fertilizer and other chemicals; vehicles and vehicle maintenance; street lighting repairs; storm drain system maintenance; and other administrative costs to operate the maintenance assessment districts. In addition to routine maintenance, Districts may encounter intermittent capital replacement to change out improvement items such as street lights, storm drain pump motors, irrigation components or dead landscaping.

The City of Lathrop has eight (8) Maintenance Assessment Districts (MAD); five (5) Landscaping and Lighting Districts (LLMD) (Woodfield Park is excluded from this report); three (3) Benefit Assessment Districts (BAD).

Most of the public landscaping and street lightning along Lathrop's streets and entrances to various residential communities ("medians") are maintained through LLMD's. Nine (9) of the City parks are maintained by LLMD's (eight of the nine are included in the districts that comprise this report). Most of the storm drain systems in Historical Lathrop are maintained through BAD's.

By law, assessments may only increase to the maximum approved amount set by property owners at the time of district formation or annexation. Any proposed increase which exceeds the approved amount requires the approval of the then current property owners via a Proposition 218 ballot process. Each of the City's Districts has a maximum assessment amount. The City Council may authorize any level of assessment up to the maximum amount.

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If it is determined that the maximum amount is not needed, City Council may lower the actual annual assessment without jeopardizing the ongoing maximum assessment.

The final Engineer’s Report for each District is available for review at the City Clerk’s office and the Public Works Department. Copies will be available at the City Council meeting per request.

The following Background subsections summarize the district-specific information for each maintenance district:

(1) Industrial Lighting Maintenance District

The Lathrop Industrial Lighting Maintenance District was created to pay for the maintenance of the public lighting within commercial and industrial areas of the City. The maximum assessment rates for Fiscal Year 2020/21 have increased by 2.45% which is the applicable annual escalation factor approved by the property owners. The maximum assessment rates per Equivalent Dwelling Unit (EDU) are proposed for Fiscal Year 2020/21 \$7.94 for Zone A, \$40.47 for Zone B, and \$7.94 for Zone C.

District/Zone	FY 2019/20 Annual	Proposed	Variance	Maximum
	Assessment Rate	FY 2020/21 Annual		FY 2020/21
	per EDU*	Assessment Rate		Assessment Rate
		per EDU*		per EDU*
Industrial LMD - Zone A	\$7.75	\$7.94	\$0.19	\$7.94
Industrial LMD - Zone B	\$39.50	\$40.47	\$0.97	\$40.47
Industrial LMD - Zone C	\$7.75	\$7.94	\$0.19	\$7.94

*EDU = Equivalent Dwelling Unit

The District will receive \$58,085.34 in assessment revenue plus a General Benefit Contribution from the General Fund of \$12,523.00 for a total of \$70,608.34. The total estimated expenditures are anticipated to be \$61,119. Fund balance at the beginning of Fiscal Year 2020/21 is estimated to be \$116,670.49 which will increase by \$9,489.34 to \$126,159.83 at the end of Fiscal Year 2020/21.

(2) Residential Lighting Maintenance District

The Lathrop Residential Lighting Maintenance District was created on May 18, 1999 to pay for the operation and maintenance of street lighting to benefit residential areas in East Lathrop.

The Fiscal Year 2020/21 maximum assessment rates have increased by 2.45%, which is the applicable annual escalation factor approved by the property owners. The District is required to maintain a reserve fund of approximately 50% of its annual revenues and expenses; thus, it is proposed for the District to be assessed at its maximum assessment. The largest annual increase per EDU is in Zone E at \$1.78 annually or approximately \$0.15 per month.

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District/Zone	FY 2019/20 Annual	Proposed	Variance	Maximum
	Assessment Rate	FY 2020/21 Annual		FY 2020/21
	per EDU*	Assessment Rate		Assessment Rate
		per EDU*		per EDU*
Residential LMD - Zone A	\$43.01	\$44.30	\$1.29	\$44.30
Residential LMD - Zone B	\$46.09	\$47.47	\$1.38	\$47.47
Residential LMD - Zone C	\$30.30	\$31.21	\$0.91	\$31.21
Residential LMD - Zone D	\$56.37	\$58.06	\$1.69	\$58.06
Residential LMD - Zone E	\$59.26	\$61.04	\$1.78	\$61.04
Residential LMD - Zone F	\$34.08	\$35.11	\$1.03	\$35.11
Residential LMD - Zone G	\$7.79	\$8.03	\$0.24	\$8.03

*EDU = Equivalent Dwelling Unit

The District will receive \$130,664.14 in assessment revenues plus a General Benefit contribution from the General Fund of \$8,822.00 for a total of \$139,486.14. The total estimated expenditures are anticipated to be \$122,447.00. The fund balance at the beginning of Fiscal Year 2020/21 is estimated to be \$172,389.17 which will increase by \$17,039.14 to \$189,428.31 at the end of Fiscal Year 2020/21.

(3) Mosssdale Landscape and Lighting Maintenance District

On June 15, 2004, Mosssdale property owners approved the creation of the Mosssdale Landscape and Lighting Maintenance District to provide funding to maintain the landscaping, park sites, and street lighting for the District. The maximum assessment for Fiscal Year 2020/21 will increase by 3%; this is the applicable annual escalation factor approved by the property owners at the time of district formation. The Fiscal Year 2020/21 maximum assessment rate per single-family and multi-family unit is \$284.38. The Fiscal Year 2020/21 assessment rate is \$276.10 because a financial review of the District shows that this rate will continue the required level of service.

The District will receive \$595,934.24 in assessment revenues and expenditures are anticipated to be at \$708,576.00. The fund balance at the beginning of Fiscal Year 2020/21 is estimated to be \$423,608.68, which will be reduced by \$112,641.76 to \$310,966.92 by the end of Fiscal Year 2020/21.

District	FY 2019/20 Annual	Proposed	Variance	Maximum
	Assessment Rate	FY 2020/21 Annual		FY 2020/21
	per EDU*	Assessment Rate		Assessment Rate
		per EDU*		per EDU*
Mosssdale LLMD	\$268.06	\$276.10	\$8.04	\$284.38

*EDU = Equivalent Dwelling Unit

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(4) Stonebridge Landscaping District
Stonebridge Drainage and Lighting Maintenance District

Stonebridge Landscaping District

The Stonebridge Landscape District was created to pay for the service, operation and maintenance of the common area street landscaping, and Stonebridge Park. The Fiscal Year 2020/21 maximum assessment rate of \$438.78 represents an increase of 5% over that of Fiscal Year 2019/20, which is the applicable annual escalation factor approved by property owners. The annual assessment to be levied is proposed to be set at \$292.88. This is increased from the rate that was assessed in Fiscal Year 2019/20. This increased assessment is required to minimize the draw on the reserve fund.

The Landscape District will receive \$264,470.64 in assessment revenues plus a General Benefit Contribution from the General Fund of \$4,680 and park rentals of \$1,000, for a total of \$270,150.64. The total estimated expenditures are anticipated to be \$289,219.00. The fund balance at the beginning of Fiscal Year 2020/21 is estimated to be \$49,939.27, which will decrease by \$19,068.36 to \$30,870.91 at the end of Fiscal Year 2020/21. Reserve funds are intended to be used for annual operating shortfall coverage, cash flow timing financing, and/or extraordinary maintenance/repair funding.

District	FY 2019/20 Annual Assessment Rate per EDU*	Proposed FY 2020/21 Annual Assessment Rate per EDU*	Variance	Maximum FY 2020/21 Assessment Rate per EDU*
Stonebridge Landscaping	\$265.64	\$292.88	\$27.24	\$438.78

*EDU = Equivalent Dwelling Unit

Stonebridge Drainage and Lighting District

The Stonebridge Drainage and Lighting District was created to pay for the service, operation and maintenance of the street lighting, and storm drain facilities within the Stonebridge development. The Fiscal Year 2020/21 maximum assessment rate of \$438.78 represents an increase of 5% over that of Fiscal Year 2019/20, which is the applicable annual escalation factor approved by property owners. The annual assessment to be levied is proposed to be set at \$248.14. This is increased from the rate that was assessed in Fiscal Year 2019/20. This increased assessment is required to minimize the draw on the reserve fund.

The Drainage and Lighting District will receive \$223,822.28 in revenue plus a General Benefit contribution from the General Fund of \$4,680 for a total of \$228,502.28. The total estimated expenditures are anticipated to be \$318,463.00. The fund balance at the beginning of Fiscal Year 2020/21 is estimated to be \$348,067.17 which will decrease by \$89,960.72 to a balance of \$258,106.45 at the end of Fiscal Year 2020/21. Reserve funds are intended to be used for annual operating shortfall

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coverage, cash flow timing financing, and/or extraordinary maintenance/repair funding.

District	FY 2019/20 Annual Assessment Rate per EDU*	Proposed FY 2020/21 Annual Assessment Rate per EDU*	Variance	Maximum FY 2020/21 Assessment Rate per EDU*
Stonebridge Drainage & Lighting	\$236.32	\$248.14	\$11.82	\$438.78

*EDU = Equivalent Dwelling Unit

(5) Storm Drain Districts Zones 1 and 1A

On June 6, 1989, property owners approved a ballot measure for storm drainage maintenance fees for the Lathrop Storm Drain District, City Zone 1. In 1993, the City annexed an additional Storm Drain Maintenance District incorporating the area known as City Zone 1A (Crossroads Development). Both districts were created without an annual escalation factor for the maximum assessment. Both districts have been levied at their static maximum assessments for many years.

The assessment for City Zone 1 is \$112.52 per unit. The City may continue to levy the assessment for City Zone 1 as long as the rate does not exceed \$112.52 per unit.

The assessment for City Zone 1A is \$84.72 per Maintenance Unit and \$115.20 Per Available Unit, a compiled total of \$199.92. The City may continue to levy the assessment for Zone 1A as long as rates do not exceed \$84.72 per Maintenance Unit and \$115.20 per Availability Unit.

Over the last few fiscal years, inflationary effects have occurred on ordinary expenditures, asset replacements have been necessary, and assessment revenue remains static; thus, District deficits have occurred. Sizeable deficits may occur in future fiscal years due to the lack of the escalation factor. In order to remedy this imbalance, a Proposition 218 balloting of the Districts' property owners would have to be initiated and successfully completed. While this is not proposed for FY 2020/21, Staff advises City Council to consider this action for a future fiscal year.

For Fiscal Year 2020/21, Zone 1 is projected to have sufficient assessment revenue, along with a contribution from the reserves, to keep operations at the current required levels of service. Contrarily, Zone 1A will need a \$20,579.00 General Fund subsidy to continue to operate at the current required levels of service.

Storm Drain Zone 1 will receive \$239,140.96 in assessment revenues and expenditures are expected to be \$295,860.00. Zone 1 is required to draw from the reserves in the amount of \$56,719.04 to keep operations at the current required levels of service. The fund balance at the beginning of Fiscal Year 2020/21 is estimated at \$125,642.95 which will decrease by \$56,719.04 to \$68,923.91 at the end of Fiscal Year 2020/21.

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Storm Drain Zone 1A will receive \$113,364 in assessment revenues and expenditures are expected to be \$133,943. There are no reserve funds expected to be remaining at the beginning of Fiscal Year 2020/21. A General Fund subsidy of \$20,579 is needed to maintain the current required levels of service.

District	FY 2019/20 Annual	Proposed	Variance	Maximum
	Assessment Rate	FY 2020/21 Annual		FY 2020/21
	per EDU*	Assessment Rate		Assessment Rate
Storm Drain - Zone 1	\$112.52	\$112.52	\$0.00	\$112.52
Storm Drain - Zone 1A	\$199.92	\$199.92	\$0.00	\$199.92

REASON FOR RECOMMENDATION:

Maintain quality maintenance and service of Districts by means of allocated assessments.

FISCAL IMPACT:

The proposed Fiscal Year 2020/21 assessments for the Residential Lighting Maintenance District and Industrial Lighting Maintenance District fully fund the budgeted expenditures to maintain the current required levels of service within each of the districts.

In Mossdale Landscape and Lighting District, Stonebridge Landscaping District, Stonebridge Drainage & Lighting District, and Storm Drain District Zone 1, expenditures exceed revenue; however, these districts have sufficient funding within their Fund Balance reserves to cover the shortfalls.

Storm Drain District Zone 1A has expenditures which exceed revenues. In order to maintain the current required service levels in the District, a General Fund subsidy to cover the remaining \$20,579.00 deficit.

In four (4) of the districts, there are "General Benefit" costs that require funding from sources other than the assessments collected by the districts, as quantified by the formation assessment engineer. General Benefit is defined as the benefit of the improvements on the public at large. Therefore, the General Fund funds these costs because the city benefits overall from these improvements. The Fiscal Year 2020/21 General Benefit costs for each of the four (4) districts are:

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District	General Benefit Amount
Industrial Lighting Maintenance District	\$12,523
Residential Lighting Maintenance District	\$8,822
Stonebridge Drainage and Lighting District	\$4,680
Stonebridge Landscape District	\$4,680
Total General Benefit Cost	\$30,705

The total amount needed from the General Fund to cover the General Benefit costs and the General Fund subsidy Storm for Drain Zone 1A is \$51,284.00.


ATTACHMENTS:

- A. Resolution Amending and/or Approving the Final Engineer’s Report and Ordering the Levy and Collection of Assessments for the Industrial Lighting Maintenance District for Fiscal Year 2020/21
- B. Resolution Amending and/or Approving the Final Engineer’s Report and Ordering the Levy and Collection of Assessments for the Residential Lighting Maintenance District for Fiscal Year 2020/21
- C. Resolution Amending and/or Approving the Final Engineer’s Report and Ordering the Levy and Collection of Assessments for the Mossdale Landscape and Lighting Maintenance District for Fiscal Year 2020/21
- D. Resolution Amending and/or Approving the Final Engineer’s Reports and Ordering the Levy and Collection of Assessments for the Stonebridge Landscaping Maintenance District and the Stonebridge Drainage and Lighting District for Fiscal Year 2020/21
- E. Resolution Amending and/or Approving the Final Engineer’s Reports and Ordering the Levy and Collection of Assessments for the Storm Drain Districts Zones 1 and 1A for Fiscal Year 2020/21
- F. District Diagrams for All Districts

*** Note - Final Engineer Reports are available for review upon request in the City Clerk’s Office.**

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DISTRICTS EXCEPT WOODFIELD PARK

APPROVALS:



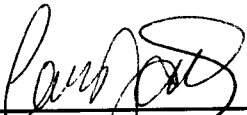
Sandra Frias
Sr. Management Analyst

5/27/2020
Date



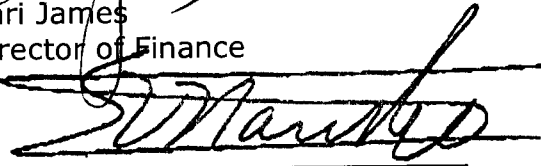
Thomas Hedegård
Accounting Manager

5/27/20
Date



Cari James
Director of Finance

5/28/2020
Date



Salvador Navarrete
City Attorney

5/28/2020
Date



Stephen Salvatore
City Manager

6.3.2020
Date

RESOLUTION NO. 20-_____

**RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LATHROP,
CALIFORNIA, AMENDING AND/OR APPROVING THE FINAL
ENGINEER'S REPORT AND ORDERING THE LEVY AND COLLECTION OF
ASSESSMENTS FOR THE INDUSTRIAL LIGHTING MAINTENANCE
DISTRICT FOR FISCAL YEAR 2020/21**

WHEREAS, on May 11, 2020 the City Council initiated proceedings for Fiscal Year 2020/21 and declared its intention to levy and collect annual assessments in a special maintenance district created pursuant to the provisions of the *Landscaping and Lighting Act of 1972, Division 15, Part 2 of the Streets and Highways Code of the State of California* (the "Act") said special maintenance district known and designated as the City of Lathrop, Industrial Lighting Maintenance District (hereinafter referred to as the "District"), Zones included in the District are Zone A, Zone B and Zone C; and

WHEREAS, on June 8, 2020, the City Council held a public hearing for the approval of the final Engineer's report and ordering of the levy and collection of assessments; and

WHEREAS, a notice of the public hearing was mailed to each property owner within the District, and the public hearing was published in the Manteca Bulletin on May 23 & 29 of 2020; and

WHEREAS, at this time all notice and public hearing requirements as required by the Act have been met relating to the levy of the annual assessments; and

WHEREAS, the City Council has received a final Engineer's Report (the "Report") from the Assessment Engineer (NBS Government Finance Group) for consideration and final approval which details the method of assessment including the proposed annual assessment of \$7.94 per EDU for Zone A, \$40.47 per EDU for Zone B, and \$7.94 per Edu for Zone C. The Report is available for the publics review; and

WHEREAS, the assessments are in compliance with all laws pertaining to the levy of the landscape maintenance district assessments, and the assessments are levied without regard to property valuation, and the assessments are in compliance with the provisions of Proposition 218;

WHEREAS, the City Council is satisfied with the assessment, diagram and all other matters as contained in the Report; and

WHEREAS, the City Council approves the Report and ordering of the levy and collection of assessments in the amount of \$7.94 per EDU for Zone A, \$40.47 per EDU for Zone B, and \$7.94 per Edu for Zone C;

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF LATHROP AS FOLLOWS:

RECITALS

- Section 1. The above recitals are all true and correct.
- Section 2. This City Council hereby finds and determines that the procedures for the consideration of the levy of the annual assessments have been undertaken in accordance with the Act inasmuch as, the proposed assessments for Fiscal Year 2020/21 are not proposed to be increased over the assessments previously authorized to be levied.

DETERMINATION AND CONFIRMATION

- Section 3. The final assessments and diagram for the proceedings, as contained in the Engineer's Report, is hereby approved and confirmed.

Based upon the Engineer's Report and the testimony and other evidence presented at the Public Hearing, the City Council hereby makes the following determinations regarding the assessments proposed to be imposed:

- a. The proportionate special benefit derived by each individual parcel assessed has been determined in relationship to the entity of the cost of the operations and maintenance expenses.
- b. The assessments do not exceed the reasonable cost of the proportional special benefit conferred on each parcel.
- c. Only the special benefits have been assessed.

The assessments for the District contained in the Engineer's Report for Fiscal Year 2020/21 are hereby confirmed and levied upon the respective lots or parcels within the District in the amounts set forth in the Engineer's Report.

ORDERING OF MAINTENANCE

Section 4. The public interest and convenience requires, and this legislative body does hereby order the maintenance work to be made and performed as said maintenance work is set forth in the Engineer's Report and as previously declared and set forth in the Resolution of Intention.

FILING WITH CITY CLERK

Section 5. The above-referenced Engineer's Report shall be filed in the Office of the City Clerk and shall remain open for public inspection.

ENTRY UPON THE ASSESSMENT ROLL

Section 6. The County Auditor shall enter onto the County Assessment roll opposite each lot or parcel of land the amount assessed thereupon, as shown in the Engineer's Report.

COLLECTION AND PAYMENT

Section 7. The assessments shall be collected at the same time and in the same manner as County taxes are collected, and all laws providing for the collection and enforcement of County taxes shall apply to the collection and enforcement of the assessments.

FISCAL YEAR

Section 8. The assessments as above authorized and levied for these proceedings will provide revenue and relate to the fiscal year commencing July 1, 2020 and ending June 30, 2021.

The foregoing resolution was passed and adopted this 8th day of June 2020, by the following vote of the City Council, to wit:

AYES:

NOES:

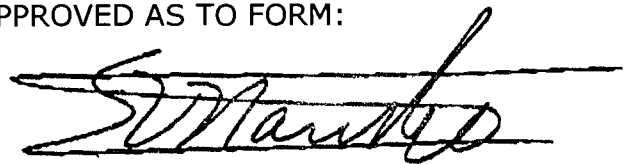
ABSENT:

ABSTAIN:

Sonny Dhaliwal, Mayor

ATTEST:

APPROVED AS TO FORM:

A handwritten signature in black ink, appearing to read "S. Navarrete", is written over a horizontal line.

Teresa Vargas, City Clerk

Salvador Navarrete, City Attorney

RESOLUTION NO. 20-_____

**RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LATHROP,
CALIFORNIA, AMENDING AND/OR APPROVING THE FINAL
ENGINEER'S REPORT AND ORDERING THE LEVY AND COLLECTION OF
ASSESSMENTS FOR THE RESIDENTIAL LIGHTING MAINTENANCE
DISTRICT FOR FISCAL YEAR 2020/21**

WHEREAS, on May 11, 2020 the City Council initiated proceedings Fiscal Year 2020/21 and declared its intention to levy and collect annual assessments in a special maintenance district created pursuant to the provisions of the *Landscaping and Lighting Act of 1972, Division 15, Part 2 of the Streets and Highways Code of the State of California* (the "Act") said special maintenance district known and designated as the City of Lathrop, Residential Lighting Maintenance District (hereinafter referred to as the "District"), Zones included in the District are Zone A, Zone B, Zone C, Zone D, Zone E, Zone F, and Zone G; and

WHEREAS, on June 8, 2020, the City Council held a public hearing for the approval of the final Engineer's report and ordering of the levy and collection of assessments; and

WHEREAS, a notice of the public hearing was mailed to each property owner within the District, and the public hearing was published in the Manteca Bulletin on May 23 & 29 of 2020; and

WHEREAS, at this time all notice and public hearing requirements as required by the Act have been met relating to the levy of the annual assessments; and

WHEREAS, the City Council has received a final Engineer's Report (the "Report") from the Assessment Engineer (NBS Government Finance Group) for consideration and final approval which details the method of assessment including the proposed annual assessment of \$44.30 per EDU for Zone A, \$47.47 per EDU for Zone B, \$31.21 per EDU for Zone C, \$58.06 per EDU for Zone D, \$61.04 per EDU for Zone E, \$35.11 per EDU for Zone F, and \$8.03 per EDU for Zone G. The Report is available for the public's review; and

WHEREAS, the assessments are in compliance with all laws pertaining to the levy of the landscape maintenance district assessments, and the assessments are levied without regard to property valuation, and the assessments are in compliance with the provisions of Proposition 218;

WHEREAS, the City Council is satisfied with the assessment, diagram and all other matters as contained in the Report; and

WHEREAS, the City Council approves the Report and ordering of the levy and collection of the assessments in the amount of \$44.30 per EDU for Zone A, \$47.47 per EDU for Zone B, \$31.21 per EDU for Zone C, \$58.06 per EDU for Zone D, \$61.04 per EDU for Zone E, \$35.11 per EDU for Zone F, and \$8.03 per EDU for Zone G;

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF LATHROP AS FOLLOWS:

RECITALS

- Section 1. The above recitals are all true and correct.
- Section 2. This City Council hereby finds and determines that the procedures for the consideration of the levy of the annual assessments have been undertaken in accordance with the Act inasmuch as, the proposed assessments for Fiscal Year 2020/21 are not proposed to be increased over the assessments previously authorized to be levied.

DETERMINATION AND CONFIRMATION

- Section 3. The final assessments and diagram for the proceedings, as contained in the Engineer's Report, is hereby approved and confirmed.

Based upon the Engineer's Report and the testimony and other evidence presented at the Public Hearing, the City Council hereby makes the following determinations regarding the assessments proposed to be imposed:

- a. The proportionate special benefit derived by each individual parcel assessed has been determined in relationship to the entirety of the cost of the operations and maintenance expenses.
- b. The assessments do not exceed the reasonable cost of the proportional special benefit conferred on each parcel.
- c. Only the special benefits have been assessed.

The assessments for the District contained in the Engineer's Report for Fiscal Year 2020/21 are hereby confirmed and levied upon the respective lots or parcels within the District in the amounts set forth in the Engineer's Report.

ORDERING OF MAINTENANCE

Section 4. The public interest and convenience requires, and this legislative body does hereby order the maintenance work to be made and performed as said maintenance work is set forth in the Engineer's Report and as previously declared and set forth in the Resolution of Intention.

FILING WITH CITY CLERK

Section 5. The above-referenced Engineer's Report shall be filed in the Office of the City Clerk and shall remain open for public inspection.

ENTRY UPON THE ASSESSMENT ROLL

Section 6. The County Auditor shall enter onto the County Assessment roll opposite each lot or parcel of land the amount assessed thereupon, as shown in the Engineer's Report.

COLLECTION AND PAYMENT

Section 7. The assessments shall be collected at the same time and in the same manner as County taxes are collected, and all laws providing for the collection and enforcement of County taxes shall apply to the collection and enforcement of the assessments.

FISCAL YEAR

Section 8. The assessments as above authorized and levied for these proceedings will provide revenue and relate to the fiscal year commencing July 1, 2020 and ending June 30, 2021.

The foregoing resolution was passed and adopted this 8th day of June 2020, by the following vote of the City Council, to wit:

AYES:

NOES:

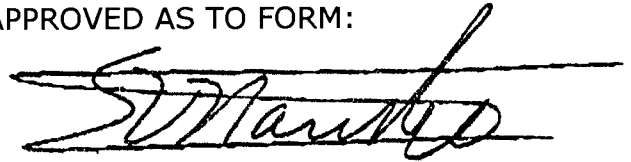
ABSENT:

ABSTAIN:

Sonny Dhaliwal, Mayor

ATTEST:

APPROVED AS TO FORM:

A handwritten signature in black ink, appearing to read "S. Navarrete", is written over a horizontal line.

Teresa Vargas, City Clerk

Salvador Navarrete, City Attorney

RESOLUTION NO. 20-_____**RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LATHROP,
CALIFORNIA, AMENDING AND/OR APPROVING THE FINAL
ENGINEER'S REPORT AND ORDERING THE LEVY AND COLLECTION OF
ASSESSMENTS FOR THE MOSSDALE LANDSCAPE AND LIGHTING
MAINTENANCE DISTRICT FOR FISCAL YEAR 2020/21**

WHEREAS, on May 11, 2020 the City Council initiated proceedings Fiscal Year 2020/21 and declared its intention to levy and collect annual assessments in a special maintenance district created pursuant to the provisions of the *Landscaping and Lighting Act of 1972, Division 15, Part 2 of the Streets and Highways Code of the State of California* (the "Act") said special maintenance district known and designated as the City of Lathrop, Mossdale Landscape and Lighting Maintenance District (hereinafter referred to as the "District"); and

WHEREAS, on June 8, 2020, the City Council held a public hearing for the approval of the final Engineer's report and ordering of the levy and collection of assessments; and

WHEREAS, a notice of the public hearing was mailed to each property owner within the District, and the public hearing was published in the Manteca Bulletin on May 23 & 29 of 2020; and

WHEREAS, at this time all notice and public hearing requirements as required by the Act have been met relating to the levy of the annual assessments; and

WHEREAS, the City Council has received a final Engineer's Report (the "Report") from the Assessment Engineer (NBS Government Finance Group) for consideration and final approval which details the method of assessment including the proposed annual assessment of \$276.10. The Report is available for the public's review; and

WHEREAS, the assessments are in compliance with all laws pertaining to the levy of the landscape maintenance district assessments, and the assessments are levied without regard to property valuation, and the assessments are in compliance with the provisions of Proposition 218;

WHEREAS, the City Council is satisfied with the assessment, diagram and all other matters as contained in the Report; and

WHEREAS, the City Council approves the Report and ordering of the levy and collection of the assessment in the amount of \$276.10;

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF LATHROP AS FOLLOWS:

RECITALS

- Section 1. The above recitals are all true and correct.
- Section 2. This City Council hereby finds and determines that the procedures for the consideration of the levy of the annual assessments have been undertaken in accordance with the Act inasmuch as, the proposed assessments for Fiscal Year 2020/21 are not proposed to be increased over the assessments previously authorized to be levied.

DETERMINATION AND CONFIRMATION

- Section 3. The final assessments and diagram for the proceedings, as contained in the Engineer's Report, is hereby approved and confirmed.

Based upon the Engineer's Report and the testimony and other evidence presented at the Public Hearing, the City Council hereby makes the following determinations regarding the assessments proposed to be imposed:

- a. The proportionate special benefit derived by each individual parcel assessed has been determined in relationship to the entity of the cost of the operations and maintenance expenses.
- b. The assessments do not exceed the reasonable cost of the proportional special benefit conferred on each parcel.
- c. Only the special benefits have been assessed.

The assessments for the District contained in the Engineer's Report for Fiscal Year 2020/21 are hereby confirmed and levied upon the respective lots or parcels within the District in the amounts set forth in the Engineer's Report.

ORDERING OF MAINTENANCE

Section 4. The public interest and convenience requires, and this legislative body does hereby order the maintenance work to be made and performed as said maintenance work is set forth in the Engineer's Report and as previously declared and set forth in the Resolution of Intention.

FILING WITH CITY CLERK

Section 5. The above-referenced Engineer's Report shall be filed in the Office of the City Clerk and shall remain open for public inspection.

ENTRY UPON THE ASSESSMENT ROLL

Section 6. The County Auditor shall enter onto the County Assessment roll opposite each lot or parcel of land the amount assessed thereupon, as shown in the Engineer's Report.

COLLECTION AND PAYMENT

Section 7. The assessments shall be collected at the same time and in the same manner as County taxes are collected, and all laws providing for the collection and enforcement of County taxes shall apply to the collection and enforcement of the assessments.

FISCAL YEAR

Section 8. The assessments as above authorized and levied for these proceedings will provide revenue and relate to the fiscal year commencing July 1, 2020 and ending June 30, 2021.

The foregoing resolution was passed and adopted this 8th day of June 2020, by the following vote of the City Council, to wit:

AYES:

NOES:

ABSENT:

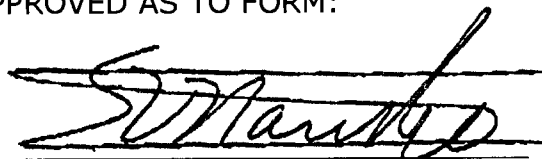
ABSTAIN:

Sonny Dhaliwal, Mayor

ATTEST:

APPROVED AS TO FORM:

Teresa Vargas, City Clerk



Salvador Navarrete, City Attorney

RESOLUTION NO. 20-_____

**RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LATHROP,
CALIFORNIA, AMENDING AND/OR APPROVING THE FINAL
ENGINEER'S REPORT AND ORDERING THE LEVY AND COLLECTION OF
ASSESSMENTS FOR THE STONEBRIDGE LANDSCAPE MAINTENANCE
DISTRICT AND THE STONEBRIDGE DRAINAGE & LIGHTING DISTRICT
FOR FISCAL YEAR 2020/21**

WHEREAS, on May 11, 2020 the City Council initiated proceedings for Fiscal Year 2020/21 and declared its intention to levy and collect annual assessments in a special maintenance district created pursuant to the provisions of the *Landscaping and Lighting Act of 1972, Division 15, Part 2 of the Streets and Highways Code of the State of California* and the *Benefit Assessment Act of 1982, Division 2, Part 1 of the Government Code of the State of California* (the "Acts") said special maintenance district known and designated as the City of Lathrop, Stonebridge Landscape Maintenance District and the Stonebridge Drainage & Lighting District (hereinafter referred to as the "Districts"); and

WHEREAS, on June 8, 2020, the City Council held a public hearing for the approval of the final Engineer's report and ordering of the levy and collection of assessments; and

WHEREAS, a notice of the public hearing was mailed to each property owner within the District, and the public hearing was published in the Manteca Bulletin on May 23 & 29 of 2020; and

WHEREAS, at this time all notice and public hearing requirements as required by the Act have been met relating to the levy of the annual assessments; and

WHEREAS, the City Council has received a final Engineer's Report (the "Report") from the Assessment Engineer (NBS Government Finance Group) for consideration and final approval which details the method of assessment including the proposed annual assessment of \$292.88 for Stonebridge Landscape Maintenance District and \$248.14 for Stonebridge Drainage & Lighting District. The Reports are available for the public's review; and

WHEREAS, the assessments are in compliance with all laws pertaining to the levy of the landscape maintenance district assessments, and the assessments are levied without regard to property valuation, and the assessments are in compliance with the provisions of Proposition 218;

WHEREAS, the City Council is satisfied with the assessment, diagram and all other matters as contained in the Report; and

WHEREAS, the City Council approves the Report and ordering of the levy and collection of the assessment in the amount of \$292.88 for Stonebridge Landscape Maintenance District and \$248.14 for Stonebridge Drainage & Lighting District. The Reports are available for the public review;

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF LATHROP AS FOLLOWS:

RECITALS

- Section 1. The above recitals are all true and correct.
- Section 2. This City Council hereby finds and determines that the procedures for the consideration of the levy of the annual assessments have been undertaken in accordance with the Act inasmuch as, the proposed assessments for Fiscal Year 2020/21 are not proposed to be increased over the assessments previously authorized to be levied.

DETERMINATION AND CONFIRMATION

- Section 3. The final assessments and diagram for the proceedings, as contained in the Engineer's Report, is hereby approved and confirmed.

Based upon the Engineer's Report and the testimony and other evidence presented at the Public Hearing, the City Council hereby makes the following determinations regarding the assessments proposed to be imposed:

- a. The proportionate special benefit derived by each individual parcel assessed has been determined in relationship to the entity of the cost of the operations and maintenance expenses.
- b. The assessments do not exceed the reasonable cost of the proportional special benefit conferred on each parcel.
- c. Only the special benefits have been assessed.

The assessments for the District contained in the Engineer's Report for Fiscal Year 2020/21 are hereby confirmed and levied upon the respective lots or parcels within the District in the amounts set forth in the Engineer's Report.

ORDERING OF MAINTENANCE

Section 4. The public interest and convenience requires, and this legislative body does hereby order the maintenance work to be made and performed as said maintenance work is set forth in the Engineer's Report and as previously declared and set forth in the Resolution of Intention.

FILING WITH CITY CLERK

Section 5. The above-referenced Engineer's Report shall be filed in the Office of the City Clerk and shall remain open for public inspection.

ENTRY UPON THE ASSESSMENT ROLL

Section 6. The County Auditor shall enter onto the County Assessment roll opposite each lot or parcel of land the amount assessed thereupon, as shown in the Engineer's Report.

COLLECTION AND PAYMENT

Section 7. The assessments shall be collected at the same time and in the same manner as County taxes are collected, and all laws providing for the collection and enforcement of County taxes shall apply to the collection and enforcement of the assessments.

FISCAL YEAR

Section 8. The assessments as above authorized and levied for these proceedings will provide revenue and relate to the fiscal year commencing July 1, 2020 and ending June 30, 2021.

The foregoing resolution was passed and adopted this 8th day of June 2020, by the following vote of the City Council, to wit:

AYES:

NOES:

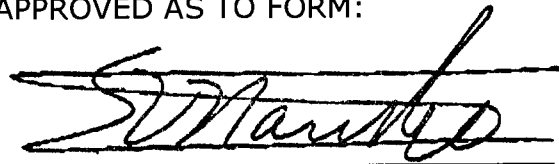
ABSENT:

ABSTAIN:

Sonny Dhaliwal, Mayor

ATTEST:

APPROVED AS TO FORM:



Teresa Vargas, City Clerk

Salvador Navarrete, City Attorney

RESOLUTION NO. 20-_____

**RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LATHROP,
CALIFORNIA, AMENDING AND/OR APPROVING THE FINAL
ENGINEER'S REPORT AND ORDERING THE LEVY AND COLLECTION OF
ASSESSMENTS FOR STORM DRAIN DISTRICT ZONE 1 AND STORM
DRAIN DISTRICT ZONE 1A FOR FISCAL YEAR 2020/21**

WHEREAS, the City Council has, as successor in interest to the County of San Joaquin and the Lathrop County Water District, the authority to assess and collect storm drain charges for the Lathrop Storm Drain Districts Zone 1 and 1A (hereafter referred to as the "Districts")

WHEREAS, on May 11, 2020 the City Council initiated proceedings for Fiscal Year 2020/21, pursuant to the provisions of the *Benefit Assessment Act of 1982, Division 2, Title 5 of the California Government Code (commencing with Section 54703)* (hereafter referred to as the "Act") that provides for the levy and collection of assessments by the County of San Joaquin for the City of Lathrop to pay the maintenance and services of all improvements and facilities related thereto; and

WHEREAS, on June 8, 2020, the City Council held a public hearing for the approval of the Final Engineer's report and ordering of the levy and collection of assessments; and

WHEREAS, a notice of the public hearing was mailed to each property owner within each District, and the public hearing was published in the Manteca Bulletin on May 23 & 29 of 2020; and

WHEREAS, at this time all notice and public hearing requirements as required by the Act have been met relating to the levy of the annual assessments; and

WHEREAS, the City Council has received a final Engineer's Report (the "Report") from the Assessment Engineer (NBS Government Finance Group) for consideration and final approval which details the method of assessment including the proposed annual assessment of \$112.52 for Storm Drain District Zone 1 and \$199.92 for Storm Drain District Zone 1A. The Report is available for the public review; and

WHEREAS, the assessments are in compliance with all laws pertaining to the levy of the maintenance district assessments, and the assessments are levied without regard to property valuation, and the assessments are in compliance with the provisions of Proposition 218;

WHEREAS, the City Council is satisfied with the assessment, diagram and all other matters as contained in the Report; and

WHEREAS, the City Council approves the Report and ordering of the levy and collection of the assessment in the amount of \$112.52 for Storm Drain District Zone 1 and \$199.92 for Storm Drain District Zone 1A;

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF LATHROP AS FOLLOWS:

RECITALS

- Section 1. The above recitals are all true and correct.
- Section 2. This City Council hereby finds and determines that the procedures for the consideration of the levy of the annual assessments have been undertaken in accordance with the Act inasmuch as, the proposed assessments for Fiscal Year 2020/21 are not proposed to be increased over the assessments previously authorized to be levied.

DETERMINATION AND CONFIRMATION

- Section 3. The final assessments and diagram for the proceedings, as contained in the Engineer's Report, is hereby approved and confirmed.

Based upon the Engineer's Report and the testimony and other evidence presented at the Public Hearing, the City Council hereby makes the following determinations regarding the assessments proposed to be imposed:

- a. The proportionate special benefit derived by each individual parcel assessed has been determined in relationship to the entity of the cost of the operations and maintenance expenses.
- b. The assessments do not exceed the reasonable cost of the proportional special benefit conferred on each parcel.
- c. Only the special benefits have been assessed.

The assessments for the District contained in the Engineer's Report for Fiscal Year 2020/21 are hereby confirmed and levied upon the respective lots or parcels within the District in the amounts set forth in the Engineer's Report.

ORDERING OF MAINTENANCE

Section 4. The public interest and convenience requires, and this legislative body does hereby order the maintenance work to be made and performed as said maintenance work is set forth in the Engineer's Report and as previously declared and set forth in the Resolution of Intention.

FILING WITH CITY CLERK

Section 5. The above-referenced Engineer's Report shall be filed in the Office of the City Clerk and shall remain open for public inspection.

ENTRY UPON THE ASSESSMENT ROLL

Section 6. The County Auditor shall enter onto the County Assessment roll opposite each lot or parcel of land the amount assessed thereupon, as shown in the Engineer's Report.

COLLECTION AND PAYMENT

Section 7. The assessments shall be collected at the same time and in the same manner as County taxes are collected, and all laws providing for the collection and enforcement of County taxes shall apply to the collection and enforcement of the assessments.

FISCAL YEAR

Section 8. The assessments as above authorized and levied for these proceedings will provide revenue and relate to the fiscal year commencing July 1, 2020 and ending June 30, 2021.

The foregoing resolution was passed and adopted this 8th day of June 2020, by the following vote of the City Council, to wit:

AYES:

NOES:

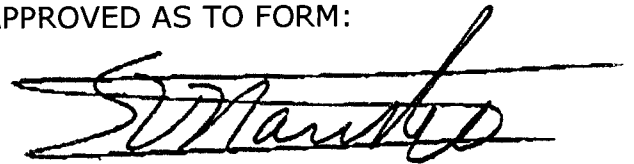
ABSENT:

ABSTAIN:

Sonny Dhaliwal, Mayor

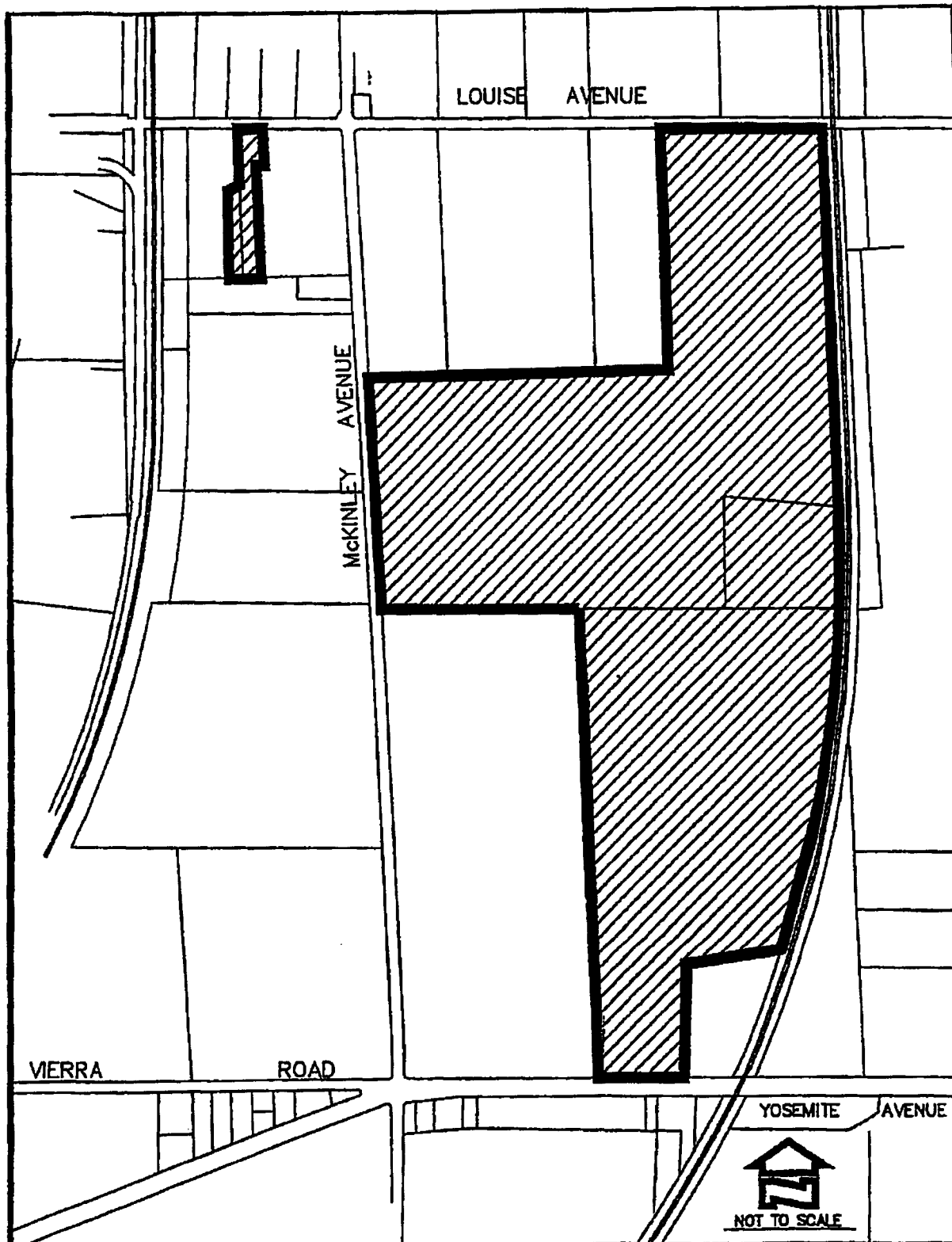
ATTEST:

APPROVED AS TO FORM:

A handwritten signature in black ink, appearing to read "S. Navarrete", is written over a horizontal line. The signature is stylized and cursive.

Teresa Vargas, City Clerk

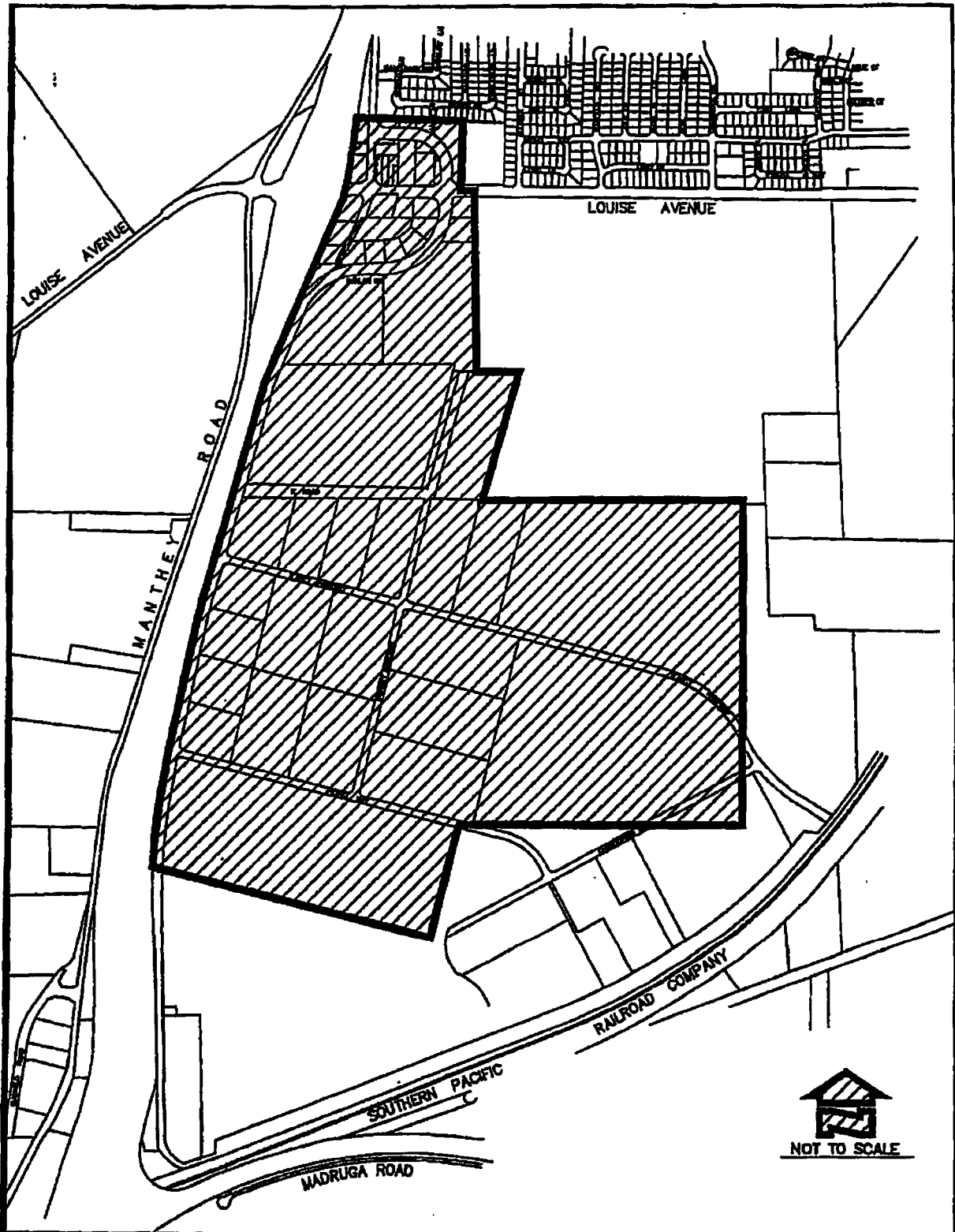
Salvador Navarrete, City Attorney



City of Lathrop
Industrial Lighting - Zone A



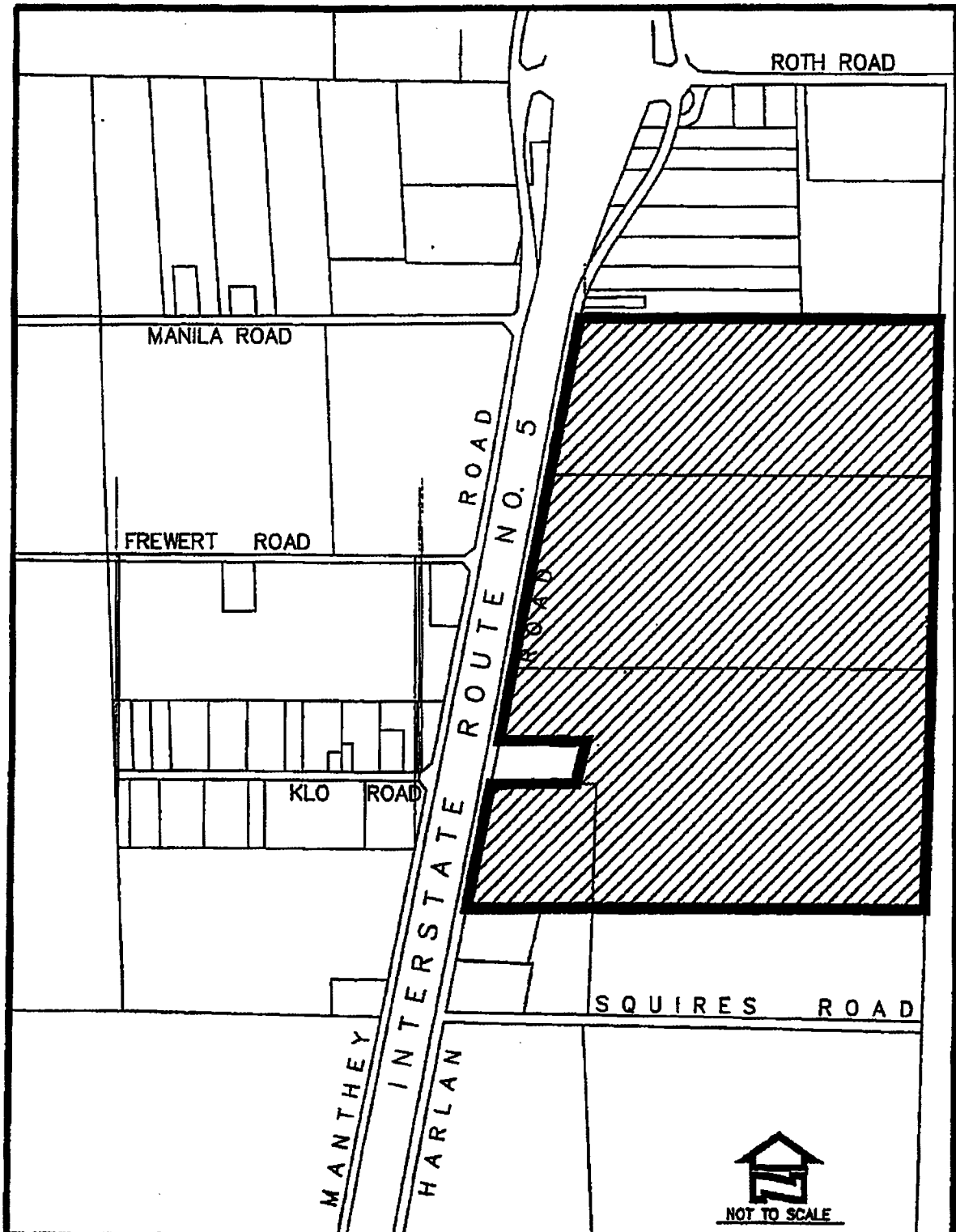
Date: February 1999



City of Lathrop
Industrial Lighting - Zone B



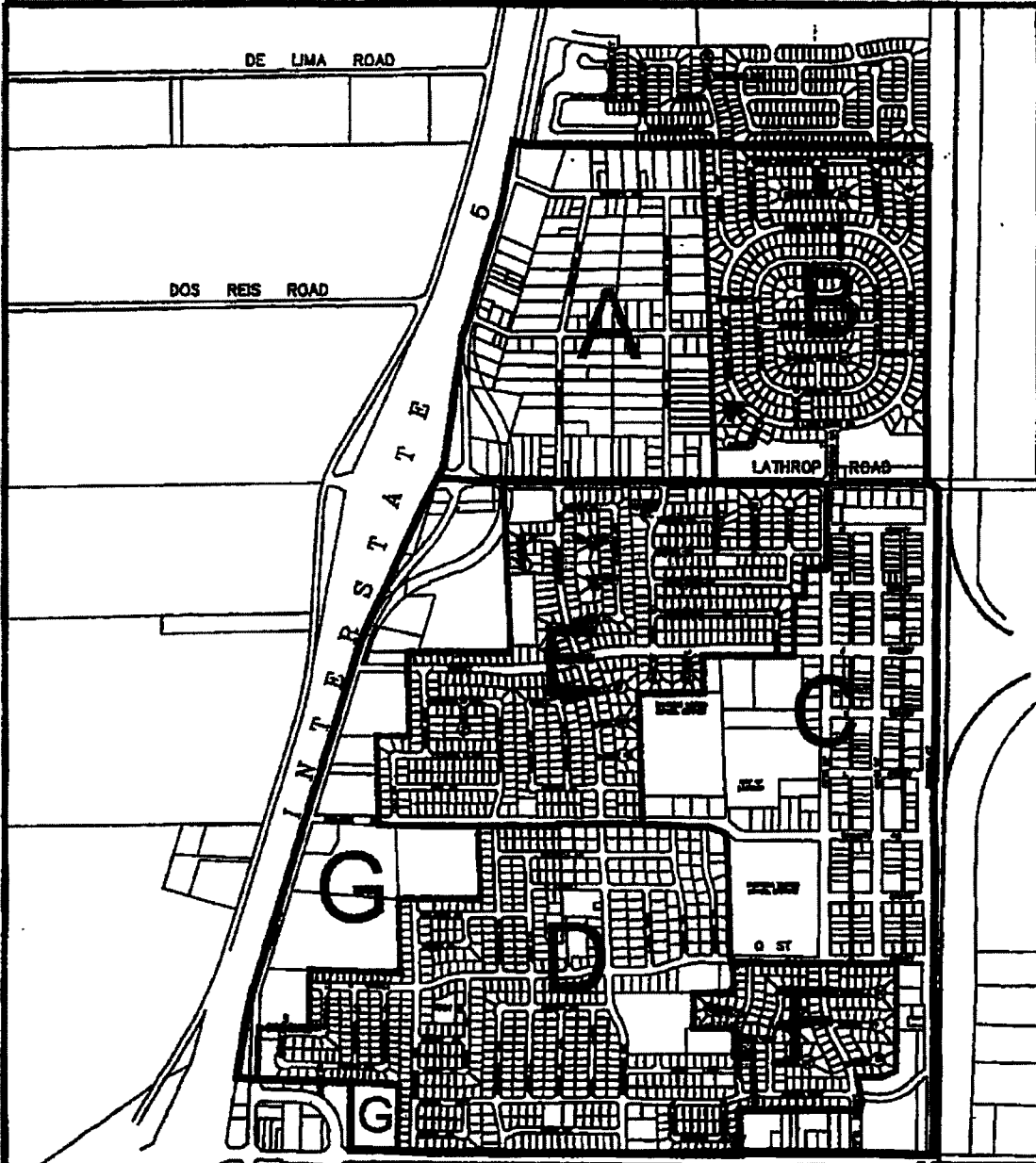
Date: February 1998



City of Lathrop
Industrial Lighting - Zone C



Date: February 1989



NOT TO SCALE

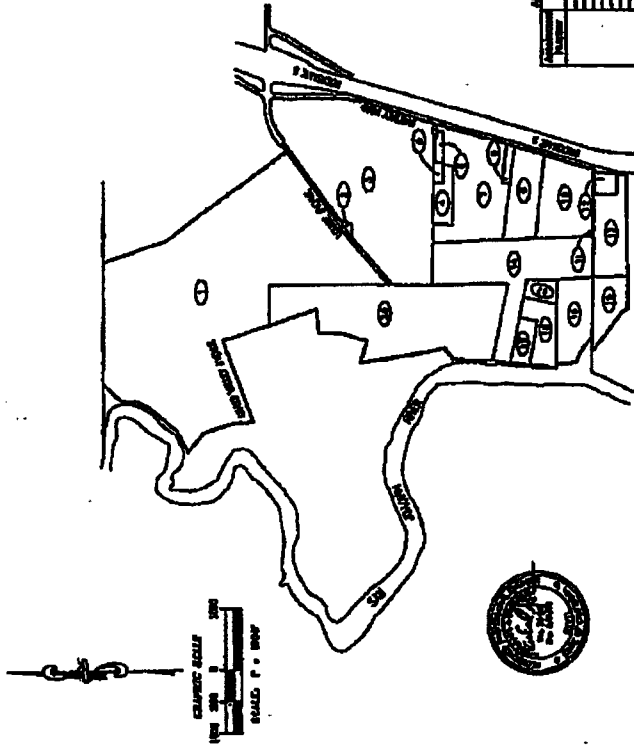
City of Lathrop
Residential Lighting District



Date: March 1999

ASSESSMENT DIAGRAM MOSSDALE LANDSCAPE AND LIGHTING MAINTENANCE DISTRICT

CITY OF LANTANA
COUNTY OF PALM BEACH
STATE OF FLORIDA



APPROVED BY THE CITY CLERK OF THE CITY OF LANTANA THIS
 DATE: *11/15/2011*
 CITY CLERK

WHEREFORE, I HEREBY CERTIFY THAT THE ABOVE DESCRIBED DISTRICTS ARE THE PROPOSED BOUNDARIES OF THE DISTRICTS
 FOR THE PURPOSES OF THE CITY OF LANTANA'S LANDSCAPE AND LIGHTING MAINTENANCE DISTRICTS ACT, AND
 THAT THE CITY OF LANTANA HAS ADOPTED THE ABOVE DESCRIBED DISTRICTS BY RESOLUTION NO. *11-15*
 OF THE CITY OF LANTANA.

DATE OF THE CITY OF LANTANA'S ADOPTION OF THE ABOVE DESCRIBED DISTRICTS: *11/15/2011*
 CITY OF LANTANA
 CITY CLERK

THIS MAP WAS PREPARED BY THE CITY OF LANTANA FOR THE PURPOSES OF THE CITY OF LANTANA'S LANDSCAPE AND LIGHTING MAINTENANCE DISTRICTS ACT.

LEGEND

- ASSESSMENT DISTRICT BOUNDARY
- PARCEL LINE
- ASSESSMENT PARCEL IDENTIFICATION

Parcel ID	Assessment District
1	1
2	1
3	1
4	1
5	1
6	1
7	1
8	1
9	1
10	1
11	1
12	1
13	1
14	1
15	1

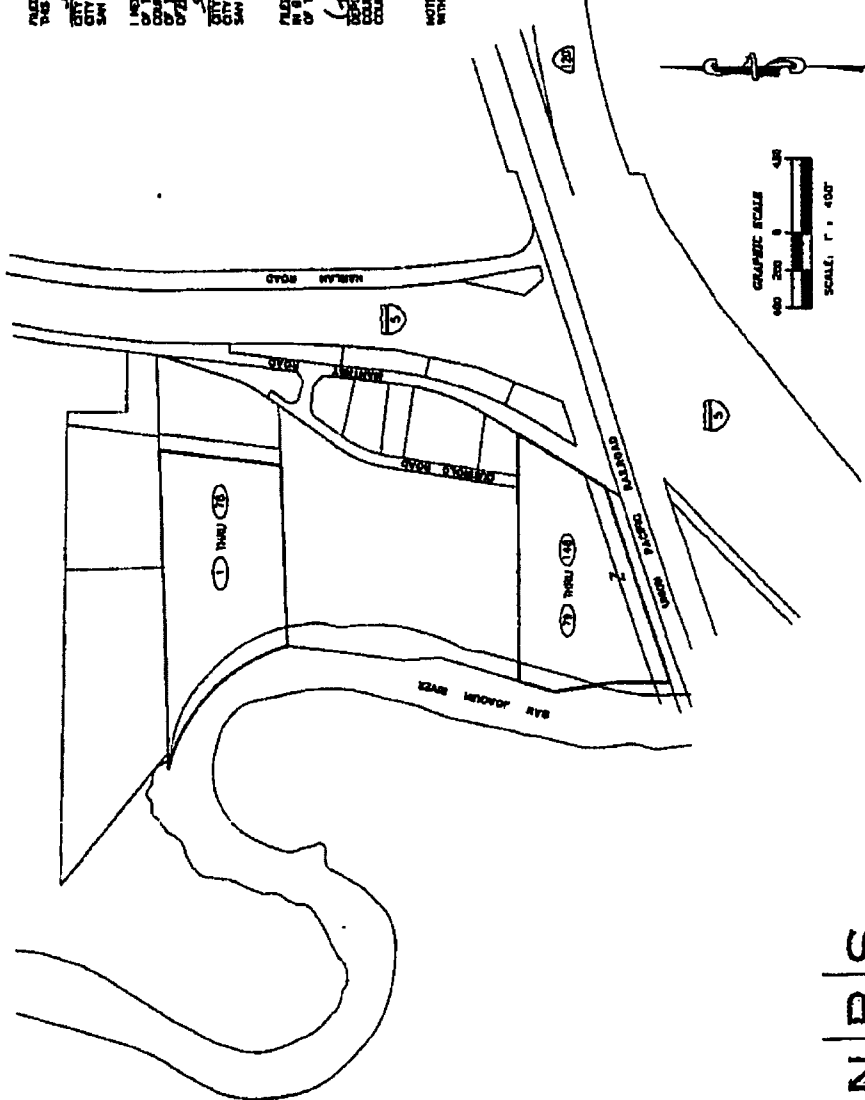
NBS
 1000 N. W. 10th St.
 Fort Lauderdale, FL 33304
 Phone: (954) 561-1111
 Fax: (954) 561-1112

5-151

SHEET 1 OF 2

ANNEXATION DIAGRAM MOSSDALE LANDSCAPE AND LIGHTING MAINTENANCE DISTRICT ANNEXATION NO. 1, ZONE 2 (MOSSDALE LANDING SOUTH)

CITY OF LATHROP
COUNTY OF SAN JOAQUIN
STATE OF CALIFORNIA



FILED IN THE OFFICE OF THE CITY CLERK OF THE CITY OF LATHROP
THIS 21ST DAY OF December 2002.

CITY CLERK
CITY OF LATHROP
SAN JOAQUIN COUNTY, CALIFORNIA

I HEREBY CERTIFY THAT THE MAP SHOWING THE BOUNDARIES OF THE ANNEXATION OF TERRITORY INTO MOSSDALE LANDSCAPE MAINTENANCE DISTRICT, CITY OF LATHROP, COUNTY OF SAN JOAQUIN, STATE OF CALIFORNIA, WAS APPROVED AT THE CITY BOARD OF THE CITY OF LATHROP AT A REGULAR MEETING, HELD ON THE 17TH DAY OF December, 2002, IN ACCORDANCE WITH THE RESOLUTION REFERRED TO.

CITY CLERK
CITY OF LATHROP
SAN JOAQUIN COUNTY, CALIFORNIA

FILED THIS 9TH DAY OF January 2003 AT THE HOUR OF 2:30 P.M. IN BOOK 18 AT PAGE 189 OF MAPS OF ASSESSMENT DISTRICTS OF THE OFFICE OF THE COUNTY RECORDER OF THE COUNTY OF SAN JOAQUIN, STATE OF CALIFORNIA.

CLARENCE W. FARRERMAN, by Christina P. NIMMO
COUNTY RECORDER
COUNTY OF SAN JOAQUIN

NOTE: FOR A DETAILED DESCRIPTION OF THE LINES AND DIMENSIONS OF EACH PARCEL WITHIN THE DISTRICT REFER TO THE COUNTY OF SAN JOAQUIN ASSESSOR'S MAPS.

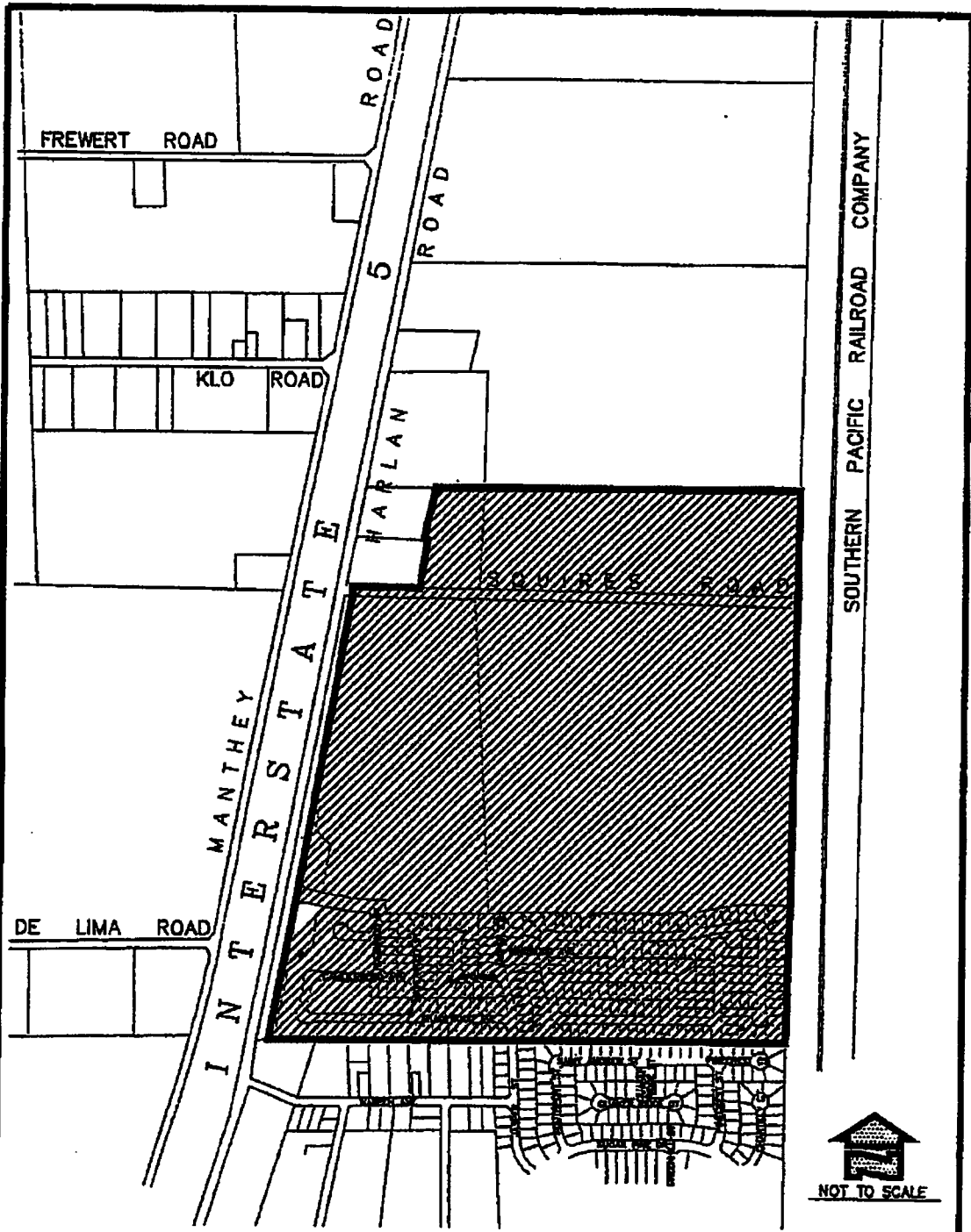
DOC. NO. 020827-00080777
11/20/02 11:52 AM
Page 1 of 1
Assessor's Map
Assessment District No. 18
City of Lathrop
San Joaquin County, California

LEGEND
ASSESSMENT DISTRICT BOUNDARY
PARCEL LINES
ASSESSMENT NUMBER



NBS
COUNTY OF SAN JOAQUIN
COUNTY RECORDER

5-151

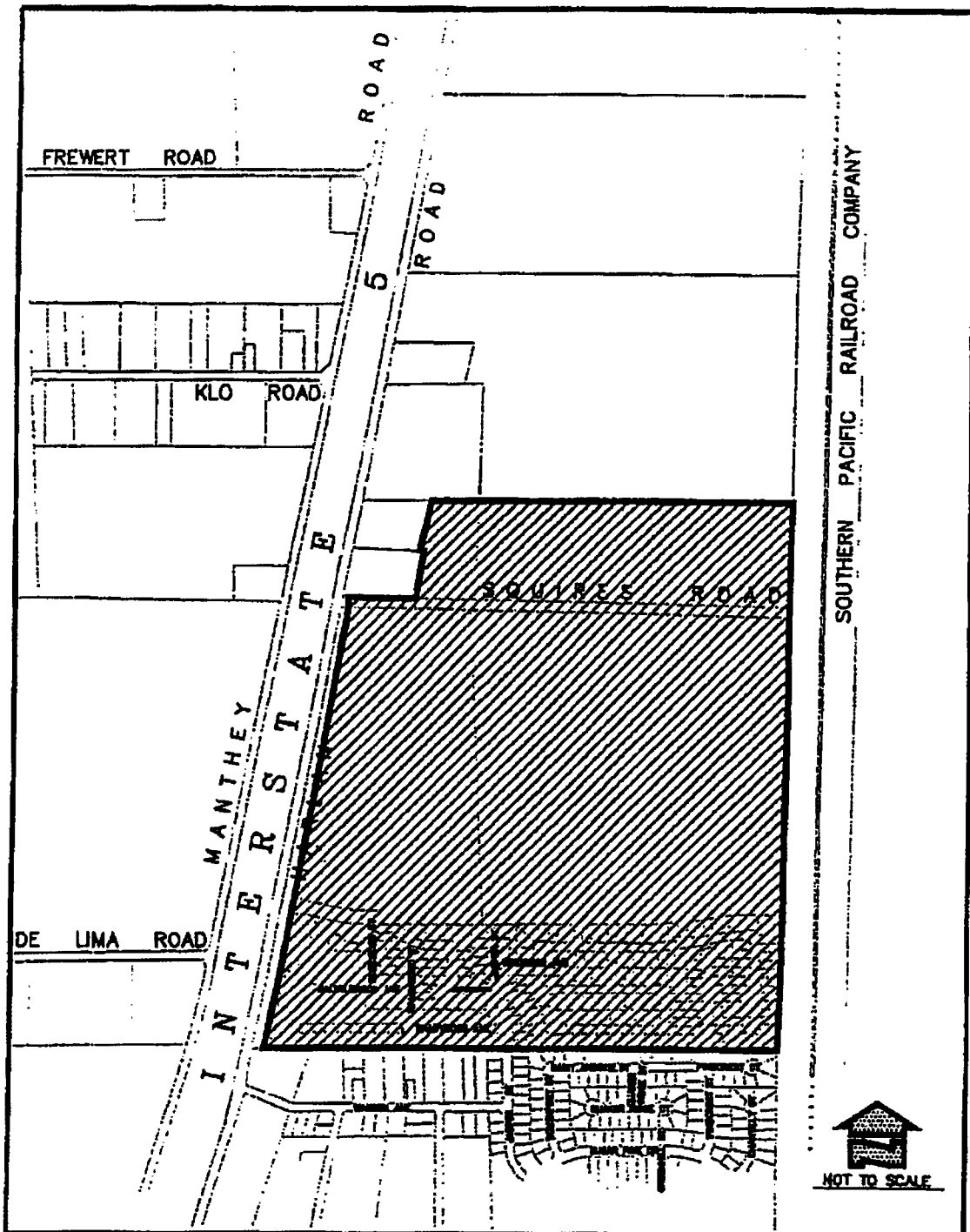


City of Lathrop

Stonebridge Landscaping District



Date: June 2001

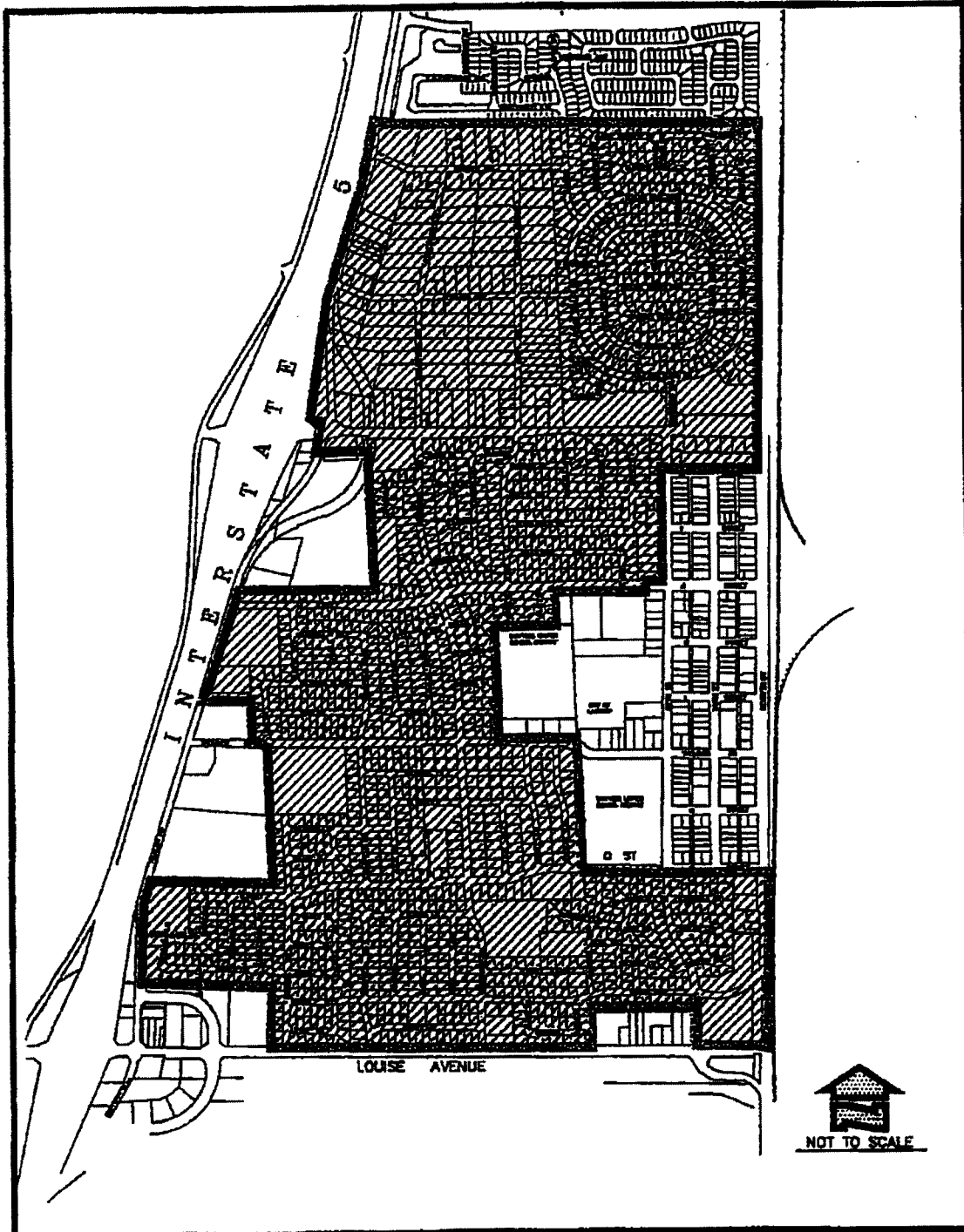


City of Lathrop

Stonebridge Drainage & Lighting District



Date: February 1999



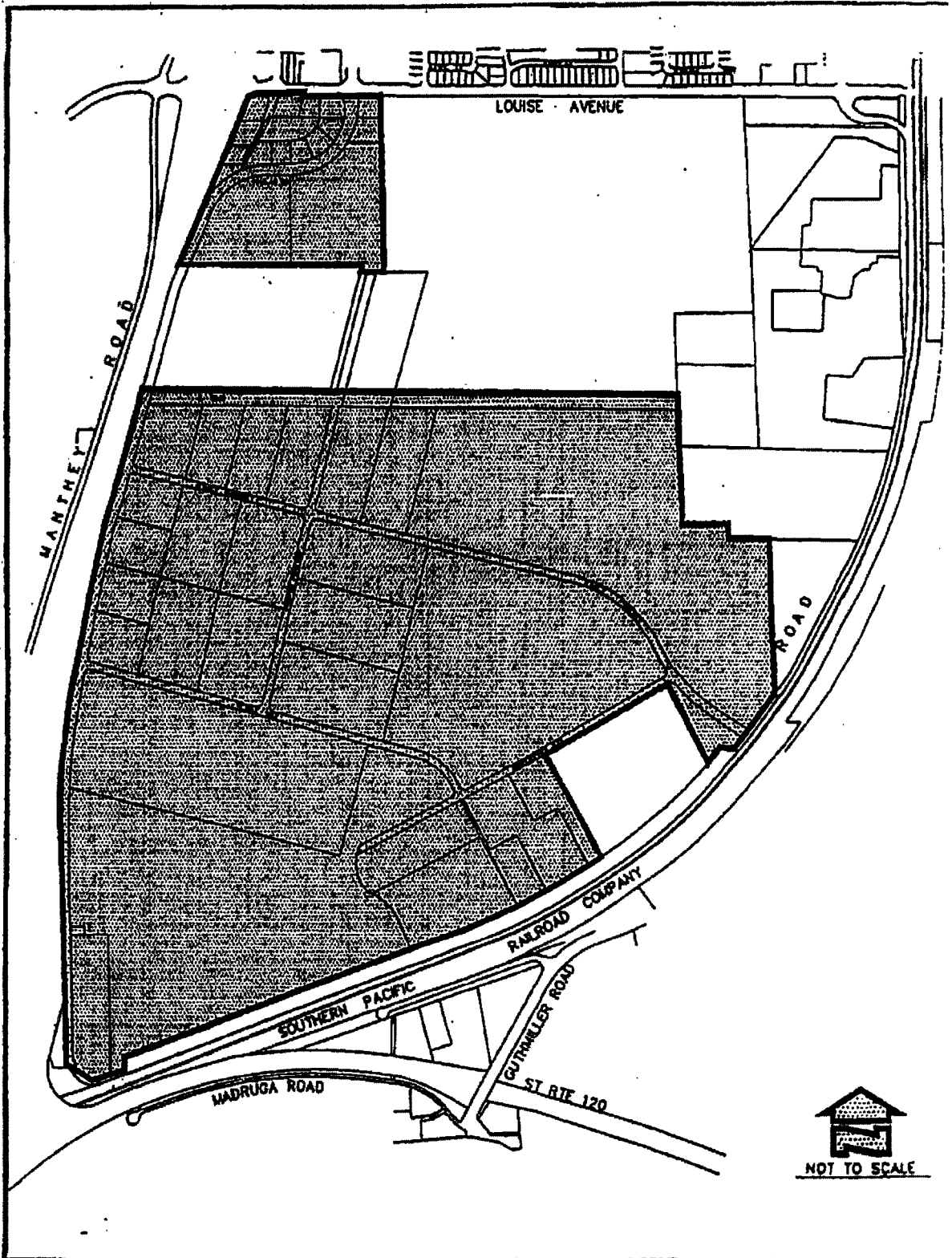
City of Lathrop
Storm Drain Zone 1



NOT TO SCALE



Date: February 1999



City of Lathrop
 Storm Drain Zone 1A



Date: February 11

CITY OF LATHROP

Industrial Lighting Maintenance District Annual Engineer's Report

Fiscal Year 2020/21



Corporate Headquarters
32605 Temecula Parkway, Suite 100
Temecula, CA 92592
Toll free: 800.676.7516

**CITY OF LATHROP
INDUSTRIAL LIGHTING MAINTENANCE DISTRICT**

**390 Towne Centre Drive
Lathrop, California 95330
Phone - (209) 941-7320
Fax - (209) 941-7339**

CITY COUNCIL

Sonny Dhaliwal, Mayor

Martha Salcedo, Vice Mayor

Paul Akinjo, Councilmember

Diane Lazard, Councilmember

Jennifer Torres-O'Callaghan, Councilmember

CITY STAFF

Stephen Salvatore, City Manager

Salvador Navarrete, City Attorney

Cari James, Finance Director

Glenn Gebhardt, City Engineer

NBS

Tim Seufert, Client Services Director

Kristin Harvey, Senior Consultant

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1. ENGINEER’S LETTER

WHEREAS, the City Council of the City of Lathrop (the “City”), State of California, directed NBS Government Finance Group, DBA NBS (“NBS”) to prepare and file a report presenting plans and specifications describing the general nature, location, and extent of the improvements to be maintained, and an estimate of the costs of the maintenance, operations and servicing of the improvements for the City of Lathrop Industrial Lighting Maintenance District (the “District”) for Fiscal Year 2020/21. The report includes a diagram for the District showing the area and properties proposed to be assessed, an assessment of the estimated costs of the maintenance, operations and servicing of the improvements, and the net amount to be assessed upon all assessable lots and/or parcels within the District in proportion to the special benefit received;

WHEREAS, the assessment rates and the annual rate escalation factor of the annual San Francisco Bay Area Consumer Price Index (“CPI-U”) (not to exceed 3%) were approved by property owners through the assessment balloting procedures set forth in Section 4 of Article XIII D of the California Constitution at a public hearing held on July 3, 2001;

NOW THEREFORE, only parcels that receive direct special benefit are assessed, and each parcel is assessed in proportion to the estimated special benefit received. The following assessment is made to fund the portion of the estimated costs of maintenance, operation, and servicing of the improvements to be paid by the assessable real property within the District in proportion to the special benefit received:

SUMMARY OF ASSESSMENT

Description	Zone A	Zone B	Zone C
Balance to Levy ⁽¹⁾	\$1,782.68	\$53,540.52	\$2,762.14
Total Equivalent Dwelling Units (“EDU”)	224.520	1,322.972	347.880
Total Assessment Per EDU ⁽¹⁾	\$7.94	\$40.47	\$7.94
Maximum Assessment Per EDU	\$7.94	\$40.47	\$7.94
Total Parcels to be Assessed	9	152	10

I, the undersigned, respectfully submit the enclosed Engineer’s Report and, to the best of my knowledge, information, and belief, the Engineer’s Report, Assessments, and the District Diagram herein have been prepared and computed in accordance with the order and historical practices of the City Council of the City.

NBS Government Finance Group, DBA NBS



2. OVERVIEW

2.1 Introduction

The District was formed and is levied pursuant to the Landscaping and Lighting Act of 1972, Part 2 of Division 15 of the California Streets and Highways Code (the “Act”).

This Annual Engineer’s Report (the “Report”) describes the District and the charge per EDU for Fiscal Year 2020/21 based on the historical and estimated cost to maintain the improvements and provide the services that benefit parcels within the District. Special benefit arising from the maintenance and operation of the facilities includes improvement to traffic circulation, reduction in nighttime accidents, deterrence of crime, and reduction in vandalism. The parcels contained within the District receive such special benefit from the improvements and will pay only their fair share of the costs of the operations, servicing, and maintenance of the improvements within the District.

The City provides a contribution of 50% of all lighting maintenance costs for the City General Plan arterial streets (including: Lathrop Road, Louise Avenue, Harlan Road, McKinley Avenue, Roth Road, and Yosemite Avenue) to pay the portion of costs of maintenance and operation of the facilities that provides a general benefit to the real property within the District and to the public at large and to pay the portion of costs that provides a special benefit to non-assessed real property within the District. The District is divided into three zones to allow the assessments to properly match the special benefits provided by the improvements to the assessed parcels within the District.

The word “parcel,” for the purposes of this Report, refers to an individual property assigned its own Assessor’s Parcel Number by the San Joaquin County (the “County”) Assessor’s Office. The County Auditor-Controller uses Assessor’s Parcel Numbers and specific fund numbers to identify, on the tax roll, properties assessed for special district benefit assessments.

Following consideration of public comments at a noticed public hearing, and review of the Report, the City Council may confirm the submittal of the Report and order the levy and collection of assessments for Fiscal Year 2020/21. If approved, the assessment information will be submitted to the County Auditor-Controller and included on the property tax roll for each benefiting parcel for Fiscal Year 2020/21.

2.2 Effect of Proposition 218

On November 5, 1996, California voters approved Proposition 218 by a vote of 56.5% to 43.5%. The provisions of the Proposition, now California Constitutional Articles XIII C and XIII D, added substantive and procedural requirements for assessments, which affect the City’s lighting maintenance assessments.

The assessment for the District for Fiscal Year 2020/21 is \$7.94 per EDU for Zone A, \$40.47 per EDU for Zone B, and \$7.94 per EDU for Zone C. The proposed assessment rates are not greater than 103% of the prior year maximum assessment rates, as approved by the land owners.

The annual rate escalation factor approved by property owners through the assessment balloting procedures set forth in Section 4 of Article XIII D at a public hearing held on July 3, 2001, is the annual CPI-U (which increased 2.4529% for Fiscal Year 2020/21), not to exceed 3%.

2.3 Plans and Specifications for the Improvements

The City operates, services, and maintains the street lighting within the District. Zone A consists of 9 parcels located near the intersection of Louise Avenue and McKinley Avenue. Zone B consists of 152 parcels generally located in the southwestern half of the area bounded by Harlan Road, Howland Road, and Louise Avenue. Zone C consists of 10 parcels, generally located east of Interstate 5, west of the Southern Pacific Railroad, north of Squires Road, and south of Roth Road.

The services provided by the District include the maintenance of the street lighting facilities and other appurtenances particular to the District improvements.

3. ESTIMATE OF COSTS

3.1 Description of Budget Items

Maintenance & Operations - Includes the following:

Advertising/Legal Notices - Includes the cost of publishing the required legal notices necessary to complete the required procedures for levying the assessments.

Contract Services - Includes professional services necessary for District maintenance including computer technical support and the preparation of the Report.

Light Costs - Includes the electricity costs of street lighting within the District.

Other Maintenance & Repair - Includes contracted maintenance and repair services such as emergency repairs.

Utilities - Gas & Electric - Includes electrical power for street lighting.

Fixed Charges - Includes the charges per parcel to collect the assessments on the County Secured Property Tax Roll.

Personnel Services - Includes employee salaries, salary related costs, and employee benefits including retirement, medical benefits, and workers compensation costs, etc.

Indirect Costs - Includes overhead costs of the City related to the maintenance, operation, and administration of the District.

3.2 District Budget

The budget for Zone A for Fiscal Year 2020/21 is as follows.

Description	2020/21 Budget
Maintenance & Operations Total	\$1,609.32
Personnel Services Total	62.43
Machine & Equipment Total	0.00
Indirect Costs	<u>204.03</u>
Zone A Total Cost	\$1,875.78

The budget for Zone B for Fiscal Year 2020/21 is as follows.

Description	2020/21 Budget
Maintenance & Operations Total	\$48,334.14
Personnel Services Total	1,874.85
Machine & Equipment Total	0.00
Indirect Costs	<u>6,127.84</u>
Zone B Total Cost	\$56,336.83

The budget for Zone C for Fiscal Year 2020/21 is as follows.

Description	2020/21 Budget
Maintenance & Operations Total	\$2,493.54
Personnel Services Total	96.72
Machine & Equipment Total	0.00
Indirect Costs	<u>316.13</u>
Zone C Total Cost	\$2,906.39

3.3 Balance to Levy

Total Zone Costs - Includes the maintenance and operations, personnel services, machine, equipment, and indirect costs determined above.

Contribution to (from) Operational Reserves - The Operational Reserves item provides funds by the District to operate the District from the time period of July 1 (beginning of the fiscal year) through December when the County provides the City with the first installment of assessments collected from the property tax bills. This eliminates the need for the City to transfer funds from non-District accounts to pay for District charges during the first half of the fiscal year. Negative amounts shown here are transfers that are used to reduce the Balance to Levy. Using reserve amounts in this way allows the levy per unit to remain at prior period rates, despite increases in District costs.

Contribution to (from) Capital Reserves - The Capital Reserve Account item provides funds to maintain reserves for extraordinary maintenance items and unexpected capital expenditures that may occur as a result of natural occurrences or other unforeseen circumstances.

General Benefit - Includes the City contribution of 50% of all lighting maintenance costs for the City General Plan arterial streets (including: Lathrop Road, Louise Avenue, Harlan Road, and McKinley Avenue) to pay the portion of costs of maintenance and operation of the facilities that provides a general benefit to the real property within the District and to the public at large and to pay the portion of costs that provides a special benefit to non-assessed real property within the District.

Balance to Levy - This is the total amount to be levied and collected through assessments for the current fiscal year. The Balance to Levy represents the sum of the total direct and administration costs, reserves, contributions, and other revenue sources minus General Benefit contributions.

The following table shows the balance to levy for Zone A for the Fiscal Year 2020/21 levy.

Description	Amount
Total Zone A Costs	\$1,875.78
Contribution to (from) Operational Reserves	291.23
Contribution to (from) Capital Reserves	0.00
Less General Benefit	<u>(384.33)</u>
Balance to Levy	\$1,782.68

The following table shows the balance to levy for Zone B for the Fiscal Year 2020/21 levy.

Description	Amount
Total Zone A Costs	\$56,336.83
Contribution to (from) Operational Reserves	8,746.86
Contribution to (from) Capital Reserves	0.00
Less General Benefit	<u>(11,543.17)</u>
Balance to Levy	\$53,540.52

The following table shows the balance to levy for Zone C for the Fiscal Year 2020/21 levy.

Description	Amount
Total Zone A Costs	\$2,906.39
Contribution to (from) Operational Reserves	451.25
Contribution to (from) Capital Reserves	0.00
Less General Benefit	<u>(595.50)</u>
Balance to Levy	\$2,762.14

3.4 Operational & Maintenance Reserve Information

The following table shows the estimated balance in the Operational and Maintenance Reserves for the Fiscal Year 2020/21 levy.

Description	Amount
Estimated Beginning Balance – July 1, 2020	\$116,670.49
Contribution to (from) Operational and Maintenance Reserves – Zone A	291.23
Contribution to (from) Operational and Maintenance Reserves – Zone B	8,746.86
Contribution to (from) Operational and Maintenance Reserves – Zone C	451.25
Estimated Ending Balance – June 30, 2021	\$126,159.83

The reserves are intended to be used and/or accumulated for repair and/or capital replacement, as needed for improvements within the District.

4. METHOD OF APPORTIONMENT

4.1 Method of Apportionment

The costs of the District are apportioned by a formula or method which fairly distributes the net amount to be assessed, among all assessable parcels in proportion to the estimated special benefit to be received by each such parcel from the maintenance, servicing, and operation of the improvements. The assessment has been levied in accordance with the assessment methodology adopted and approved by the City Council at the time of District formation.

The basis of special benefit for the District was determined to be equal for all EDU within each Zone. The method uses a Benefit Unit Factor (“BUF”) as described below.

The method used to calculate the assessments within each Zone is as follows:

$$\text{Total Balance to Levy} / \text{Total EDU} = \text{Levy per EDU}$$

$$\text{Parcel BUF} \times \text{Acres or Units} \times \text{Levy per EDU} = \text{Parcel Levy Amount}$$

To determine the EDU for non-residential parcels and unimproved residential parcels, the BUF is multiplied by the acreage. For those non-residential parcels and unimproved residential parcels that are less than one acre, the BUF is multiplied by one. For non-residential parcels and unimproved residential parcels that are greater than ten acres, the BUF is multiplied by ten. To determine the EDU for residential parcels, the BUF is multiplied by the number of developed residential units on the parcel.

4.2 Benefit Unit Factors

The table below shows the BUF per acre or unit for each property type.

Property Type/Land Use	BUF
Single Family Residential	1.00
Multi Family Residential	0.70
Mobile Homes	0.70
Vacant Land	1.00
Commercial/Industrial	4.00
Churches	1.00
Government	1.00

4.3 Assessment Per EDU - Zone A

The following table shows the total assessment per EDU for Zone A for the Fiscal Year 2020/21 levy.

Description	Amount
Balance to Levy ⁽¹⁾	\$1,782.68
Total EDU - Zone A	224,520
Total Assessment Per EDU	\$7.94

The following table provides sample calculations for the parcel levy amount in Zone A.

Property Type/ Land Use	BUF X Units or Acres = EDU	Parcel EDU X Levy Per EDU = Parcel Levy	Parcel Levy
Single Family Residential	1.00 X 1 Unit	1.00 X \$7.94	\$7.94
Multi Family Residential	0.70 X 100 Units	70.00 X \$7.94	555.80
Mobile Home Park	0.70 X 10 Units	7.00 X \$7.94	55.58
Vacant Land	1.00 X 5 Acres	5.00 X \$7.94	39.70
Commercial/Industrial	4.00 X 5 Acres	20.00 X \$7.94	158.80
Churches	1.00 X 0.5 Acres ⁽¹⁾	0.50 X \$7.94	3.97
Government	1.00 X 0.5 Acres ⁽¹⁾	0.50 X \$7.94	3.97

4.4 Assessment Per EDU - Zone B

The following table shows the total assessment per EDU for Zone B for the Fiscal Year 2020/21 levy.

Description	Amount
Balance to Levy ⁽¹⁾	\$53,540.52
Total EDU - Zone B	1,322.972
Total Assessment Per EDU	\$40.47

The following table provides sample calculations for the parcel levy amount in Zone B.

Property Type/ Land Use	BUF X Units or Acres = EDU	Parcel EDU X Levy Per EDU = Parcel Levy	Parcel Levy
Single Family Residential	1.00 X 1 Unit	1.00 X \$40.47	\$40.47
Multi Family Residential	0.70 X 100 Units	70.00 X \$40.47	2,832.90
Mobile Home Park	0.70 X 10 Units	7.00 X \$40.47	283.29
Vacant Land	1.00 X 5 Acres	5.00 X \$40.47	202.35
Commercial/Industrial	4.00 X 5 Acres	20.00 X \$40.47	809.40
Churches	1.00 X 0.5 Acres ⁽¹⁾	0.50 X \$40.47	20.23
Government	1.00 X 0.5 Acres ⁽¹⁾	0.50 X \$40.47	20.23

4.5 Assessment Per EDU - Zone C

The following table shows the total assessment per EDU for Zone C for the Fiscal Year 2020/21 levy.

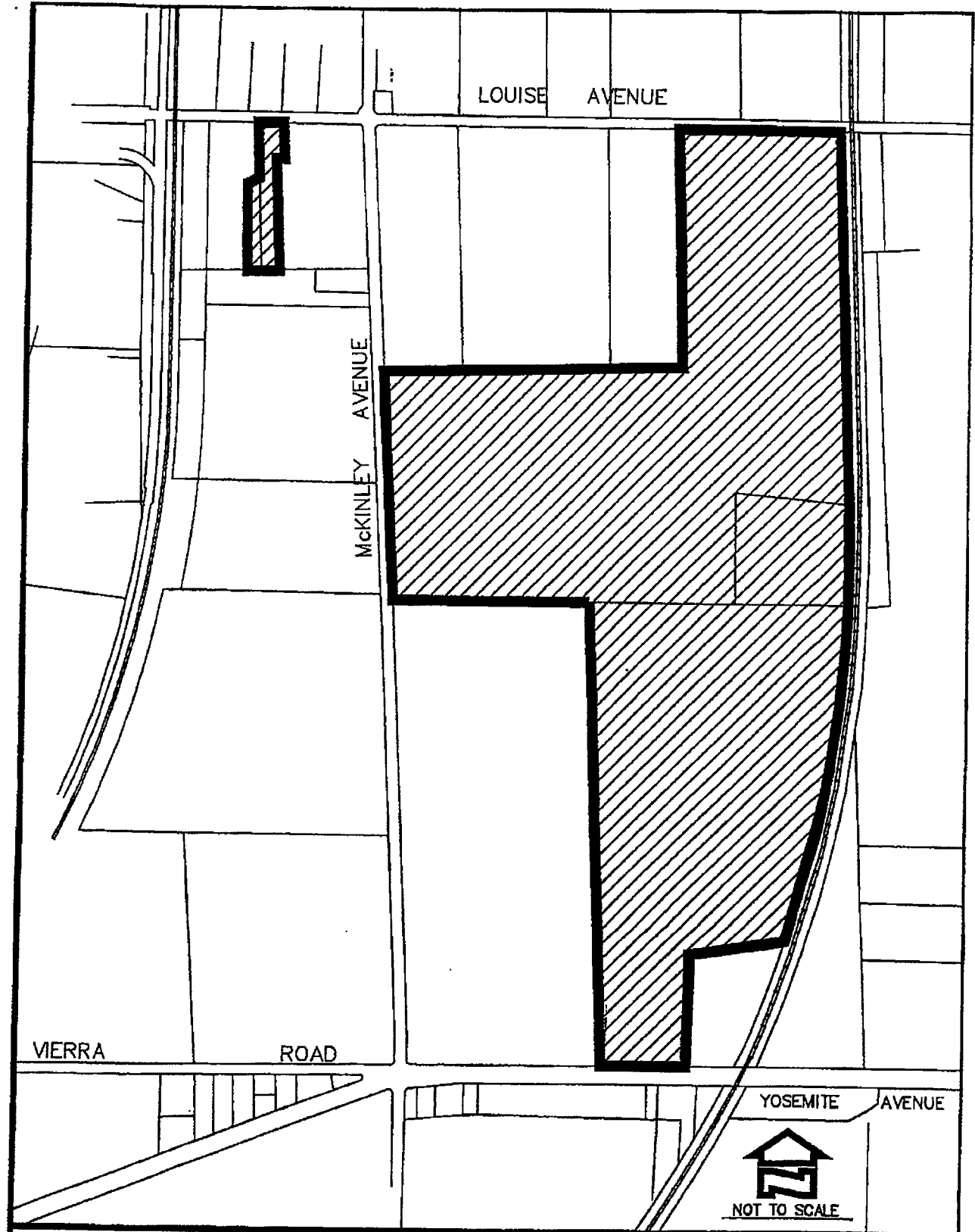
Description	Amount
Balance to Levy ⁽¹⁾	\$2,762.14
Total EDU - Zone C	347.880
Total Assessment Per EDU	\$7.94

The following table provides sample calculations for the parcel levy amount in Zone C.

Property Type/ Land Use	BUF X Units or Acres = EDU	Parcel EDU X Levy Per EDU = Parcel Levy	Parcel Levy
Single Family Residential	1.00 X 1 Unit	1.00 X \$7.94	\$7.94
Multi Family Residential	0.70 X 100 Units	70.00 X \$7.94	555.80
Mobile Home Park	0.70 X 10 Units	7.00 X \$7.94	55.58
Vacant Land	1.00 X 5 Acres	5.00 X \$7.94	39.70
Commercial/Industrial	4.00 X 5 Acres	20.00 X \$7.94	158.80
Churches	1.00 X 0.5 Acres ⁽¹⁾	0.50 X \$7.94	3.97
Government	1.00 X 0.5 Acres ⁽¹⁾	0.50 X \$7.94	3.97

5. DISTRICT DIAGRAMS

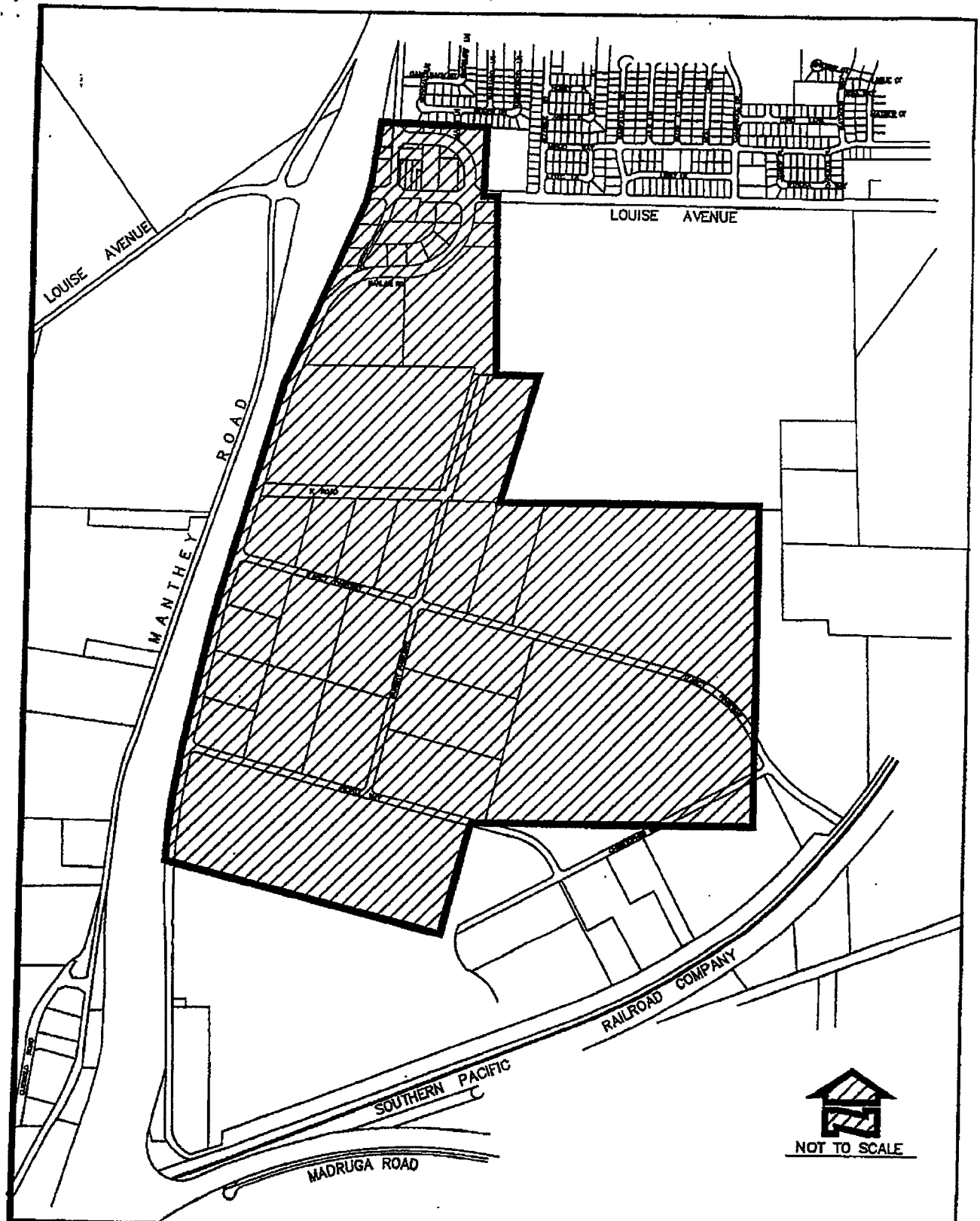
Reference is made to the District Diagrams on file with the City Clerk. The following pages provide the boundaries of the District. The lines and dimensions shown on maps of the County Assessor for the current year are incorporated by reference and made part of this Report.



City of Lathrop

Industrial Lighting - Zone A

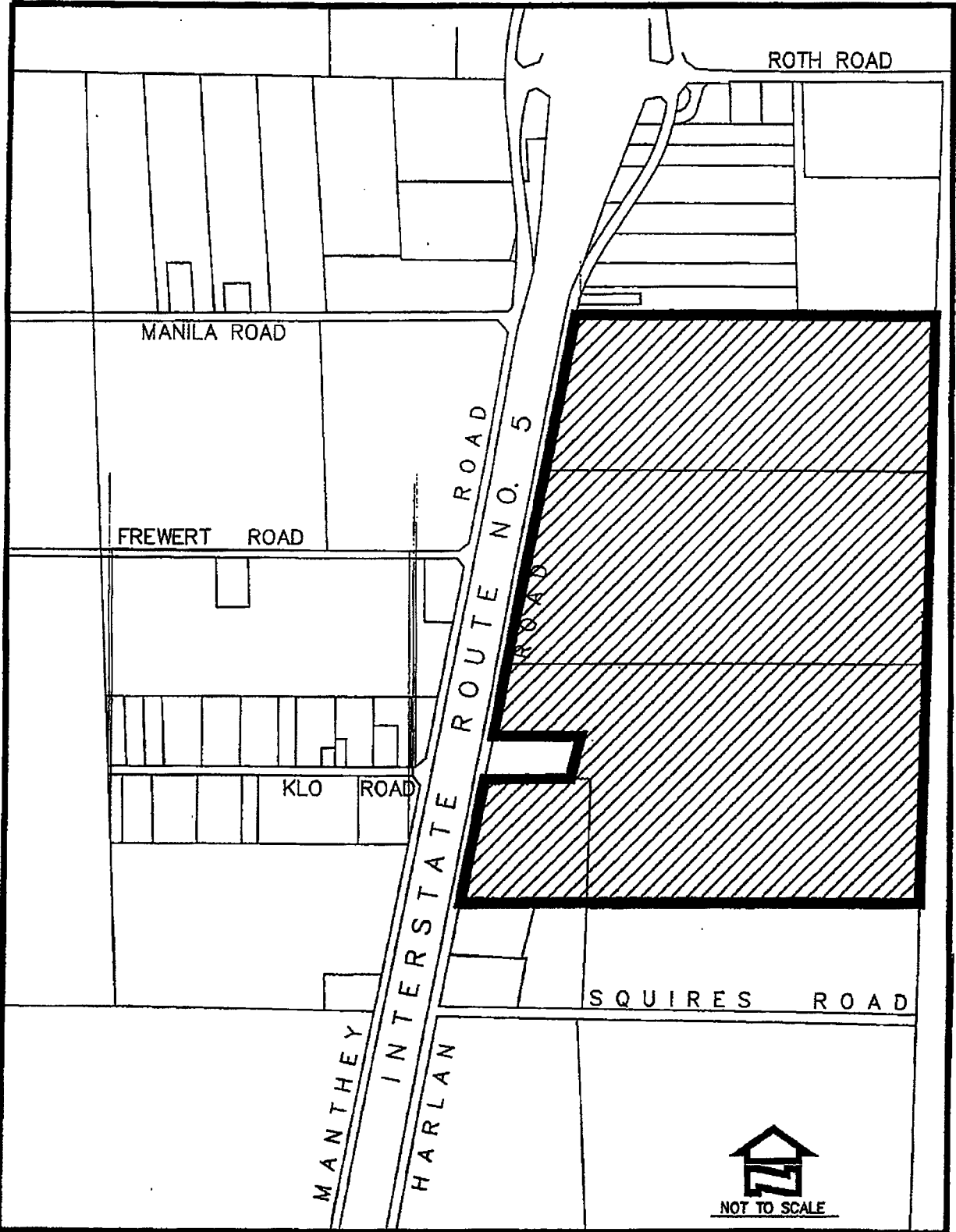
Date: February 1999



City of Lathrop

Industrial Lighting - Zone B

Date: February 1999



City of Lathrop

Industrial Lighting - Zone C



Date: February 1999

6. PARCEL LISTING

The parcel listing of assessments is provided on the following pages. The description of each lot or parcel is a part of the records of the County Assessor and is incorporated by reference and made part of this Report.

CITY OF LATHROP
INDUSTRIAL LIGHTING MAINTENANCE DISTRICT
FISCAL YEAR 2020/21
PARCEL LISTING

Zone	APN	Land Use	Acreage	Units	BUF	EDU	Max Rate	Levy Rate	Levy ⁽¹⁾
A	198-140-140-000	IND	3.130	3.130	4.00	12.520	\$7.94	\$7.94	\$99.40
A	198-160-030-000	GOVT	12.000	10.000	1.00	10.000	7.94	7.94	79.40
A	198-160-230-000	GOVT	0.128	1.000	1.00	1.000	7.94	7.94	7.94
A	198-160-250-000	VAC	0.035	1.000	1.00	1.000	7.94	7.94	7.94
A	198-160-260-000	IND	106.050	10.000	4.00	40.000	7.94	7.94	317.60
A	198-230-170-000	IND	15.180	10.000	4.00	40.000	7.94	7.94	317.60
A	198-230-180-000	IND	18.650	10.000	4.00	40.000	7.94	7.94	317.60
A	198-230-190-000	IND	12.850	10.000	4.00	40.000	7.94	7.94	317.60
A	198-230-150-000	IND	11.780	10.000	4.00	40.000	7.94	7.94	317.60
SUBTOTAL:		9 Assessable Parcels				224.520			\$1,782.68

Zone	APN	Land Use	Acreage	Units	BUF	EDU	Max Rate	Levy Rate	Levy*
B	196-270-080-000	CMD	0.540	1.000	4.00	4.000	\$40.47	\$40.47	\$161.88
B	196-270-090-000	CMD	0.300	1.000	4.00	4.000	40.47	40.47	161.88
B	196-270-100-000	CMD	0.809	1.000	4.00	4.000	40.47	40.47	161.88
B	196-270-230-000	CMV	1.307	1.307	1.00	1.307	40.47	40.47	52.88
B	196-270-260-000	GOVT	1.657	1.657	1.00	1.657	40.47	40.47	67.04
B	196-270-280-000	CMD	1.725	1.725	4.00	6.900	40.47	40.47	279.24
B	196-270-300-000	CMD	1.437	1.437	4.00	5.748	40.47	40.47	232.62
B	198-120-040-000	IND	34.460	10.000	4.00	40.000	40.47	40.47	1,618.80
B	198-120-050-000	IND	10.010	10.000	4.00	40.000	40.47	40.47	1,618.80
B	198-130-390-000	IND	27.930	10.000	4.00	40.000	40.47	40.47	1,618.80
B	198-130-420-000	IND	47.160	10.000	4.00	40.000	40.47	40.47	1,618.80
B	198-130-640-000	IND	49.640	10.000	4.00	40.000	40.47	40.47	1,618.80
B	198-190-040-000	IND	6.310	6.310	4.00	25.240	40.47	40.47	1,021.46
B	198-190-060-000	CMD	8.990	8.990	4.00	35.960	40.47	40.47	1,455.30
B	198-190-190-000	IND	12.490	10.000	4.00	40.000	40.47	40.47	1,618.80
B	198-190-200-000	IND	12.500	10.000	4.00	40.000	40.47	40.47	1,618.80
B	198-190-210-000	IND	13.200	10.000	4.00	40.000	40.47	40.47	1,618.80
B	198-190-300-000	IND	11.000	10.000	4.00	40.000	40.47	40.47	1,618.80
B	198-190-310-000	IND	14.720	10.000	4.00	40.000	40.47	40.47	1,618.80
B	198-190-320-000	IND	29.110	10.000	4.00	40.000	40.47	40.47	1,618.80
B	198-190-330-000	IND	7.280	7.280	4.00	29.120	40.47	40.47	1,178.48
B	198-210-020-000	CMD	1.170	1.170	4.00	4.680	40.47	40.47	189.38
B	198-210-030-000	CMD	0.839	1.000	4.00	4.000	40.47	40.47	161.88
B	198-210-040-000	CMD	0.639	1.000	4.00	4.000	40.47	40.47	161.88
B	198-210-050-000	CMD	0.850	1.000	4.00	4.000	40.47	40.47	161.88
B	198-210-060-000	CMD	0.689	1.000	4.00	4.000	40.47	40.47	161.88
B	198-210-070-000	CMV	0.760	1.000	1.00	1.000	40.47	40.47	40.46
B	198-210-080-000	CMV	0.739	1.000	1.00	1.000	40.47	40.47	40.46
B	198-210-090-000	CMD	0.850	1.000	4.00	4.000	40.47	40.47	161.88
B	198-210-100-000	CMD	0.830	1.000	4.00	4.000	40.47	40.47	161.88
B	198-210-140-000	CMV	0.739	1.000	1.00	1.000	40.47	40.47	40.46
B	198-210-160-000	CMD	0.993	1.000	4.00	4.000	40.47	40.47	161.88

CITY OF LATHROP
INDUSTRIAL LIGHTING MAINTENANCE DISTRICT
FISCAL YEAR 2020/21
PARCEL LISTING

Zone	APN	Land Use	Acreage	Units	BUF	EDU	Max Rate	Levy Rate	Levy ⁽¹⁾
B	198-210-170-000	CMD	0.916	1.000	4.00	4.000	40.47	40.47	161.88
B	198-210-180-000	CMD	14.280	10.000	4.00	40.000	40.47	40.47	1,618.80
B	198-210-190-000	CMV	18.700	10.000	1.00	10.000	40.47	40.47	404.70
B	198-210-200-000	CMD	0.774	1.000	4.00	4.000	40.47	40.47	161.88
B	198-210-210-000	CMV	0.385	1.000	1.00	1.000	40.47	40.47	40.46
B	198-210-220-000	CMD	1.340	1.340	4.00	5.360	40.47	40.47	216.90
B	198-210-230-000	CMD	1.070	1.070	4.00	4.280	40.47	40.47	173.20
B	198-220-020-000	IND	19.390	10.000	4.00	40.000	40.47	40.47	1,618.80
B	198-220-030-000	IND	10.010	10.000	4.00	40.000	40.47	40.47	1,618.80
B	198-220-090-000	IND	27.790	10.000	4.00	40.000	40.47	40.47	1,618.80
B	198-220-100-000	IND	11.490	10.000	4.00	40.000	40.47	40.47	1,618.80
B	198-220-120-000	IND	23.070	10.000	4.00	40.000	40.47	40.47	1,618.80
B	198-240-010-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-020-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-030-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-040-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-050-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-060-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-070-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-080-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-090-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-100-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-110-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-120-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-130-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-140-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-150-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-160-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-170-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-180-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-190-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-200-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-210-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-220-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-230-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-240-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-250-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-260-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-270-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-280-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-290-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-300-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-310-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-320-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-330-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88

CITY OF LATHROP
INDUSTRIAL LIGHTING MAINTENANCE DISTRICT
FISCAL YEAR 2020/21
PARCEL LISTING

Zone	APN	Land Use	Acreage	Units	BUF	EDU	Max Rate	Levy Rate	Levy ⁽¹⁾
B	198-240-340-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-350-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-360-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-370-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-380-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-390-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-400-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-410-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-420-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-430-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-440-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-450-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-460-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-470-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-240-480-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-010-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-020-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-030-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-040-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-050-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-060-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-070-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-080-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-090-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-100-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-110-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-120-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-130-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-140-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-150-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-160-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-170-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-180-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-190-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-200-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-210-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-220-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-230-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-240-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-250-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-260-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-270-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-280-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-290-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-300-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88

CITY OF LATHROP
INDUSTRIAL LIGHTING MAINTENANCE DISTRICT
FISCAL YEAR 2020/21
PARCEL LISTING

Zone	APN	Land Use	Acreage	Units	BUF	EDU	Max Rate	Levy Rate	Levy ⁽¹⁾
B	198-250-310-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-320-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-330-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-340-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-350-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-360-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-370-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-380-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-390-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-400-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-410-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-420-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-430-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-440-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-450-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-460-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-470-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-480-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-490-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-500-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-510-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-520-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-530-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-540-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-550-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-560-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-570-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-580-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-590-000	IND	0.130	1.000	4.00	4.000	40.47	40.47	161.88
B	198-250-600-000	IND	8.180	8.180	4.00	32.720	40.47	40.47	1,324.16
SUBTOTAL:		152 Assessable Parcels				1,322.972			\$53,540.52

Zone	APN	Land Use	Acreage	Units	BUF	EDU	Max Rate	Levy Rate	Levy*
C	196-030-030-000	IND	41.730	10.000	4.00	40.000	\$7.94	\$7.94	\$317.60
C	196-030-190-000	CMD	5.730	5.730	4.00	22.920	7.94	7.94	181.98
C	196-030-220-000	IND	20.160	10.000	4.00	40.000	7.94	7.94	317.60
C	196-030-230-000	IND	11.730	10.000	4.00	40.000	7.94	7.94	317.60
C	196-030-250-000	IND	21.710	10.000	4.00	40.000	7.94	7.94	317.60
C	196-030-260-000	IND	8.620	8.620	4.00	34.480	7.94	7.94	273.76
C	196-030-270-000	IND	13.900	10.000	4.00	40.000	7.94	7.94	317.60
C	196-030-280-000	IND	32.640	10.000	4.00	40.000	7.94	7.94	317.60
C	196-030-290-000	IND	13.360	10.000	4.00	40.000	7.94	7.94	317.60
C	196-030-310-000	IND	2.620	2.620	4.00	10.480	7.94	7.94	83.20
SUBTOTAL:		10 Assessable Parcels				347.880			\$2,762.14

CITY OF LATHROP
INDUSTRIAL LIGHTING MAINTENANCE DISTRICT
FISCAL YEAR 2020/21
PARCEL LISTING

Zone	APN	Land Use	Acreage	Units	BUF	EDU	Max Rate	Levy Rate	Levy ⁽¹⁾
Grand Total:					1,895.372				\$58,085.34

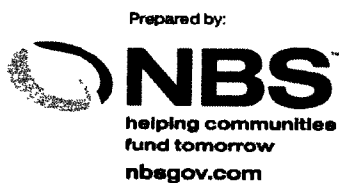
(1) Where applicable, the levy has been rounded down to an even cent for County tax roll purposes.

CITY OF LATHROP

Residential Lighting Maintenance District

Annual Engineer's Report

Fiscal Year 2020/21



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Temecula, CA 92592
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**CITY OF LATHROP
RESIDENTIAL LIGHTING MAINTENANCE DISTRICT**

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CITY COUNCIL

Sonny Dhaliwal, Mayor

Martha Salcedo, Vice Mayor

Paul Akinjo, Councilmember

Diane Lazard, Councilmember

Jennifer Torres-O'Callaghan, Councilmember

CITY STAFF

Stephen Salvatore, City Manager

Salvador Navarrete, City Attorney

Cari James, Finance Director

Glenn Gebhardt, City Engineer

NBS

Tim Seufert, Client Services Director

Kristin Harvey, Senior Consultant

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1. ENGINEER'S LETTER

WHEREAS, the City Council of the City of Lathrop (the "City"), State of California, directed NBS Government Finance Group, DBA NBS ("NBS") to prepare and file a report presenting plans and specifications describing the general nature, location and extent of the improvements to be maintained, an estimate of the costs of the maintenance, operations, and servicing of the improvements for the City of Lathrop Residential Lighting Maintenance District (the "District") for Fiscal Year 2020/21. The report includes a diagram for the District, showing the area and properties to be assessed, an assessment of the estimated costs of the maintenance, operations and servicing of the improvements, and the net amount upon all assessable lots and/or parcels within the District in proportion to the special benefit received;

NOW THEREFORE, only parcels that receive direct special benefit are assessed, and each parcel is assessed in proportion to the estimated special benefit received. The following assessment is made to fund the portion of the estimated costs of maintenance, operation, and servicing of said improvements to be paid by the assessable real property within the District in proportion to the special benefit received:

SUMMARY OF ASSESSMENT

Description	Amount
Balance to Levy ⁽¹⁾	\$130,664.14
Total Equivalent Dwelling Units	2,838.0835

The details concerning the Balance to Levy and amount to levy per Equivalent Dwelling Unit are contained within the enclosed Engineer's Report.

I, the undersigned, respectfully submit the enclosed Engineer's Report and, to the best of my knowledge, information, and belief, the Engineer's Report, Assessments, and the District Diagram herein have been prepared and computed in accordance with the order and historical practices of the City Council of the City.

NBS Government Finance Group, DBA NBS

2. OVERVIEW

2.1 Introduction

The City proposes to levy special benefit assessments for the District for Fiscal Year 2020/21. Prior to the City's incorporation in 1989, the County of San Joaquin (the "County") had established a maintenance district to fund the cost of operating and maintaining streetlights. After incorporation, the City continued and expanded the boundaries of the District to include lights and properties in newly developed areas of the City. In 1993, the City consolidated several maintenance districts including the lighting district into a single district: "Lathrop Residential Lighting Maintenance District". In response to the provisions of the California Constitution Article XIII C and XIII D (the "Proposition 218"), in 1998 a separate Engineer's Report was prepared for the District and property owner balloting for the assessments was conducted. At the conclusion of the public hearing it was determined that the proposed assessments received a majority protest and no assessment was levied for Fiscal Year 1998/99.

Although no assessment was levied in Fiscal Year 1998/99, the City was able to continue funding the improvements for one year through other revenue sources. However, it was determined that the revenue necessary to maintain the improvements at their existing level was not likely to be available in future years. Therefore, the City conducted another property owner balloting proceeding for the assessments in Fiscal Year 1999/00. After approval of the assessment by the property owners, the City began to levy and collect special assessments on the County tax rolls to provide continued funding for the costs and expenses required for maintenance of the lighting improvements within the District. The District is levied pursuant to the Landscaping and Lighting Act of 1972, Part 2 of Division 15 of the California Streets and Highways Code (the "Act"), and in compliance with the substantive and procedural requirements of Proposition 218.

This Annual Engineer's Report (the "Report") describes the District and assessments to be levied against properties within the District for Fiscal Year 2020/21. The assessments described herein are based on the estimated cost to maintain improvements that will provide a direct and special benefit to properties within the District. All improvements to be maintained and funded through annual assessments were constructed and installed in connection with the development or for the benefit of these properties. The annual costs and assessments described herein include all estimated direct expenditures, incidental expenses, deficits, surpluses, revenues, and reserves associated with the maintenance and servicing of the improvements.

The word "parcel", for the purposes of this Report, refers to an individual property assigned its own Assessor's Parcel Number ("APN") by the County Assessor's Office. The County Auditor-Controller uses an APN and specific fund numbers to identify properties assessed on the tax roll for special district benefit assessments.

Following consideration of public comments at a noticed public hearing, and following review of the Report, the City Council may confirm the submittal of the Report and may order the levy and collection of assessments for Fiscal Year 2020/21. If approved, the assessment information will be submitted to

the County Auditor-Controller and included on the property tax roll for each benefiting parcel for Fiscal Year 2020/21.

2.2 Effect of Proposition 218

On November 5, 1996, California voters approved Proposition 218 by a vote of 56.5% to 43.5%. The provisions of Proposition 218, now California Articles XIII C and XIII D, added substantive and procedural requirements for assessments, which affect the City's landscaping and lighting maintenance assessments.

The Fiscal Year 2020/21 assessment rates for the District are proposed to increase from the Fiscal Year 2019/20 assessment rates but do not exceed the maximum rates after applying the approved escalation factor. The annual rate escalation factor approved by property owners through the assessment balloting procedures set forth in Section 4 of Proposition 218 is the annual San Francisco Bay Area CPI (which increased 2.45% for Fiscal Year 2020/21), or 3%, whichever is greater.

3. PLANS AND SPECIFICATIONS FOR THE IMPROVEMENTS

3.1 Description of the District and Services

The District is generally located in the northern part of the City and consists of lots and parcels north of Louise Avenue, west of the Southern Pacific Railroad, east of Interstate 5, and south of the Stonebridge development.

The District currently includes 2,487 parcels. The estimated annual cost to provide and maintain the street lighting improvements within the District has been apportioned to each property in proportion to the special benefits received. The method of apportionment described in this Report utilizes commonly accepted assessment engineering practices and has been established pursuant to the Act and the provisions of Proposition 218.

The improvements and services that provide a special benefit to each assessable property within the District include all public street lighting facilities within the District boundaries that are directly associated with the properties. All street lighting improvements were originally installed either as a part of the original development and subdivision of the properties or for the benefit of specific areas to enhance the lighting in those areas. That portion of the total street lighting costs that provides a general benefit has been identified and is not included in the assessments. These costs will be funded through the City's General Fund. The location of the improvements, zones, and associated benefits are discussed in the following sections.

3.2 Zones

To ensure a fair and equitable apportionment of street lighting costs, the District has been divided into seven benefit zones that reflect both the geographical location of properties within the District and the specific lighting improvements associated with the properties in that area. Refer to the District Diagram for details of the District boundary and the various benefit zones. The following is a brief description of the zones.

Zone A – This zone is located in the northwest region of the District, east of Interstate 5, north of Lathrop Road, west of the Woodfield development, and south of the Stonebridge development. This area of the District is commonly referred to as Lathrop Acres and includes mostly rural residential housing.

Zone B – This zone is located in the northeast region of the District, west of the Southern Pacific Railroad, north of Lathrop Road, east of Lathrop Acres, and south of the Stonebridge development. This area of the District is commonly referred to as the Woodfield Area and includes the residential development known as Valley Haven.

Zone C – This zone is located primarily in the eastern region of the District, west of the Southern Pacific Railroad, north of Louise Avenue, and south of Lathrop Road. This Zone includes the areas known as

Old Town, Douglas Acres, and properties located generally east and south of the residential developments of Zones D, E, and F.

Zone D – This zone includes primarily residential tract developments in the south central region of the District, south of Thomsen Road and north of Louise Avenue. This Zone includes the tract developments known as Lathrop Village Homes, Tumbleweed Park, and Halmar Heights #1.

Zone E – This zone includes primarily residential tract developments in the central region of the District, north of Thomsen Road and south of Lathrop Road. This Zone includes the tract developments know as Eagle Park, Rosegate Terrace, Brumley Place, Milestone Manor, Sunset Manor, Sunrise Place, and Wild Flower Estates.

Zone F – This zone is located in the southeast region of the District and includes all residential parcels identified in the Horizon Park development.

Zone G – This zone is located in the southwestern region of the District, south of Lathrop Road, north of Louise Avenue, east of Interstate 5, and west of the residential developments of Zone D and Zone E, excluding those parcels south and west of Harlan Road at Louise Avenue and Interstate 5.

3.3 Improvements and Services Provided

As generally defined by the Act and applicable to this District, improvements and the associated assessments may include one of any combination of the following:

- 1) The installation or construction of public lighting facilities, including, but not limited to, traffic signals.
- 2) The installation or construction of any facilities which are appurtenant to any of the foregoing or which are necessary or convenient for the maintenance or servicing thereof.
- 3) The maintenance or servicing, or both, of any of the foregoing including the furnishing of services and materials for the ordinary and usual maintenance, operation, and servicing of any improvement, including, but not limited to:
 - a. Repair, removal, or replacement of all or any part of any improvements;
 - b. The acquisition of any existing improvement otherwise authorized pursuant to this section; and
 - c. Electric current, energy, or other agent for the lighting or operation of any of the improvements.
- 4) Incidental expenses associated with the improvements including, but not limited to:
 - a. The cost of preparation of the report, including plans, specifications, estimates, diagram, and assessment;
 - b. The costs of printing, advertising, and the publishing, posting and mailing of notices;
 - c. Compensation payable to the County for collection of assessments;

- d. Compensation of any engineer or attorney employed to render services;
- e. Any other expenses incidental to the construction, installation, or maintenance and servicing of the improvements; and
- f. Costs associated with any elections held for the approval of a new or increased assessment.

“Public lighting facilities” means all works or improvements used or useful for the lighting of any public places, including ornamental standards, luminaries, poles, supports, tunnels, manholes, vaults, conduits, pipes, wires, conductors, guys, stubs, platforms, braces, transformers, insulators, contacts, switches, capacitors, meters, communication circuits, appliances, attachments, and appurtenances.

“Public places” means one or any combination of the following:

- 1) Any public street, highway, road, alley, lane, boulevard, parkway, or other way dedicated to or used for public use.
- 2) Any public property, right-of-way, or leasehold interest which is in use in the performance of a public function and which adjoins any of the ways described in the preceding sections.

3.4 Location and Extent of Improvements

The purpose of the District is to ensure the ongoing maintenance, operation and servicing of local street lighting improvements installed as a result of property development. These improvements include all public street lighting within the District boundary including but not limited to the following streets:

AGUSTA DR	I ST	PRAIRIE DUNES DR
ARIES PL	J ST	QUAKER RIDGE CT
AVON AVE	JACK CT	REIGER DR
AVON ST	JANICE PL	REVERE LN
AZTEC LN	JASPER ST	RUBY CT
BELLA CT	JONQUIL DR	RYHINER LN
BELLA PL	JULIE LN	SAGUARO LN
BIZZIBE ST	K ST	SAINT ANDREW ST
CAMBRIDGE DR	KILARNEY CT	SCHILLING AVE
CAMELBACK ST	L ST	SEDONA LN
CAMISH PL	LARUE CT	SEVENTH ST
CANNELLA CT	LATHROP RD	SHAWN CT
CANNELLA DR	LIBBY LN	SHERRIE CT
CARLETA PL	LISA LN	SHNOOP CT
CASA PL	LONG BARN DR	SHOWLOW LN
CEDAR RIDGE CT	LOTTIE WAY	SILVER CREEK DR
CEDAR VALLEY DR	LOUISE AVE	SIXTH ST
CHANDRA WAY	MAHARAJA DR	SOMOA LN
CHANTILLY CT	MATADOR WAY	SOUTHPORT ST
CHARMAINE CT	MATTHEW CT	STEVEN PL
CHERRY HILLS CT	MAXWELL LN	STONERIDGE CT

3.4 Location and Extent of Improvements (cont.)

CLIFFORD DR
DERA WAY
DERBY LN
DIANE CT
EAGLE LN
EASY ST
ETON WAY
FIFTH ST
GAIL DR
GARDNER CT
GARDNER PL
H ST
HALMAR LN
HARBOR CT
HARLAN RD
HOLLYHOCK CT
HONEY PL

MERLSON CT
MILESTONE DR
MINGO WAY
N ST
NOEL LN
O ST
OAKHILLS ST
ORLANDO LN
OSAGE PL
PAMELA CT
PATRICIA PL
PINE VALLEY DR
PINECREST CT
PINECREST ST
PINWOOD DR
POPPY CT
POPPY DR

STRATFORD AVE
SUGAR PINE DR
SUNFLOWER DR
SUNRISE CT
SUNRISE PL
SUZIE Q LN
THOMSEN RD
TORO LN
TUMBLEWEED LN
VALVERDE CT
VILLA REAL CT
WARFIELD RD
WARREN AVE
WILLIAMSTOWNE DR
WOODFIELD DR
WYNONA WAY
ZALMAN LN

4. ESTIMATE OF COSTS

4.1 Description of Budget Items

Maintenance & Operations - Includes the following:

Advertising/Legal Notices - Includes the cost of publishing the required legal notices necessary to complete the required procedures for levying the assessments.

Contract Services - Includes professional services necessary for District maintenance, including the computer technical support and the preparation of the Report.

Other Maintenance & Repairs - Includes all labor, material, and equipment costs required to properly maintain the street lighting facilities. This item includes the estimated costs associated with normal repair or replacement of the lighting facilities anticipated for the year.

Utility - Gas & Electric - All utility costs charged for electricity required for street lights.

Fixed Charges (County Administration) - Includes the charges per parcel to collect the assessments on the County Secured Property Tax Roll.

Personnel Services - Includes employee salaries, salary related costs, and employee benefits including retirement, medical benefits, and workers compensation costs, etc.

Indirect Costs - The cost to all pertinent departments and staff of the City for providing the coordination of District services, operations, and maintenance of the District, and response to public concerns and education.

4.2 District Budget

The budget for Zone A for Fiscal Year 2020/21 is as follows.

Description	2020/21 Budget
Maintenance & Operations Total	\$8,374.04
Personnel Services Total	158.02
Indirect Costs	<u>980.92</u>
Zone A Total Costs	\$9,512.98

The budget for Zone B for Fiscal Year 2020/21 is as follows.

Description	2020/21 Budget
Maintenance & Operations Total	\$17,901.76
Personnel Services Total	337.82
Indirect Costs	<u>2,096.98</u>
Zone B Total Costs	\$20,336.56

The budget for Zone C for Fiscal Year 2020/21 is as follows.

Description	2020/21 Budget
Maintenance & Operations Total	\$9,443.17
Personnel Services Total	178.19
Indirect Costs	<u>1,106.16</u>
Zone C Total Costs	\$10,727.52

The budget for Zone D for Fiscal Year 2020/21 is as follows.

Description	2020/21 Budget
Maintenance & Operations Total	\$35,099.84
Personnel Services Total	662.35
Indirect Costs	<u>4,111.54</u>
Zone D Total Costs	\$39,873.73

The budget for Zone E for Fiscal Year 2020/21 is as follows.

Description	2020/21 Budget
Maintenance & Operations Total	\$30,622.80
Personnel Services Total	577.87
Indirect Costs	<u>3,587.11</u>
Zone E Total Costs	\$34,787.78

The budget for Zone F for Fiscal Year 2020/21 is as follows.

Description	2020/21 Budget
Maintenance & Operations Total	\$4,417.31
Personnel Services Total	83.37
Indirect Costs	<u>517.44</u>
Zone F Total Costs	\$5,018.12

The budget for Zone G for Fiscal Year 2020/21 is as follows.

Description	2020/21 Budget
Maintenance & Operations Total	\$1,928.08
Personnel Services Total	36.38
Indirect Costs	<u>225.85</u>
Zone G Total Costs	\$2,190.31

4.3 Balance to Levy

Total Costs – This is a total of all maintenance and operations, capital costs, personnel service, and indirect costs for the District.

Contribution to (from) Operational Reserves – The Operational Reserves item provides funds by the District to operate the District from the time period of July 1 (beginning of the fiscal year) through

December when the County provides the City with the first installment of assessments collected from the property tax bills. This eliminates the need for the City to transfer funds from non-District accounts to pay for District charges during the first half of the fiscal year. Negative amounts shown here are transfers that are used to reduce the Balance to Levy. Using reserve amounts in this way allows the levy per unit to remain at prior period rates, although District costs have increased.

Other Revenue Sources – Includes the amount of additional funds designated for use by the District that are not from District assessments. These funds are added to the District account to reduce assessments and may be from either non-District sources including City General Fund contributions or District sources including interest earnings.

General Benefit – Contribution from the City to the District to cover the cost of street lighting that has been determined to be a benefit to the general public, rather than a specific benefit to the District.

Balance to Levy – This is the total amount to be levied and collected through assessments for the current fiscal year. The Balance to Levy represents the sum of total direct and indirect costs, reserves, minus any General Fund contributions.

The following table shows the balance to levy for Zone A for the Fiscal Year 2020/21 levy.

Description	Amount
Total Zone A Costs	\$9,512.98
Contribution to (from) Operational Reserves	1,323.78
Other Revenue Sources	0.00
Less General Benefit	<u>(685.38)</u>
Balance to Levy	\$10,151.38

The following table shows the balance to levy for Zone B for the Fiscal Year 2020/21 levy.

Description	Amount
Total Zone B Costs	\$20,336.56
Contribution to (from) Operational Reserves	2,829.95
Other Revenue Sources	0.00
Less General Benefit	<u>(1,465.21)</u>
Balance to Levy	\$21,701.30

The following table shows the balance to levy for Zone C for the Fiscal Year 2020/21 levy.

Description	Amount
Total Zone C Costs	\$10,727.52
Contribution to (from) Operational Reserves	1,492.79
Other Revenue Sources	0.00
Less General Benefit	<u>(772.89)</u>
Balance to Levy	\$11,447.42

The following table shows the balance to levy for Zone D for the Fiscal Year 2020/21 levy.

Description	Amount
Total Zone D Costs	\$39,873.73
Contribution to (from) Operational Reserves	5,548.64
Other Revenue Sources	0.00
Less General Benefit	<u>(2,872.79)</u>
Balance to Levy	\$42,549.58

The following table shows the balance to levy for Zone E for the Fiscal Year 2020/21 levy.

Description	Amount
Total Zone E Costs	\$34,787.78
Contribution to (from) Operational Reserves	4,840.89
Other Revenue Sources	0.00
Less General Benefit	<u>(2,506.37)</u>
Balance to Levy	\$37,122.30

The following table shows the balance to levy for Zone F for the Fiscal Year 2020/21 levy.

Description	Amount
Total Zone F Costs	\$5,018.12
Contribution to (from) Operational Reserves	698.30
Other Revenue Sources	0.00
Less General Benefit	<u>(361.56)</u>
Balance to Levy	\$5,354.86

The following table shows the balance to levy for Zone G for the Fiscal Year 2020/21 levy.

Description	Amount
Total Zone G Costs	\$2,190.31
Contribution to (from) Operational Reserves	304.79
Other Revenue Sources	0.00
Less General Benefit	<u>(157.80)</u>
Balance to Levy	\$2,337.30

4.4 Operational & Maintenance Reserve Information

The following table shows the estimated balance of the Operational and Maintenance Reserves.

Description	Amount
Estimated Beginning Balance - July 1, 2020	\$172,389.17
Contribution to (from) Operational and Maintenance Reserves	<u>17,039.14</u>
Estimated Ending Balance - June 30, 2021	\$189,428.31

The reserves are intended to be used and/or accumulated for repair and/or capital replacement, as needed for improvements within the District.

5. METHOD OF APPORTIONMENT

5.1 Method of Apportionment

Pursuant to the Act, the costs of the District are apportioned by a formula or method that fairly distributes the net amount to be assessed among all parcels in proportion to benefits received from the improvements. The provisions of Proposition 218 require the City to separate the general benefit from special benefit, since only special benefits may be assessed.

5.2 Improvement Benefit Findings

The Budget section of this Report outlines the amount required to be assessed, taking into consideration Other Revenue Sources, to fund the estimated costs to provide all necessary service, operation, administration, maintenance, and level of service required each year to provide street lighting within the District. It has been determined that each assessable parcel within the District receives proportional special benefits from the improvements. All improvements to be maintained and funded through annual assessments were constructed and installed in connection with the development of properties within the District, and each parcel's close and relatively similar proximity to the improvements makes each parcel's special benefit from the improvements similar and proportionate. All of the lots and parcels that receive special benefit from the improvements are included within the District.

5.3 General Benefits

The location of each street light within the District has been carefully reviewed to identify the benefits it provides to properties within the District. Although it has been determined that a few street lights within the District provide primarily a general benefit to the public, most of the improvements are a direct result of property development within the District and would otherwise not be required or necessary. The costs associated with street lighting facilities identified primarily as general benefit lighting are not assessed against properties within the District. Local street lighting improvements are typically installed to enhance the safety, marketability and value of the surrounding properties. Although these improvements (by virtue of their location), may be visible to properties outside the District or provide illumination for the general public when they drive the streets, the continued operation of these facilities are clearly for the benefit of the properties and property owners within the District.

However, several street lights have been identified as providing both a general benefit to the public at large as well as a direct and special benefit to properties within the various Zones. These street lights are generally located on Louise Avenue, Lathrop Road, Harlan Road, and the Community Center and the costs associated with these street lights have been apportioned 50% special benefit to the respective Zones and 50% as general benefit.

5.4 Special Benefits

The method of apportionment is based on the premise that each of the assessed parcels within the District and Zones receives benefit from the improvements maintained and financed by District assessments. Specifically, the assessments associated with each Zone are for the maintenance of local street lighting improvements associated with the parcels within the Zones. The desirability and security of properties within each Zone is enhanced by the presence of street lighting in close proximity to those properties.

Street lighting improvements may include all energy costs and necessary maintenance to the facilities related thereto. The annual assessments outlined in this Report are proposed to cover the estimated costs to provide all necessary service, operation, administration, and maintenance required each year to keep these improvements in a satisfactory condition.

The special benefits of street lighting are the convenience, safety, and security of property, improvements, and goods. Specifically:

1. Enhanced accessibility to properties aiding in fire and police protection.
2. Reduced criminal activity and property-related crimes especially vandalism and other damages to personal property and improvements.
3. Increased nighttime safety on roads and highways.
4. Improved visibility for pedestrians and motorists.
5. Improved ingress and egress to property.
6. Enhanced desirability of properties through association with the improvements.
7. Improved traffic circulation and reduced nighttime accidents and personal property loss.
8. Increased promotion of business during nighttime hours for non-residential properties.

All of the preceding special benefits contribute to a specific enhancement and desirability of each of the assessed parcels within the District/Zone.

5.5 Description of the Method of Apportionment

The District provides maintenance and operation of specific local lighting improvements and associated appurtenances located within the public right-of-ways in each of the various Zones throughout the District. The annual assessments are based on the historical and estimated cost to maintain the improvements that provide a special benefit to properties within the District and Zones.

The assessments outlined in this section represent the proportionate special benefit to each property within the District and the basis of calculating each parcel's proportionate share of the annual costs associated with the District/Zone improvements. The costs associated with the maintenance and operation of special benefit improvements will be collected through annual assessments from each parcel receiving such benefit. The funds collected will be dispersed and used only for the services and operation provided to the District.

The basis of determining each parcel’s special benefit utilizes a weighting formula commonly known as an Equivalent Dwelling Unit (“EDU”). A developed single family residential parcel is used as the base unit for calculation of assessments and is defined as one (1.00) EDU. All other property types are assigned an EDU that reflects their proportional special benefit from the improvements as compared to the single family residential parcel (weighted comparison).

To determine the EDU for non-residential parcels, unimproved residential parcels, and multiple-residential parcels a Benefit Unit Factor (“BUF”) is assigned to each property type. This BUF multiplied by either the parcel’s specific acreage or residential units determines the parcel’s specific EDU. For those non-residential parcels and unimproved parcels that are less than 0.25 acres, the corresponding BUF is multiplied by a minimum acreage of 0.25 acres. For those non-residential parcels and unimproved parcels that are greater than 10.00 acres the corresponding BUF is multiplied by a maximum of 10.00 acres.

The following table provides a listing of the various land use types and the corresponding BUF used to calculate a parcel’s EDU and proportionate benefit.

Property Type/ Land Use	Benefit Units Assigned
Single Family Residential	1.00 per Unit
Multi-family Residential	0.70 per Unit
Vacant Land	1.00 per Acre
Non-Residential Developed	4.00 per Acre
Non-Residential with Limited Development	2.00 per Acre
Vacant Land with Limited/Restricted Development	0.50 per Acre
Exempt	0.00

Non-Residential Developed – includes all land uses identified as commercial or industrial properties, but also includes churches and mobile home parks.

Non-Residential with Limited Development – includes land uses identified as commercial type use, but either has restricted development potential or a large portion of the parcel is considered vacant land (i.e. school site, recreational facilities, etc).

Vacant Land with Limited/Restricted Development – includes land uses identified as vacant type land, but either have very restricted development potential or limited use (i.e. school site, recreational facilities, etc).

Exempt – may include, but are not limited to, bifurcated residential lots, sliver parcels, dedicated easements that have no development potential, and properties not designated by an APN such as streets, utility easements, or rights-of-way. These types of properties receive no special benefit from street lighting improvements and are not assessed for District improvements. Properties that are identified as non-taxable by the County Assessor’s Office such as government owned or utility owned properties are not exempt from District assessments. These properties are often identified as either Non-Residential with Limited Development or Vacant Land with Limited/Restricted Development and

the BUF and corresponding EDU assigned to these types of properties reflect their reduced benefit from the improvements.

As noted previously, to establish a reasonable, fair, and consistent method of apportioning special benefit to each parcel within the District, the District has been divided into Zones. These zones encompass specific lighting improvements and only the properties that receive a direct and special benefit from those improvements are assessed. The basis of benefit and proportionate assessment for all properties within the District is established by each parcel's calculated EDU and their proportionate share of the improvement costs based on their proportionate EDU within the Zone. The method used to calculate the assessments for each Zone is as follows:

$$\text{Total Balance to Levy} / \text{Total EDU} = \text{Levy per EDU (Levy Rate)}$$

$$\text{Parcel's EDU} \times \text{Levy per EDU (Levy Rate)} = \text{Parcel Levy Amount}$$

5.6 Assessment Range Formula

In accordance with Proposition 218, any new or increased assessment requires certain noticing action and a public hearing. Prior to the passage of Proposition 218, legislative changes in the Brown Act clarified the definition of "new or increased assessment" to exclude certain conditions. These conditions included "any assessment that does not exceed an assessment formula or range of assessments previously adopted by the City or approved by the voters in the area where the assessment is imposed." This definition and conditions were later confirmed through SB919 (Proposition 218 implementing legislation).

The purpose of establishing an assessment range formula is to provide for reasonable increases and inflationary adjustments to annual assessments without requiring costly noticing and mailing procedures, which could add to the District costs and assessments. As part of the District's proposed assessment for Fiscal Year 1999/00, balloting of property owners was required, pursuant to Proposition 218. The property owner ballots included an assessment to be approved, as well as the approval of an assessment range formula. Property owners within the District approved the proposed assessment and the assessment range formula.

The assessment range formula will be applied to all future assessments within the District. If the proposed annual assessment (parcel levy amount) for the current fiscal year is less than or equal to the "Maximum Assessment" (or "Adjusted Maximum Assessment"), then the proposed annual assessment is not considered an increased assessment. The Maximum Assessment is equal to the initial assessment approved by property owners adjusted annually by the following formula:

1. Beginning in the second Fiscal Year (Fiscal Year 2000/01) and each fiscal year thereafter, the Maximum Assessment will be recalculated annually.

2. The new Adjusted Maximum Assessment for the year equals the prior year's Maximum Assessment adjusted by the greater of:
 - a. Three percent (3.0%); or
 - b. The annual increase in the Consumer Price Index ("CPI").

Each year the City shall compute the annual increase in the CPI. The increase in CPI is the percentage difference between the CPI on January 1, of the current year and the CPI for the previous January 1 (or for a similar period of time) as provided and established by the Bureau of Labor Statistics. This percentage difference (annual difference) shall then establish the allowed increase based on CPI. The CPI used shall be based on the CPI established by the Bureau of Labor Statistics for all urban consumers for the San Francisco-Oakland-San Jose Area. Should the Bureau of Labor Statistics revise such index or discontinue the preparation of such index, the City shall use the revised index or comparable system as approved by the City Council for determining fluctuations in the cost of living.

If CPI is less than three percent (3.0%), then the adjustment to the Maximum Assessment is three percent (3.0%). If CPI is greater than three percent (3.0%), then the adjustment to the Maximum Assessment is based on CPI. The Maximum Assessment is adjusted annually and is calculated independent of the District's annual budget and proposed annual assessment. Any proposed annual assessment (rate per levy unit) less than or equal to this Maximum Assessment is not considered an increased assessment, even if the proposed assessment is greater than the assessment applied in the prior Fiscal Year.

The Maximum Assessment will be recalculated and adjusted annually. However, the City Council may reduce or freeze the Actual Assessment at any time by amending the annual Engineer's Report.

The annual increase in the CPI for 2019 is 2.45%; therefore, the escalation factor for the Maximum Assessment for Fiscal Year 2020/21 is 3.00%.

5.7 Assessment Per EDU

Total Equivalent Dwelling Unit – EDU is a numeric value calculated for each parcel based on the parcel's land use. The EDU shown in the District/Zone budget represents the total of all parcels that receive special benefit from the improvements.

Assessment per EDU – This amount represents the rate being applied to each parcel's individual EDU. The Assessment per EDU is the result of dividing the total Balance to Levy by the sum of the Zone EDU for the fiscal year.

The assessment has been calculated in accordance with the assessment methodology adopted and approved by the City Council at the time of District formation.

The following table shows the total assessment per EDU for Zone A for the Fiscal Year 2020/21 levy.

Description	Amount
Balance to Levy ⁽¹⁾	\$10,151.38
Total EDU - Zone A	229.1610
Total Assessment Per EDU	\$44.30
Maximum Assessment Per EDU	\$44.30

The following table shows the total assessment per EDU for Zone B for the Fiscal Year 2020/21 levy.

Description	Amount
Balance to Levy ⁽¹⁾	\$21,701.30
Total EDU - Zone B	457.2535
Total Assessment Per EDU	\$47.47
Maximum Assessment Per EDU	\$47.47

The following table shows the total assessment per EDU for Zone C for the Fiscal Year 2020/21 levy.

Description	Amount
Balance to Levy ⁽¹⁾	\$11,447.42
Total EDU - Zone C	366.8680
Total Assessment Per EDU	\$31.21
Maximum Assessment Per EDU	\$31.21

The following table shows the total assessment per EDU for Zone D for the Fiscal Year 2020/21 levy.

Description	Amount
Balance to Levy ⁽¹⁾	\$42,549.58
Total EDU - Zone D	732.8600
Total Assessment Per EDU	\$58.06
Maximum Assessment Per EDU	\$58.06

The following table shows the total assessment per EDU for Zone E for the Fiscal Year 2020/21 levy.

Description	Amount
Balance to Levy ⁽¹⁾	\$37,122.30
Total EDU - Zone E	608.1670
Total Assessment Per EDU	\$61.04
Maximum Assessment Per EDU	\$61.04

The following table shows the total assessment per EDU for Zone F for the Fiscal Year 2020/21 levy.

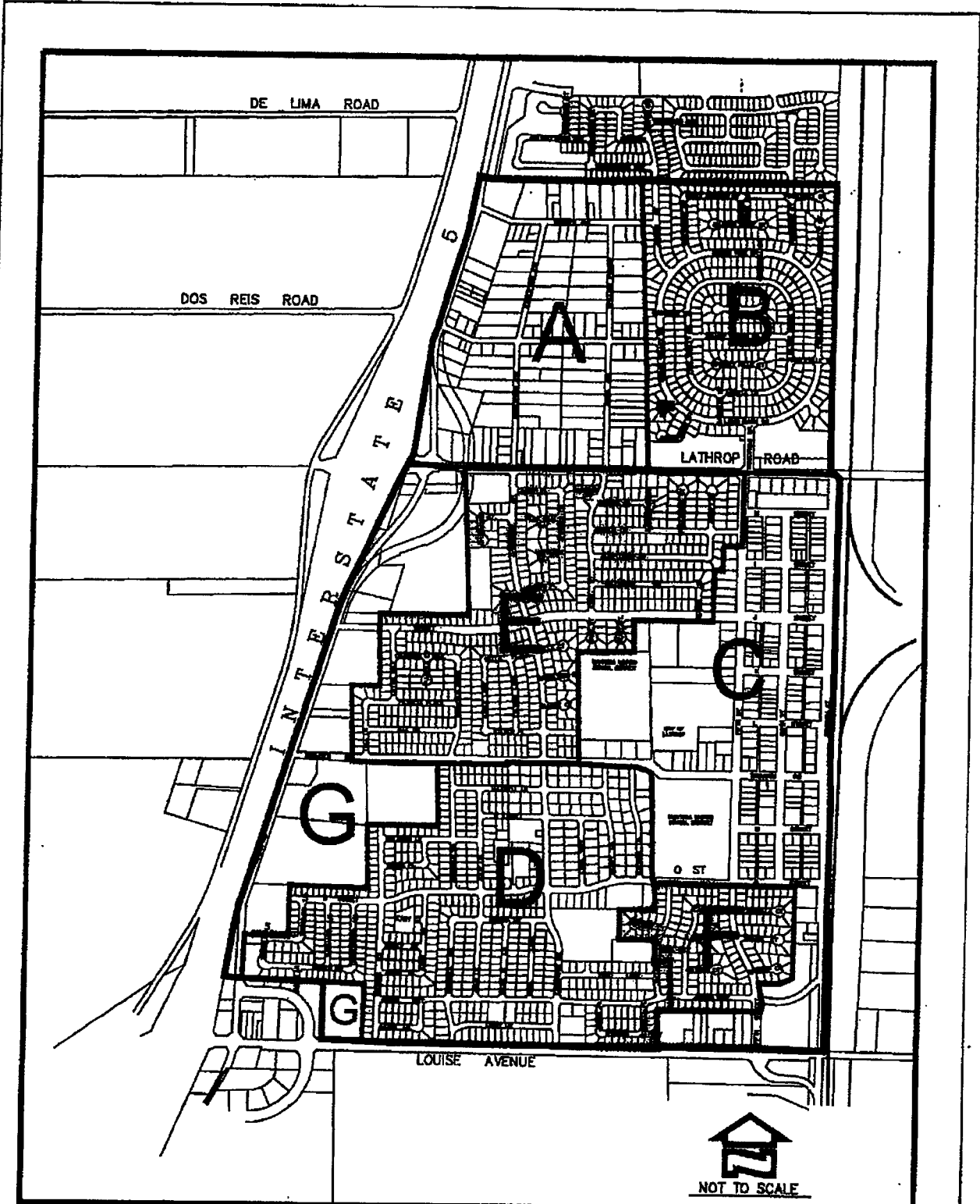
Description	Amount
Balance to Levy ⁽¹⁾	\$5,354.86
Total EDU - Zone F	152.5610
Total Assessment Per EDU	\$35.11
Maximum Assessment Per EDU	\$35.11

The following table shows the total assessment per EDU for Zone G for the Fiscal Year 2020/21 levy.

Description	Amount
Balance to Levy ⁽¹⁾	\$2,337.30
Total EDU - Zone G	291.2130
Total Assessment Per EDU	\$8.03
Maximum Assessment Per EDU	\$8.03

6. DISTRICT DIAGRAM

Reference is made to the District Diagram on file with the City Clerk. The following pages provide the boundaries of the District. The lines and dimensions shown on maps of the County Assessor for the current year are incorporated by reference and made part of this Report.



City of Lathrop
Residential Lighting District



Date: March 1999

7. PARCEL LISTING

The parcel listing of assessments is provided on the following pages. The description of each lot or parcel is a part of the records of the County Assessor and is incorporated by reference and made part of this Report.

CITY OF LATHROP
RESIDENTIAL LIGHTING MAINTENANCE DISTRICT
FISCAL YEAR 2020/21
PARCEL LISTING

Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
A	196-050-020-000	SFR	0.380	2.000	1.0	2.0000	\$44.30	\$88.60
A	196-050-040-000	SFR	0.237	1.000	1.0	1.0000	44.30	44.30
A	196-050-050-000	SFR	1.002	1.000	1.0	1.0000	44.30	44.30
A	196-050-090-000	SFR	0.999	1.000	1.0	1.0000	44.30	44.30
A	196-050-100-000	SFR	0.999	1.000	1.0	1.0000	44.30	44.30
A	196-050-110-000	SFR	0.633	1.000	1.0	1.0000	44.30	44.30
A	196-050-120-000	SFR	0.633	1.000	1.0	1.0000	44.30	44.30
A	196-050-130-000	SFR	0.647	1.000	1.0	1.0000	44.30	44.30
A	196-050-140-000	SFR	0.172	1.000	1.0	1.0000	44.30	44.30
A	196-050-150-000	SFR	0.995	1.000	1.0	1.0000	44.30	44.30
A	196-050-160-000	SFR	1.045	1.000	1.0	1.0000	44.30	44.30
A	196-050-170-000	VAC	1.037	1.037	1.0	1.0370	44.30	45.92
A	196-050-180-000	SFR	0.996	1.000	1.0	1.0000	44.30	44.30
A	196-050-190-000	SFR	1.041	1.000	1.0	1.0000	44.30	44.30
A	196-050-200-000	VAC-RESTR DEV	1.000	1.000	0.5	0.5000	44.30	22.14
A	196-050-230-000	SFR	0.259	1.000	1.0	1.0000	44.30	44.30
A	196-050-240-000	SFR	0.383	1.000	1.0	1.0000	44.30	44.30
A	196-050-250-000	VAC	0.259	0.259	1.0	0.2590	44.30	11.46
A	196-050-260-000	SFR	0.279	1.000	1.0	1.0000	44.30	44.30
A	196-050-270-000	SFR	0.988	1.000	1.0	1.0000	44.30	44.30
A	196-050-280-000	SFR	0.968	1.000	1.0	1.0000	44.30	44.30
A	196-050-290-000	MFR	0.995	4.000	0.7	2.8000	44.30	124.04
A	196-050-300-000	SFR	0.974	1.000	1.0	1.0000	44.30	44.30
A	196-050-310-000	SFR	0.995	1.000	1.0	1.0000	44.30	44.30
A	196-050-320-000	VAC	0.972	0.972	1.0	0.9720	44.30	43.04
A	196-050-330-000	VAC	0.999	0.999	1.0	0.9990	44.30	44.24
A	196-050-340-000	SFR	0.990	1.000	1.0	1.0000	44.30	44.30
A	196-050-350-000	SFR	1.008	1.000	1.0	1.0000	44.30	44.30
A	196-050-360-000	SFR	1.010	1.000	1.0	1.0000	44.30	44.30
A	196-050-370-000	SFR	0.357	1.000	1.0	1.0000	44.30	44.30
A	196-050-380-000	SFR	0.199	1.000	1.0	1.0000	44.30	44.30
A	196-050-390-000	SFR	0.204	1.000	1.0	1.0000	44.30	44.30
A	196-050-400-000	SFR	0.528	1.000	1.0	1.0000	44.30	44.30
A	196-050-410-000	SFR	0.530	1.000	1.0	1.0000	44.30	44.30
A	196-050-420-000	MFR	0.530	2.000	0.7	1.4000	44.30	62.02
A	196-050-430-000	SFR	0.530	1.000	1.0	1.0000	44.30	44.30
A	196-050-440-000	SFR	0.530	1.000	1.0	1.0000	44.30	44.30
A	196-050-450-000	SFR	0.268	1.000	1.0	1.0000	44.30	44.30
A	196-050-460-000	SFR	0.259	1.000	1.0	1.0000	44.30	44.30
A	196-050-490-000	SFR	0.298	1.000	1.0	1.0000	44.30	44.30
A	196-050-500-000	NON-RES	1.030	1.030	4.0	4.1200	44.30	182.50
A	196-050-510-000	SFR	1.008	1.000	1.0	1.0000	44.30	44.30
A	196-050-520-000	SFR	1.029	1.000	1.0	1.0000	44.30	44.30
A	196-050-530-000	SFR	1.015	1.000	1.0	1.0000	44.30	44.30
A	196-050-540-000	MFR	0.999	2.000	0.7	1.4000	44.30	62.02
A	196-050-560-000	SFR	0.247	1.000	1.0	1.0000	44.30	44.30
A	196-050-570-000	SFR	0.247	1.000	1.0	1.0000	44.30	44.30
A	196-050-580-000	SFR	0.242	1.000	1.0	1.0000	44.30	44.30
A	196-050-590-000	SFR	0.179	1.000	1.0	1.0000	44.30	44.30
A	196-050-600-000	SFR	0.364	1.000	1.0	1.0000	44.30	44.30
A	196-050-610-000	SFR	0.170	1.000	1.0	1.0000	44.30	44.30
A	196-050-620-000	VAC	0.136	0.250	1.0	0.2500	44.30	11.06
A	196-050-630-000	SFR	0.128	1.000	1.0	1.0000	44.30	44.30
A	196-050-640-000	SFR	0.161	1.000	1.0	1.0000	44.30	44.30
A	196-050-660-000	SFR	0.148	1.000	1.0	1.0000	44.30	44.30
A	196-050-680-000	SFR	0.144	1.000	1.0	1.0000	44.30	44.30

CITY OF LATHROP
RESIDENTIAL LIGHTING MAINTENANCE DISTRICT
FISCAL YEAR 2020/21
PARCEL LISTING

Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
A	196-050-690-000	VAC	1.548	1.548	1.0	1.5480	44.30	68.56
A	196-050-700-000	SFR	0.185	1.000	1.0	1.0000	44.30	44.30
A	196-050-710-000	VAC	0.193	0.250	1.0	0.2500	44.30	11.06
A	196-060-010-000	MFR	0.217	2.000	0.7	1.4000	44.30	62.02
A	196-060-020-000	MFR	0.217	2.000	0.7	1.4000	44.30	62.02
A	196-060-030-000	MFR	0.217	2.000	0.7	1.4000	44.30	62.02
A	196-060-040-000	SFR	0.176	1.000	1.0	1.0000	44.30	44.30
A	196-060-050-000	MFR	0.165	2.000	0.7	1.4000	44.30	62.02
A	196-070-010-000	LTD DEV	1.790	1.790	2.0	3.5800	44.30	158.58
A	196-070-030-000	EXEMPT	0.000	0.000	0.0	0.0000	44.30	0.00
A	196-070-040-000	EXEMPT	0.000	0.000	0.0	0.0000	44.30	0.00
A	196-070-050-000	LTD DEV	0.672	0.672	2.0	1.3440	44.30	59.52
A	196-070-070-000	SFR	0.114	1.000	1.0	1.0000	44.30	44.30
A	196-070-080-000	SFR	0.114	1.000	1.0	1.0000	44.30	44.30
A	196-070-090-000	SFR	0.161	1.000	1.0	1.0000	44.30	44.30
A	196-070-100-000	SFR	0.166	1.000	1.0	1.0000	44.30	44.30
A	196-070-110-000	VAC	0.320	0.320	1.0	0.3200	44.30	14.16
A	196-070-120-000	SFR	0.240	1.000	1.0	1.0000	44.30	44.30
A	196-070-140-000	SFR	1.030	1.000	1.0	1.0000	44.30	44.30
A	196-070-150-000	SFR	0.350	1.000	1.0	1.0000	44.30	44.30
A	196-070-160-000	NON-RES	0.172	0.250	4.0	1.0000	44.30	44.30
A	196-070-170-000	VAC	0.149	0.250	1.0	0.2500	44.30	11.06
A	196-070-180-000	SFR	0.149	1.000	1.0	1.0000	44.30	44.30
A	196-070-190-000	SFR	0.172	1.000	1.0	1.0000	44.30	44.30
A	196-070-200-000	SFR	0.688	1.000	1.0	1.0000	44.30	44.30
A	196-070-210-000	NON-RES	0.819	0.819	4.0	3.2760	44.30	145.12
A	196-070-220-000	NON-RES	3.000	3.000	4.0	12.0000	44.30	531.60
A	196-070-240-000	NON-RES	0.980	0.980	4.0	3.9200	44.30	173.64
A	196-070-250-000	NON-RES	0.703	0.703	4.0	2.8120	44.30	124.56
A	196-070-270-000	EXEMPT	0.000	0.000	0.0	0.0000	44.30	0.00
A	196-070-280-000	SFR	0.114	1.000	1.0	1.0000	44.30	44.30
A	196-070-290-000	SFR	0.114	1.000	1.0	1.0000	44.30	44.30
A	196-070-300-000	NON-RES	1.628	1.628	4.0	6.5120	44.30	288.48
A	196-080-010-000	SFR	0.159	1.000	1.0	1.0000	44.30	44.30
A	196-080-020-000	SFR	0.265	1.000	1.0	1.0000	44.30	44.30
A	196-080-030-000	SFR	0.449	1.000	1.0	1.0000	44.30	44.30
A	196-080-040-000	SFR	1.120	1.000	1.0	1.0000	44.30	44.30
A	196-080-050-000	SFR	1.170	1.000	1.0	1.0000	44.30	44.30
A	196-080-070-000	SFR	0.694	1.000	1.0	1.0000	44.30	44.30
A	196-080-160-000	SFR	0.250	1.000	1.0	1.0000	44.30	44.30
A	196-080-170-000	SFR	0.250	1.000	1.0	1.0000	44.30	44.30
A	196-080-180-000	SFR	0.247	1.000	1.0	1.0000	44.30	44.30
A	196-080-190-000	SFR	0.252	1.000	1.0	1.0000	44.30	44.30
A	196-080-210-000	SFR	1.000	1.000	1.0	1.0000	44.30	44.30
A	196-080-220-000	SFR	0.500	1.000	1.0	1.0000	44.30	44.30
A	196-080-230-000	SFR	0.500	1.000	1.0	1.0000	44.30	44.30
A	196-080-240-000	SFR	1.000	1.000	1.0	1.0000	44.30	44.30
A	196-080-260-000	SFR	1.500	1.000	1.0	1.0000	44.30	44.30
A	196-080-270-000	SFR	0.500	1.000	1.0	1.0000	44.30	44.30
A	196-080-280-000	VAC	0.318	0.318	1.0	0.3180	44.30	14.08
A	196-080-290-000	NON-RES	0.120	0.250	4.0	1.0000	44.30	44.30
A	196-080-300-000	SFR	0.500	1.000	1.0	1.0000	44.30	44.30
A	196-080-310-000	MFR	1.000	3.000	0.7	2.1000	44.30	93.02
A	196-080-320-000	SFR	1.000	1.000	1.0	1.0000	44.30	44.30
A	196-080-330-000	SFR	0.247	1.000	1.0	1.0000	44.30	44.30
A	196-080-340-000	SFR	0.250	1.000	1.0	1.0000	44.30	44.30

CITY OF LATHROP
RESIDENTIAL LIGHTING MAINTENANCE DISTRICT
FISCAL YEAR 2020/21
PARCEL LISTING

Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
A	196-080-350-000	SFR	0.500	1.000	1.0	1.0000	44.30	44.30
A	196-080-360-000	SFR	1.000	1.000	1.0	1.0000	44.30	44.30
A	196-080-380-000	SFR	1.000	1.000	1.0	1.0000	44.30	44.30
A	196-080-390-000	SFR	1.080	1.000	1.0	1.0000	44.30	44.30
A	196-080-400-000	SFR	1.000	1.000	1.0	1.0000	44.30	44.30
A	196-080-410-000	SFR	1.000	1.000	1.0	1.0000	44.30	44.30
A	196-080-420-000	SFR	0.484	1.000	1.0	1.0000	44.30	44.30
A	196-080-430-000	MFR	0.515	2.000	0.7	1.4000	44.30	62.02
A	196-080-440-000	SFR	1.000	1.000	1.0	1.0000	44.30	44.30
A	196-080-450-000	SFR	0.248	1.000	1.0	1.0000	44.30	44.30
A	196-080-460-000	SFR	0.251	1.000	1.0	1.0000	44.30	44.30
A	196-080-470-000	SFR	0.234	1.000	1.0	1.0000	44.30	44.30
A	196-080-480-000	SFR	0.263	1.000	1.0	1.0000	44.30	44.30
A	196-080-490-000	SFR	0.286	1.000	1.0	1.0000	44.30	44.30
A	196-080-500-000	MFR	0.287	2.000	0.7	1.4000	44.30	62.02
A	196-080-510-000	MFR	0.298	2.000	0.7	1.4000	44.30	62.02
A	196-080-520-000	SFR	0.941	1.000	1.0	1.0000	44.30	44.30
A	196-080-530-000	VAC	0.500	0.500	1.0	0.5000	44.30	22.14
A	196-080-540-000	SFR	0.500	1.000	1.0	1.0000	44.30	44.30
A	196-080-550-000	MFR	0.500	2.000	0.7	1.4000	44.30	62.02
A	196-080-560-000	MFR	0.492	2.000	0.7	1.4000	44.30	62.02
A	196-080-570-000	MFR	0.473	2.000	0.7	1.4000	44.30	62.02
A	196-080-580-000	MFR	0.479	4.000	0.7	2.8000	44.30	124.04
A	196-080-590-000	SFR	0.480	1.000	1.0	1.0000	44.30	44.30
A	196-080-600-000	SFR	0.348	1.000	1.0	1.0000	44.30	44.30
A	196-080-610-000	MFR	0.500	2.000	0.7	1.4000	44.30	62.02
A	196-080-620-000	SFR	0.333	1.000	1.0	1.0000	44.30	44.30
A	196-080-630-000	SFR	0.151	1.000	1.0	1.0000	44.30	44.30
A	196-080-640-000	MFR	0.500	2.000	0.7	1.4000	44.30	62.02
A	196-080-650-000	SFR	0.458	1.000	1.0	1.0000	44.30	44.30
A	196-080-660-000	SFR	1.033	1.000	1.0	1.0000	44.30	44.30
A	196-080-670-000	VAC	0.151	0.250	1.0	0.2500	44.30	11.06
A	196-080-680-000	VAC	0.169	0.250	1.0	0.2500	44.30	11.06
A	196-080-690-000	SFR	0.180	1.000	1.0	1.0000	44.30	44.30
A	196-080-700-000	VAC	1.162	1.162	1.0	1.1620	44.30	51.46
A	196-080-710-000	NON-RES	0.860	0.860	4.0	3.4400	44.30	152.38
A	196-080-720-000	VAC	0.250	0.250	1.0	0.2500	44.30	11.06
A	196-080-730-000	SFR	0.750	1.000	1.0	1.0000	44.30	44.30
A	196-080-740-000	EXEMPT	0.000	0.000	0.0	0.0000	44.30	0.00
A	196-080-770-000	NON-RES	2.020	2.020	4.0	8.0800	44.30	357.94
A	196-080-780-000	VAC	0.559	0.559	1.0	0.5590	44.30	24.76
A	196-080-790-000	VAC	0.803	0.803	1.0	0.8030	44.30	35.56
A	196-080-800-000	SFR	0.696	1.000	1.0	1.0000	44.30	44.30
A	196-740-010-000	MFR	0.000	1.000	0.7	0.7000	44.30	31.00
A	196-740-020-000	MFR	0.000	1.000	0.7	0.7000	44.30	31.00
A	196-740-030-000	MFR	0.000	1.000	0.7	0.7000	44.30	31.00
A	196-740-040-000	MFR	0.000	1.000	0.7	0.7000	44.30	31.00
A	196-740-050-000	MFR	0.000	1.000	0.7	0.7000	44.30	31.00
A	196-740-060-000	MFR	0.000	1.000	0.7	0.7000	44.30	31.00
A	196-740-070-000	MFR	0.000	1.000	0.7	0.7000	44.30	31.00
A	196-740-080-000	MFR	0.000	1.000	0.7	0.7000	44.30	31.00
A	196-740-090-000	MFR	0.000	1.000	0.7	0.7000	44.30	31.00
A	196-740-100-000	EXEMPT	0.000	0.000	0.0	0.0000	44.30	0.00
A	196-760-010-000	SFR	0.119	1.000	1.0	1.0000	44.30	44.30
A	196-760-020-000	SFR	0.116	1.000	1.0	1.0000	44.30	44.30
A	196-760-030-000	SFR	0.116	1.000	1.0	1.0000	44.30	44.30
A	196-760-040-000	SFR	0.115	1.000	1.0	1.0000	44.30	44.30

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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
A	196-760-050-000	SFR	0.116	1.000	1.0	1.0000	44.30	44.30
A	196-760-060-000	SFR	0.116	1.000	1.0	1.0000	44.30	44.30
A	196-760-070-000	SFR	0.116	1.000	1.0	1.0000	44.30	44.30
A	196-760-080-000	SFR	0.152	1.000	1.0	1.0000	44.30	44.30
A	196-760-090-000	SFR	0.168	1.000	1.0	1.0000	44.30	44.30
A	196-760-100-000	SFR	0.118	1.000	1.0	1.0000	44.30	44.30
A	196-760-110-000	SFR	0.115	1.000	1.0	1.0000	44.30	44.30
A	196-760-120-000	SFR	0.120	1.000	1.0	1.0000	44.30	44.30
A	196-760-130-000	SFR	0.123	1.000	1.0	1.0000	44.30	44.30
A	196-760-140-000	SFR	0.140	1.000	1.0	1.0000	44.30	44.30
A	196-760-150-000	SFR	0.115	1.000	1.0	1.0000	44.30	44.30
A	196-760-160-000	SFR	0.114	1.000	1.0	1.0000	44.30	44.30
A	196-760-170-000	SFR	0.114	1.000	1.0	1.0000	44.30	44.30
A	196-760-180-000	SFR	0.114	1.000	1.0	1.0000	44.30	44.30
A	196-760-190-000	SFR	0.120	1.000	1.0	1.0000	44.30	44.30
A	196-760-200-000	SFR	0.130	1.000	1.0	1.0000	44.30	44.30
A	196-760-210-000	SFR	0.114	1.000	1.0	1.0000	44.30	44.30
A	196-760-220-000	SFR	0.114	1.000	1.0	1.0000	44.30	44.30
A	196-760-230-000	SFR	0.114	1.000	1.0	1.0000	44.30	44.30
A	196-760-240-000	SFR	0.114	1.000	1.0	1.0000	44.30	44.30
A	196-760-250-000	SFR	0.142	1.000	1.0	1.0000	44.30	44.30
A	196-760-260-000	SFR	0.148	1.000	1.0	1.0000	44.30	44.30
A	196-760-300-000	SFR	0.167	1.000	1.0	1.0000	44.30	44.30
A	196-760-310-000	SFR	0.147	1.000	1.0	1.0000	44.30	44.30
A	196-760-320-000	SFR	0.260	1.000	1.0	1.0000	44.30	44.30
A	196-070-130-000	EXEMPT	0.000	0.000	0.0	0.0000	44.30	0.00
A	196-070-230-000	EXEMPT	0.000	0.000	0.0	0.0000	44.30	0.00
SUBTOTAL:		196 PARCELS				229.1610		\$10,151.38

Zone	APN	Land Use	Acreage	Units	BUF	EDU	Rate	Levy
B	196-040-070-000	VAC-RESTR DEV	1.054	1.054	0.5	0.5270	\$47.47	\$25.00
B	196-040-080-000	VAC-RESTR DEV	0.851	0.851	0.5	0.4255	47.47	20.18
B	196-040-090-000	VAC-RESTR DEV	2.380	2.380	0.5	1.1900	47.47	56.48
B	196-040-100-000	VAC-RESTR DEV	1.166	1.166	0.5	0.5830	47.47	27.66
B	196-040-110-000	LTD DEV	4.800	4.800	2.0	9.6000	47.47	455.70
B	196-040-120-000	VAC-RESTR DEV	0.137	0.250	0.5	0.1250	47.47	5.92
B	196-040-130-000	LTD DEV	1.339	1.339	2.0	2.6780	47.47	127.12
B	196-090-010-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-090-020-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-090-030-000	SFR	0.146	1.000	1.0	1.0000	47.47	47.46
B	196-090-040-000	SFR	0.152	1.000	1.0	1.0000	47.47	47.46
B	196-090-050-000	SFR	0.155	1.000	1.0	1.0000	47.47	47.46
B	196-090-060-000	SFR	0.150	1.000	1.0	1.0000	47.47	47.46
B	196-090-070-000	SFR	0.155	1.000	1.0	1.0000	47.47	47.46
B	196-090-080-000	SFR	0.158	1.000	1.0	1.0000	47.47	47.46
B	196-090-090-000	SFR	0.173	1.000	1.0	1.0000	47.47	47.46
B	196-090-100-000	SFR	0.146	1.000	1.0	1.0000	47.47	47.46
B	196-090-110-000	SFR	0.144	1.000	1.0	1.0000	47.47	47.46
B	196-090-120-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-090-130-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-090-140-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-090-150-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-090-160-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-090-170-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-090-180-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-090-190-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46

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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
B	196-090-200-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-090-210-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-090-220-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-090-230-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-090-240-000	SFR	0.144	1.000	1.0	1.0000	47.47	47.46
B	196-090-250-000	SFR	0.148	1.000	1.0	1.0000	47.47	47.46
B	196-090-260-000	SFR	0.141	1.000	1.0	1.0000	47.47	47.46
B	196-090-270-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-090-280-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-090-290-000	SFR	0.144	1.000	1.0	1.0000	47.47	47.46
B	196-090-300-000	SFR	0.144	1.000	1.0	1.0000	47.47	47.46
B	196-090-310-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-090-320-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-090-330-000	SFR	0.145	1.000	1.0	1.0000	47.47	47.46
B	196-090-340-000	SFR	0.147	1.000	1.0	1.0000	47.47	47.46
B	196-090-350-000	SFR	0.148	1.000	1.0	1.0000	47.47	47.46
B	196-090-360-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-090-370-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-090-380-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-090-390-000	SFR	0.199	1.000	1.0	1.0000	47.47	47.46
B	196-090-400-000	SFR	0.138	1.000	1.0	1.0000	47.47	47.46
B	196-090-410-000	SFR	0.141	1.000	1.0	1.0000	47.47	47.46
B	196-090-420-000	SFR	0.144	1.000	1.0	1.0000	47.47	47.46
B	196-090-430-000	SFR	0.144	1.000	1.0	1.0000	47.47	47.46
B	196-090-440-000	SFR	0.144	1.000	1.0	1.0000	47.47	47.46
B	196-090-450-000	SFR	0.144	1.000	1.0	1.0000	47.47	47.46
B	196-090-460-000	SFR	0.141	1.000	1.0	1.0000	47.47	47.46
B	196-090-470-000	SFR	0.139	1.000	1.0	1.0000	47.47	47.46
B	196-090-480-000	SFR	0.206	1.000	1.0	1.0000	47.47	47.46
B	196-090-490-000	SFR	0.138	1.000	1.0	1.0000	47.47	47.46
B	196-090-500-000	SFR	0.140	1.000	1.0	1.0000	47.47	47.46
B	196-090-510-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-090-520-000	SFR	0.144	1.000	1.0	1.0000	47.47	47.46
B	196-090-530-000	SFR	0.152	1.000	1.0	1.0000	47.47	47.46
B	196-090-540-000	SFR	0.147	1.000	1.0	1.0000	47.47	47.46
B	196-090-550-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-090-560-000	SFR	0.138	1.000	1.0	1.0000	47.47	47.46
B	196-090-570-000	SFR	0.138	1.000	1.0	1.0000	47.47	47.46
B	196-090-580-000	SFR	0.143	1.000	1.0	1.0000	47.47	47.46
B	196-090-590-000	SFR	0.149	1.000	1.0	1.0000	47.47	47.46
B	196-090-600-000	SFR	0.140	1.000	1.0	1.0000	47.47	47.46
B	196-090-610-000	SFR	0.140	1.000	1.0	1.0000	47.47	47.46
B	196-090-620-000	SFR	0.140	1.000	1.0	1.0000	47.47	47.46
B	196-090-630-000	SFR	0.140	1.000	1.0	1.0000	47.47	47.46
B	196-090-640-000	SFR	0.140	1.000	1.0	1.0000	47.47	47.46
B	196-090-650-000	SFR	0.140	1.000	1.0	1.0000	47.47	47.46
B	196-090-660-000	SFR	0.140	1.000	1.0	1.0000	47.47	47.46
B	196-090-670-000	SFR	0.142	1.000	1.0	1.0000	47.47	47.46
B	196-090-680-000	SFR	0.142	1.000	1.0	1.0000	47.47	47.46
B	196-090-690-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-090-700-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-090-710-000	SFR	0.139	1.000	1.0	1.0000	47.47	47.46
B	196-090-720-000	SFR	0.139	1.000	1.0	1.0000	47.47	47.46
B	196-090-730-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-090-740-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-090-750-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46

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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
B	196-090-760-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-090-770-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-090-780-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-090-790-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-090-800-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-090-810-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-090-820-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-090-830-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-090-840-000	SFR	0.140	1.000	1.0	1.0000	47.47	47.46
B	196-090-850-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-090-860-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-090-870-000	SFR	0.144	1.000	1.0	1.0000	47.47	47.46
B	196-090-880-000	SFR	0.159	1.000	1.0	1.0000	47.47	47.46
B	196-090-890-000	SFR	0.155	1.000	1.0	1.0000	47.47	47.46
B	196-100-010-000	SFR	0.158	1.000	1.0	1.0000	47.47	47.46
B	196-100-020-000	SFR	0.149	1.000	1.0	1.0000	47.47	47.46
B	196-100-030-000	SFR	0.149	1.000	1.0	1.0000	47.47	47.46
B	196-100-040-000	SFR	0.151	1.000	1.0	1.0000	47.47	47.46
B	196-100-050-000	SFR	0.164	1.000	1.0	1.0000	47.47	47.46
B	196-100-060-000	SFR	0.157	1.000	1.0	1.0000	47.47	47.46
B	196-100-070-000	SFR	0.148	1.000	1.0	1.0000	47.47	47.46
B	196-100-080-000	SFR	0.157	1.000	1.0	1.0000	47.47	47.46
B	196-100-090-000	SFR	0.166	1.000	1.0	1.0000	47.47	47.46
B	196-100-100-000	SFR	0.222	1.000	1.0	1.0000	47.47	47.46
B	196-100-110-000	SFR	0.185	1.000	1.0	1.0000	47.47	47.46
B	196-100-120-000	SFR	0.182	1.000	1.0	1.0000	47.47	47.46
B	196-100-130-000	SFR	0.149	1.000	1.0	1.0000	47.47	47.46
B	196-100-140-000	SFR	0.149	1.000	1.0	1.0000	47.47	47.46
B	196-100-150-000	SFR	0.149	1.000	1.0	1.0000	47.47	47.46
B	196-100-160-000	SFR	0.149	1.000	1.0	1.0000	47.47	47.46
B	196-100-170-000	SFR	0.149	1.000	1.0	1.0000	47.47	47.46
B	196-100-180-000	SFR	0.193	1.000	1.0	1.0000	47.47	47.46
B	196-100-190-000	SFR	0.150	1.000	1.0	1.0000	47.47	47.46
B	196-100-200-000	SFR	0.151	1.000	1.0	1.0000	47.47	47.46
B	196-100-210-000	SFR	0.149	1.000	1.0	1.0000	47.47	47.46
B	196-100-220-000	SFR	0.197	1.000	1.0	1.0000	47.47	47.46
B	196-100-230-000	SFR	0.177	1.000	1.0	1.0000	47.47	47.46
B	196-100-240-000	SFR	0.154	1.000	1.0	1.0000	47.47	47.46
B	196-100-250-000	SFR	0.143	1.000	1.0	1.0000	47.47	47.46
B	196-100-260-000	SFR	0.138	1.000	1.0	1.0000	47.47	47.46
B	196-100-270-000	SFR	0.140	1.000	1.0	1.0000	47.47	47.46
B	196-100-280-000	SFR	0.140	1.000	1.0	1.0000	47.47	47.46
B	196-100-290-000	SFR	0.140	1.000	1.0	1.0000	47.47	47.46
B	196-100-300-000	SFR	0.140	1.000	1.0	1.0000	47.47	47.46
B	196-100-310-000	SFR	0.140	1.000	1.0	1.0000	47.47	47.46
B	196-100-320-000	SFR	0.140	1.000	1.0	1.0000	47.47	47.46
B	196-100-330-000	SFR	0.140	1.000	1.0	1.0000	47.47	47.46
B	196-100-340-000	SFR	0.140	1.000	1.0	1.0000	47.47	47.46
B	196-100-350-000	SFR	0.140	1.000	1.0	1.0000	47.47	47.46
B	196-100-360-000	SFR	0.176	1.000	1.0	1.0000	47.47	47.46
B	196-100-370-000	SFR	0.160	1.000	1.0	1.0000	47.47	47.46
B	196-100-380-000	SFR	0.150	1.000	1.0	1.0000	47.47	47.46
B	196-100-390-000	SFR	0.150	1.000	1.0	1.0000	47.47	47.46
B	196-100-400-000	SFR	0.150	1.000	1.0	1.0000	47.47	47.46
B	196-100-410-000	SFR	0.150	1.000	1.0	1.0000	47.47	47.46
B	196-100-420-000	SFR	0.150	1.000	1.0	1.0000	47.47	47.46

CITY OF LATHROP
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PARCEL LISTING

Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
B	196-100-430-000	SFR	0.150	1.000	1.0	1.0000	47.47	47.46
B	196-100-440-000	SFR	0.146	1.000	1.0	1.0000	47.47	47.46
B	196-100-450-000	SFR	0.147	1.000	1.0	1.0000	47.47	47.46
B	196-100-460-000	SFR	0.147	1.000	1.0	1.0000	47.47	47.46
B	196-100-470-000	SFR	0.147	1.000	1.0	1.0000	47.47	47.46
B	196-100-480-000	SFR	0.147	1.000	1.0	1.0000	47.47	47.46
B	196-100-490-000	SFR	0.141	1.000	1.0	1.0000	47.47	47.46
B	196-100-500-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-100-510-000	SFR	0.144	1.000	1.0	1.0000	47.47	47.46
B	196-100-520-000	SFR	0.144	1.000	1.0	1.0000	47.47	47.46
B	196-100-530-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-100-540-000	SFR	0.138	1.000	1.0	1.0000	47.47	47.46
B	196-100-550-000	SFR	0.147	1.000	1.0	1.0000	47.47	47.46
B	196-100-560-000	SFR	0.151	1.000	1.0	1.0000	47.47	47.46
B	196-100-570-000	SFR	0.151	1.000	1.0	1.0000	47.47	47.46
B	196-100-580-000	SFR	0.155	1.000	1.0	1.0000	47.47	47.46
B	196-100-590-000	SFR	0.155	1.000	1.0	1.0000	47.47	47.46
B	196-100-600-000	SFR	0.155	1.000	1.0	1.0000	47.47	47.46
B	196-100-610-000	SFR	0.155	1.000	1.0	1.0000	47.47	47.46
B	196-100-620-000	SFR	0.143	1.000	1.0	1.0000	47.47	47.46
B	196-100-630-000	SFR	0.153	1.000	1.0	1.0000	47.47	47.46
B	196-100-640-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-100-650-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-100-660-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-100-670-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-100-680-000	SFR	0.144	1.000	1.0	1.0000	47.47	47.46
B	196-100-690-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-100-700-000	SFR	0.144	1.000	1.0	1.0000	47.47	47.46
B	196-100-710-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-100-720-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-100-730-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-100-740-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-100-750-000	SFR	0.139	1.000	1.0	1.0000	47.47	47.46
B	196-100-760-000	SFR	0.140	1.000	1.0	1.0000	47.47	47.46
B	196-100-770-000	SFR	0.141	1.000	1.0	1.0000	47.47	47.46
B	196-100-780-000	SFR	0.141	1.000	1.0	1.0000	47.47	47.46
B	196-100-790-000	VAC-RESTR DEV	0.038	0.250	0.5	0.1250	47.47	5.92
B	196-520-010-000	SFR	0.140	1.000	1.0	1.0000	47.47	47.46
B	196-520-020-000	SFR	0.145	1.000	1.0	1.0000	47.47	47.46
B	196-520-030-000	SFR	0.152	1.000	1.0	1.0000	47.47	47.46
B	196-520-040-000	SFR	0.152	1.000	1.0	1.0000	47.47	47.46
B	196-520-050-000	SFR	0.152	1.000	1.0	1.0000	47.47	47.46
B	196-520-060-000	SFR	0.160	1.000	1.0	1.0000	47.47	47.46
B	196-520-070-000	SFR	0.138	1.000	1.0	1.0000	47.47	47.46
B	196-520-080-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-520-090-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-520-100-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-520-110-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-520-120-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-520-130-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-520-140-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-520-150-000	SFR	0.165	1.000	1.0	1.0000	47.47	47.46
B	196-520-160-000	SFR	0.160	1.000	1.0	1.0000	47.47	47.46
B	196-520-170-000	SFR	0.138	1.000	1.0	1.0000	47.47	47.46
B	196-520-180-000	SFR	0.138	1.000	1.0	1.0000	47.47	47.46
B	196-520-190-000	SFR	0.138	1.000	1.0	1.0000	47.47	47.46

CITY OF LATHROP
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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
B	196-520-200-000	SFR	0.138	1.000	1.0	1.0000	47.47	47.46
B	196-520-210-000	SFR	0.138	1.000	1.0	1.0000	47.47	47.46
B	196-520-220-000	SFR	0.138	1.000	1.0	1.0000	47.47	47.46
B	196-520-230-000	SFR	0.236	1.000	1.0	1.0000	47.47	47.46
B	196-520-240-000	SFR	0.186	1.000	1.0	1.0000	47.47	47.46
B	196-520-250-000	SFR	0.141	1.000	1.0	1.0000	47.47	47.46
B	196-520-260-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-520-270-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-520-280-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-520-290-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-520-300-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-520-310-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-520-320-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-520-330-000	SFR	0.144	1.000	1.0	1.0000	47.47	47.46
B	196-520-340-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-520-350-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-520-360-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-520-370-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-520-380-000	SFR	0.142	1.000	1.0	1.0000	47.47	47.46
B	196-520-390-000	SFR	0.148	1.000	1.0	1.0000	47.47	47.46
B	196-520-400-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-520-410-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-520-420-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-520-430-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-520-440-000	SFR	0.141	1.000	1.0	1.0000	47.47	47.46
B	196-520-450-000	SFR	0.160	1.000	1.0	1.0000	47.47	47.46
B	196-520-460-000	SFR	0.147	1.000	1.0	1.0000	47.47	47.46
B	196-520-470-000	SFR	0.147	1.000	1.0	1.0000	47.47	47.46
B	196-520-480-000	SFR	0.147	1.000	1.0	1.0000	47.47	47.46
B	196-520-490-000	SFR	0.140	1.000	1.0	1.0000	47.47	47.46
B	196-520-510-000	SFR	0.182	1.000	1.0	1.0000	47.47	47.46
B	196-520-520-000	SFR	0.247	1.000	1.0	1.0000	47.47	47.46
B	196-520-530-000	SFR	0.140	1.000	1.0	1.0000	47.47	47.46
B	196-520-540-000	SFR	0.143	1.000	1.0	1.0000	47.47	47.46
B	196-520-550-000	SFR	0.146	1.000	1.0	1.0000	47.47	47.46
B	196-520-560-000	SFR	0.154	1.000	1.0	1.0000	47.47	47.46
B	196-520-570-000	SFR	0.218	1.000	1.0	1.0000	47.47	47.46
B	196-530-010-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-530-020-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-530-030-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-530-040-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-530-050-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-530-060-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-530-070-000	SFR	0.169	1.000	1.0	1.0000	47.47	47.46
B	196-530-080-000	SFR	0.144	1.000	1.0	1.0000	47.47	47.46
B	196-530-090-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-530-100-000	SFR	0.139	1.000	1.0	1.0000	47.47	47.46
B	196-530-110-000	SFR	0.138	1.000	1.0	1.0000	47.47	47.46
B	196-530-120-000	SFR	0.223	1.000	1.0	1.0000	47.47	47.46
B	196-530-130-000	SFR	0.180	1.000	1.0	1.0000	47.47	47.46
B	196-530-140-000	SFR	0.220	1.000	1.0	1.0000	47.47	47.46
B	196-530-150-000	SFR	0.138	1.000	1.0	1.0000	47.47	47.46
B	196-530-160-000	SFR	0.139	1.000	1.0	1.0000	47.47	47.46
B	196-530-170-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-530-180-000	SFR	0.144	1.000	1.0	1.0000	47.47	47.46
B	196-530-190-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46

CITY OF LATHROP
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PARCEL LISTING

Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
B	196-530-200-000	SFR	0.138	1.000	1.0	1.0000	47.47	47.46
B	196-530-210-000	SFR	0.138	1.000	1.0	1.0000	47.47	47.46
B	196-530-220-000	SFR	0.138	1.000	1.0	1.0000	47.47	47.46
B	196-530-230-000	SFR	0.159	1.000	1.0	1.0000	47.47	47.46
B	196-530-240-000	SFR	0.161	1.000	1.0	1.0000	47.47	47.46
B	196-530-250-000	SFR	0.181	1.000	1.0	1.0000	47.47	47.46
B	196-530-260-000	SFR	0.141	1.000	1.0	1.0000	47.47	47.46
B	196-530-270-000	SFR	0.139	1.000	1.0	1.0000	47.47	47.46
B	196-530-280-000	SFR	0.143	1.000	1.0	1.0000	47.47	47.46
B	196-530-290-000	SFR	0.194	1.000	1.0	1.0000	47.47	47.46
B	196-530-300-000	SFR	0.181	1.000	1.0	1.0000	47.47	47.46
B	196-530-310-000	SFR	0.208	1.000	1.0	1.0000	47.47	47.46
B	196-530-320-000	SFR	0.160	1.000	1.0	1.0000	47.47	47.46
B	196-530-330-000	SFR	0.138	1.000	1.0	1.0000	47.47	47.46
B	196-530-340-000	SFR	0.146	1.000	1.0	1.0000	47.47	47.46
B	196-530-350-000	SFR	0.145	1.000	1.0	1.0000	47.47	47.46
B	196-530-360-000	SFR	0.158	1.000	1.0	1.0000	47.47	47.46
B	196-530-370-000	SFR	0.182	1.000	1.0	1.0000	47.47	47.46
B	196-530-380-000	SFR	0.236	1.000	1.0	1.0000	47.47	47.46
B	196-530-390-000	SFR	0.205	1.000	1.0	1.0000	47.47	47.46
B	196-530-400-000	SFR	0.192	1.000	1.0	1.0000	47.47	47.46
B	196-530-410-000	SFR	0.143	1.000	1.0	1.0000	47.47	47.46
B	196-530-420-000	SFR	0.139	1.000	1.0	1.0000	47.47	47.46
B	196-530-430-000	SFR	0.139	1.000	1.0	1.0000	47.47	47.46
B	196-530-440-000	SFR	0.142	1.000	1.0	1.0000	47.47	47.46
B	196-530-450-000	SFR	0.153	1.000	1.0	1.0000	47.47	47.46
B	196-530-460-000	SFR	0.138	1.000	1.0	1.0000	47.47	47.46
B	196-530-470-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-530-480-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-530-490-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-530-500-000	SFR	0.144	1.000	1.0	1.0000	47.47	47.46
B	196-530-510-000	SFR	0.154	1.000	1.0	1.0000	47.47	47.46
B	196-530-520-000	SFR	0.146	1.000	1.0	1.0000	47.47	47.46
B	196-530-530-000	SFR	0.142	1.000	1.0	1.0000	47.47	47.46
B	196-530-540-000	SFR	0.210	1.000	1.0	1.0000	47.47	47.46
B	196-530-550-000	SFR	0.173	1.000	1.0	1.0000	47.47	47.46
B	196-530-560-000	SFR	0.239	1.000	1.0	1.0000	47.47	47.46
B	196-530-570-000	SFR	0.155	1.000	1.0	1.0000	47.47	47.46
B	196-530-580-000	SFR	0.145	1.000	1.0	1.0000	47.47	47.46
B	196-530-590-000	SFR	0.147	1.000	1.0	1.0000	47.47	47.46
B	196-530-600-000	SFR	0.147	1.000	1.0	1.0000	47.47	47.46
B	196-540-010-000	SFR	0.189	1.000	1.0	1.0000	47.47	47.46
B	196-540-020-000	SFR	0.232	1.000	1.0	1.0000	47.47	47.46
B	196-540-030-000	SFR	0.200	1.000	1.0	1.0000	47.47	47.46
B	196-540-040-000	SFR	0.232	1.000	1.0	1.0000	47.47	47.46
B	196-540-050-000	SFR	0.207	1.000	1.0	1.0000	47.47	47.46
B	196-540-060-000	SFR	0.157	1.000	1.0	1.0000	47.47	47.46
B	196-540-070-000	SFR	0.143	1.000	1.0	1.0000	47.47	47.46
B	196-540-080-000	SFR	0.138	1.000	1.0	1.0000	47.47	47.46
B	196-540-090-000	SFR	0.138	1.000	1.0	1.0000	47.47	47.46
B	196-540-100-000	SFR	0.138	1.000	1.0	1.0000	47.47	47.46
B	196-540-110-000	SFR	0.138	1.000	1.0	1.0000	47.47	47.46
B	196-540-120-000	SFR	0.138	1.000	1.0	1.0000	47.47	47.46
B	196-540-130-000	SFR	0.142	1.000	1.0	1.0000	47.47	47.46
B	196-540-140-000	SFR	0.158	1.000	1.0	1.0000	47.47	47.46
B	196-540-150-000	SFR	0.159	1.000	1.0	1.0000	47.47	47.46

CITY OF LATHROP
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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
B	196-540-160-000	SFR	0.145	1.000	1.0	1.0000	47.47	47.46
B	196-540-180-000	SFR	0.148	1.000	1.0	1.0000	47.47	47.46
B	196-540-190-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-540-200-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-540-210-000	SFR	0.130	1.000	1.0	1.0000	47.47	47.46
B	196-540-220-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-540-230-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-540-240-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-540-250-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-540-260-000	SFR	0.142	1.000	1.0	1.0000	47.47	47.46
B	196-540-270-000	SFR	0.146	1.000	1.0	1.0000	47.47	47.46
B	196-540-280-000	SFR	0.145	1.000	1.0	1.0000	47.47	47.46
B	196-540-290-000	SFR	0.170	1.000	1.0	1.0000	47.47	47.46
B	196-540-300-000	SFR	0.146	1.000	1.0	1.0000	47.47	47.46
B	196-540-310-000	SFR	0.158	1.000	1.0	1.0000	47.47	47.46
B	196-540-320-000	SFR	0.150	1.000	1.0	1.0000	47.47	47.46
B	196-540-330-000	SFR	0.144	1.000	1.0	1.0000	47.47	47.46
B	196-540-340-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-540-350-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-540-360-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-540-370-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-540-380-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-540-390-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-540-400-000	SFR	0.138	1.000	1.0	1.0000	47.47	47.46
B	196-540-410-000	SFR	0.138	1.000	1.0	1.0000	47.47	47.46
B	196-540-420-000	SFR	0.139	1.000	1.0	1.0000	47.47	47.46
B	196-540-430-000	SFR	0.139	1.000	1.0	1.0000	47.47	47.46
B	196-540-440-000	SFR	0.140	1.000	1.0	1.0000	47.47	47.46
B	196-540-450-000	SFR	0.139	1.000	1.0	1.0000	47.47	47.46
B	196-540-460-000	SFR	0.139	1.000	1.0	1.0000	47.47	47.46
B	196-540-470-000	SFR	0.140	1.000	1.0	1.0000	47.47	47.46
B	196-540-480-000	SFR	0.139	1.000	1.0	1.0000	47.47	47.46
B	196-540-490-000	SFR	0.138	1.000	1.0	1.0000	47.47	47.46
B	196-540-500-000	SFR	0.159	1.000	1.0	1.0000	47.47	47.46
B	196-550-010-000	SFR	0.160	1.000	1.0	1.0000	47.47	47.46
B	196-550-020-000	SFR	0.263	1.000	1.0	1.0000	47.47	47.46
B	196-550-030-000	SFR	0.215	1.000	1.0	1.0000	47.47	47.46
B	196-550-040-000	SFR	0.178	1.000	1.0	1.0000	47.47	47.46
B	196-550-050-000	SFR	0.156	1.000	1.0	1.0000	47.47	47.46
B	196-550-060-000	SFR	0.145	1.000	1.0	1.0000	47.47	47.46
B	196-550-070-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-550-080-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-550-090-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-550-100-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-550-110-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-550-120-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-550-130-000	SFR	0.144	1.000	1.0	1.0000	47.47	47.46
B	196-550-140-000	SFR	0.144	1.000	1.0	1.0000	47.47	47.46
B	196-550-150-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-550-160-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-550-170-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-550-180-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-550-190-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-550-200-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-550-210-000	SFR	0.154	1.000	1.0	1.0000	47.47	47.46
B	196-550-220-000	SFR	0.143	1.000	1.0	1.0000	47.47	47.46

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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
B	196-550-230-000	SFR	0.143	1.000	1.0	1.0000	47.47	47.46
B	196-550-240-000	SFR	0.144	1.000	1.0	1.0000	47.47	47.46
B	196-550-250-000	SFR	0.142	1.000	1.0	1.0000	47.47	47.46
B	196-550-260-000	SFR	0.143	1.000	1.0	1.0000	47.47	47.46
B	196-550-270-000	SFR	0.143	1.000	1.0	1.0000	47.47	47.46
B	196-550-280-000	SFR	0.143	1.000	1.0	1.0000	47.47	47.46
B	196-550-290-000	SFR	0.143	1.000	1.0	1.0000	47.47	47.46
B	196-550-300-000	SFR	0.143	1.000	1.0	1.0000	47.47	47.46
B	196-550-310-000	SFR	0.167	1.000	1.0	1.0000	47.47	47.46
B	196-560-010-000	SFR	0.147	1.000	1.0	1.0000	47.47	47.46
B	196-560-020-000	SFR	0.154	1.000	1.0	1.0000	47.47	47.46
B	196-560-030-000	SFR	0.154	1.000	1.0	1.0000	47.47	47.46
B	196-560-040-000	SFR	0.154	1.000	1.0	1.0000	47.47	47.46
B	196-560-050-000	SFR	0.154	1.000	1.0	1.0000	47.47	47.46
B	196-560-060-000	SFR	0.154	1.000	1.0	1.0000	47.47	47.46
B	196-560-070-000	SFR	0.154	1.000	1.0	1.0000	47.47	47.46
B	196-560-080-000	SFR	0.163	1.000	1.0	1.0000	47.47	47.46
B	196-560-090-000	SFR	0.196	1.000	1.0	1.0000	47.47	47.46
B	196-560-100-000	SFR	0.228	1.000	1.0	1.0000	47.47	47.46
B	196-560-110-000	SFR	0.247	1.000	1.0	1.0000	47.47	47.46
B	196-560-120-000	SFR	0.246	1.000	1.0	1.0000	47.47	47.46
B	196-560-130-000	SFR	0.281	1.000	1.0	1.0000	47.47	47.46
B	196-560-140-000	SFR	0.163	1.000	1.0	1.0000	47.47	47.46
B	196-560-150-000	SFR	0.175	1.000	1.0	1.0000	47.47	47.46
B	196-560-160-000	SFR	0.200	1.000	1.0	1.0000	47.47	47.46
B	196-560-170-000	SFR	0.174	1.000	1.0	1.0000	47.47	47.46
B	196-560-180-000	SFR	0.154	1.000	1.0	1.0000	47.47	47.46
B	196-560-190-000	SFR	0.150	1.000	1.0	1.0000	47.47	47.46
B	196-570-010-000	SFR	0.171	1.000	1.0	1.0000	47.47	47.46
B	196-570-020-000	SFR	0.144	1.000	1.0	1.0000	47.47	47.46
B	196-570-030-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-570-040-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-570-050-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-570-060-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-570-070-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-570-080-000	SFR	0.156	1.000	1.0	1.0000	47.47	47.46
B	196-570-090-000	SFR	0.162	1.000	1.0	1.0000	47.47	47.46
B	196-570-100-000	SFR	0.158	1.000	1.0	1.0000	47.47	47.46
B	196-570-110-000	SFR	0.160	1.000	1.0	1.0000	47.47	47.46
B	196-570-120-000	SFR	0.160	1.000	1.0	1.0000	47.47	47.46
B	196-570-130-000	SFR	0.160	1.000	1.0	1.0000	47.47	47.46
B	196-570-140-000	SFR	0.161	1.000	1.0	1.0000	47.47	47.46
B	196-570-150-000	SFR	0.149	1.000	1.0	1.0000	47.47	47.46
B	196-570-160-000	SFR	0.146	1.000	1.0	1.0000	47.47	47.46
B	196-570-170-000	SFR	0.143	1.000	1.0	1.0000	47.47	47.46
B	196-570-180-000	SFR	0.149	1.000	1.0	1.0000	47.47	47.46
B	196-570-190-000	SFR	0.145	1.000	1.0	1.0000	47.47	47.46
B	196-570-200-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-570-210-000	SFR	0.144	1.000	1.0	1.0000	47.47	47.46
B	196-570-220-000	SFR	0.144	1.000	1.0	1.0000	47.47	47.46
B	196-570-230-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-570-240-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-570-250-000	SFR	0.138	1.000	1.0	1.0000	47.47	47.46
B	196-570-270-000	SFR	0.139	1.000	1.0	1.0000	47.47	47.46
B	196-570-280-000	SFR	0.153	1.000	1.0	1.0000	47.47	47.46
B	196-570-290-000	SFR	0.149	1.000	1.0	1.0000	47.47	47.46

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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
B	196-570-300-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-570-310-000	SFR	0.138	1.000	1.0	1.0000	47.47	47.46
B	196-570-320-000	SFR	0.139	1.000	1.0	1.0000	47.47	47.46
B	196-570-330-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-570-340-000	SFR	0.137	1.000	1.0	1.0000	47.47	47.46
B	196-570-350-000	SFR	0.147	1.000	1.0	1.0000	47.47	47.46
B	196-570-360-000	SFR	0.149	1.000	1.0	1.0000	47.47	47.46
B	196-570-370-000	SFR	0.149	1.000	1.0	1.0000	47.47	47.46
B	196-570-380-000	SFR	0.149	1.000	1.0	1.0000	47.47	47.46
B	196-570-390-000	SFR	0.149	1.000	1.0	1.0000	47.47	47.46
B	196-570-400-000	SFR	0.149	1.000	1.0	1.0000	47.47	47.46
B	196-570-410-000	SFR	0.149	1.000	1.0	1.0000	47.47	47.46
B	196-570-420-000	SFR	0.152	1.000	1.0	1.0000	47.47	47.46
B	196-570-430-000	SFR	0.144	1.000	1.0	1.0000	47.47	47.46
B	196-570-440-000	SFR	0.147	1.000	1.0	1.0000	47.47	47.46
B	196-570-450-000	SFR	0.145	1.000	1.0	1.0000	47.47	47.46
B	196-570-460-000	SFR	0.167	1.000	1.0	1.0000	47.47	47.46
B	196-570-470-000	SFR	0.201	1.000	1.0	1.0000	47.47	47.46
B	196-570-480-000	SFR	0.170	1.000	1.0	1.0000	47.47	47.46
B	196-570-490-000	SFR	0.142	1.000	1.0	1.0000	47.47	47.46
B	196-570-500-000	SFR	0.144	1.000	1.0	1.0000	47.47	47.46
B	196-570-510-000	SFR	0.144	1.000	1.0	1.0000	47.47	47.46
B	196-570-520-000	SFR	0.144	1.000	1.0	1.0000	47.47	47.46
B	196-570-530-000	SFR	0.144	1.000	1.0	1.0000	47.47	47.46
B	196-570-540-000	SFR	0.143	1.000	1.0	1.0000	47.47	47.46
B	196-570-550-000	SFR	0.138	1.000	1.0	1.0000	47.47	47.46
B	196-570-560-000	SFR	0.210	1.000	1.0	1.0000	47.47	47.46
B	196-570-570-000	SFR	0.176	1.000	1.0	1.0000	47.47	47.46
B	196-570-580-000	SFR	0.160	1.000	1.0	1.0000	47.47	47.46
B	196-570-590-000	SFR	0.138	1.000	1.0	1.0000	47.47	47.46
B	196-570-600-000	SFR	0.143	1.000	1.0	1.0000	47.47	47.46
B	196-570-610-000	SFR	0.152	1.000	1.0	1.0000	47.47	47.46
SUBTOTAL:		450 PARCELS				457.2535		\$21,701.30

Zone	APN	Land Use	Acreage	Units	BUF	EDU	Rate	Levy
C	196-150-810-000	SFR	0.301	1.000	1.0	1.0000	\$31.21	\$31.20
C	196-150-820-000	SFR	0.358	1.000	1.0	1.0000	31.21	31.20
C	196-170-010-000	NON-RES	0.305	0.305	4.0	1.2200	31.21	38.06
C	196-170-020-000	LTD DEV	0.320	0.320	2.0	0.6400	31.21	19.96
C	196-170-030-000	SFR	0.310	1.000	1.0	1.0000	31.21	31.20
C	196-170-040-000	SFR	0.316	1.000	1.0	1.0000	31.21	31.20
C	196-170-050-000	SFR	0.312	1.000	1.0	1.0000	31.21	31.20
C	196-170-060-000	SFR	0.307	1.000	1.0	1.0000	31.21	31.20
C	196-170-070-000	SFR	0.305	1.000	1.0	1.0000	31.21	31.20
C	196-170-080-000	NON-RES	0.258	0.258	4.0	1.0320	31.21	32.20
C	196-170-100-000	LTD DEV	0.139	0.250	2.0	0.5000	31.21	15.60
C	196-170-110-000	MFR	1.526	20.000	0.7	14.0000	31.21	436.94
C	196-170-120-000	MFR	0.256	4.000	0.7	2.8000	31.21	87.38
C	196-180-010-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-180-020-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-180-030-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-180-040-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-180-050-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-180-060-000	MFR	0.237	2.000	0.7	1.4000	31.21	43.68
C	196-180-070-000	SFR	0.139	1.000	1.0	1.0000	31.21	31.20

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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
C	196-180-080-000	SFR	0.139	1.000	1.0	1.0000	31.21	31.20
C	196-180-090-000	SFR	0.258	1.000	1.0	1.0000	31.21	31.20
C	196-180-100-000	SFR	0.344	1.000	1.0	1.0000	31.21	31.20
C	196-180-110-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-180-120-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-180-130-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-180-150-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-180-160-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-180-170-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-180-180-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-180-190-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-180-200-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-180-210-000	SFR	0.110	1.000	1.0	1.0000	31.21	31.20
C	196-180-220-000	SFR	0.114	1.000	1.0	1.0000	31.21	31.20
C	196-180-230-000	SFR	0.110	1.000	1.0	1.0000	31.21	31.20
C	196-180-240-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-180-250-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-180-260-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-180-270-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-180-280-000	MFR	0.172	2.000	0.7	1.4000	31.21	43.68
C	196-180-290-000	SFR	0.344	1.000	1.0	1.0000	31.21	31.20
C	196-180-300-000	MFR	0.172	2.000	0.7	1.4000	31.21	43.68
C	196-180-310-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-180-320-000	MFR	0.172	2.000	0.7	1.4000	31.21	43.68
C	196-180-330-000	SFR	0.258	1.000	1.0	1.0000	31.21	31.20
C	196-180-340-000	SFR	0.258	1.000	1.0	1.0000	31.21	31.20
C	196-180-350-000	SFR	0.258	1.000	1.0	1.0000	31.21	31.20
C	196-180-360-000	NON-RES	0.258	0.258	4.0	1.0320	31.21	32.20
C	196-180-370-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-180-380-000	SFR	0.260	1.000	1.0	1.0000	31.21	31.20
C	196-180-390-000	SFR	0.258	1.000	1.0	1.0000	31.21	31.20
C	196-180-400-000	SFR	0.258	1.000	1.0	1.0000	31.21	31.20
C	196-180-410-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-180-420-000	SFR	0.258	1.000	1.0	1.0000	31.21	31.20
C	196-180-430-000	MFR	0.172	2.000	0.7	1.4000	31.21	43.68
C	196-180-440-000	SFR	0.258	1.000	1.0	1.0000	31.21	31.20
C	196-180-450-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-180-460-000	SFR	0.086	1.000	1.0	1.0000	31.21	31.20
C	196-180-480-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-180-490-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-180-500-000	SFR	0.258	1.000	1.0	1.0000	31.21	31.20
C	196-180-510-000	SFR	0.258	1.000	1.0	1.0000	31.21	31.20
C	196-180-520-000	SFR	0.258	1.000	1.0	1.0000	31.21	31.20
C	196-180-530-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-180-540-000	SFR	0.086	1.000	1.0	1.0000	31.21	31.20
C	196-180-550-000	SFR	0.258	1.000	1.0	1.0000	31.21	31.20
C	196-180-560-000	SFR	0.258	1.000	1.0	1.0000	31.21	31.20
C	196-180-570-000	SFR	0.258	1.000	1.0	1.0000	31.21	31.20
C	196-180-580-000	SFR	0.129	1.000	1.0	1.0000	31.21	31.20
C	196-180-590-000	SFR	0.129	1.000	1.0	1.0000	31.21	31.20
C	196-240-010-000	SFR	0.426	1.000	1.0	1.0000	31.21	31.20
C	196-240-020-000	SFR	0.379	1.000	1.0	1.0000	31.21	31.20
C	196-240-030-000	SFR	0.330	1.000	1.0	1.0000	31.21	31.20
C	196-240-040-000	SFR	0.330	1.000	1.0	1.0000	31.21	31.20
C	196-240-060-000	SFR	0.897	1.000	1.0	1.0000	31.21	31.20
C	196-240-070-000	LTD DEV	2.500	2.500	2.0	5.0000	31.21	156.04

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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
C	196-240-080-000	NON-RES	3.680	3.680	4.0	14.7200	31.21	459.40
C	196-240-090-000	SFR	0.275	1.000	1.0	1.0000	31.21	31.20
C	196-240-100-000	SFR	0.344	1.000	1.0	1.0000	31.21	31.20
C	196-240-110-000	SFR	0.206	1.000	1.0	1.0000	31.21	31.20
C	196-240-120-000	SFR	0.275	1.000	1.0	1.0000	31.21	31.20
C	196-240-130-000	SFR	0.361	1.000	1.0	1.0000	31.21	31.20
C	196-240-140-000	SFR	0.254	1.000	1.0	1.0000	31.21	31.20
C	196-240-150-000	SFR	0.251	1.000	1.0	1.0000	31.21	31.20
C	196-240-170-000	LTD DEV	9.120	9.120	2.0	18.2400	31.21	569.26
C	196-240-180-000	LTD DEV	12.130	10.000	2.0	20.0000	31.21	624.20
C	196-240-190-000	LTD DEV	0.901	0.901	2.0	1.8020	31.21	56.24
C	196-240-200-000	SFR	0.523	1.000	1.0	1.0000	31.21	31.20
C	196-240-210-000	SFR	0.529	1.000	1.0	1.0000	31.21	31.20
C	196-240-220-000	SFR	0.529	1.000	1.0	1.0000	31.21	31.20
C	196-240-240-000	SFR	0.413	1.000	1.0	1.0000	31.21	31.20
C	196-240-250-000	SFR	0.247	1.000	1.0	1.0000	31.21	31.20
C	196-240-260-000	SFR	0.247	1.000	1.0	1.0000	31.21	31.20
C	196-240-290-000	LTD DEV	0.977	0.977	2.0	1.9540	31.21	60.98
C	196-240-300-000	LTD DEV	0.427	0.427	2.0	0.8540	31.21	26.64
C	196-240-310-000	MFR	0.258	2.000	0.7	1.4000	31.21	43.68
C	196-240-320-000	MFR	0.275	2.000	0.7	1.4000	31.21	43.68
C	196-240-330-000	VAC	0.144	0.250	1.0	0.2500	31.21	7.80
C	196-240-340-000	MFR	0.230	2.000	0.7	1.4000	31.21	43.68
C	196-240-370-000	MFR	0.340	2.000	0.7	1.4000	31.21	43.68
C	196-240-380-000	SFR	0.340	1.000	1.0	1.0000	31.21	31.20
C	196-250-010-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-250-020-000	SFR	0.080	1.000	1.0	1.0000	31.21	31.20
C	196-250-050-000	SFR	0.344	1.000	1.0	1.0000	31.21	31.20
C	196-250-060-000	SFR	0.062	1.000	1.0	1.0000	31.21	31.20
C	196-250-070-000	SFR	0.167	1.000	1.0	1.0000	31.21	31.20
C	196-250-080-000	SFR	0.200	1.000	1.0	1.0000	31.21	31.20
C	196-250-090-000	SFR	0.430	1.000	1.0	1.0000	31.21	31.20
C	196-250-100-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-250-110-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-250-120-000	SFR	0.086	1.000	1.0	1.0000	31.21	31.20
C	196-250-140-000	SFR	0.180	1.000	1.0	1.0000	31.21	31.20
C	196-250-150-000	SFR	0.114	1.000	1.0	1.0000	31.21	31.20
C	196-250-160-000	SFR	0.134	1.000	1.0	1.0000	31.21	31.20
C	196-250-170-000	SFR	0.129	1.000	1.0	1.0000	31.21	31.20
C	196-250-180-000	SFR	0.129	1.000	1.0	1.0000	31.21	31.20
C	196-250-190-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-250-200-000	SFR	0.170	1.000	1.0	1.0000	31.21	31.20
C	196-250-210-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-250-220-000	MFR	0.258	2.000	0.7	1.4000	31.21	43.68
C	196-250-230-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-250-240-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-250-250-000	NON-RES	0.344	0.344	4.0	1.3760	31.21	42.94
C	196-250-260-000	VAC	0.430	0.430	1.0	0.4300	31.21	13.42
C	196-250-270-000	NON-RES	0.172	0.250	4.0	1.0000	31.21	31.20
C	196-250-280-000	NON-RES	0.172	0.250	4.0	1.0000	31.21	31.20
C	196-250-290-000	NON-RES	0.172	0.250	4.0	1.0000	31.21	31.20
C	196-250-300-000	NON-RES	0.086	0.250	4.0	1.0000	31.21	31.20
C	196-250-310-000	SFR	0.430	1.000	1.0	1.0000	31.21	31.20
C	196-250-320-000	SFR	0.258	1.000	1.0	1.0000	31.21	31.20
C	196-250-330-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-250-340-000	SFR	0.250	1.000	1.0	1.0000	31.21	31.20

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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
C	196-250-350-000	SFR	0.258	1.000	1.0	1.0000	31.21	31.20
C	196-250-360-000	MFR	0.430	2.000	0.7	1.4000	31.21	43.68
C	196-250-370-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-250-380-000	SFR	0.129	1.000	1.0	1.0000	31.21	31.20
C	196-250-390-000	SFR	0.129	1.000	1.0	1.0000	31.21	31.20
C	196-250-400-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-250-410-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-250-420-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-250-430-000	SFR	0.258	1.000	1.0	1.0000	31.21	31.20
C	196-250-440-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-250-450-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-250-460-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-250-480-000	MFR	0.258	2.000	0.7	1.4000	31.21	43.68
C	196-250-490-000	NON-RES	0.309	0.309	4.0	1.2360	31.21	38.56
C	196-250-500-000	NON-RES	0.482	0.482	4.0	1.9280	31.21	60.16
C	196-250-510-000	NON-RES	0.251	0.251	4.0	1.0040	31.21	31.32
C	196-250-520-000	VAC	0.344	0.344	1.0	0.3440	31.21	10.72
C	196-250-530-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-250-540-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-250-550-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-250-560-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-260-010-000	MFR	0.181	2.000	0.7	1.4000	31.21	43.68
C	196-260-020-000	SFR	0.196	1.000	1.0	1.0000	31.21	31.20
C	196-260-030-000	SFR	0.218	1.000	1.0	1.0000	31.21	31.20
C	196-260-040-000	SFR	0.350	1.000	1.0	1.0000	31.21	31.20
C	196-260-050-000	SFR	0.215	1.000	1.0	1.0000	31.21	31.20
C	196-260-060-000	SFR	0.215	1.000	1.0	1.0000	31.21	31.20
C	196-260-070-000	SFR	0.258	1.000	1.0	1.0000	31.21	31.20
C	196-260-080-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-260-090-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-260-100-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-260-110-000	SFR	0.258	1.000	1.0	1.0000	31.21	31.20
C	196-260-120-000	MFR	0.344	2.000	0.7	1.4000	31.21	43.68
C	196-260-130-000	LTD DEV	0.258	0.258	2.0	0.5160	31.21	16.10
C	196-260-140-000	VAC-RESTR DEV	1.120	1.120	0.5	0.5600	31.21	17.46
C	196-260-150-000	VAC-RESTR DEV	0.286	0.286	0.5	0.1430	31.21	4.46
C	196-260-160-000	LTD DEV	0.114	0.250	2.0	0.5000	31.21	15.60
C	196-260-170-000	LTD DEV	0.110	0.250	2.0	0.5000	31.21	15.60
C	196-260-180-000	LTD DEV	0.230	0.250	2.0	0.5000	31.21	15.60
C	196-260-190-000	VAC	0.172	0.250	1.0	0.2500	31.21	7.80
C	196-260-200-000	SFR	0.260	1.000	1.0	1.0000	31.21	31.20
C	196-260-210-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-260-220-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-260-230-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-260-240-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-260-250-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-260-270-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-260-280-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-260-290-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-260-300-000	SFR	0.344	1.000	1.0	1.0000	31.21	31.20
C	196-260-310-000	MFR	0.206	5.000	0.7	3.5000	31.21	109.22
C	196-260-320-000	NON-RES	0.258	0.258	4.0	1.0320	31.21	32.20
C	196-260-330-000	SFR	0.258	1.000	1.0	1.0000	31.21	31.20
C	196-260-340-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-260-350-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-260-360-000	LTD DEV	0.510	0.510	2.0	1.0200	31.21	31.82

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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
C	196-260-370-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-260-380-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-260-390-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-260-400-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-260-410-000	SFR	0.229	1.000	1.0	1.0000	31.21	31.20
C	196-260-440-000	MFR	0.142	2.000	0.7	1.4000	31.21	43.68
C	196-260-450-000	SFR	0.115	1.000	1.0	1.0000	31.21	31.20
C	196-350-010-000	LTD DEV	14.240	10.000	2.0	20.0000	31.21	624.20
C	196-360-010-000	SFR	0.258	1.000	1.0	1.0000	31.21	31.20
C	196-360-020-000	SFR	0.195	1.000	1.0	1.0000	31.21	31.20
C	196-360-030-000	SFR	0.170	1.000	1.0	1.0000	31.21	31.20
C	196-360-040-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-360-050-000	SFR	0.183	1.000	1.0	1.0000	31.21	31.20
C	196-360-060-000	SFR	0.183	1.000	1.0	1.0000	31.21	31.20
C	196-360-070-000	SFR	0.183	1.000	1.0	1.0000	31.21	31.20
C	196-360-080-000	VAC	0.201	0.250	1.0	0.2500	31.21	7.80
C	196-360-090-000	SFR	0.195	1.000	1.0	1.0000	31.21	31.20
C	196-360-100-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-360-110-000	SFR	0.183	1.000	1.0	1.0000	31.21	31.20
C	196-360-120-000	SFR	0.183	1.000	1.0	1.0000	31.21	31.20
C	196-360-130-000	SFR	0.183	1.000	1.0	1.0000	31.21	31.20
C	196-360-140-000	SFR	0.183	1.000	1.0	1.0000	31.21	31.20
C	196-360-150-000	SFR	0.195	1.000	1.0	1.0000	31.21	31.20
C	196-360-160-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-360-170-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-360-180-000	SFR	0.195	1.000	1.0	1.0000	31.21	31.20
C	196-360-190-000	SFR	0.183	1.000	1.0	1.0000	31.21	31.20
C	196-360-200-000	SFR	0.183	1.000	1.0	1.0000	31.21	31.20
C	196-360-210-000	SFR	0.183	1.000	1.0	1.0000	31.21	31.20
C	196-360-220-000	SFR	0.183	1.000	1.0	1.0000	31.21	31.20
C	196-360-230-000	SFR	0.172	1.000	1.0	1.0000	31.21	31.20
C	196-360-240-000	SFR	0.275	1.000	1.0	1.0000	31.21	31.20
C	196-360-250-000	SFR	0.183	1.000	1.0	1.0000	31.21	31.20
C	196-360-260-000	SFR	0.183	1.000	1.0	1.0000	31.21	31.20
C	196-360-270-000	MFR	0.183	2.000	0.7	1.4000	31.21	43.68
C	196-360-280-000	MFR	0.183	2.000	0.7	1.4000	31.21	43.68
C	196-360-290-000	SFR	0.183	1.000	1.0	1.0000	31.21	31.20
C	196-360-300-000	SFR	0.183	1.000	1.0	1.0000	31.21	31.20
C	196-360-310-000	SFR	0.183	1.000	1.0	1.0000	31.21	31.20
C	196-360-320-000	SFR	0.183	1.000	1.0	1.0000	31.21	31.20
C	196-500-010-000	MFR	2.430	3.000	0.7	2.1000	31.21	65.54
C	196-500-020-000	SFR	0.330	1.000	1.0	1.0000	31.21	31.20
C	196-500-030-000	MFR	0.550	2.000	0.7	1.4000	31.21	43.68
C	196-500-040-000	SFR	0.460	1.000	1.0	1.0000	31.21	31.20
C	196-500-050-000	SFR	1.310	1.000	1.0	1.0000	31.21	31.20
C	196-500-060-000	SFR	0.350	1.000	1.0	1.0000	31.21	31.20
C	196-500-070-000	SFR	0.350	1.000	1.0	1.0000	31.21	31.20
C	196-500-080-000	VAC	0.690	0.690	1.0	0.6900	31.21	21.52
C	196-500-090-000	SFR	0.598	1.000	1.0	1.0000	31.21	31.20
C	196-510-020-000	SFR	0.482	1.000	1.0	1.0000	31.21	31.20
C	196-510-080-000	VAC	3.130	3.130	1.0	3.1300	31.21	97.68
C	196-510-090-000	NON-RES	4.570	4.570	4.0	18.2800	31.21	570.50
C	196-510-100-000	VAC	0.482	0.482	1.0	0.4820	31.21	15.04
C	196-510-110-000	VAC	1.353	1.353	1.0	1.3530	31.21	42.22
C	196-510-120-000	SFR	0.251	1.000	1.0	1.0000	31.21	31.20
C	196-510-130-000	SFR	0.520	1.000	1.0	1.0000	31.21	31.20

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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
C	196-510-140-000	SFR	0.569	1.000	1.0	1.0000	31.21	31.20
C	196-510-160-000	SFR	0.139	1.000	1.0	1.0000	31.21	31.20
C	196-510-180-000	SFR	0.090	1.000	1.0	1.0000	31.21	31.20
C	196-510-190-000	SFR	0.091	1.000	1.0	1.0000	31.21	31.20
C	196-510-200-000	VAC	0.110	0.250	1.0	0.2500	31.21	7.80
C	196-510-210-000	VAC	0.178	0.250	1.0	0.2500	31.21	7.80
C	196-770-010-000	SFR	0.083	1.000	1.0	1.0000	31.21	31.20
C	196-770-020-000	SFR	0.095	1.000	1.0	1.0000	31.21	31.20
C	196-770-030-000	SFR	0.110	1.000	1.0	1.0000	31.21	31.20
C	196-770-040-000	SFR	0.095	1.000	1.0	1.0000	31.21	31.20
C	196-770-050-000	SFR	0.235	1.000	1.0	1.0000	31.21	31.20
C	196-240-160-000	EXEMPT	0.000	0.000	0.0	0.0000	31.21	0.00
C	196-240-350-000	EXEMPT	0.000	0.000	0.0	0.0000	31.21	0.00
C	196-240-360-000	EXEMPT	0.000	0.000	0.0	0.0000	31.21	0.00
C	196-250-130-000	EXEMPT	0.000	0.000	0.0	0.0000	31.21	0.00
SUBTOTAL:		259 PARCELS				366.8680		\$11,447.42

Zone	APN	Land Use	Acreage	Units	BUF	EDU	Rate	Levy
D	196-280-010-000	SFR	0.149	1.000	1.0	1.0000	\$58.06	\$58.06
D	196-280-020-000	SFR	0.149	1.000	1.0	1.0000	58.06	58.06
D	196-280-030-000	SFR	0.149	1.000	1.0	1.0000	58.06	58.06
D	196-280-040-000	SFR	0.168	1.000	1.0	1.0000	58.06	58.06
D	196-280-050-000	SFR	0.145	1.000	1.0	1.0000	58.06	58.06
D	196-280-060-000	SFR	0.138	1.000	1.0	1.0000	58.06	58.06
D	196-280-070-000	SFR	0.144	1.000	1.0	1.0000	58.06	58.06
D	196-280-080-000	SFR	0.168	1.000	1.0	1.0000	58.06	58.06
D	196-280-090-000	SFR	0.202	1.000	1.0	1.0000	58.06	58.06
D	196-280-100-000	SFR	0.177	1.000	1.0	1.0000	58.06	58.06
D	196-280-110-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-280-120-000	SFR	0.139	1.000	1.0	1.0000	58.06	58.06
D	196-280-130-000	SFR	0.145	1.000	1.0	1.0000	58.06	58.06
D	196-280-140-000	SFR	0.140	1.000	1.0	1.0000	58.06	58.06
D	196-280-150-000	SFR	0.139	1.000	1.0	1.0000	58.06	58.06
D	196-280-160-000	SFR	0.140	1.000	1.0	1.0000	58.06	58.06
D	196-280-170-000	SFR	0.149	1.000	1.0	1.0000	58.06	58.06
D	196-280-180-000	SFR	0.148	1.000	1.0	1.0000	58.06	58.06
D	196-280-190-000	SFR	0.153	1.000	1.0	1.0000	58.06	58.06
D	196-280-200-000	SFR	0.144	1.000	1.0	1.0000	58.06	58.06
D	196-280-210-000	SFR	0.139	1.000	1.0	1.0000	58.06	58.06
D	196-280-220-000	SFR	0.140	1.000	1.0	1.0000	58.06	58.06
D	196-280-230-000	SFR	0.141	1.000	1.0	1.0000	58.06	58.06
D	196-280-240-000	SFR	0.148	1.000	1.0	1.0000	58.06	58.06
D	196-280-250-000	SFR	0.144	1.000	1.0	1.0000	58.06	58.06
D	196-280-260-000	SFR	0.144	1.000	1.0	1.0000	58.06	58.06
D	196-280-270-000	SFR	0.144	1.000	1.0	1.0000	58.06	58.06
D	196-280-280-000	SFR	0.144	1.000	1.0	1.0000	58.06	58.06
D	196-280-290-000	SFR	0.144	1.000	1.0	1.0000	58.06	58.06
D	196-280-300-000	SFR	0.144	1.000	1.0	1.0000	58.06	58.06
D	196-280-310-000	SFR	0.146	1.000	1.0	1.0000	58.06	58.06
D	196-280-320-000	SFR	0.145	1.000	1.0	1.0000	58.06	58.06
D	196-280-330-000	SFR	0.140	1.000	1.0	1.0000	58.06	58.06
D	196-280-340-000	SFR	0.140	1.000	1.0	1.0000	58.06	58.06
D	196-280-350-000	SFR	0.140	1.000	1.0	1.0000	58.06	58.06
D	196-280-360-000	SFR	0.140	1.000	1.0	1.0000	58.06	58.06
D	196-280-370-000	SFR	0.140	1.000	1.0	1.0000	58.06	58.06

CITY OF LATHROP
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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
D	196-280-380-000	SFR	0.140	1.000	1.0	1.0000	58.06	58.06
D	196-280-390-000	SFR	0.140	1.000	1.0	1.0000	58.06	58.06
D	196-280-400-000	SFR	0.140	1.000	1.0	1.0000	58.06	58.06
D	196-280-410-000	SFR	0.140	1.000	1.0	1.0000	58.06	58.06
D	196-290-010-000	SFR	0.142	1.000	1.0	1.0000	58.06	58.06
D	196-290-020-000	SFR	0.142	1.000	1.0	1.0000	58.06	58.06
D	196-290-030-000	SFR	0.142	1.000	1.0	1.0000	58.06	58.06
D	196-290-040-000	SFR	0.142	1.000	1.0	1.0000	58.06	58.06
D	196-290-050-000	SFR	0.142	1.000	1.0	1.0000	58.06	58.06
D	196-290-060-000	SFR	0.142	1.000	1.0	1.0000	58.06	58.06
D	196-290-070-000	SFR	0.142	1.000	1.0	1.0000	58.06	58.06
D	196-290-080-000	SFR	0.142	1.000	1.0	1.0000	58.06	58.06
D	196-290-090-000	SFR	0.142	1.000	1.0	1.0000	58.06	58.06
D	196-290-100-000	SFR	0.142	1.000	1.0	1.0000	58.06	58.06
D	196-290-110-000	SFR	0.142	1.000	1.0	1.0000	58.06	58.06
D	196-290-120-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-290-130-000	SFR	0.142	1.000	1.0	1.0000	58.06	58.06
D	196-290-140-000	SFR	0.142	1.000	1.0	1.0000	58.06	58.06
D	196-290-150-000	SFR	0.142	1.000	1.0	1.0000	58.06	58.06
D	196-290-160-000	SFR	0.142	1.000	1.0	1.0000	58.06	58.06
D	196-290-170-000	SFR	0.142	1.000	1.0	1.0000	58.06	58.06
D	196-290-180-000	SFR	0.142	1.000	1.0	1.0000	58.06	58.06
D	196-290-190-000	SFR	0.142	1.000	1.0	1.0000	58.06	58.06
D	196-290-200-000	SFR	0.142	1.000	1.0	1.0000	58.06	58.06
D	196-290-210-000	SFR	0.140	1.000	1.0	1.0000	58.06	58.06
D	196-290-220-000	SFR	0.142	1.000	1.0	1.0000	58.06	58.06
D	196-290-230-000	SFR	0.142	1.000	1.0	1.0000	58.06	58.06
D	196-290-240-000	SFR	0.140	1.000	1.0	1.0000	58.06	58.06
D	196-290-250-000	SFR	0.143	1.000	1.0	1.0000	58.06	58.06
D	196-290-260-000	SFR	0.143	1.000	1.0	1.0000	58.06	58.06
D	196-290-290-000	SFR	0.175	1.000	1.0	1.0000	58.06	58.06
D	196-290-300-000	SFR	0.142	1.000	1.0	1.0000	58.06	58.06
D	196-290-310-000	SFR	0.139	1.000	1.0	1.0000	58.06	58.06
D	196-290-320-000	SFR	0.139	1.000	1.0	1.0000	58.06	58.06
D	196-290-330-000	SFR	0.139	1.000	1.0	1.0000	58.06	58.06
D	196-290-340-000	SFR	0.142	1.000	1.0	1.0000	58.06	58.06
D	196-290-350-000	SFR	0.139	1.000	1.0	1.0000	58.06	58.06
D	196-290-360-000	SFR	0.139	1.000	1.0	1.0000	58.06	58.06
D	196-290-370-000	SFR	0.139	1.000	1.0	1.0000	58.06	58.06
D	196-290-380-000	SFR	0.139	1.000	1.0	1.0000	58.06	58.06
D	196-290-390-000	SFR	0.139	1.000	1.0	1.0000	58.06	58.06
D	196-290-400-000	SFR	0.139	1.000	1.0	1.0000	58.06	58.06
D	196-290-410-000	SFR	0.142	1.000	1.0	1.0000	58.06	58.06
D	196-290-420-000	SFR	0.139	1.000	1.0	1.0000	58.06	58.06
D	196-290-430-000	SFR	0.147	1.000	1.0	1.0000	58.06	58.06
D	196-290-440-000	SFR	0.139	1.000	1.0	1.0000	58.06	58.06
D	196-290-450-000	SFR	0.139	1.000	1.0	1.0000	58.06	58.06
D	196-290-460-000	SFR	0.139	1.000	1.0	1.0000	58.06	58.06
D	196-290-470-000	SFR	0.148	1.000	1.0	1.0000	58.06	58.06
D	196-290-480-000	SFR	0.148	1.000	1.0	1.0000	58.06	58.06
D	196-290-490-000	SFR	0.147	1.000	1.0	1.0000	58.06	58.06
D	196-290-500-000	SFR	0.142	1.000	1.0	1.0000	58.06	58.06
D	196-290-510-000	SFR	0.148	1.000	1.0	1.0000	58.06	58.06
D	196-290-520-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-290-530-000	SFR	0.142	1.000	1.0	1.0000	58.06	58.06
D	196-290-540-000	SFR	0.148	1.000	1.0	1.0000	58.06	58.06

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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
D	196-290-550-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-290-560-000	SFR	0.147	1.000	1.0	1.0000	58.06	58.06
D	196-290-570-000	SFR	0.147	1.000	1.0	1.0000	58.06	58.06
D	196-290-580-000	SFR	0.147	1.000	1.0	1.0000	58.06	58.06
D	196-290-590-000	SFR	0.242	1.000	1.0	1.0000	58.06	58.06
D	196-290-600-000	VAC	0.172	0.250	1.0	0.2500	58.06	14.50
D	196-300-010-000	SFR	0.148	1.000	1.0	1.0000	58.06	58.06
D	196-300-020-000	SFR	0.148	1.000	1.0	1.0000	58.06	58.06
D	196-300-030-000	SFR	0.148	1.000	1.0	1.0000	58.06	58.06
D	196-300-040-000	SFR	0.148	1.000	1.0	1.0000	58.06	58.06
D	196-300-050-000	SFR	0.148	1.000	1.0	1.0000	58.06	58.06
D	196-300-060-000	SFR	0.148	1.000	1.0	1.0000	58.06	58.06
D	196-300-070-000	SFR	0.139	1.000	1.0	1.0000	58.06	58.06
D	196-300-080-000	SFR	0.139	1.000	1.0	1.0000	58.06	58.06
D	196-300-090-000	SFR	0.139	1.000	1.0	1.0000	58.06	58.06
D	196-300-100-000	SFR	0.139	1.000	1.0	1.0000	58.06	58.06
D	196-300-110-000	SFR	0.139	1.000	1.0	1.0000	58.06	58.06
D	196-300-120-000	SFR	0.139	1.000	1.0	1.0000	58.06	58.06
D	196-300-130-000	SFR	0.139	1.000	1.0	1.0000	58.06	58.06
D	196-300-140-000	SFR	0.139	1.000	1.0	1.0000	58.06	58.06
D	196-300-150-000	SFR	0.139	1.000	1.0	1.0000	58.06	58.06
D	196-300-160-000	SFR	0.139	1.000	1.0	1.0000	58.06	58.06
D	196-300-170-000	SFR	0.139	1.000	1.0	1.0000	58.06	58.06
D	196-300-180-000	SFR	0.139	1.000	1.0	1.0000	58.06	58.06
D	196-300-190-000	SFR	0.139	1.000	1.0	1.0000	58.06	58.06
D	196-300-200-000	SFR	0.139	1.000	1.0	1.0000	58.06	58.06
D	196-300-210-000	SFR	0.139	1.000	1.0	1.0000	58.06	58.06
D	196-300-220-000	SFR	0.139	1.000	1.0	1.0000	58.06	58.06
D	196-300-230-000	SFR	0.173	1.000	1.0	1.0000	58.06	58.06
D	196-300-240-000	SFR	0.173	1.000	1.0	1.0000	58.06	58.06
D	196-300-250-000	SFR	0.138	1.000	1.0	1.0000	58.06	58.06
D	196-300-260-000	SFR	0.136	1.000	1.0	1.0000	58.06	58.06
D	196-300-270-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-300-280-000	SFR	0.146	1.000	1.0	1.0000	58.06	58.06
D	196-300-290-000	SFR	0.790	1.000	1.0	1.0000	58.06	58.06
D	196-300-300-000	SFR	0.514	1.000	1.0	1.0000	58.06	58.06
D	196-300-310-000	SFR	1.210	1.000	1.0	1.0000	58.06	58.06
D	196-300-320-000	SFR	0.340	1.000	1.0	1.0000	58.06	58.06
D	196-300-330-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-300-340-000	SFR	0.201	1.000	1.0	1.0000	58.06	58.06
D	196-300-350-000	SFR	0.187	1.000	1.0	1.0000	58.06	58.06
D	196-300-360-000	SFR	0.176	1.000	1.0	1.0000	58.06	58.06
D	196-300-370-000	SFR	0.160	1.000	1.0	1.0000	58.06	58.06
D	196-300-380-000	SFR	0.136	1.000	1.0	1.0000	58.06	58.06
D	196-300-390-000	SFR	0.138	1.000	1.0	1.0000	58.06	58.06
D	196-300-400-000	SFR	0.138	1.000	1.0	1.0000	58.06	58.06
D	196-300-410-000	SFR	0.154	1.000	1.0	1.0000	58.06	58.06
D	196-300-420-000	SFR	0.136	1.000	1.0	1.0000	58.06	58.06
D	196-300-430-000	SFR	0.136	1.000	1.0	1.0000	58.06	58.06
D	196-300-440-000	SFR	0.136	1.000	1.0	1.0000	58.06	58.06
D	196-300-450-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-300-460-000	SFR	0.136	1.000	1.0	1.0000	58.06	58.06
D	196-300-470-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-310-010-000	SFR	0.241	1.000	1.0	1.0000	58.06	58.06
D	196-310-020-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-310-030-000	SFR	0.238	1.000	1.0	1.0000	58.06	58.06

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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
D	196-310-040-000	SFR	0.240	1.000	1.0	1.0000	58.06	58.06
D	196-310-050-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-310-060-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-310-070-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-310-080-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-310-090-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-310-100-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-310-110-000	SFR	0.241	1.000	1.0	1.0000	58.06	58.06
D	196-310-120-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-310-130-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-310-140-000	SFR	0.231	1.000	1.0	1.0000	58.06	58.06
D	196-310-150-000	SFR	0.241	1.000	1.0	1.0000	58.06	58.06
D	196-310-160-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-310-170-000	SFR	0.247	1.000	1.0	1.0000	58.06	58.06
D	196-310-180-000	SFR	0.215	1.000	1.0	1.0000	58.06	58.06
D	196-310-190-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-310-200-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-310-210-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-310-220-000	SFR	0.206	1.000	1.0	1.0000	58.06	58.06
D	196-310-230-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-310-240-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-310-250-000	SFR	0.238	1.000	1.0	1.0000	58.06	58.06
D	196-310-260-000	SFR	0.238	1.000	1.0	1.0000	58.06	58.06
D	196-310-270-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-310-280-000	SFR	0.234	1.000	1.0	1.0000	58.06	58.06
D	196-310-290-000	VAC-RESTR DEV	1.470	1.470	0.5	0.7350	58.06	42.66
D	196-310-300-000	VAC-RESTR DEV	0.057	0.250	0.5	0.1250	58.06	7.24
D	196-310-310-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-310-320-000	SFR	0.228	1.000	1.0	1.0000	58.06	58.06
D	196-310-330-000	SFR	0.228	1.000	1.0	1.0000	58.06	58.06
D	196-310-340-000	SFR	0.228	1.000	1.0	1.0000	58.06	58.06
D	196-310-350-000	SFR	0.219	1.000	1.0	1.0000	58.06	58.06
D	196-310-360-000	SFR	0.235	1.000	1.0	1.0000	58.06	58.06
D	196-310-370-000	SFR	0.228	1.000	1.0	1.0000	58.06	58.06
D	196-310-380-000	SFR	0.228	1.000	1.0	1.0000	58.06	58.06
D	196-310-390-000	SFR	0.228	1.000	1.0	1.0000	58.06	58.06
D	196-310-400-000	SFR	0.236	1.000	1.0	1.0000	58.06	58.06
D	196-310-410-000	SFR	0.236	1.000	1.0	1.0000	58.06	58.06
D	196-310-420-000	SFR	0.240	1.000	1.0	1.0000	58.06	58.06
D	196-310-430-000	SFR	0.230	1.000	1.0	1.0000	58.06	58.06
D	196-320-010-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-320-020-000	SFR	0.300	1.000	1.0	1.0000	58.06	58.06
D	196-320-030-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-320-040-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-320-050-000	SFR	0.228	1.000	1.0	1.0000	58.06	58.06
D	196-320-060-000	SFR	0.228	1.000	1.0	1.0000	58.06	58.06
D	196-320-070-000	SFR	0.228	1.000	1.0	1.0000	58.06	58.06
D	196-320-080-000	SFR	0.244	1.000	1.0	1.0000	58.06	58.06
D	196-320-090-000	SFR	0.228	1.000	1.0	1.0000	58.06	58.06
D	196-320-100-000	SFR	0.228	1.000	1.0	1.0000	58.06	58.06
D	196-320-110-000	SFR	0.228	1.000	1.0	1.0000	58.06	58.06
D	196-320-120-000	SFR	0.228	1.000	1.0	1.0000	58.06	58.06
D	196-320-130-000	SFR	0.236	1.000	1.0	1.0000	58.06	58.06
D	196-320-140-000	SFR	0.236	1.000	1.0	1.0000	58.06	58.06
D	196-320-150-000	SFR	0.228	1.000	1.0	1.0000	58.06	58.06
D	196-320-160-000	SFR	0.238	1.000	1.0	1.0000	58.06	58.06

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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
D	196-320-170-000	SFR	0.218	1.000	1.0	1.0000	58.06	58.06
D	196-320-180-000	SFR	0.224	1.000	1.0	1.0000	58.06	58.06
D	196-320-190-000	SFR	0.227	1.000	1.0	1.0000	58.06	58.06
D	196-320-200-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-320-210-000	SFR	0.217	1.000	1.0	1.0000	58.06	58.06
D	196-320-220-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-330-010-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-330-020-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-330-030-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-330-040-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-330-050-000	SFR	0.231	1.000	1.0	1.0000	58.06	58.06
D	196-330-060-000	SFR	0.231	1.000	1.0	1.0000	58.06	58.06
D	196-330-070-000	SFR	0.231	1.000	1.0	1.0000	58.06	58.06
D	196-330-080-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-330-090-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-330-100-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-330-110-000	SFR	0.282	1.000	1.0	1.0000	58.06	58.06
D	196-330-120-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-330-130-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-330-140-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-330-150-000	SFR	0.282	1.000	1.0	1.0000	58.06	58.06
D	196-330-160-000	SFR	0.244	1.000	1.0	1.0000	58.06	58.06
D	196-330-170-000	SFR	0.254	1.000	1.0	1.0000	58.06	58.06
D	196-330-180-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-330-190-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-340-020-000	SFR	0.251	1.000	1.0	1.0000	58.06	58.06
D	196-340-030-000	SFR	0.206	1.000	1.0	1.0000	58.06	58.06
D	196-340-040-000	SFR	0.266	1.000	1.0	1.0000	58.06	58.06
D	196-340-050-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-340-060-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-340-070-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-340-080-000	SFR	0.241	1.000	1.0	1.0000	58.06	58.06
D	196-340-090-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-340-100-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-340-110-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-340-120-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-340-130-000	SFR	0.190	1.000	1.0	1.0000	58.06	58.06
D	196-340-140-000	SFR	0.236	1.000	1.0	1.0000	58.06	58.06
D	196-340-150-000	SFR	0.263	1.000	1.0	1.0000	58.06	58.06
D	196-340-160-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-340-170-000	SFR	0.229	1.000	1.0	1.0000	58.06	58.06
D	196-340-180-000	SFR	0.238	1.000	1.0	1.0000	58.06	58.06
D	196-340-190-000	SFR	0.644	1.000	1.0	1.0000	58.06	58.06
D	196-340-200-000	SFR	0.223	1.000	1.0	1.0000	58.06	58.06
D	196-370-010-000	SFR	0.126	1.000	1.0	1.0000	58.06	58.06
D	196-370-020-000	SFR	0.123	1.000	1.0	1.0000	58.06	58.06
D	196-370-030-000	SFR	0.123	1.000	1.0	1.0000	58.06	58.06
D	196-370-040-000	SFR	0.123	1.000	1.0	1.0000	58.06	58.06
D	196-370-050-000	SFR	0.123	1.000	1.0	1.0000	58.06	58.06
D	196-370-060-000	SFR	0.123	1.000	1.0	1.0000	58.06	58.06
D	196-370-070-000	SFR	0.123	1.000	1.0	1.0000	58.06	58.06
D	196-370-080-000	SFR	0.123	1.000	1.0	1.0000	58.06	58.06
D	196-370-090-000	SFR	0.123	1.000	1.0	1.0000	58.06	58.06
D	196-370-100-000	SFR	0.123	1.000	1.0	1.0000	58.06	58.06
D	196-370-110-000	SFR	0.123	1.000	1.0	1.0000	58.06	58.06
D	196-370-120-000	SFR	0.123	1.000	1.0	1.0000	58.06	58.06

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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
D	196-370-130-000	SFR	0.123	1.000	1.0	1.0000	58.06	58.06
D	196-370-140-000	SFR	0.132	1.000	1.0	1.0000	58.06	58.06
D	196-370-150-000	SFR	0.124	1.000	1.0	1.0000	58.06	58.06
D	196-370-160-000	SFR	0.124	1.000	1.0	1.0000	58.06	58.06
D	196-370-170-000	SFR	0.124	1.000	1.0	1.0000	58.06	58.06
D	196-370-180-000	SFR	0.138	1.000	1.0	1.0000	58.06	58.06
D	196-370-190-000	SFR	0.124	1.000	1.0	1.0000	58.06	58.06
D	196-370-200-000	SFR	0.115	1.000	1.0	1.0000	58.06	58.06
D	196-370-210-000	SFR	0.117	1.000	1.0	1.0000	58.06	58.06
D	196-370-220-000	SFR	0.119	1.000	1.0	1.0000	58.06	58.06
D	196-370-230-000	SFR	0.120	1.000	1.0	1.0000	58.06	58.06
D	196-370-240-000	SFR	0.129	1.000	1.0	1.0000	58.06	58.06
D	196-370-250-000	SFR	0.208	1.000	1.0	1.0000	58.06	58.06
D	196-370-260-000	SFR	0.206	1.000	1.0	1.0000	58.06	58.06
D	196-370-270-000	SFR	0.125	1.000	1.0	1.0000	58.06	58.06
D	196-370-280-000	SFR	0.173	1.000	1.0	1.0000	58.06	58.06
D	196-370-290-000	SFR	0.172	1.000	1.0	1.0000	58.06	58.06
D	196-370-300-000	SFR	0.173	1.000	1.0	1.0000	58.06	58.06
D	196-370-310-000	SFR	0.177	1.000	1.0	1.0000	58.06	58.06
D	196-370-320-000	SFR	0.172	1.000	1.0	1.0000	58.06	58.06
D	196-370-330-000	SFR	0.173	1.000	1.0	1.0000	58.06	58.06
D	196-370-340-000	SFR	0.119	1.000	1.0	1.0000	58.06	58.06
D	196-370-350-000	SFR	0.120	1.000	1.0	1.0000	58.06	58.06
D	196-370-360-000	SFR	0.120	1.000	1.0	1.0000	58.06	58.06
D	196-370-370-000	SFR	0.119	1.000	1.0	1.0000	58.06	58.06
D	196-370-380-000	SFR	0.123	1.000	1.0	1.0000	58.06	58.06
D	196-370-390-000	SFR	0.114	1.000	1.0	1.0000	58.06	58.06
D	196-370-400-000	SFR	0.114	1.000	1.0	1.0000	58.06	58.06
D	196-370-410-000	SFR	0.114	1.000	1.0	1.0000	58.06	58.06
D	196-370-420-000	SFR	0.114	1.000	1.0	1.0000	58.06	58.06
D	196-370-430-000	SFR	0.114	1.000	1.0	1.0000	58.06	58.06
D	196-370-440-000	SFR	0.114	1.000	1.0	1.0000	58.06	58.06
D	196-370-450-000	SFR	0.114	1.000	1.0	1.0000	58.06	58.06
D	196-370-460-000	SFR	0.114	1.000	1.0	1.0000	58.06	58.06
D	196-370-470-000	SFR	0.120	1.000	1.0	1.0000	58.06	58.06
D	196-370-480-000	SFR	0.125	1.000	1.0	1.0000	58.06	58.06
D	196-370-490-000	SFR	0.116	1.000	1.0	1.0000	58.06	58.06
D	196-370-500-000	SFR	0.116	1.000	1.0	1.0000	58.06	58.06
D	196-370-510-000	SFR	0.116	1.000	1.0	1.0000	58.06	58.06
D	196-370-520-000	SFR	0.116	1.000	1.0	1.0000	58.06	58.06
D	196-370-530-000	SFR	0.116	1.000	1.0	1.0000	58.06	58.06
D	196-370-540-000	SFR	0.116	1.000	1.0	1.0000	58.06	58.06
D	196-370-550-000	SFR	0.116	1.000	1.0	1.0000	58.06	58.06
D	196-370-560-000	SFR	0.116	1.000	1.0	1.0000	58.06	58.06
D	196-370-570-000	SFR	0.126	1.000	1.0	1.0000	58.06	58.06
D	196-370-580-000	SFR	0.129	1.000	1.0	1.0000	58.06	58.06
D	196-370-590-000	SFR	0.116	1.000	1.0	1.0000	58.06	58.06
D	196-370-600-000	SFR	0.116	1.000	1.0	1.0000	58.06	58.06
D	196-370-610-000	SFR	0.116	1.000	1.0	1.0000	58.06	58.06
D	196-370-620-000	SFR	0.116	1.000	1.0	1.0000	58.06	58.06
D	196-370-630-000	SFR	0.116	1.000	1.0	1.0000	58.06	58.06
D	196-370-640-000	SFR	0.116	1.000	1.0	1.0000	58.06	58.06
D	196-370-650-000	SFR	0.116	1.000	1.0	1.0000	58.06	58.06
D	196-370-660-000	SFR	0.116	1.000	1.0	1.0000	58.06	58.06
D	196-370-670-000	SFR	0.126	1.000	1.0	1.0000	58.06	58.06
D	196-370-680-000	SFR	0.123	1.000	1.0	1.0000	58.06	58.06

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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
D	196-370-690-000	SFR	0.117	1.000	1.0	1.0000	58.06	58.06
D	196-370-700-000	SFR	0.117	1.000	1.0	1.0000	58.06	58.06
D	196-370-710-000	SFR	0.117	1.000	1.0	1.0000	58.06	58.06
D	196-370-720-000	SFR	0.117	1.000	1.0	1.0000	58.06	58.06
D	196-370-730-000	SFR	0.117	1.000	1.0	1.0000	58.06	58.06
D	196-370-740-000	SFR	0.117	1.000	1.0	1.0000	58.06	58.06
D	196-370-750-000	SFR	0.117	1.000	1.0	1.0000	58.06	58.06
D	196-370-760-000	SFR	0.119	1.000	1.0	1.0000	58.06	58.06
D	196-370-770-000	SFR	0.117	1.000	1.0	1.0000	58.06	58.06
D	196-370-780-000	SFR	0.135	1.000	1.0	1.0000	58.06	58.06
D	196-370-790-000	SFR	0.251	1.000	1.0	1.0000	58.06	58.06
D	196-370-800-000	SFR	0.139	1.000	1.0	1.0000	58.06	58.06
D	196-370-810-000	SFR	0.116	1.000	1.0	1.0000	58.06	58.06
D	196-370-820-000	SFR	0.117	1.000	1.0	1.0000	58.06	58.06
D	196-370-830-000	SFR	0.117	1.000	1.0	1.0000	58.06	58.06
D	196-370-840-000	SFR	0.117	1.000	1.0	1.0000	58.06	58.06
D	196-370-850-000	SFR	0.117	1.000	1.0	1.0000	58.06	58.06
D	196-370-860-000	SFR	0.117	1.000	1.0	1.0000	58.06	58.06
D	196-370-870-000	SFR	0.117	1.000	1.0	1.0000	58.06	58.06
D	196-370-880-000	SFR	0.144	1.000	1.0	1.0000	58.06	58.06
D	196-370-890-000	SFR	0.172	1.000	1.0	1.0000	58.06	58.06
D	196-370-900-000	SFR	0.172	1.000	1.0	1.0000	58.06	58.06
D	196-370-910-000	SFR	0.172	1.000	1.0	1.0000	58.06	58.06
D	196-370-920-000	SFR	0.172	1.000	1.0	1.0000	58.06	58.06
D	196-370-930-000	SFR	0.172	1.000	1.0	1.0000	58.06	58.06
D	196-380-010-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-380-020-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-380-030-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-380-040-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-380-050-000	SFR	0.151	1.000	1.0	1.0000	58.06	58.06
D	196-380-060-000	SFR	0.197	1.000	1.0	1.0000	58.06	58.06
D	196-380-070-000	SFR	0.169	1.000	1.0	1.0000	58.06	58.06
D	196-380-080-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-380-090-000	SFR	0.144	1.000	1.0	1.0000	58.06	58.06
D	196-380-100-000	SFR	0.144	1.000	1.0	1.0000	58.06	58.06
D	196-380-110-000	SFR	0.144	1.000	1.0	1.0000	58.06	58.06
D	196-380-120-000	SFR	0.140	1.000	1.0	1.0000	58.06	58.06
D	196-380-130-000	SFR	0.144	1.000	1.0	1.0000	58.06	58.06
D	196-380-140-000	SFR	0.144	1.000	1.0	1.0000	58.06	58.06
D	196-380-150-000	SFR	0.143	1.000	1.0	1.0000	58.06	58.06
D	196-380-160-000	SFR	0.143	1.000	1.0	1.0000	58.06	58.06
D	196-380-170-000	SFR	0.143	1.000	1.0	1.0000	58.06	58.06
D	196-380-180-000	SFR	0.145	1.000	1.0	1.0000	58.06	58.06
D	196-380-190-000	SFR	0.161	1.000	1.0	1.0000	58.06	58.06
D	196-380-200-000	SFR	0.143	1.000	1.0	1.0000	58.06	58.06
D	196-380-210-000	SFR	0.148	1.000	1.0	1.0000	58.06	58.06
D	196-380-220-000	SFR	0.160	1.000	1.0	1.0000	58.06	58.06
D	196-380-230-000	SFR	0.170	1.000	1.0	1.0000	58.06	58.06
D	196-380-240-000	SFR	0.180	1.000	1.0	1.0000	58.06	58.06
D	196-380-250-000	SFR	0.165	1.000	1.0	1.0000	58.06	58.06
D	196-380-260-000	SFR	0.158	1.000	1.0	1.0000	58.06	58.06
D	196-380-270-000	SFR	0.138	1.000	1.0	1.0000	58.06	58.06
D	196-380-280-000	SFR	0.182	1.000	1.0	1.0000	58.06	58.06
D	196-380-290-000	SFR	0.146	1.000	1.0	1.0000	58.06	58.06
D	196-380-300-000	SFR	0.153	1.000	1.0	1.0000	58.06	58.06
D	196-380-310-000	SFR	0.151	1.000	1.0	1.0000	58.06	58.06

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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
D	196-380-320-000	SFR	0.161	1.000	1.0	1.0000	58.06	58.06
D	196-380-330-000	SFR	0.161	1.000	1.0	1.0000	58.06	58.06
D	196-380-340-000	SFR	0.166	1.000	1.0	1.0000	58.06	58.06
D	196-380-350-000	SFR	0.138	1.000	1.0	1.0000	58.06	58.06
D	196-380-360-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-380-370-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-380-380-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-380-390-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-380-400-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-380-410-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-380-420-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-380-430-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-380-440-000	SFR	0.138	1.000	1.0	1.0000	58.06	58.06
D	196-380-450-000	SFR	0.138	1.000	1.0	1.0000	58.06	58.06
D	196-380-460-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-380-470-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-380-480-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-380-490-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-380-500-000	VAC-RESTR DEV	0.980	0.980	0.5	0.4900	58.06	28.44
D	196-390-010-000	SFR	0.255	1.000	1.0	1.0000	58.06	58.06
D	196-390-020-000	SFR	0.225	1.000	1.0	1.0000	58.06	58.06
D	196-390-030-000	SFR	0.213	1.000	1.0	1.0000	58.06	58.06
D	196-390-040-000	SFR	0.196	1.000	1.0	1.0000	58.06	58.06
D	196-390-050-000	MFR	0.183	2.000	0.7	1.4000	58.06	81.28
D	196-390-060-000	SFR	0.176	1.000	1.0	1.0000	58.06	58.06
D	196-390-070-000	SFR	0.172	1.000	1.0	1.0000	58.06	58.06
D	196-390-080-000	SFR	0.176	1.000	1.0	1.0000	58.06	58.06
D	196-390-090-000	SFR	0.252	1.000	1.0	1.0000	58.06	58.06
D	196-390-100-000	SFR	0.296	1.000	1.0	1.0000	58.06	58.06
D	196-390-110-000	SFR	0.149	1.000	1.0	1.0000	58.06	58.06
D	196-390-120-000	SFR	0.153	1.000	1.0	1.0000	58.06	58.06
D	196-390-130-000	SFR	0.151	1.000	1.0	1.0000	58.06	58.06
D	196-390-140-000	SFR	0.153	1.000	1.0	1.0000	58.06	58.06
D	196-390-150-000	SFR	0.150	1.000	1.0	1.0000	58.06	58.06
D	196-390-160-000	SFR	0.145	1.000	1.0	1.0000	58.06	58.06
D	196-390-170-000	SFR	0.138	1.000	1.0	1.0000	58.06	58.06
D	196-390-180-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-390-190-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-390-200-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-390-210-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-390-220-000	SFR	0.138	1.000	1.0	1.0000	58.06	58.06
D	196-390-230-000	SFR	0.138	1.000	1.0	1.0000	58.06	58.06
D	196-390-240-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-390-250-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-390-260-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-390-270-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-390-280-000	SFR	0.138	1.000	1.0	1.0000	58.06	58.06
D	196-390-290-000	SFR	0.149	1.000	1.0	1.0000	58.06	58.06
D	196-390-300-000	SFR	0.166	1.000	1.0	1.0000	58.06	58.06
D	196-390-310-000	SFR	0.144	1.000	1.0	1.0000	58.06	58.06
D	196-390-320-000	SFR	0.144	1.000	1.0	1.0000	58.06	58.06
D	196-390-330-000	SFR	0.144	1.000	1.0	1.0000	58.06	58.06
D	196-390-340-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-390-350-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-390-360-000	SFR	0.138	1.000	1.0	1.0000	58.06	58.06
D	196-390-370-000	SFR	0.138	1.000	1.0	1.0000	58.06	58.06

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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
D	196-390-380-000	SFR	0.138	1.000	1.0	1.0000	58.06	58.06
D	196-390-390-000	SFR	0.138	1.000	1.0	1.0000	58.06	58.06
D	196-390-400-000	SFR	0.138	1.000	1.0	1.0000	58.06	58.06
D	196-390-410-000	SFR	0.149	1.000	1.0	1.0000	58.06	58.06
D	196-390-420-000	SFR	0.149	1.000	1.0	1.0000	58.06	58.06
D	196-390-430-000	SFR	0.149	1.000	1.0	1.0000	58.06	58.06
D	196-390-440-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-390-450-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-390-460-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-390-470-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-390-480-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-390-490-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-390-500-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-390-510-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-390-520-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-390-530-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-390-540-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-390-550-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-390-560-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-390-570-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-390-580-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-390-590-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-390-600-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-390-610-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-390-620-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-390-630-000	SFR	0.140	1.000	1.0	1.0000	58.06	58.06
D	196-400-010-000	SFR	0.144	1.000	1.0	1.0000	58.06	58.06
D	196-400-020-000	SFR	0.172	1.000	1.0	1.0000	58.06	58.06
D	196-400-030-000	SFR	0.159	1.000	1.0	1.0000	58.06	58.06
D	196-400-040-000	SFR	0.134	1.000	1.0	1.0000	58.06	58.06
D	196-400-050-000	SFR	0.142	1.000	1.0	1.0000	58.06	58.06
D	196-400-060-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-400-070-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-400-080-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-400-090-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-400-100-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-400-110-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-400-120-000	SFR	0.149	1.000	1.0	1.0000	58.06	58.06
D	196-400-130-000	SFR	0.149	1.000	1.0	1.0000	58.06	58.06
D	196-400-140-000	SFR	0.151	1.000	1.0	1.0000	58.06	58.06
D	196-400-150-000	MFR	0.183	2.000	0.7	1.4000	58.06	81.28
D	196-400-160-000	SFR	0.182	1.000	1.0	1.0000	58.06	58.06
D	196-400-170-000	MFR	0.151	2.000	0.7	1.4000	58.06	81.28
D	196-400-180-000	SFR	0.149	1.000	1.0	1.0000	58.06	58.06
D	196-400-190-000	SFR	0.149	1.000	1.0	1.0000	58.06	58.06
D	196-400-200-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-400-210-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-400-220-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-400-230-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-400-240-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-400-250-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-400-260-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-400-270-000	SFR	0.124	1.000	1.0	1.0000	58.06	58.06
D	196-400-280-000	SFR	0.105	1.000	1.0	1.0000	58.06	58.06
D	196-400-290-000	SFR	0.193	1.000	1.0	1.0000	58.06	58.06
D	196-400-300-000	SFR	0.144	1.000	1.0	1.0000	58.06	58.06

CITY OF LATHROP
RESIDENTIAL LIGHTING MAINTENANCE DISTRICT
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PARCEL LISTING

Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
D	196-400-310-000	SFR	0.130	1.000	1.0	1.0000	58.06	58.06
D	196-400-320-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-400-330-000	SFR	0.140	1.000	1.0	1.0000	58.06	58.06
D	196-410-010-000	SFR	0.144	1.000	1.0	1.0000	58.06	58.06
D	196-410-020-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-410-030-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-410-040-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-410-050-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-410-060-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-410-070-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-410-080-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-410-090-000	SFR	0.149	1.000	1.0	1.0000	58.06	58.06
D	196-410-100-000	SFR	0.151	1.000	1.0	1.0000	58.06	58.06
D	196-410-110-000	SFR	0.149	1.000	1.0	1.0000	58.06	58.06
D	196-410-120-000	SFR	0.149	1.000	1.0	1.0000	58.06	58.06
D	196-410-130-000	SFR	0.149	1.000	1.0	1.0000	58.06	58.06
D	196-410-140-000	SFR	0.149	1.000	1.0	1.0000	58.06	58.06
D	196-410-150-000	SFR	0.151	1.000	1.0	1.0000	58.06	58.06
D	196-410-160-000	SFR	0.149	1.000	1.0	1.0000	58.06	58.06
D	196-410-170-000	SFR	0.149	1.000	1.0	1.0000	58.06	58.06
D	196-410-180-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-410-190-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-410-200-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-410-210-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-410-220-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-410-230-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-410-240-000	SFR	0.144	1.000	1.0	1.0000	58.06	58.06
D	196-420-010-000	SFR	0.140	1.000	1.0	1.0000	58.06	58.06
D	196-420-020-000	SFR	0.140	1.000	1.0	1.0000	58.06	58.06
D	196-420-030-000	SFR	0.140	1.000	1.0	1.0000	58.06	58.06
D	196-420-040-000	SFR	0.139	1.000	1.0	1.0000	58.06	58.06
D	196-420-050-000	SFR	0.139	1.000	1.0	1.0000	58.06	58.06
D	196-420-060-000	SFR	0.139	1.000	1.0	1.0000	58.06	58.06
D	196-420-070-000	SFR	0.139	1.000	1.0	1.0000	58.06	58.06
D	196-420-080-000	SFR	0.165	1.000	1.0	1.0000	58.06	58.06
D	196-420-090-000	SFR	0.160	1.000	1.0	1.0000	58.06	58.06
D	196-420-100-000	SFR	0.151	1.000	1.0	1.0000	58.06	58.06
D	196-420-110-000	SFR	0.151	1.000	1.0	1.0000	58.06	58.06
D	196-420-120-000	SFR	0.142	1.000	1.0	1.0000	58.06	58.06
D	196-420-130-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-420-140-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-420-150-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-420-160-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-420-170-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-420-180-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-420-190-000	SFR	0.149	1.000	1.0	1.0000	58.06	58.06
D	196-420-200-000	SFR	0.149	1.000	1.0	1.0000	58.06	58.06
D	196-420-210-000	SFR	0.151	1.000	1.0	1.0000	58.06	58.06
D	196-420-220-000	SFR	0.151	1.000	1.0	1.0000	58.06	58.06
D	196-420-230-000	SFR	0.149	1.000	1.0	1.0000	58.06	58.06
D	196-420-240-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-420-250-000	SFR	0.149	1.000	1.0	1.0000	58.06	58.06
D	196-420-260-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-420-270-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-420-280-000	SFR	0.130	1.000	1.0	1.0000	58.06	58.06
D	196-420-290-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06

CITY OF LATHROP
RESIDENTIAL LIGHTING MAINTENANCE DISTRICT
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PARCEL LISTING

Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
D	196-420-300-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-420-310-000	SFR	0.144	1.000	1.0	1.0000	58.06	58.06
D	196-420-320-000	SFR	0.153	1.000	1.0	1.0000	58.06	58.06
D	196-430-010-000	SFR	0.149	1.000	1.0	1.0000	58.06	58.06
D	196-430-020-000	SFR	0.149	1.000	1.0	1.0000	58.06	58.06
D	196-430-030-000	SFR	0.149	1.000	1.0	1.0000	58.06	58.06
D	196-430-040-000	SFR	0.149	1.000	1.0	1.0000	58.06	58.06
D	196-430-050-000	VAC-RESTR DEV	0.730	0.730	0.5	0.3650	58.06	21.18
D	196-430-060-000	VAC-RESTR DEV	0.460	0.460	0.5	0.2300	58.06	13.34
D	196-430-070-000	SFR	0.149	1.000	1.0	1.0000	58.06	58.06
D	196-430-080-000	MFR	0.149	2.000	0.7	1.4000	58.06	81.28
D	196-430-090-000	SFR	0.149	1.000	1.0	1.0000	58.06	58.06
D	196-430-100-000	SFR	0.160	1.000	1.0	1.0000	58.06	58.06
D	196-430-110-000	MFR	0.173	2.000	0.7	1.4000	58.06	81.28
D	196-430-120-000	SFR	0.168	1.000	1.0	1.0000	58.06	58.06
D	196-430-130-000	MFR	0.181	2.000	0.7	1.4000	58.06	81.28
D	196-430-140-000	MFR	0.200	2.000	0.7	1.4000	58.06	81.28
D	196-430-170-000	SFR	0.127	1.000	1.0	1.0000	58.06	58.06
D	196-430-180-000	SFR	0.204	1.000	1.0	1.0000	58.06	58.06
D	196-430-190-000	SFR	0.203	1.000	1.0	1.0000	58.06	58.06
D	196-430-200-000	SFR	0.203	1.000	1.0	1.0000	58.06	58.06
D	196-430-210-000	SFR	0.203	1.000	1.0	1.0000	58.06	58.06
D	196-430-220-000	SFR	0.202	1.000	1.0	1.0000	58.06	58.06
D	196-430-230-000	SFR	0.202	1.000	1.0	1.0000	58.06	58.06
D	196-430-240-000	SFR	0.202	1.000	1.0	1.0000	58.06	58.06
D	196-430-250-000	SFR	0.201	1.000	1.0	1.0000	58.06	58.06
D	196-430-260-000	SFR	0.201	1.000	1.0	1.0000	58.06	58.06
D	196-430-270-000	SFR	0.200	1.000	1.0	1.0000	58.06	58.06
D	196-430-280-000	SFR	0.200	1.000	1.0	1.0000	58.06	58.06
D	196-430-290-000	SFR	0.200	1.000	1.0	1.0000	58.06	58.06
D	196-430-300-000	SFR	0.199	1.000	1.0	1.0000	58.06	58.06
D	196-430-310-000	MFR	0.185	2.000	0.7	1.4000	58.06	81.28
D	196-430-320-000	NON-RES	0.395	0.395	4.0	1.5800	58.06	91.72
D	196-430-330-000	NON-RES	0.745	0.745	4.0	2.9800	58.06	173.00
D	196-440-010-000	SFR	0.140	1.000	1.0	1.0000	58.06	58.06
D	196-440-020-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-440-030-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-440-040-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-440-050-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-440-060-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-440-070-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-440-080-000	SFR	0.149	1.000	1.0	1.0000	58.06	58.06
D	196-440-090-000	SFR	0.149	1.000	1.0	1.0000	58.06	58.06
D	196-440-100-000	MFR	0.151	2.000	0.7	1.4000	58.06	81.28
D	196-440-110-000	SFR	0.149	1.000	1.0	1.0000	58.06	58.06
D	196-440-120-000	SFR	0.149	1.000	1.0	1.0000	58.06	58.06
D	196-440-130-000	SFR	0.149	1.000	1.0	1.0000	58.06	58.06
D	196-440-140-000	MFR	0.160	2.000	0.7	1.4000	58.06	81.28
D	196-440-150-000	MFR	0.151	2.000	0.7	1.4000	58.06	81.28
D	196-440-160-000	SFR	0.149	1.000	1.0	1.0000	58.06	58.06
D	196-440-170-000	SFR	0.149	1.000	1.0	1.0000	58.06	58.06
D	196-440-180-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-440-190-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-440-200-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-440-210-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-440-220-000	SFR	0.130	1.000	1.0	1.0000	58.06	58.06

**CITY OF LATHROP
RESIDENTIAL LIGHTING MAINTENANCE DISTRICT
FISCAL YEAR 2020/21
PARCEL LISTING**

Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
D	196-440-230-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-440-240-000	SFR	0.142	1.000	1.0	1.0000	58.06	58.06
D	196-440-250-000	SFR	0.162	1.000	1.0	1.0000	58.06	58.06
D	196-440-260-000	SFR	0.134	1.000	1.0	1.0000	58.06	58.06
D	196-440-270-000	SFR	0.136	1.000	1.0	1.0000	58.06	58.06
D	196-440-280-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-440-290-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-440-300-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-440-310-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-440-320-000	SFR	0.149	1.000	1.0	1.0000	58.06	58.06
D	196-440-330-000	MFR	0.151	2.000	0.7	1.4000	58.06	81.28
D	196-440-340-000	MFR	0.181	2.000	0.7	1.4000	58.06	81.28
D	196-440-350-000	MFR	0.199	2.000	0.7	1.4000	58.06	81.28
D	196-450-010-000	SFR	0.149	1.000	1.0	1.0000	58.06	58.06
D	196-450-020-000	SFR	0.138	1.000	1.0	1.0000	58.06	58.06
D	196-450-030-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-450-040-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-450-050-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-450-060-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-450-070-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-450-080-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-450-090-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-450-100-000	SFR	0.238	1.000	1.0	1.0000	58.06	58.06
D	196-450-110-000	SFR	0.344	1.000	1.0	1.0000	58.06	58.06
D	196-450-120-000	SFR	0.149	1.000	1.0	1.0000	58.06	58.06
D	196-450-130-000	SFR	0.148	1.000	1.0	1.0000	58.06	58.06
D	196-450-140-000	SFR	0.141	1.000	1.0	1.0000	58.06	58.06
D	196-450-150-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-450-160-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-450-170-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-450-180-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-450-190-000	SFR	0.146	1.000	1.0	1.0000	58.06	58.06
D	196-450-200-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-450-210-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-450-220-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-450-230-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-450-240-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-450-250-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-450-260-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-450-270-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-450-280-000	SFR	0.156	1.000	1.0	1.0000	58.06	58.06
D	196-450-290-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-450-300-000	SFR	0.159	1.000	1.0	1.0000	58.06	58.06
D	196-460-010-000	SFR	0.144	1.000	1.0	1.0000	58.06	58.06
D	196-460-020-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-460-030-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-460-040-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-460-050-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-460-060-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-460-070-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-460-080-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-460-090-000	SFR	0.145	1.000	1.0	1.0000	58.06	58.06
D	196-460-100-000	SFR	0.177	1.000	1.0	1.0000	58.06	58.06
D	196-460-110-000	SFR	0.151	1.000	1.0	1.0000	58.06	58.06
D	196-460-120-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-460-130-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06

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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
D	196-460-140-000	SFR	0.144	1.000	1.0	1.0000	58.06	58.06
D	196-460-150-000	SFR	0.165	1.000	1.0	1.0000	58.06	58.06
D	196-460-160-000	SFR	0.158	1.000	1.0	1.0000	58.06	58.06
D	196-460-170-000	SFR	0.158	1.000	1.0	1.0000	58.06	58.06
D	196-460-180-000	SFR	0.158	1.000	1.0	1.0000	58.06	58.06
D	196-460-190-000	SFR	0.158	1.000	1.0	1.0000	58.06	58.06
D	196-460-200-000	SFR	0.158	1.000	1.0	1.0000	58.06	58.06
D	196-460-210-000	SFR	0.158	1.000	1.0	1.0000	58.06	58.06
D	196-460-220-000	SFR	0.184	1.000	1.0	1.0000	58.06	58.06
D	196-460-230-000	SFR	0.193	1.000	1.0	1.0000	58.06	58.06
D	196-460-240-000	SFR	0.308	1.000	1.0	1.0000	58.06	58.06
D	196-460-250-000	SFR	0.178	1.000	1.0	1.0000	58.06	58.06
D	196-460-260-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-460-270-000	SFR	0.137	1.000	1.0	1.0000	58.06	58.06
D	196-460-280-000	SFR	0.161	1.000	1.0	1.0000	58.06	58.06
D	196-460-290-000	SFR	0.158	1.000	1.0	1.0000	58.06	58.06
D	196-460-300-000	SFR	0.161	1.000	1.0	1.0000	58.06	58.06
D	196-460-310-000	SFR	0.161	1.000	1.0	1.0000	58.06	58.06
D	196-460-320-000	SFR	0.161	1.000	1.0	1.0000	58.06	58.06
D	196-460-330-000	SFR	0.161	1.000	1.0	1.0000	58.06	58.06
D	196-460-340-000	SFR	0.139	1.000	1.0	1.0000	58.06	58.06
D	196-460-350-000	SFR	0.159	1.000	1.0	1.0000	58.06	58.06
D	196-460-360-000	SFR	0.161	1.000	1.0	1.0000	58.06	58.06
D	196-460-370-000	SFR	0.161	1.000	1.0	1.0000	58.06	58.06
D	196-460-380-000	SFR	0.161	1.000	1.0	1.0000	58.06	58.06
D	196-460-390-000	SFR	0.161	1.000	1.0	1.0000	58.06	58.06
D	196-460-400-000	SFR	0.156	1.000	1.0	1.0000	58.06	58.06
D	196-470-010-000	MFR	0.256	4.000	0.7	2.8000	58.06	162.56
D	196-470-040-000	VAC-RESTR DEV	0.036	0.250	0.5	0.1250	58.06	7.24
D	196-470-200-000	LTD DEV	1.904	1.904	2.0	3.8200	58.06	221.78
D	196-470-210-000	NON-RES	5.740	5.740	4.0	22.9600	58.06	1,333.04
D	196-470-230-000	SFR	0.199	1.000	1.0	1.0000	58.06	58.06
D	196-470-240-000	SFR	0.315	1.000	1.0	1.0000	58.06	58.06
D	196-470-250-000	MFR	0.283	4.000	0.7	2.8000	58.06	162.56
D	196-470-260-000	MFR	0.308	4.000	0.7	2.8000	58.06	162.56
D	196-470-270-000	MFR	0.323	4.000	0.7	2.8000	58.06	162.56
D	196-470-280-000	MFR	0.327	4.000	0.7	2.8000	58.06	162.56
D	196-470-290-000	MFR	0.327	4.000	0.7	2.8000	58.06	162.56
D	196-470-300-000	MFR	0.326	4.000	0.7	2.8000	58.06	162.56
D	196-370-940-000	EXEMPT	0.000	0.000	0.0	0.0000	58.06	0.00
D	196-370-950-000	EXEMPT	0.000	0.000	0.0	0.0000	58.06	0.00
D	196-470-220-000	EXEMPT	0.000	0.000	0.0	0.0000	58.06	0.00
SUBTOTAL:		695 PARCELS				732.8600		\$42,549.58

Zone	APN	Land Use	Acreage	Units	BUF	EDU	Rate	Levy
E	196-120-010-000	SFR	0.137	1.000	1.0	1.0000	\$61.04	\$61.04
E	196-120-020-000	SFR	0.138	1.000	1.0	1.0000	61.04	61.04
E	196-120-030-000	SFR	0.140	1.000	1.0	1.0000	61.04	61.04
E	196-120-040-000	SFR	0.153	1.000	1.0	1.0000	61.04	61.04
E	196-120-050-000	SFR	0.145	1.000	1.0	1.0000	61.04	61.04
E	196-120-060-000	SFR	0.191	1.000	1.0	1.0000	61.04	61.04
E	196-120-070-000	SFR	0.158	1.000	1.0	1.0000	61.04	61.04
E	196-120-080-000	SFR	0.143	1.000	1.0	1.0000	61.04	61.04
E	196-120-090-000	SFR	0.149	1.000	1.0	1.0000	61.04	61.04
E	196-120-100-000	SFR	0.140	1.000	1.0	1.0000	61.04	61.04

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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
E	196-120-110-000	SFR	0.138	1.000	1.0	1.0000	61.04	61.04
E	196-120-120-000	SFR	0.132	1.000	1.0	1.0000	61.04	61.04
E	196-120-130-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-120-140-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-120-150-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-120-160-000	SFR	0.158	1.000	1.0	1.0000	61.04	61.04
E	196-120-170-000	SFR	0.131	1.000	1.0	1.0000	61.04	61.04
E	196-120-180-000	SFR	0.130	1.000	1.0	1.0000	61.04	61.04
E	196-120-190-000	SFR	0.130	1.000	1.0	1.0000	61.04	61.04
E	196-120-200-000	SFR	0.130	1.000	1.0	1.0000	61.04	61.04
E	196-120-210-000	SFR	0.130	1.000	1.0	1.0000	61.04	61.04
E	196-120-220-000	SFR	0.132	1.000	1.0	1.0000	61.04	61.04
E	196-120-230-000	SFR	0.133	1.000	1.0	1.0000	61.04	61.04
E	196-120-240-000	SFR	0.132	1.000	1.0	1.0000	61.04	61.04
E	196-120-250-000	SFR	0.134	1.000	1.0	1.0000	61.04	61.04
E	196-120-260-000	SFR	0.135	1.000	1.0	1.0000	61.04	61.04
E	196-120-270-000	SFR	0.140	1.000	1.0	1.0000	61.04	61.04
E	196-120-280-000	SFR	0.135	1.000	1.0	1.0000	61.04	61.04
E	196-120-290-000	SFR	0.201	1.000	1.0	1.0000	61.04	61.04
E	196-120-300-000	SFR	0.173	1.000	1.0	1.0000	61.04	61.04
E	196-120-310-000	SFR	0.139	1.000	1.0	1.0000	61.04	61.04
E	196-120-320-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-120-330-000	SFR	0.141	1.000	1.0	1.0000	61.04	61.04
E	196-120-340-000	SFR	0.204	1.000	1.0	1.0000	61.04	61.04
E	196-120-350-000	SFR	0.173	1.000	1.0	1.0000	61.04	61.04
E	196-120-360-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-120-370-000	SFR	0.138	1.000	1.0	1.0000	61.04	61.04
E	196-120-380-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-120-390-000	SFR	0.141	1.000	1.0	1.0000	61.04	61.04
E	196-120-400-000	EXEMPT	0.000	0.000	0.0	0.0000	61.04	0.00
E	196-120-410-000	SFR	0.178	1.000	1.0	1.0000	61.04	61.04
E	196-120-420-000	SFR	0.202	1.000	1.0	1.0000	61.04	61.04
E	196-120-430-000	SFR	0.161	1.000	1.0	1.0000	61.04	61.04
E	196-120-440-000	SFR	0.144	1.000	1.0	1.0000	61.04	61.04
E	196-120-450-000	SFR	0.156	1.000	1.0	1.0000	61.04	61.04
E	196-120-460-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-120-470-000	SFR	0.140	1.000	1.0	1.0000	61.04	61.04
E	196-120-480-000	SFR	0.143	1.000	1.0	1.0000	61.04	61.04
E	196-120-490-000	SFR	0.257	1.000	1.0	1.0000	61.04	61.04
E	196-120-500-000	SFR	0.252	1.000	1.0	1.0000	61.04	61.04
E	196-120-510-000	SFR	0.260	1.000	1.0	1.0000	61.04	61.04
E	196-120-520-000	SFR	0.271	1.000	1.0	1.0000	61.04	61.04
E	196-120-530-000	SFR	0.269	1.000	1.0	1.0000	61.04	61.04
E	196-120-540-000	SFR	0.149	1.000	1.0	1.0000	61.04	61.04
E	196-120-550-000	SFR	0.170	1.000	1.0	1.0000	61.04	61.04
E	196-120-560-000	SFR	0.166	1.000	1.0	1.0000	61.04	61.04
E	196-120-570-000	SFR	0.206	1.000	1.0	1.0000	61.04	61.04
E	196-120-580-000	SFR	0.245	1.000	1.0	1.0000	61.04	61.04
E	196-120-590-000	SFR	0.163	1.000	1.0	1.0000	61.04	61.04
E	196-120-600-000	SFR	0.139	1.000	1.0	1.0000	61.04	61.04
E	196-120-610-000	SFR	0.164	1.000	1.0	1.0000	61.04	61.04
E	196-120-620-000	SFR	0.147	1.000	1.0	1.0000	61.04	61.04
E	196-120-630-000	SFR	0.141	1.000	1.0	1.0000	61.04	61.04
E	196-120-640-000	SFR	0.140	1.000	1.0	1.0000	61.04	61.04
E	196-120-650-000	SFR	0.250	1.000	1.0	1.0000	61.04	61.04
E	196-120-660-000	SFR	0.249	1.000	1.0	1.0000	61.04	61.04

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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
E	196-120-670-000	SFR	0.219	1.000	1.0	1.0000	61.04	61.04
E	196-120-680-000	VAC-RESTR DEV	2.720	2.720	0.5	1.3600	61.04	83.00
E	196-130-010-000	NON-RES	0.723	0.723	4.0	2.8920	61.04	176.52
E	196-130-020-000	NON-RES	1.192	1.192	4.0	4.7680	61.04	291.02
E	196-130-030-000	SFR	0.278	1.000	1.0	1.0000	61.04	61.04
E	196-130-040-000	SFR	0.173	1.000	1.0	1.0000	61.04	61.04
E	196-130-050-000	SFR	0.173	1.000	1.0	1.0000	61.04	61.04
E	196-130-060-000	SFR	0.173	1.000	1.0	1.0000	61.04	61.04
E	196-130-070-000	SFR	0.173	1.000	1.0	1.0000	61.04	61.04
E	196-130-080-000	SFR	0.188	1.000	1.0	1.0000	61.04	61.04
E	196-130-090-000	SFR	0.188	1.000	1.0	1.0000	61.04	61.04
E	196-130-100-000	SFR	0.139	1.000	1.0	1.0000	61.04	61.04
E	196-130-110-000	SFR	0.144	1.000	1.0	1.0000	61.04	61.04
E	196-130-120-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-130-130-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-130-140-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-130-150-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-130-160-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-130-170-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-130-180-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-130-190-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-130-200-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-130-210-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-130-220-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-130-230-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-130-240-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-130-250-000	SFR	0.189	1.000	1.0	1.0000	61.04	61.04
E	196-130-260-000	SFR	0.141	1.000	1.0	1.0000	61.04	61.04
E	196-130-270-000	SFR	0.147	1.000	1.0	1.0000	61.04	61.04
E	196-130-280-000	SFR	0.153	1.000	1.0	1.0000	61.04	61.04
E	196-130-290-000	SFR	0.146	1.000	1.0	1.0000	61.04	61.04
E	196-130-300-000	SFR	0.130	1.000	1.0	1.0000	61.04	61.04
E	196-130-310-000	SFR	0.171	1.000	1.0	1.0000	61.04	61.04
E	196-130-320-000	SFR	0.139	1.000	1.0	1.0000	61.04	61.04
E	196-130-330-000	SFR	0.164	1.000	1.0	1.0000	61.04	61.04
E	196-130-340-000	SFR	0.142	1.000	1.0	1.0000	61.04	61.04
E	196-130-350-000	SFR	0.138	1.000	1.0	1.0000	61.04	61.04
E	196-130-360-000	SFR	0.139	1.000	1.0	1.0000	61.04	61.04
E	196-130-370-000	SFR	0.140	1.000	1.0	1.0000	61.04	61.04
E	196-130-380-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-130-390-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-130-400-000	VAC-RESTR DEV	0.137	0.250	0.5	0.1250	61.04	7.62
E	196-130-410-000	VAC-RESTR DEV	0.142	0.250	0.5	0.1250	61.04	7.62
E	196-130-420-000	VAC-RESTR DEV	0.135	0.250	0.5	0.1250	61.04	7.62
E	196-130-430-000	SFR	0.170	1.000	1.0	1.0000	61.04	61.04
E	196-130-440-000	SFR	0.151	1.000	1.0	1.0000	61.04	61.04
E	196-130-450-000	SFR	0.174	1.000	1.0	1.0000	61.04	61.04
E	196-130-460-000	VAC-RESTR DEV	0.155	0.250	0.5	0.1250	61.04	7.62
E	196-130-470-000	VAC-RESTR DEV	0.294	0.294	0.5	0.1470	61.04	8.96
E	196-130-480-000	SFR	0.231	1.000	1.0	1.0000	61.04	61.04
E	196-130-490-000	SFR	0.309	1.000	1.0	1.0000	61.04	61.04
E	196-130-500-000	SFR	0.179	1.000	1.0	1.0000	61.04	61.04
E	196-130-510-000	SFR	0.169	1.000	1.0	1.0000	61.04	61.04
E	196-130-520-000	SFR	0.150	1.000	1.0	1.0000	61.04	61.04
E	196-130-530-000	SFR	0.151	1.000	1.0	1.0000	61.04	61.04
E	196-130-540-000	SFR	0.174	1.000	1.0	1.0000	61.04	61.04

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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
E	196-130-550-000	SFR	0.182	1.000	1.0	1.0000	61.04	61.04
E	196-130-560-000	SFR	0.328	1.000	1.0	1.0000	61.04	61.04
E	196-130-570-000	SFR	0.252	1.000	1.0	1.0000	61.04	61.04
E	196-130-580-000	SFR	0.275	1.000	1.0	1.0000	61.04	61.04
E	196-130-590-000	SFR	0.174	1.000	1.0	1.0000	61.04	61.04
E	196-130-600-000	SFR	0.157	1.000	1.0	1.0000	61.04	61.04
E	196-130-610-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-130-620-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-130-630-000	SFR	0.151	1.000	1.0	1.0000	61.04	61.04
E	196-130-640-000	SFR	0.148	1.000	1.0	1.0000	61.04	61.04
E	196-130-650-000	SFR	0.152	1.000	1.0	1.0000	61.04	61.04
E	196-130-660-000	SFR	0.160	1.000	1.0	1.0000	61.04	61.04
E	196-140-010-000	SFR	0.118	1.000	1.0	1.0000	61.04	61.04
E	196-140-040-000	SFR	0.146	1.000	1.0	1.0000	61.04	61.04
E	196-140-050-000	SFR	0.139	1.000	1.0	1.0000	61.04	61.04
E	196-140-060-000	SFR	0.194	1.000	1.0	1.0000	61.04	61.04
E	196-140-070-000	SFR	0.184	1.000	1.0	1.0000	61.04	61.04
E	196-140-080-000	SFR	0.200	1.000	1.0	1.0000	61.04	61.04
E	196-140-090-000	SFR	0.148	1.000	1.0	1.0000	61.04	61.04
E	196-140-100-000	SFR	0.139	1.000	1.0	1.0000	61.04	61.04
E	196-140-110-000	SFR	0.138	1.000	1.0	1.0000	61.04	61.04
E	196-140-120-000	SFR	0.138	1.000	1.0	1.0000	61.04	61.04
E	196-140-130-000	SFR	0.138	1.000	1.0	1.0000	61.04	61.04
E	196-140-140-000	SFR	0.203	1.000	1.0	1.0000	61.04	61.04
E	196-140-150-000	SFR	0.212	1.000	1.0	1.0000	61.04	61.04
E	196-140-160-000	SFR	0.229	1.000	1.0	1.0000	61.04	61.04
E	196-140-170-000	SFR	0.232	1.000	1.0	1.0000	61.04	61.04
E	196-140-180-000	SFR	0.160	1.000	1.0	1.0000	61.04	61.04
E	196-140-200-000	SFR	0.249	1.000	1.0	1.0000	61.04	61.04
E	196-140-210-000	SFR	0.180	1.000	1.0	1.0000	61.04	61.04
E	196-140-220-000	SFR	0.144	1.000	1.0	1.0000	61.04	61.04
E	196-140-230-000	SFR	0.144	1.000	1.0	1.0000	61.04	61.04
E	196-140-240-000	SFR	0.145	1.000	1.0	1.0000	61.04	61.04
E	196-140-250-000	SFR	0.185	1.000	1.0	1.0000	61.04	61.04
E	196-140-260-000	SFR	0.185	1.000	1.0	1.0000	61.04	61.04
E	196-140-280-000	SFR	0.272	1.000	1.0	1.0000	61.04	61.04
E	196-140-290-000	SFR	0.192	1.000	1.0	1.0000	61.04	61.04
E	196-140-300-000	SFR	0.174	1.000	1.0	1.0000	61.04	61.04
E	196-140-310-000	SFR	0.201	1.000	1.0	1.0000	61.04	61.04
E	196-140-320-000	SFR	0.141	1.000	1.0	1.0000	61.04	61.04
E	196-140-330-000	SFR	0.143	1.000	1.0	1.0000	61.04	61.04
E	196-140-340-000	SFR	0.262	1.000	1.0	1.0000	61.04	61.04
E	196-140-350-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-140-360-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-140-370-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-140-380-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-140-390-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-140-400-000	SFR	0.146	1.000	1.0	1.0000	61.04	61.04
E	196-140-410-000	SFR	0.154	1.000	1.0	1.0000	61.04	61.04
E	196-140-420-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-140-430-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-140-440-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-140-450-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-140-460-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-140-470-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-140-480-000	SFR	0.143	1.000	1.0	1.0000	61.04	61.04

**CITY OF LATHROP
RESIDENTIAL LIGHTING MAINTENANCE DISTRICT
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PARCEL LISTING**

Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
E	196-140-490-000	SFR	0.139	1.000	1.0	1.0000	61.04	61.04
E	196-140-500-000	SFR	0.150	1.000	1.0	1.0000	61.04	61.04
E	196-140-510-000	SFR	0.143	1.000	1.0	1.0000	61.04	61.04
E	196-140-520-000	SFR	0.143	1.000	1.0	1.0000	61.04	61.04
E	196-140-530-000	SFR	0.143	1.000	1.0	1.0000	61.04	61.04
E	196-140-540-000	SFR	0.143	1.000	1.0	1.0000	61.04	61.04
E	196-140-550-000	SFR	0.143	1.000	1.0	1.0000	61.04	61.04
E	196-140-560-000	SFR	0.144	1.000	1.0	1.0000	61.04	61.04
E	196-140-570-000	SFR	0.158	1.000	1.0	1.0000	61.04	61.04
E	196-140-580-000	SFR	0.156	1.000	1.0	1.0000	61.04	61.04
E	196-140-590-000	SFR	0.154	1.000	1.0	1.0000	61.04	61.04
E	196-140-600-000	SFR	0.193	1.000	1.0	1.0000	61.04	61.04
E	196-140-610-000	SFR	0.180	1.000	1.0	1.0000	61.04	61.04
E	196-140-620-000	SFR	0.440	1.000	1.0	1.0000	61.04	61.04
E	196-150-010-000	SFR	0.182	1.000	1.0	1.0000	61.04	61.04
E	196-150-020-000	SFR	0.162	1.000	1.0	1.0000	61.04	61.04
E	196-150-030-000	SFR	0.162	1.000	1.0	1.0000	61.04	61.04
E	196-150-040-000	SFR	0.162	1.000	1.0	1.0000	61.04	61.04
E	196-150-050-000	SFR	0.162	1.000	1.0	1.0000	61.04	61.04
E	196-150-060-000	SFR	0.162	1.000	1.0	1.0000	61.04	61.04
E	196-150-070-000	SFR	0.183	1.000	1.0	1.0000	61.04	61.04
E	196-150-080-000	SFR	0.203	1.000	1.0	1.0000	61.04	61.04
E	196-150-090-000	SFR	0.170	1.000	1.0	1.0000	61.04	61.04
E	196-150-100-000	SFR	0.170	1.000	1.0	1.0000	61.04	61.04
E	196-150-110-000	SFR	0.170	1.000	1.0	1.0000	61.04	61.04
E	196-150-120-000	SFR	0.167	1.000	1.0	1.0000	61.04	61.04
E	196-150-130-000	SFR	0.199	1.000	1.0	1.0000	61.04	61.04
E	196-150-140-000	SFR	0.236	1.000	1.0	1.0000	61.04	61.04
E	196-150-150-000	SFR	0.228	1.000	1.0	1.0000	61.04	61.04
E	196-150-160-000	SFR	0.168	1.000	1.0	1.0000	61.04	61.04
E	196-150-170-000	SFR	0.150	1.000	1.0	1.0000	61.04	61.04
E	196-150-180-000	SFR	0.153	1.000	1.0	1.0000	61.04	61.04
E	196-150-190-000	SFR	0.153	1.000	1.0	1.0000	61.04	61.04
E	196-150-200-000	SFR	0.153	1.000	1.0	1.0000	61.04	61.04
E	196-150-210-000	SFR	0.179	1.000	1.0	1.0000	61.04	61.04
E	196-150-220-000	SFR	0.182	1.000	1.0	1.0000	61.04	61.04
E	196-150-230-000	SFR	0.153	1.000	1.0	1.0000	61.04	61.04
E	196-150-240-000	SFR	0.153	1.000	1.0	1.0000	61.04	61.04
E	196-150-250-000	SFR	0.153	1.000	1.0	1.0000	61.04	61.04
E	196-150-260-000	SFR	0.149	1.000	1.0	1.0000	61.04	61.04
E	196-150-270-000	SFR	0.167	1.000	1.0	1.0000	61.04	61.04
E	196-150-280-000	SFR	0.227	1.000	1.0	1.0000	61.04	61.04
E	196-150-290-000	SFR	0.222	1.000	1.0	1.0000	61.04	61.04
E	196-150-300-000	SFR	0.173	1.000	1.0	1.0000	61.04	61.04
E	196-150-310-000	SFR	0.151	1.000	1.0	1.0000	61.04	61.04
E	196-150-320-000	SFR	0.153	1.000	1.0	1.0000	61.04	61.04
E	196-150-330-000	SFR	0.153	1.000	1.0	1.0000	61.04	61.04
E	196-150-340-000	SFR	0.153	1.000	1.0	1.0000	61.04	61.04
E	196-150-350-000	SFR	0.179	1.000	1.0	1.0000	61.04	61.04
E	196-150-360-000	SFR	0.138	1.000	1.0	1.0000	61.04	61.04
E	196-150-370-000	SFR	0.138	1.000	1.0	1.0000	61.04	61.04
E	196-150-380-000	SFR	0.130	1.000	1.0	1.0000	61.04	61.04
E	196-150-390-000	SFR	0.138	1.000	1.0	1.0000	61.04	61.04
E	196-150-400-000	SFR	0.140	1.000	1.0	1.0000	61.04	61.04
E	196-150-410-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-150-420-000	SFR	0.139	1.000	1.0	1.0000	61.04	61.04

CITY OF LATHROP
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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
E	196-150-430-000	SFR	0.140	1.000	1.0	1.0000	61.04	61.04
E	196-150-440-000	SFR	0.140	1.000	1.0	1.0000	61.04	61.04
E	196-150-450-000	SFR	0.140	1.000	1.0	1.0000	61.04	61.04
E	196-150-460-000	SFR	0.139	1.000	1.0	1.0000	61.04	61.04
E	196-150-470-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-150-480-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-150-490-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-150-500-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-150-510-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-150-520-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-150-530-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-150-540-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-150-550-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-150-560-000	SFR	0.178	1.000	1.0	1.0000	61.04	61.04
E	196-150-570-000	SFR	0.172	1.000	1.0	1.0000	61.04	61.04
E	196-150-580-000	SFR	0.187	1.000	1.0	1.0000	61.04	61.04
E	196-150-590-000	SFR	0.197	1.000	1.0	1.0000	61.04	61.04
E	196-150-600-000	SFR	0.139	1.000	1.0	1.0000	61.04	61.04
E	196-150-610-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-150-620-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-150-630-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-150-640-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-150-650-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-150-660-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-150-670-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-150-680-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-150-690-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-150-700-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-150-710-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-150-720-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-150-730-000	SFR	0.138	1.000	1.0	1.0000	61.04	61.04
E	196-150-740-000	SFR	0.172	1.000	1.0	1.0000	61.04	61.04
E	196-150-750-000	SFR	0.252	1.000	1.0	1.0000	61.04	61.04
E	196-150-760-000	SFR	0.172	1.000	1.0	1.0000	61.04	61.04
E	196-150-770-000	SFR	0.147	1.000	1.0	1.0000	61.04	61.04
E	196-150-780-000	SFR	0.156	1.000	1.0	1.0000	61.04	61.04
E	196-150-790-000	SFR	0.144	1.000	1.0	1.0000	61.04	61.04
E	196-150-800-000	SFR	0.163	1.000	1.0	1.0000	61.04	61.04
E	196-160-010-000	SFR	0.173	1.000	1.0	1.0000	61.04	61.04
E	196-160-020-000	SFR	0.155	1.000	1.0	1.0000	61.04	61.04
E	196-160-030-000	SFR	0.172	1.000	1.0	1.0000	61.04	61.04
E	196-160-040-000	SFR	0.182	1.000	1.0	1.0000	61.04	61.04
E	196-160-050-000	SFR	0.294	1.000	1.0	1.0000	61.04	61.04
E	196-160-060-000	SFR	0.178	1.000	1.0	1.0000	61.04	61.04
E	196-160-070-000	SFR	0.150	1.000	1.0	1.0000	61.04	61.04
E	196-160-080-000	SFR	0.151	1.000	1.0	1.0000	61.04	61.04
E	196-160-090-000	SFR	0.151	1.000	1.0	1.0000	61.04	61.04
E	196-160-100-000	SFR	0.151	1.000	1.0	1.0000	61.04	61.04
E	196-160-110-000	SFR	0.151	1.000	1.0	1.0000	61.04	61.04
E	196-160-120-000	SFR	0.151	1.000	1.0	1.0000	61.04	61.04
E	196-160-130-000	SFR	0.151	1.000	1.0	1.0000	61.04	61.04
E	196-160-140-000	SFR	0.151	1.000	1.0	1.0000	61.04	61.04
E	196-160-150-000	SFR	0.151	1.000	1.0	1.0000	61.04	61.04
E	196-160-160-000	SFR	0.151	1.000	1.0	1.0000	61.04	61.04
E	196-160-170-000	SFR	0.151	1.000	1.0	1.0000	61.04	61.04
E	196-160-180-000	SFR	0.151	1.000	1.0	1.0000	61.04	61.04

CITY OF LATHROP
RESIDENTIAL LIGHTING MAINTENANCE DISTRICT
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PARCEL LISTING

Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
E	196-160-190-000	SFR	0.151	1.000	1.0	1.0000	61.04	61.04
E	196-160-200-000	SFR	0.151	1.000	1.0	1.0000	61.04	61.04
E	196-160-210-000	SFR	0.174	1.000	1.0	1.0000	61.04	61.04
E	196-160-220-000	VAC-RESTR DEV	0.177	0.250	0.5	0.1250	61.04	7.62
E	196-160-230-000	VAC-RESTR DEV	0.154	0.250	0.5	0.1250	61.04	7.62
E	196-160-240-000	VAC-RESTR DEV	0.154	0.250	0.5	0.1250	61.04	7.62
E	196-160-250-000	SFR	0.154	1.000	1.0	1.0000	61.04	61.04
E	196-160-260-000	SFR	0.154	1.000	1.0	1.0000	61.04	61.04
E	196-160-270-000	SFR	0.154	1.000	1.0	1.0000	61.04	61.04
E	196-160-280-000	SFR	0.154	1.000	1.0	1.0000	61.04	61.04
E	196-160-290-000	SFR	0.154	1.000	1.0	1.0000	61.04	61.04
E	196-160-300-000	SFR	0.154	1.000	1.0	1.0000	61.04	61.04
E	196-160-310-000	SFR	0.154	1.000	1.0	1.0000	61.04	61.04
E	196-160-320-000	SFR	0.154	1.000	1.0	1.0000	61.04	61.04
E	196-160-330-000	SFR	0.154	1.000	1.0	1.0000	61.04	61.04
E	196-160-340-000	SFR	0.154	1.000	1.0	1.0000	61.04	61.04
E	196-160-350-000	SFR	0.154	1.000	1.0	1.0000	61.04	61.04
E	196-160-360-000	SFR	0.177	1.000	1.0	1.0000	61.04	61.04
E	196-160-370-000	SFR	0.179	1.000	1.0	1.0000	61.04	61.04
E	196-160-380-000	SFR	0.154	1.000	1.0	1.0000	61.04	61.04
E	196-160-390-000	SFR	0.153	1.000	1.0	1.0000	61.04	61.04
E	196-160-400-000	SFR	0.152	1.000	1.0	1.0000	61.04	61.04
E	196-160-410-000	SFR	0.151	1.000	1.0	1.0000	61.04	61.04
E	196-160-420-000	SFR	0.150	1.000	1.0	1.0000	61.04	61.04
E	196-160-430-000	SFR	0.149	1.000	1.0	1.0000	61.04	61.04
E	196-160-440-000	SFR	0.149	1.000	1.0	1.0000	61.04	61.04
E	196-160-450-000	SFR	0.154	1.000	1.0	1.0000	61.04	61.04
E	196-160-460-000	SFR	0.160	1.000	1.0	1.0000	61.04	61.04
E	196-160-470-000	SFR	0.163	1.000	1.0	1.0000	61.04	61.04
E	196-160-480-000	SFR	0.163	1.000	1.0	1.0000	61.04	61.04
E	196-160-490-000	VAC-RESTR DEV	0.163	0.250	0.5	0.1250	61.04	7.62
E	196-160-500-000	VAC-RESTR DEV	0.163	0.250	0.5	0.1250	61.04	7.62
E	196-160-510-000	VAC-RESTR DEV	0.188	0.250	0.5	0.1250	61.04	7.62
E	196-160-520-000	SFR	0.194	1.000	1.0	1.0000	61.04	61.04
E	196-160-530-000	SFR	0.150	1.000	1.0	1.0000	61.04	61.04
E	196-160-540-000	SFR	0.152	1.000	1.0	1.0000	61.04	61.04
E	196-160-550-000	SFR	0.155	1.000	1.0	1.0000	61.04	61.04
E	196-160-560-000	SFR	0.158	1.000	1.0	1.0000	61.04	61.04
E	196-160-570-000	SFR	0.162	1.000	1.0	1.0000	61.04	61.04
E	196-160-580-000	SFR	0.148	1.000	1.0	1.0000	61.04	61.04
E	196-160-590-000	SFR	0.138	1.000	1.0	1.0000	61.04	61.04
E	196-160-600-000	SFR	0.138	1.000	1.0	1.0000	61.04	61.04
E	196-160-610-000	SFR	0.200	1.000	1.0	1.0000	61.04	61.04
E	196-160-620-000	SFR	0.143	1.000	1.0	1.0000	61.04	61.04
E	196-160-630-000	SFR	0.209	1.000	1.0	1.0000	61.04	61.04
E	196-160-640-000	SFR	0.145	1.000	1.0	1.0000	61.04	61.04
E	196-160-650-000	SFR	0.151	1.000	1.0	1.0000	61.04	61.04
E	196-160-660-000	SFR	0.151	1.000	1.0	1.0000	61.04	61.04
E	196-160-670-000	SFR	0.156	1.000	1.0	1.0000	61.04	61.04
E	196-160-680-000	SFR	0.143	1.000	1.0	1.0000	61.04	61.04
E	196-160-690-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-160-700-000	SFR	0.198	1.000	1.0	1.0000	61.04	61.04
E	196-160-710-000	SFR	0.143	1.000	1.0	1.0000	61.04	61.04
E	196-160-720-000	SFR	0.211	1.000	1.0	1.0000	61.04	61.04
E	196-160-730-000	SFR	0.142	1.000	1.0	1.0000	61.04	61.04
E	196-160-740-000	SFR	0.145	1.000	1.0	1.0000	61.04	61.04

CITY OF LATHROP
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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
E	196-160-750-000	SFR	0.144	1.000	1.0	1.0000	61.04	61.04
E	196-190-010-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-190-020-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-190-030-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-190-040-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-190-050-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-190-060-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-190-070-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-190-080-000	SFR	0.152	1.000	1.0	1.0000	61.04	61.04
E	196-190-090-000	SFR	0.139	1.000	1.0	1.0000	61.04	61.04
E	196-190-100-000	SFR	0.139	1.000	1.0	1.0000	61.04	61.04
E	196-190-110-000	SFR	0.139	1.000	1.0	1.0000	61.04	61.04
E	196-190-120-000	SFR	0.139	1.000	1.0	1.0000	61.04	61.04
E	196-190-130-000	SFR	0.139	1.000	1.0	1.0000	61.04	61.04
E	196-190-140-000	SFR	0.139	1.000	1.0	1.0000	61.04	61.04
E	196-190-150-000	SFR	0.139	1.000	1.0	1.0000	61.04	61.04
E	196-190-160-000	SFR	0.139	1.000	1.0	1.0000	61.04	61.04
E	196-190-170-000	SFR	0.139	1.000	1.0	1.0000	61.04	61.04
E	196-190-180-000	SFR	0.139	1.000	1.0	1.0000	61.04	61.04
E	196-190-190-000	SFR	0.139	1.000	1.0	1.0000	61.04	61.04
E	196-190-200-000	SFR	0.139	1.000	1.0	1.0000	61.04	61.04
E	196-190-210-000	SFR	0.139	1.000	1.0	1.0000	61.04	61.04
E	196-190-220-000	SFR	0.158	1.000	1.0	1.0000	61.04	61.04
E	196-190-230-000	SFR	0.146	1.000	1.0	1.0000	61.04	61.04
E	196-190-240-000	SFR	0.139	1.000	1.0	1.0000	61.04	61.04
E	196-190-250-000	SFR	0.139	1.000	1.0	1.0000	61.04	61.04
E	196-190-260-000	SFR	0.140	1.000	1.0	1.0000	61.04	61.04
E	196-190-270-000	SFR	0.138	1.000	1.0	1.0000	61.04	61.04
E	196-190-280-000	SFR	0.139	1.000	1.0	1.0000	61.04	61.04
E	196-190-290-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-190-300-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-190-310-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-190-320-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-190-330-000	SFR	0.156	1.000	1.0	1.0000	61.04	61.04
E	196-190-340-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-190-350-000	SFR	0.156	1.000	1.0	1.0000	61.04	61.04
E	196-190-360-000	SFR	0.148	1.000	1.0	1.0000	61.04	61.04
E	196-190-370-000	SFR	0.144	1.000	1.0	1.0000	61.04	61.04
E	196-190-380-000	SFR	0.144	1.000	1.0	1.0000	61.04	61.04
E	196-190-390-000	SFR	0.144	1.000	1.0	1.0000	61.04	61.04
E	196-190-400-000	SFR	0.144	1.000	1.0	1.0000	61.04	61.04
E	196-190-410-000	SFR	0.147	1.000	1.0	1.0000	61.04	61.04
E	196-190-420-000	SFR	0.151	1.000	1.0	1.0000	61.04	61.04
E	196-190-430-000	SFR	0.190	1.000	1.0	1.0000	61.04	61.04
E	196-190-440-000	SFR	0.213	1.000	1.0	1.0000	61.04	61.04
E	196-190-450-000	SFR	0.140	1.000	1.0	1.0000	61.04	61.04
E	196-190-460-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-190-470-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-190-480-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-190-490-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-190-500-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-190-510-000	SFR	0.156	1.000	1.0	1.0000	61.04	61.04
E	196-190-520-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-190-530-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-190-540-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-190-550-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04

CITY OF LATHROP
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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
E	196-190-560-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-190-570-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-190-580-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-190-590-000	SFR	0.160	1.000	1.0	1.0000	61.04	61.04
E	196-190-600-000	SFR	0.176	1.000	1.0	1.0000	61.04	61.04
E	196-190-610-000	SFR	0.179	1.000	1.0	1.0000	61.04	61.04
E	196-190-620-000	SFR	0.182	1.000	1.0	1.0000	61.04	61.04
E	196-190-630-000	SFR	0.161	1.000	1.0	1.0000	61.04	61.04
E	196-190-640-000	SFR	0.140	1.000	1.0	1.0000	61.04	61.04
E	196-190-650-000	SFR	0.140	1.000	1.0	1.0000	61.04	61.04
E	196-190-660-000	SFR	0.158	1.000	1.0	1.0000	61.04	61.04
E	196-190-670-000	SFR	0.180	1.000	1.0	1.0000	61.04	61.04
E	196-190-680-000	SFR	0.154	1.000	1.0	1.0000	61.04	61.04
E	196-190-690-000	SFR	0.206	1.000	1.0	1.0000	61.04	61.04
E	196-190-700-000	SFR	0.213	1.000	1.0	1.0000	61.04	61.04
E	196-190-710-000	SFR	0.159	1.000	1.0	1.0000	61.04	61.04
E	196-190-720-000	SFR	0.182	1.000	1.0	1.0000	61.04	61.04
E	196-190-730-000	SFR	0.156	1.000	1.0	1.0000	61.04	61.04
E	196-190-740-000	SFR	0.138	1.000	1.0	1.0000	61.04	61.04
E	196-190-750-000	SFR	0.191	1.000	1.0	1.0000	61.04	61.04
E	196-190-760-000	SFR	0.164	1.000	1.0	1.0000	61.04	61.04
E	196-190-770-000	SFR	0.164	1.000	1.0	1.0000	61.04	61.04
E	196-190-780-000	SFR	0.164	1.000	1.0	1.0000	61.04	61.04
E	196-200-010-000	SFR	0.159	1.000	1.0	1.0000	61.04	61.04
E	196-200-020-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-030-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-040-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-050-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-060-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-070-000	SFR	0.158	1.000	1.0	1.0000	61.04	61.04
E	196-200-080-000	SFR	0.174	1.000	1.0	1.0000	61.04	61.04
E	196-200-090-000	SFR	0.334	1.000	1.0	1.0000	61.04	61.04
E	196-200-100-000	SFR	0.228	1.000	1.0	1.0000	61.04	61.04
E	196-200-110-000	SFR	0.181	1.000	1.0	1.0000	61.04	61.04
E	196-200-120-000	SFR	0.168	1.000	1.0	1.0000	61.04	61.04
E	196-200-130-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-140-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-150-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-160-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-170-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-180-000	SFR	0.141	1.000	1.0	1.0000	61.04	61.04
E	196-200-190-000	SFR	0.155	1.000	1.0	1.0000	61.04	61.04
E	196-200-200-000	SFR	0.181	1.000	1.0	1.0000	61.04	61.04
E	196-200-210-000	SFR	0.154	1.000	1.0	1.0000	61.04	61.04
E	196-200-220-000	SFR	0.192	1.000	1.0	1.0000	61.04	61.04
E	196-200-230-000	SFR	0.153	1.000	1.0	1.0000	61.04	61.04
E	196-200-240-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-250-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-260-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-270-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-280-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-290-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-300-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-310-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-320-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-330-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04

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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
E	196-200-340-000	SFR	0.158	1.000	1.0	1.0000	61.04	61.04
E	196-200-350-000	SFR	0.142	1.000	1.0	1.0000	61.04	61.04
E	196-200-360-000	SFR	0.165	1.000	1.0	1.0000	61.04	61.04
E	196-200-370-000	SFR	0.141	1.000	1.0	1.0000	61.04	61.04
E	196-200-380-000	SFR	0.141	1.000	1.0	1.0000	61.04	61.04
E	196-200-390-000	SFR	0.141	1.000	1.0	1.0000	61.04	61.04
E	196-200-400-000	SFR	0.141	1.000	1.0	1.0000	61.04	61.04
E	196-200-410-000	SFR	0.141	1.000	1.0	1.0000	61.04	61.04
E	196-200-420-000	SFR	0.141	1.000	1.0	1.0000	61.04	61.04
E	196-200-430-000	SFR	0.141	1.000	1.0	1.0000	61.04	61.04
E	196-200-440-000	SFR	0.141	1.000	1.0	1.0000	61.04	61.04
E	196-200-450-000	SFR	0.141	1.000	1.0	1.0000	61.04	61.04
E	196-200-460-000	SFR	0.141	1.000	1.0	1.0000	61.04	61.04
E	196-200-470-000	SFR	0.185	1.000	1.0	1.0000	61.04	61.04
E	196-200-480-000	SFR	0.155	1.000	1.0	1.0000	61.04	61.04
E	196-200-490-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-500-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-510-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-520-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-530-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-540-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-550-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-560-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-570-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-580-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-590-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-600-000	SFR	0.152	1.000	1.0	1.0000	61.04	61.04
E	196-200-610-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-620-000	SFR	0.159	1.000	1.0	1.0000	61.04	61.04
E	196-200-630-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-640-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-650-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-660-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-670-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-680-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-690-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-700-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-710-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-720-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-730-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-200-740-000	SFR	0.148	1.000	1.0	1.0000	61.04	61.04
E	196-210-010-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-210-020-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-210-030-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-210-040-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-210-050-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-210-060-000	SFR	0.140	1.000	1.0	1.0000	61.04	61.04
E	196-210-070-000	SFR	0.161	1.000	1.0	1.0000	61.04	61.04
E	196-210-080-000	SFR	0.181	1.000	1.0	1.0000	61.04	61.04
E	196-210-090-000	SFR	0.135	1.000	1.0	1.0000	61.04	61.04
E	196-210-100-000	SFR	0.144	1.000	1.0	1.0000	61.04	61.04
E	196-210-110-000	SFR	0.145	1.000	1.0	1.0000	61.04	61.04
E	196-210-120-000	SFR	0.148	1.000	1.0	1.0000	61.04	61.04
E	196-210-130-000	SFR	0.147	1.000	1.0	1.0000	61.04	61.04
E	196-210-140-000	SFR	0.180	1.000	1.0	1.0000	61.04	61.04
E	196-210-150-000	SFR	0.165	1.000	1.0	1.0000	61.04	61.04

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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
E	196-210-160-000	SFR	0.150	1.000	1.0	1.0000	61.04	61.04
E	196-210-170-000	SFR	0.142	1.000	1.0	1.0000	61.04	61.04
E	196-210-180-000	SFR	0.144	1.000	1.0	1.0000	61.04	61.04
E	196-210-190-000	SFR	0.138	1.000	1.0	1.0000	61.04	61.04
E	196-210-200-000	SFR	0.171	1.000	1.0	1.0000	61.04	61.04
E	196-210-210-000	SFR	0.161	1.000	1.0	1.0000	61.04	61.04
E	196-210-220-000	SFR	0.157	1.000	1.0	1.0000	61.04	61.04
E	196-210-230-000	SFR	0.152	1.000	1.0	1.0000	61.04	61.04
E	196-210-240-000	SFR	0.144	1.000	1.0	1.0000	61.04	61.04
E	196-210-250-000	SFR	0.146	1.000	1.0	1.0000	61.04	61.04
E	196-210-260-000	SFR	0.149	1.000	1.0	1.0000	61.04	61.04
E	196-210-270-000	SFR	0.142	1.000	1.0	1.0000	61.04	61.04
E	196-210-280-000	SFR	0.146	1.000	1.0	1.0000	61.04	61.04
E	196-210-290-000	SFR	0.151	1.000	1.0	1.0000	61.04	61.04
E	196-210-300-000	SFR	0.156	1.000	1.0	1.0000	61.04	61.04
E	196-210-310-000	SFR	0.159	1.000	1.0	1.0000	61.04	61.04
E	196-220-010-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-220-020-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-220-030-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-220-040-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-220-050-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-220-060-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-220-070-000	VAC-RESTR DEV	0.136	0.250	0.5	0.1250	61.04	7.62
E	196-220-080-000	VAC-RESTR DEV	0.133	0.250	0.5	0.1250	61.04	7.62
E	196-220-090-000	VAC-RESTR DEV	0.139	0.250	0.5	0.1250	61.04	7.62
E	196-220-100-000	VAC-RESTR DEV	0.135	0.250	0.5	0.1250	61.04	7.62
E	196-220-110-000	VAC-RESTR DEV	0.142	0.250	0.5	0.1250	61.04	7.62
E	196-220-120-000	VAC-RESTR DEV	0.138	0.250	0.5	0.1250	61.04	7.62
E	196-220-130-000	SFR	0.521	1.000	1.0	1.0000	61.04	61.04
E	196-220-140-000	SFR	0.214	1.000	1.0	1.0000	61.04	61.04
E	196-220-150-000	SFR	0.133	1.000	1.0	1.0000	61.04	61.04
E	196-220-160-000	SFR	0.141	1.000	1.0	1.0000	61.04	61.04
E	196-220-170-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-220-180-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-220-190-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-220-200-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-220-210-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-220-220-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-220-230-000	SFR	0.143	1.000	1.0	1.0000	61.04	61.04
E	196-220-240-000	SFR	0.183	1.000	1.0	1.0000	61.04	61.04
E	196-220-250-000	SFR	0.164	1.000	1.0	1.0000	61.04	61.04
E	196-220-260-000	SFR	0.164	1.000	1.0	1.0000	61.04	61.04
E	196-220-270-000	SFR	0.164	1.000	1.0	1.0000	61.04	61.04
E	196-220-280-000	SFR	0.166	1.000	1.0	1.0000	61.04	61.04
E	196-220-290-000	SFR	0.159	1.000	1.0	1.0000	61.04	61.04
E	196-220-300-000	SFR	0.159	1.000	1.0	1.0000	61.04	61.04
E	196-220-310-000	SFR	0.159	1.000	1.0	1.0000	61.04	61.04
E	196-230-010-000	SFR	0.149	1.000	1.0	1.0000	61.04	61.04
E	196-230-020-000	SFR	0.149	1.000	1.0	1.0000	61.04	61.04
E	196-230-030-000	SFR	0.149	1.000	1.0	1.0000	61.04	61.04
E	196-230-040-000	SFR	0.158	1.000	1.0	1.0000	61.04	61.04
E	196-230-050-000	SFR	0.138	1.000	1.0	1.0000	61.04	61.04
E	196-230-060-000	SFR	0.158	1.000	1.0	1.0000	61.04	61.04
E	196-230-070-000	SFR	0.149	1.000	1.0	1.0000	61.04	61.04
E	196-230-080-000	SFR	0.149	1.000	1.0	1.0000	61.04	61.04
E	196-230-090-000	SFR	0.149	1.000	1.0	1.0000	61.04	61.04

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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
E	196-230-100-000	SFR	0.149	1.000	1.0	1.0000	61.04	61.04
E	196-230-110-000	SFR	0.149	1.000	1.0	1.0000	61.04	61.04
E	196-230-120-000	SFR	0.149	1.000	1.0	1.0000	61.04	61.04
E	196-230-130-000	SFR	0.158	1.000	1.0	1.0000	61.04	61.04
E	196-230-140-000	SFR	0.156	1.000	1.0	1.0000	61.04	61.04
E	196-230-150-000	SFR	0.158	1.000	1.0	1.0000	61.04	61.04
E	196-230-160-000	SFR	0.177	1.000	1.0	1.0000	61.04	61.04
E	196-230-170-000	SFR	0.239	1.000	1.0	1.0000	61.04	61.04
E	196-230-180-000	SFR	0.181	1.000	1.0	1.0000	61.04	61.04
E	196-230-190-000	SFR	0.221	1.000	1.0	1.0000	61.04	61.04
E	196-230-200-000	SFR	0.186	1.000	1.0	1.0000	61.04	61.04
E	196-230-210-000	SFR	0.147	1.000	1.0	1.0000	61.04	61.04
E	196-230-220-000	SFR	0.146	1.000	1.0	1.0000	61.04	61.04
E	196-230-230-000	SFR	0.156	1.000	1.0	1.0000	61.04	61.04
E	196-230-240-000	SFR	0.158	1.000	1.0	1.0000	61.04	61.04
E	196-230-250-000	SFR	0.206	1.000	1.0	1.0000	61.04	61.04
E	196-230-260-000	SFR	0.173	1.000	1.0	1.0000	61.04	61.04
E	196-230-270-000	SFR	0.204	1.000	1.0	1.0000	61.04	61.04
E	196-230-280-000	SFR	0.159	1.000	1.0	1.0000	61.04	61.04
E	196-230-290-000	SFR	0.180	1.000	1.0	1.0000	61.04	61.04
E	196-230-300-000	SFR	0.157	1.000	1.0	1.0000	61.04	61.04
E	196-230-310-000	SFR	0.159	1.000	1.0	1.0000	61.04	61.04
E	196-230-320-000	SFR	0.164	1.000	1.0	1.0000	61.04	61.04
E	196-230-330-000	SFR	0.169	1.000	1.0	1.0000	61.04	61.04
E	196-230-340-000	SFR	0.148	1.000	1.0	1.0000	61.04	61.04
E	196-230-350-000	SFR	0.226	1.000	1.0	1.0000	61.04	61.04
E	196-230-360-000	SFR	0.193	1.000	1.0	1.0000	61.04	61.04
E	196-230-370-000	SFR	0.200	1.000	1.0	1.0000	61.04	61.04
E	196-230-380-000	SFR	0.162	1.000	1.0	1.0000	61.04	61.04
E	196-230-390-000	SFR	0.187	1.000	1.0	1.0000	61.04	61.04
E	196-230-400-000	SFR	0.161	1.000	1.0	1.0000	61.04	61.04
E	196-230-410-000	SFR	0.148	1.000	1.0	1.0000	61.04	61.04
E	196-230-420-000	SFR	0.169	1.000	1.0	1.0000	61.04	61.04
E	196-230-430-000	SFR	0.144	1.000	1.0	1.0000	61.04	61.04
E	196-230-440-000	SFR	0.143	1.000	1.0	1.0000	61.04	61.04
E	196-230-450-000	SFR	0.140	1.000	1.0	1.0000	61.04	61.04
E	196-230-460-000	SFR	0.140	1.000	1.0	1.0000	61.04	61.04
E	196-230-470-000	SFR	0.140	1.000	1.0	1.0000	61.04	61.04
E	196-230-480-000	SFR	0.140	1.000	1.0	1.0000	61.04	61.04
E	196-230-490-000	SFR	0.140	1.000	1.0	1.0000	61.04	61.04
E	196-230-500-000	SFR	0.140	1.000	1.0	1.0000	61.04	61.04
E	196-230-510-000	SFR	0.138	1.000	1.0	1.0000	61.04	61.04
E	196-230-520-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-230-530-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-230-540-000	SFR	0.137	1.000	1.0	1.0000	61.04	61.04
E	196-230-550-000	SFR	0.183	1.000	1.0	1.0000	61.04	61.04
E	196-230-560-000	SFR	0.159	1.000	1.0	1.0000	61.04	61.04
E	196-230-570-000	SFR	0.183	1.000	1.0	1.0000	61.04	61.04
SUBTOTAL:		618 PARCELS				608.1670		\$37,122.30

Zone	APN	Land Use	Acreage	Units	BUF	EDU	Rate	Levy
F	196-470-050-000	SFR	0.186	1.000	1.0	1.0000	\$35.11	\$35.10
F	196-470-060-000	SFR	0.145	1.000	1.0	1.0000	35.11	35.10
F	196-470-070-000	SFR	0.141	1.000	1.0	1.0000	35.11	35.10
F	196-470-080-000	SFR	0.138	1.000	1.0	1.0000	35.11	35.10

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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
F	196-470-090-000	SFR	0.162	1.000	1.0	1.0000	35.11	35.10
F	196-470-100-000	SFR	0.175	1.000	1.0	1.0000	35.11	35.10
F	196-470-110-000	SFR	0.172	1.000	1.0	1.0000	35.11	35.10
F	196-470-120-000	SFR	0.148	1.000	1.0	1.0000	35.11	35.10
F	196-470-130-000	SFR	0.191	1.000	1.0	1.0000	35.11	35.10
F	196-470-140-000	SFR	0.227	1.000	1.0	1.0000	35.11	35.10
F	196-470-150-000	SFR	0.230	1.000	1.0	1.0000	35.11	35.10
F	196-470-160-000	SFR	0.177	1.000	1.0	1.0000	35.11	35.10
F	196-470-170-000	SFR	0.144	1.000	1.0	1.0000	35.11	35.10
F	196-470-180-000	SFR	0.148	1.000	1.0	1.0000	35.11	35.10
F	196-470-190-000	SFR	0.161	1.000	1.0	1.0000	35.11	35.10
F	196-480-010-000	SFR	0.144	1.000	1.0	1.0000	35.11	35.10
F	196-480-020-000	SFR	0.140	1.000	1.0	1.0000	35.11	35.10
F	196-480-030-000	SFR	0.140	1.000	1.0	1.0000	35.11	35.10
F	196-480-040-000	SFR	0.144	1.000	1.0	1.0000	35.11	35.10
F	196-480-050-000	SFR	0.137	1.000	1.0	1.0000	35.11	35.10
F	196-480-060-000	SFR	0.137	1.000	1.0	1.0000	35.11	35.10
F	196-480-070-000	SFR	0.137	1.000	1.0	1.0000	35.11	35.10
F	196-480-080-000	SFR	0.156	1.000	1.0	1.0000	35.11	35.10
F	196-480-090-000	SFR	0.142	1.000	1.0	1.0000	35.11	35.10
F	196-480-100-000	SFR	0.156	1.000	1.0	1.0000	35.11	35.10
F	196-480-110-000	SFR	0.137	1.000	1.0	1.0000	35.11	35.10
F	196-480-120-000	SFR	0.137	1.000	1.0	1.0000	35.11	35.10
F	196-480-130-000	SFR	0.137	1.000	1.0	1.0000	35.11	35.10
F	196-480-140-000	SFR	0.143	1.000	1.0	1.0000	35.11	35.10
F	196-480-150-000	SFR	0.138	1.000	1.0	1.0000	35.11	35.10
F	196-480-160-000	SFR	0.186	1.000	1.0	1.0000	35.11	35.10
F	196-480-170-000	SFR	0.198	1.000	1.0	1.0000	35.11	35.10
F	196-480-180-000	SFR	0.236	1.000	1.0	1.0000	35.11	35.10
F	196-480-190-000	SFR	0.164	1.000	1.0	1.0000	35.11	35.10
F	196-480-200-000	SFR	0.138	1.000	1.0	1.0000	35.11	35.10
F	196-480-210-000	SFR	0.142	1.000	1.0	1.0000	35.11	35.10
F	196-480-220-000	SFR	0.142	1.000	1.0	1.0000	35.11	35.10
F	196-480-230-000	SFR	0.142	1.000	1.0	1.0000	35.11	35.10
F	196-480-240-000	SFR	0.142	1.000	1.0	1.0000	35.11	35.10
F	196-480-250-000	SFR	0.160	1.000	1.0	1.0000	35.11	35.10
F	196-480-260-000	SFR	0.158	1.000	1.0	1.0000	35.11	35.10
F	196-480-270-000	SFR	0.153	1.000	1.0	1.0000	35.11	35.10
F	196-480-280-000	SFR	0.142	1.000	1.0	1.0000	35.11	35.10
F	196-480-290-000	SFR	0.146	1.000	1.0	1.0000	35.11	35.10
F	196-480-300-000	SFR	0.151	1.000	1.0	1.0000	35.11	35.10
F	196-480-310-000	SFR	0.138	1.000	1.0	1.0000	35.11	35.10
F	196-480-320-000	SFR	0.169	1.000	1.0	1.0000	35.11	35.10
F	196-480-330-000	SFR	0.193	1.000	1.0	1.0000	35.11	35.10
F	196-480-340-000	SFR	0.232	1.000	1.0	1.0000	35.11	35.10
F	196-480-350-000	SFR	0.174	1.000	1.0	1.0000	35.11	35.10
F	196-480-360-000	SFR	0.149	1.000	1.0	1.0000	35.11	35.10
F	196-480-370-000	SFR	0.143	1.000	1.0	1.0000	35.11	35.10
F	196-480-380-000	SFR	0.174	1.000	1.0	1.0000	35.11	35.10
F	196-480-390-000	SFR	0.196	1.000	1.0	1.0000	35.11	35.10
F	196-480-400-000	SFR	0.140	1.000	1.0	1.0000	35.11	35.10
F	196-480-410-000	SFR	0.153	1.000	1.0	1.0000	35.11	35.10
F	196-480-420-000	SFR	0.148	1.000	1.0	1.0000	35.11	35.10
F	196-480-430-000	SFR	0.148	1.000	1.0	1.0000	35.11	35.10
F	196-480-440-000	SFR	0.147	1.000	1.0	1.0000	35.11	35.10
F	196-480-450-000	SFR	0.149	1.000	1.0	1.0000	35.11	35.10

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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
F	196-480-460-000	SFR	0.151	1.000	1.0	1.0000	35.11	35.10
F	196-480-470-000	SFR	0.139	1.000	1.0	1.0000	35.11	35.10
F	196-480-480-000	SFR	0.139	1.000	1.0	1.0000	35.11	35.10
F	196-480-490-000	SFR	0.152	1.000	1.0	1.0000	35.11	35.10
F	196-480-500-000	SFR	0.178	1.000	1.0	1.0000	35.11	35.10
F	196-480-510-000	SFR	0.188	1.000	1.0	1.0000	35.11	35.10
F	196-480-520-000	SFR	0.207	1.000	1.0	1.0000	35.11	35.10
F	196-480-530-000	VAC	0.311	0.311	1.0	0.3110	35.11	10.90
F	196-480-540-000	SFR	0.177	1.000	1.0	1.0000	35.11	35.10
F	196-480-550-000	SFR	0.154	1.000	1.0	1.0000	35.11	35.10
F	196-480-560-000	SFR	0.190	1.000	1.0	1.0000	35.11	35.10
F	196-480-570-000	SFR	0.158	1.000	1.0	1.0000	35.11	35.10
F	196-480-580-000	SFR	0.147	1.000	1.0	1.0000	35.11	35.10
F	196-480-590-000	SFR	0.144	1.000	1.0	1.0000	35.11	35.10
F	196-480-600-000	SFR	0.146	1.000	1.0	1.0000	35.11	35.10
F	196-480-610-000	SFR	0.141	1.000	1.0	1.0000	35.11	35.10
F	196-480-620-000	SFR	0.196	1.000	1.0	1.0000	35.11	35.10
F	196-480-630-000	SFR	0.214	1.000	1.0	1.0000	35.11	35.10
F	196-480-640-000	SFR	0.137	1.000	1.0	1.0000	35.11	35.10
F	196-480-650-000	SFR	0.142	1.000	1.0	1.0000	35.11	35.10
F	196-480-660-000	SFR	0.138	1.000	1.0	1.0000	35.11	35.10
F	196-480-670-000	SFR	0.158	1.000	1.0	1.0000	35.11	35.10
F	196-480-680-000	SFR	0.137	1.000	1.0	1.0000	35.11	35.10
F	196-480-690-000	SFR	0.159	1.000	1.0	1.0000	35.11	35.10
F	196-480-700-000	SFR	0.138	1.000	1.0	1.0000	35.11	35.10
F	196-480-710-000	SFR	0.137	1.000	1.0	1.0000	35.11	35.10
F	196-480-720-000	SFR	0.137	1.000	1.0	1.0000	35.11	35.10
F	196-480-730-000	SFR	0.138	1.000	1.0	1.0000	35.11	35.10
F	196-480-740-000	SFR	0.138	1.000	1.0	1.0000	35.11	35.10
F	196-480-750-000	SFR	0.138	1.000	1.0	1.0000	35.11	35.10
F	196-480-760-000	SFR	0.150	1.000	1.0	1.0000	35.11	35.10
F	196-480-770-000	SFR	0.137	1.000	1.0	1.0000	35.11	35.10
F	196-480-780-000	SFR	0.139	1.000	1.0	1.0000	35.11	35.10
F	196-480-790-000	SFR	0.150	1.000	1.0	1.0000	35.11	35.10
F	196-480-800-000	SFR	0.160	1.000	1.0	1.0000	35.11	35.10
F	196-480-810-000	SFR	0.138	1.000	1.0	1.0000	35.11	35.10
F	196-480-820-000	SFR	0.173	1.000	1.0	1.0000	35.11	35.10
F	196-480-830-000	SFR	0.157	1.000	1.0	1.0000	35.11	35.10
F	196-480-840-000	SFR	0.137	1.000	1.0	1.0000	35.11	35.10
F	196-490-010-000	SFR	0.158	1.000	1.0	1.0000	35.11	35.10
F	196-490-020-000	SFR	0.168	1.000	1.0	1.0000	35.11	35.10
F	196-490-030-000	SFR	0.151	1.000	1.0	1.0000	35.11	35.10
F	196-490-040-000	SFR	0.151	1.000	1.0	1.0000	35.11	35.10
F	196-490-050-000	SFR	0.150	1.000	1.0	1.0000	35.11	35.10
F	196-490-060-000	SFR	0.142	1.000	1.0	1.0000	35.11	35.10
F	196-490-070-000	SFR	0.159	1.000	1.0	1.0000	35.11	35.10
F	196-490-080-000	SFR	0.140	1.000	1.0	1.0000	35.11	35.10
F	196-490-090-000	SFR	0.156	1.000	1.0	1.0000	35.11	35.10
F	196-490-100-000	SFR	0.172	1.000	1.0	1.0000	35.11	35.10
F	196-490-110-000	SFR	0.165	1.000	1.0	1.0000	35.11	35.10
F	196-490-120-000	SFR	0.178	1.000	1.0	1.0000	35.11	35.10
F	196-490-130-000	SFR	0.193	1.000	1.0	1.0000	35.11	35.10
F	196-490-140-000	SFR	0.253	1.000	1.0	1.0000	35.11	35.10
F	196-490-150-000	SFR	0.305	1.000	1.0	1.0000	35.11	35.10
F	196-490-160-000	SFR	0.132	1.000	1.0	1.0000	35.11	35.10
F	196-490-170-000	SFR	0.145	1.000	1.0	1.0000	35.11	35.10

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Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
F	196-490-180-000	SFR	0.148	1.000	1.0	1.0000	35.11	35.10
F	196-490-190-000	SFR	0.168	1.000	1.0	1.0000	35.11	35.10
F	196-490-200-000	SFR	0.137	1.000	1.0	1.0000	35.11	35.10
F	196-490-210-000	SFR	0.164	1.000	1.0	1.0000	35.11	35.10
F	196-490-220-000	SFR	0.140	1.000	1.0	1.0000	35.11	35.10
F	196-490-230-000	SFR	0.137	1.000	1.0	1.0000	35.11	35.10
F	196-490-240-000	SFR	0.137	1.000	1.0	1.0000	35.11	35.10
F	196-490-250-000	SFR	0.137	1.000	1.0	1.0000	35.11	35.10
F	196-490-260-000	SFR	0.137	1.000	1.0	1.0000	35.11	35.10
F	196-490-270-000	SFR	0.137	1.000	1.0	1.0000	35.11	35.10
F	196-490-280-000	SFR	0.138	1.000	1.0	1.0000	35.11	35.10
F	196-490-290-000	SFR	0.151	1.000	1.0	1.0000	35.11	35.10
F	196-490-320-000	SFR	0.150	1.000	1.0	1.0000	35.11	35.10
F	196-490-330-000	SFR	0.149	1.000	1.0	1.0000	35.11	35.10
F	196-490-340-000	SFR	0.149	1.000	1.0	1.0000	35.11	35.10
F	196-490-350-000	SFR	0.139	1.000	1.0	1.0000	35.11	35.10
F	196-490-360-000	SFR	0.154	1.000	1.0	1.0000	35.11	35.10
F	196-490-370-000	SFR	0.214	1.000	1.0	1.0000	35.11	35.10
F	196-490-380-000	SFR	0.164	1.000	1.0	1.0000	35.11	35.10
F	196-490-390-000	SFR	0.233	1.000	1.0	1.0000	35.11	35.10
F	196-490-400-000	SFR	0.209	1.000	1.0	1.0000	35.11	35.10
F	196-490-410-000	SFR	0.211	1.000	1.0	1.0000	35.11	35.10
F	196-490-420-000	SFR	0.150	1.000	1.0	1.0000	35.11	35.10
F	196-490-430-000	SFR	0.150	1.000	1.0	1.0000	35.11	35.10
F	196-490-440-000	SFR	0.151	1.000	1.0	1.0000	35.11	35.10
F	196-490-450-000	VAC	0.202	0.250	1.0	0.2500	35.11	8.76
F	196-490-460-000	SFR	0.151	1.000	1.0	1.0000	35.11	35.10
F	196-490-470-000	SFR	0.151	1.000	1.0	1.0000	35.11	35.10
F	196-490-480-000	SFR	0.151	1.000	1.0	1.0000	35.11	35.10
F	196-490-490-000	SFR	0.151	1.000	1.0	1.0000	35.11	35.10
F	196-490-500-000	SFR	0.151	1.000	1.0	1.0000	35.11	35.10
F	196-490-510-000	SFR	0.151	1.000	1.0	1.0000	35.11	35.10
F	196-490-520-000	SFR	0.151	1.000	1.0	1.0000	35.11	35.10
F	196-490-530-000	SFR	0.151	1.000	1.0	1.0000	35.11	35.10
F	196-490-540-000	SFR	0.152	1.000	1.0	1.0000	35.11	35.10
F	196-490-550-000	SFR	0.160	1.000	1.0	1.0000	35.11	35.10
F	196-490-560-000	SFR	0.151	1.000	1.0	1.0000	35.11	35.10
F	196-490-570-000	SFR	0.153	1.000	1.0	1.0000	35.11	35.10
SUBTOTAL:		154 PARCELS				152.5610		\$5,354.86

Zone	APN	Land Use	Acreage	Units	BUF	EDU	Rate	Levy
G	196-110-010-000	VAC	0.312	0.312	1.0	0.3120	\$8.03	\$2.50
G	196-110-020-000	VAC	0.281	0.281	1.0	0.2810	8.03	2.24
G	196-110-030-000	VAC	0.650	0.650	1.0	0.6500	8.03	5.20
G	196-110-040-000	VAC	0.933	0.933	1.0	0.9330	8.03	7.48
G	196-110-050-000	NON-RES	0.356	0.356	4.0	1.4240	8.03	11.42
G	196-110-060-000	VAC	0.218	0.250	1.0	0.2500	8.03	2.00
G	196-110-070-000	NON-RES	0.557	0.557	4.0	2.2280	8.03	17.88
G	196-110-080-000	NON-RES	0.469	0.469	4.0	1.8760	8.03	15.06
G	196-110-090-000	VAC	0.151	0.250	1.0	0.2500	8.03	2.00
G	196-110-230-000	NON-RES	0.878	0.878	4.0	3.5120	8.03	28.20
G	196-110-240-000	NON-RES	0.920	0.920	4.0	3.6800	8.03	29.54
G	196-110-250-000	VAC-RESTR DEV	0.324	0.324	0.5	0.1620	8.03	1.30
G	196-110-260-000	VAC-RESTR DEV	1.408	1.408	0.5	0.7040	8.03	5.64
G	196-110-200-000	NON-RES	3.250	3.250	4.0	13.0000	8.03	104.38
G	196-110-210-000	NON-RES	5.970	5.970	4.0	23.8800	8.03	191.74

CITY OF LATHROP
RESIDENTIAL LIGHTING MAINTENANCE DISTRICT
FISCAL YEAR 2020/21
PARCEL LISTING

Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
G	196-110-220-000	NON-RES	0.742	0.742	4.0	2.9680	8.03	23.82
G	196-110-180-000	NON-RES	2.480	2.480	4.0	9.9200	8.03	79.64
G	196-110-190-000	VAC	0.664	0.664	1.0	0.6640	8.03	5.32
G	196-190-810-000	NON-RES	3.770	3.770	4.0	15.0800	8.03	121.08
G	196-190-820-000	NON-RES	0.675	0.675	4.0	2.7000	8.03	21.68
G	196-190-830-000	NON-RES	0.732	0.732	4.0	2.9280	8.03	23.50
G	196-200-790-000	NON-RES	2.230	2.230	4.0	8.9200	8.03	71.62
G	196-200-800-000	NON-RES	0.780	0.780	4.0	3.1200	8.03	25.04
G	196-200-810-000	NON-RES	1.590	1.590	4.0	6.3600	8.03	51.06
G	196-270-010-000	NON-RES	1.244	1.244	4.0	4.9760	8.03	39.94
G	196-270-020-000	NON-RES	8.340	8.340	4.0	33.3600	8.03	267.88
G	196-270-040-000	NON-RES	12.000	10.000	4.0	40.0000	8.03	321.20
G	196-270-220-000	NON-RES	4.800	4.800	4.0	19.2000	8.03	154.16
G	196-270-310-000	NON-RES	0.920	0.920	4.0	3.6800	8.03	29.54
G	196-730-010-000	SFR	0.091	1.000	1.0	1.0000	8.03	8.02
G	196-730-020-000	SFR	0.090	1.000	1.0	1.0000	8.03	8.02
G	196-730-030-000	SFR	0.092	1.000	1.0	1.0000	8.03	8.02
G	196-730-040-000	SFR	0.092	1.000	1.0	1.0000	8.03	8.02
G	196-730-050-000	SFR	0.092	1.000	1.0	1.0000	8.03	8.02
G	196-730-060-000	SFR	0.092	1.000	1.0	1.0000	8.03	8.02
G	196-730-070-000	SFR	0.092	1.000	1.0	1.0000	8.03	8.02
G	196-730-080-000	SFR	0.092	1.000	1.0	1.0000	8.03	8.02
G	196-730-090-000	SFR	0.092	1.000	1.0	1.0000	8.03	8.02
G	196-730-100-000	SFR	0.089	1.000	1.0	1.0000	8.03	8.02
G	196-730-110-000	SFR	0.115	1.000	1.0	1.0000	8.03	8.02
G	196-730-120-000	SFR	0.088	1.000	1.0	1.0000	8.03	8.02
G	196-730-130-000	SFR	0.088	1.000	1.0	1.0000	8.03	8.02
G	196-730-140-000	SFR	0.088	1.000	1.0	1.0000	8.03	8.02
G	196-730-150-000	SFR	0.088	1.000	1.0	1.0000	8.03	8.02
G	196-730-160-000	SFR	0.088	1.000	1.0	1.0000	8.03	8.02
G	196-730-170-000	SFR	0.088	1.000	1.0	1.0000	8.03	8.02
G	196-730-180-000	SFR	0.088	1.000	1.0	1.0000	8.03	8.02
G	196-730-190-000	SFR	0.102	1.000	1.0	1.0000	8.03	8.02
G	196-730-200-000	SFR	0.142	1.000	1.0	1.0000	8.03	8.02
G	196-730-210-000	SFR	0.188	1.000	1.0	1.0000	8.03	8.02
G	196-730-220-000	SFR	0.105	1.000	1.0	1.0000	8.03	8.02
G	196-730-230-000	SFR	0.087	1.000	1.0	1.0000	8.03	8.02
G	196-730-240-000	SFR	0.088	1.000	1.0	1.0000	8.03	8.02
G	196-730-250-000	SFR	0.088	1.000	1.0	1.0000	8.03	8.02
G	196-730-260-000	SFR	0.088	1.000	1.0	1.0000	8.03	8.02
G	196-730-270-000	SFR	0.088	1.000	1.0	1.0000	8.03	8.02
G	196-730-280-000	SFR	0.088	1.000	1.0	1.0000	8.03	8.02
G	196-730-290-000	SFR	0.088	1.000	1.0	1.0000	8.03	8.02
G	196-730-300-000	SFR	0.088	1.000	1.0	1.0000	8.03	8.02
G	196-730-310-000	SFR	0.088	1.000	1.0	1.0000	8.03	8.02
G	196-730-320-000	SFR	0.111	1.000	1.0	1.0000	8.03	8.02
G	196-730-330-000	SFR	0.105	1.000	1.0	1.0000	8.03	8.02
G	196-730-340-000	SFR	0.093	1.000	1.0	1.0000	8.03	8.02
G	196-730-350-000	SFR	0.093	1.000	1.0	1.0000	8.03	8.02
G	196-730-360-000	SFR	0.094	1.000	1.0	1.0000	8.03	8.02
G	196-730-370-000	SFR	0.093	1.000	1.0	1.0000	8.03	8.02
G	196-730-380-000	SFR	0.093	1.000	1.0	1.0000	8.03	8.02
G	196-730-390-000	SFR	0.093	1.000	1.0	1.0000	8.03	8.02
G	196-730-400-000	SFR	0.112	1.000	1.0	1.0000	8.03	8.02
G	196-730-410-000	SFR	0.108	1.000	1.0	1.0000	8.03	8.02
G	196-730-420-000	SFR	0.093	1.000	1.0	1.0000	8.03	8.02

**CITY OF LATHROP
RESIDENTIAL LIGHTING MAINTENANCE DISTRICT
FISCAL YEAR 2020/21
PARCEL LISTING**

Zone	APN	Land Use	Acreage	Units (1)	BUF	EDU	Rate	Levy
G	196-730-430-000	SFR	0.093	1.000	1.0	1.0000	8.03	8.02
G	196-730-440-000	SFR	0.093	1.000	1.0	1.0000	8.03	8.02
G	196-730-450-000	SFR	0.094	1.000	1.0	1.0000	8.03	8.02
G	196-730-460-000	SFR	0.093	1.000	1.0	1.0000	8.03	8.02
G	196-730-470-000	SFR	0.093	1.000	1.0	1.0000	8.03	8.02
G	196-730-480-000	SFR	0.112	1.000	1.0	1.0000	8.03	8.02
G	196-730-490-000	SFR	0.110	1.000	1.0	1.0000	8.03	8.02
G	196-730-500-000	SFR	0.093	1.000	1.0	1.0000	8.03	8.02
G	196-730-510-000	SFR	0.093	1.000	1.0	1.0000	8.03	8.02
G	196-730-520-000	SFR	0.093	1.000	1.0	1.0000	8.03	8.02
G	196-730-530-000	SFR	0.094	1.000	1.0	1.0000	8.03	8.02
G	196-730-540-000	SFR	0.093	1.000	1.0	1.0000	8.03	8.02
G	196-730-550-000	SFR	0.093	1.000	1.0	1.0000	8.03	8.02
G	196-730-560-000	SFR	0.116	1.000	1.0	1.0000	8.03	8.02
G	196-730-570-000	SFR	0.109	1.000	1.0	1.0000	8.03	8.02
G	196-730-580-000	SFR	0.093	1.000	1.0	1.0000	8.03	8.02
G	196-730-590-000	SFR	0.093	1.000	1.0	1.0000	8.03	8.02
G	196-730-600-000	SFR	0.094	1.000	1.0	1.0000	8.03	8.02
G	196-730-610-000	SFR	0.093	1.000	1.0	1.0000	8.03	8.02
G	196-730-620-000	SFR	0.093	1.000	1.0	1.0000	8.03	8.02
G	196-730-630-000	SFR	0.093	1.000	1.0	1.0000	8.03	8.02
G	196-730-640-000	SFR	0.116	1.000	1.0	1.0000	8.03	8.02
G	196-730-650-000	EXEMPT	0.000	0.000	0.0	0.0000	8.03	0.00
G	196-730-660-000	VAC-RESTR DEV	0.390	0.390	0.5	0.1950	8.03	1.56
G	196-750-010-000	SFR	0.127	1.000	1.0	1.0000	8.03	8.02
G	196-750-020-000	SFR	0.118	1.000	1.0	1.0000	8.03	8.02
G	196-750-030-000	SFR	0.116	1.000	1.0	1.0000	8.03	8.02
G	196-750-040-000	SFR	0.114	1.000	1.0	1.0000	8.03	8.02
G	196-750-050-000	SFR	0.114	1.000	1.0	1.0000	8.03	8.02
G	196-750-060-000	SFR	0.114	1.000	1.0	1.0000	8.03	8.02
G	196-750-070-000	SFR	0.134	1.000	1.0	1.0000	8.03	8.02
G	196-750-080-000	SFR	0.125	1.000	1.0	1.0000	8.03	8.02
G	196-750-090-000	SFR	0.144	1.000	1.0	1.0000	8.03	8.02
G	196-750-100-000	SFR	0.173	1.000	1.0	1.0000	8.03	8.02
G	196-750-110-000	SFR	0.137	1.000	1.0	1.0000	8.03	8.02
G	196-750-120-000	SFR	0.114	1.000	1.0	1.0000	8.03	8.02
G	196-750-130-000	SFR	0.151	1.000	1.0	1.0000	8.03	8.02
G	196-750-140-000	SFR	0.154	1.000	1.0	1.0000	8.03	8.02
G	196-750-150-000	SFR	0.139	1.000	1.0	1.0000	8.03	8.02
G	196-750-160-000	SFR	0.153	1.000	1.0	1.0000	8.03	8.02
G	196-750-170-000	SFR	0.178	1.000	1.0	1.0000	8.03	8.02
G	196-750-180-000	SFR	0.137	1.000	1.0	1.0000	8.03	8.02
G	196-750-190-000	SFR	0.114	1.000	1.0	1.0000	8.03	8.02
G	196-750-200-000	SFR	0.140	1.000	1.0	1.0000	8.03	8.02
SUBTOTAL:		115 PARCELS				291.2130		\$2,337.30

GRAND TOTAL: 2,487 PARCELS 2,838.0835 \$130,664.14

(1) Units represents number of assessable residential units or acreage (with applicable minimum and maximum restrictions) for non-residential parcels.

CITY OF LATHROP

**Mossdale Landscape and Lighting
Maintenance District**

Annual Engineer's Report

Fiscal Year 2020/21



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**CITY OF LATHROP
MOSSDALE LANDSCAPE AND
LIGHTING MAINTENANCE DISTRICT**

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CITY COUNCIL

Sonny Dhaliwal, Mayor

Martha Salcedo, Vice Mayor

Paul Akinjo, Councilmember

Diane Lazard, Councilmember

Jennifer Torres-O'Callaghan, Councilmember

CITY STAFF

Stephen Salvatore, City Manager

Salvador Navarrete, City Attorney

Cari James, Finance Director

Glenn Gebhardt, City Engineer

NBS

Tim Seufert, Client Services Director

Kristin Harvey, Senior Consultant

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1. ENGINEER’S LETTER

WHEREAS, the City Council of the City of Lathrop (the “City”), State of California, directed NBS Government Finance Group, DBA NBS (“NBS”) to prepare and file a report presenting plans and specifications describing the general nature, location, and extent of the improvements to be maintained, and an estimate of the costs of the maintenance, operations, and servicing of the improvements for the City of Lathrop Mossdale Landscape and Lighting Maintenance District, including Annexation No. 1, Zone 2 (the “District”) for Fiscal Year 2020/21. The report includes a diagram for the District showing the area and properties proposed to be assessed, an assessment of the estimated costs of the maintenance, operations, and servicing of the improvements, and the net amount to be assessed upon all assessable parcels within the District in proportion to the special benefit received;

WHEREAS, the proposed assessment rate of \$276.10 per Equivalent Unit (“EU”) is not greater than 103% of the prior year maximum assessment rate, as approved by the land owners. The District is in compliance with the assessment balloting procedures set forth in Section 4 of Article XIII D of the California Constitution and the District was formed by consent of 100% of the land owners.

NOW THEREFORE, only parcels that receive direct special benefit are assessed, and each parcel is assessed in proportion to the estimated benefit received. The following assessment is made to fund the portion of the estimated costs of maintenance, operation, and servicing of the improvements to be paid by the assessable real property within the District in proportion to the special benefit received:

SUMMARY OF ASSESSMENT

Description	Amount
Balance to Levy	\$595,934.24
Total District Equivalent Units	2,158.40
Total Assessment per Equivalent Unit	\$276.10
Total Assessment ⁽¹⁾	\$595,934.24

I, the undersigned, respectfully submit the enclosed Engineer’s Report and, to the best of my knowledge, information, and belief, the Engineer’s Report, Assessments, and the District Diagram herein have been prepared and computed in accordance with the order and historical practices of the City Council of the City.

NBS Government Finance Group, DBA NBS



2. OVERVIEW

2.1 Introduction

The District was formed in 2004 (the “Zone 1”) and is levied pursuant to the Landscaping and Lighting Act of 1972, Part 2 of Division 15 of the California Streets and Highways Code (the “Act”). In 2006, the City annexed territory to the District designated as Annexation No. 1, Zone 2.

This Annual Engineer’s Report (the “Report”) describes the District and the charge per single family residence (the “SFR”) and multi-family residence (the “MFR”) EU for Fiscal Year 2020/21 based upon the estimated costs to maintain the improvements and provide the services that benefit parcels within the District.

The word “parcel,” for the purposes of this Report, refers to an individual property assigned its own Assessor’s Parcel Number by the San Joaquin County (the “County”) Assessor’s Office. The County Auditor-Controller uses Assessor’s Parcel Numbers and specific fund numbers to identify properties on the tax roll that receive special district benefit assessments.

Following consideration of public comments at a noticed public hearing, and following review of the Report, the City Council may confirm the submittal of the Report and may order the levy and collection of assessments to the County Auditor-Controller for Fiscal Year 2020/21.

2.2 Effect of Proposition 218

On November 5, 1996, California voters approved Proposition 218 by a vote of 56.5% to 43.5%. The provisions of the Proposition, now California Constitutional Articles XIII C and XIII D, added substantive and procedural requirements for assessments, which affect the City’s landscaping and lighting maintenance assessments.

As approved by the land owners, the maximum assessment rate increases by 3% each year. The maximum assessment rate for Fiscal Year 2020/21 is \$284.38 per EU. The proposed assessment rate for Fiscal Year 2020/21 is \$276.10 per SFR EU and \$276.10 per MFR EU, each of which are below the maximum assessment rate.

The District is in compliance with the assessment balloting procedures set forth in Section 4 of Article XIII D and the District was formed by consent of 100% of the land owners.

The following table shows the levy assessment rate and the maximum assessment rate for the three most recent years.

Fiscal Year	Levy Assessment Rate	Maximum Assessment Rate
2020/21	\$276.10	\$284.38
2019/20	268.06	276.10
2018/19	260.25	268.06

2.3 Plans and Specifications for the Improvements

The District is located in the City; the boundaries of the District are described as that area generally bounded by Assessor's Parcel Number ("APN") 191-210-05 to the North, APN 241-020-009 to the South, generally Golden Valley Parkway to the East, and the San Joaquin River to the West. All APNs detailed above reference the County Assessor's Maps for Fiscal Year 2003/04. The District currently consists of 2,108 SFR EU and 50.4 MFR EU in multiple subdivisions on the western side of the City.

The boundaries of Annexation No. 1 are described as that area generally bounded by APN 241-020-052 and 241-020-053 to the North, the Pacific Union Railroad to the South, Interstate 5 to the East, and the San Joaquin River to the West. Annexation No. 1 is comprised of Tract 3438 (Vallentyne – Autumnwood Villas III) and APN 241-020-33 and 241-020-34, which were anticipated to consist of 69 residential lots when developed.

The District provides for the continued administration, maintenance, operations, and servicing of various improvements located within the public right-of-way and dedicated easements within the boundaries of the District.

The improvements are the construction, operation, maintenance, and servicing of lighting, landscaping, and appurtenant facilities including, but not limited to, personnel, electrical energy for street lights, security lighting, and irrigation controllers, materials, contracting services, and other items necessary for the satisfactory operation of these services as described as follows:

"The landscape and lighting improvements within the District, may include, but are not limited to: landscaping, planting, shrubbery, trees, turf, irrigation systems, street lighting, and appurtenant facilities including, but not limited to, public right-of-way, easements, and park sites. Services provided include all necessary service, operations, administration, and maintenance required to keep the improvements in a healthy, vigorous, and satisfactory condition."

Reference is made to the plans and specifications for the improvements, which are on file with the City.

3. ESTIMATE OF COSTS

3.1 Description of Budget Items

Personnel Services - Includes employee salaries, salary related costs, and employee benefits including retirement, medical benefits, and workers compensation costs, etc.

Maintenance & Operations - Includes the following:

Advertising/Legal Notices - Includes the cost of publishing the required legal notices necessary to complete the required procedures for levying the assessments.

Auto & Heavy Equipment Maintenance Parts - Includes replacement parts for City vehicles used for maintenance.

Auto & Heavy Equipment Maintenance & Repair - Includes maintenance of City vehicles used for maintenance.

Chemicals - Includes insect repellent, weed killer, and rodent control.

Communication Equipment Repair - Includes repair of electronic components, power cords, mobile, and portable radios.

Contract Services - Includes Professional Services necessary for District maintenance including trees and landscaping, park maintenance, equipment rental, computer technical support, and the preparation of the Report.

Gas, Diesel, Oil & Lubricants - Includes fuel, oil, and lubricants for vehicles and miscellaneous small equipment.

Miscellaneous Supplies - Includes office equipment and supplies, custodial supplies, materials, and supplies, tools, reference materials, and additional administrative costs.

Other Maintenance & Repair - Includes contracted maintenance and repair services such as annual fire extinguisher service and emergency repairs.

Printing & Typesetting - Includes the cost of preparing the required legal notices necessary to complete the required procedures for levying the assessments.

Training, Membership, Travel & Dues - Includes continuing training for maintenance staff.

Uniforms/Protective Clothing - Includes employee uniforms including safety boots, jackets, gloves, etc.

Utilities - Gas & Electric - Includes electrical power for street lights, sprinklers, statuary fountains etc.

Water - Includes water for irrigation.

Fixed Charges & Special Fees - Includes the charges per parcel to place the assessments on the County Secured Property Tax Roll.

Capital - Includes depreciation charges for capital items used in Mossdale operations (e.g. vehicles, buildings, etc.).

Indirect Costs - Includes overhead costs of the City related to maintenance, operation, and administration of the District.

Capital Replacement - includes funding for the timely replacement of vehicles and buildings used for Mossdale operations.

Equipment Replacement - Includes funding for the timely replacement of equipment used for Mossdale operations.

Maintenance Repairs & Contingency - An amount included to build a Reserve and Contingency Fund. The Fund will be considered fully funded when the account balance reaches an amount equal to 50% of the annual maintenance costs, unless an additional reserve amount is collected to provide for capital replacement in future fiscal years.

3.2 District Budget

The budget for Fiscal Year 2020/21 is as follows.

Description	2020/21 Budget
Personnel Services	\$56,933.00
Maintenance & Operations Total	565,700.00
Fixed Assets/Capital Total	6,106.00
Indirect Costs	74,837.00
Capital Replacement	5,000.00
Equipment Replacement	0.00
Maintenance Repair & Contingency	<u>0.00</u>
Total District Costs	\$708,576.00

3.3 Balance to Levy

Total District Costs - Includes the personnel services, maintenance, and operations, capital (including capital replacement costs), indirect costs and equipment, and capital replacement costs.

Other Revenue Sources - This is the amount of additional funds designated for use by the District that are not from District assessments. These funds are added to the District account to reduce assessments and may be from either non-District sources including City General Fund contributions or District sources including interest earnings.

Contribution to (from) Operational Reserves - The Operational Reserves item provides funds to operate the District from the time period of July 1 (beginning of the fiscal year) through December when the County provides the City with the first installment of assessments collected from the property tax bills. This eliminates the need for the City to transfer funds from non-District accounts to pay for District charges during the first half of the fiscal year. Negative amounts shown here are transfers that are used to reduce the Balance to Levy. Using reserve amounts in this way allows the levy per unit to remain at prior period rates, despite an increase in District costs.

Contribution to (from) Capital Reserves - The Capital Reserve Account item provides funds to maintain reserves for extraordinary maintenance items and unexpected capital expenditures that may occur as a result of natural occurrences or other unforeseen circumstances.

Balance to Levy - This is the total amount to be levied and collected through assessments for the current fiscal year. The Balance to Levy represents the sum of the total direct and administration costs, reserves, contributions, and other revenue sources.

The following table shows the total costs, additional revenues and contributions, and the Balance to Levy for Fiscal Year 2020/21.

Description	Amount
Total District Costs	\$708,576.00
Other Revenue Sources	0.00
Contribution to (from) Operational Reserves	(112,641.76)
Contribution to (from) Capital Reserves	<u>0.00</u>
Balance to Levy	\$595,934.24

3.4 Operational & Maintenance Reserve Information

The following table shows the estimated balance of the Operational and Maintenance Reserves.

Description	Amount
Estimated Beginning Balance - July 1, 2020	\$423,608.68
Contribution to (from) Operational and Maintenance	<u>(112,641.76)</u>
Estimated Ending Balance - June 30, 2021	\$310,966.92

The reserves are intended to be used and/or accumulated for repair and/or capital replacement, as needed for improvements within the District.

4. METHOD OF APPORTIONMENT

4.1 Method of Apportionment

Pursuant to the Act and Article XIII D of the Constitution of the State of California, all parcels that have special benefit conferred upon them as a result of the maintenance and operation of improvements will be identified and the proportional special benefit derived by each identified parcel will be determined in relation to the entire cost of the maintenance and operation of the improvements. Only parcels that receive direct special benefit are assessed, and each parcel is assessed in proportion to the estimated benefit received. The assessment has been levied in accordance with the assessment methodology adopted and approved by the City Council at the time of District formation.

Mossdale is a mixed use development. There are 2,108 SFR units within the District. Each of these units is deemed to receive a proportional special benefit of one (1) EU from the maintenance and operation of the improvements. The total SFR EU count is 2,108.

There are 84 MFR units within the District. MFR units receive a proportional special benefit of six tenths (0.60) EU from the maintenance and operation of the improvements. The total MFR EU count is 50.4.

The Fiscal Year 2020/21 assessment rate is not proposed to increase by more than 3% from the prior year maximum assessment rate. Therefore, the District is in compliance with the assessment balloting procedures set forth in Section 4 of Article XIII D. For details, see section 2.2 of this Report.

4.2 Assessment - SFR EU

The following table shows the assessment per single family residential EU for the Fiscal Year 2020/21 levy.

Description	Amount
Balance to Levy	\$595,934.24
Total District SFR EU	2,108
Calculated Assessment Per SFR EU	\$276.10
Total Assessment – SFR EU ⁽¹⁾	\$582,018.80

4.3 Assessment - MFR EU

The following table shows the assessment per multi-family residential EU for the Fiscal Year 2020/21 levy.

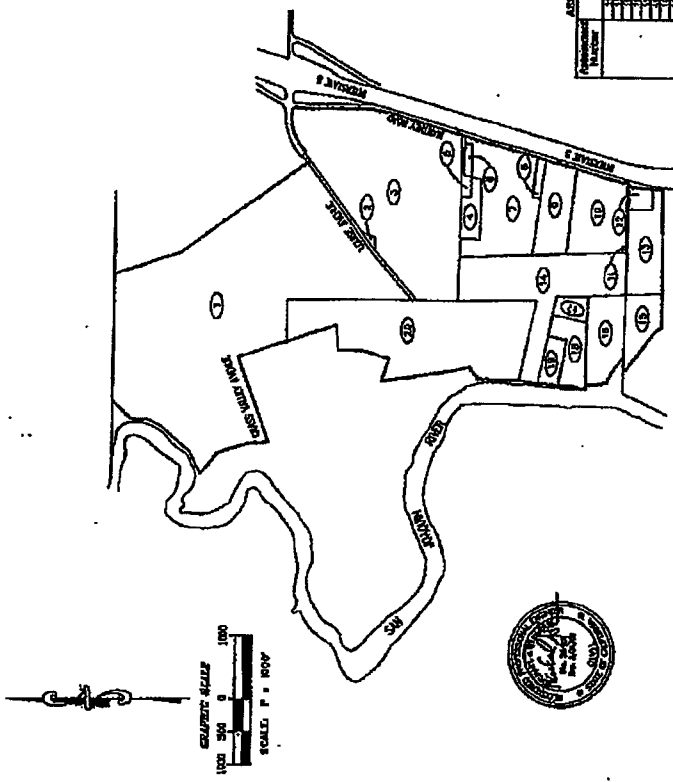
Description	Amount
Balance to Levy	\$595,934.24
Total Assessment – SFR EU	<u>(582,018.80)</u>
Remaining Balance to Levy	\$13,915.44
Total District MFR EU	50.40
Calculated Assessment Per MFR EU	\$276.10
Total Assessment – MFR EU ⁽¹⁾	\$13,915.44

5. ASSESSMENT DIAGRAM

The following pages provide a copy of the Assessment Diagram for the District and Annexation No. 1, Zone 2. The lines and dimensions shown on maps of the County Assessor for the current year are incorporated by reference and made part of this Report.

MOSSDALE LANDSCAPE AND LIGHTING MAINTENANCE DISTRICT

CITY OF LATHROP
COUNTY OF WAUKEGAN
STATE OF CALIFORNIA



BEFORE ME, CLERK OF THE CITY OF LATHROP, WAUKEGAN COUNTY, CALIFORNIA, on this 25th day of May, 2004, the following persons appeared and acknowledged to me that they executed the foregoing instrument for the purposes and consideration therein expressed:

[Signature]
 City of Lathrop
 City of Lathrop

WITNESSETH THAT THE FOREGOING INSTRUMENT WAS PROPOSED BY THE CITY OF LATHROP, WAUKEGAN COUNTY, CALIFORNIA, AND THAT THE INSTRUMENT WAS APPROVED BY THE CITY COUNCIL OF THE CITY OF LATHROP, WAUKEGAN COUNTY, CALIFORNIA, ON THE 25th DAY OF MAY, 2004.

[Signature]
 City of Lathrop
 City of Lathrop

THIS INSTRUMENT IS VALID AND EFFECTIVE AS TO THE CITY OF LATHROP, WAUKEGAN COUNTY, CALIFORNIA, AND AS TO THE COUNTY RECORDS OF THE COUNTY OF WAUKEGAN, CALIFORNIA, FROM THE DATE OF RECORDING HEREON.

WITNESSETH THAT THE FOREGOING INSTRUMENT WAS APPROVED BY THE CITY COUNCIL OF THE CITY OF LATHROP, WAUKEGAN COUNTY, CALIFORNIA, ON THE 25th DAY OF MAY, 2004.

[Signature]
 City of Lathrop
 City of Lathrop

WITNESSETH THAT THE FOREGOING INSTRUMENT WAS APPROVED BY THE CITY COUNCIL OF THE CITY OF LATHROP, WAUKEGAN COUNTY, CALIFORNIA, ON THE 25th DAY OF MAY, 2004.

DOE M. BROWN, CLERK OF THE CITY OF LATHROP, WAUKEGAN COUNTY, CALIFORNIA, and JANE D. BROWN, CLERK OF THE COUNTY OF WAUKEGAN, CALIFORNIA, are hereby authorized to execute this instrument on behalf of the City of Lathrop, Waukegan County, California.

[Signature]
 Doe M. Brown
 Clerk of the City of Lathrop
 City of Lathrop
 Waukegan County, California

Parcel No.	Assessment ID	Area	Permitted
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			
11			
12			
13			
14			
15			
16			
17			
18			
19			
20			

LEGEND

ASSESSMENT DISTRICT BOUNDARY

PANEL LINE

ASSESSORS PARCEL IDENTIFICATION

NBS

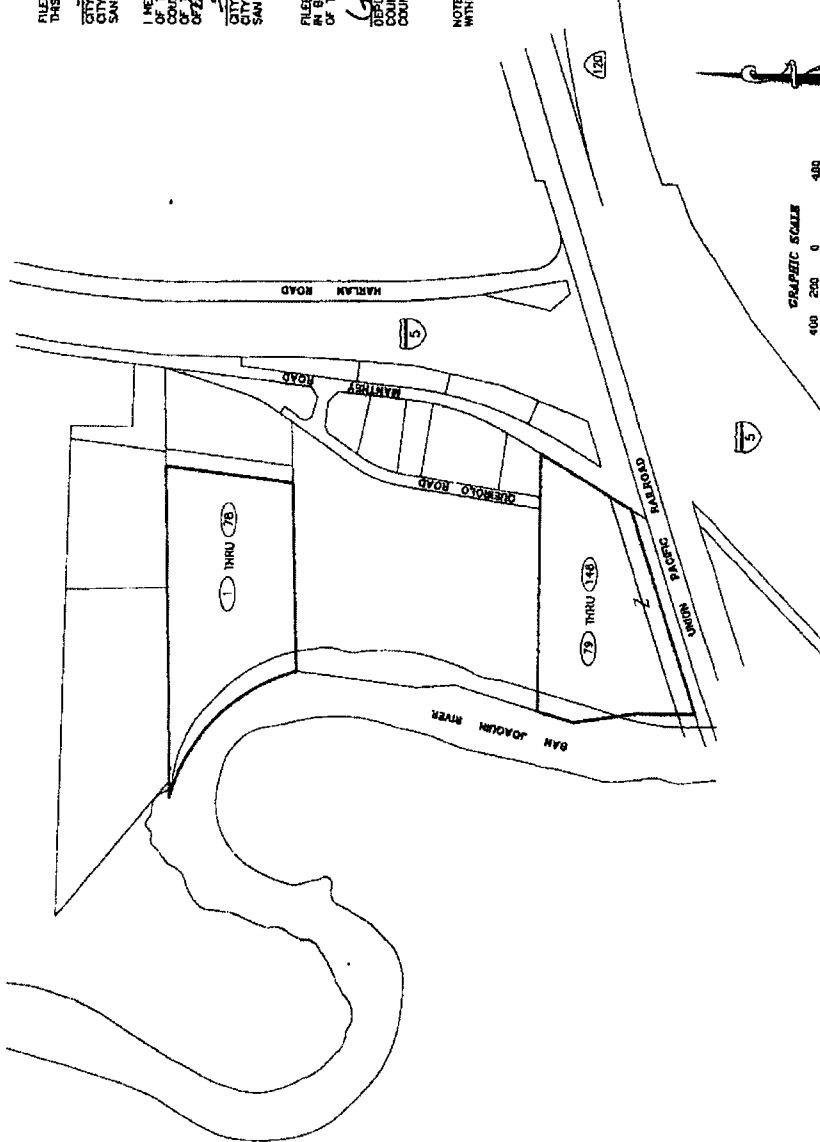
4400 English Dale Blvd, Ste. 220
 Newark, CA 94593
 Local Government Division

5-151

SHEET 1 OF 2

ANNEXATION DIAGRAM MOSSDALE LANDSCAPE AND LIGHTING MAINTENANCE DISTRICT ANNEXATION NO. 1, ZONE 2 (MOSSDALE LANDING SOUTH)

CITY OF LATHROP
COUNTY OF SAN JOAQUIN
STATE OF CALIFORNIA



FILED IN THE OFFICE OF THE CITY CLERK OF THE CITY OF LATHROP
THIS 21st DAY OF December 2006

CITY CLERK
CITY OF LATHROP
SAN JOAQUIN COUNTY, CALIFORNIA

I HEREBY CERTIFY THAT THE WITHIN MAP SHOWING THE BOUNDARIES OF THE ANNEXATION
DISTRICT AND THE WITHIN MAPS OF ASSESSMENT DISTRICTS IN THE OFFICE
OF THE COUNTY RECORDER OF THE COUNTY OF SAN JOAQUIN, STATE OF CALIFORNIA,
OF THE CITY OF LATHROP AT A REGULAR MEETING THEREOF HELD ON THE 17th DAY
OF December, 2006 BY ITS RESOLUTION NO. 26-2314.

CITY CLERK
CITY OF LATHROP
SAN JOAQUIN COUNTY, CALIFORNIA

FILED THIS 9th DAY OF December 2007 AT THE HOUR OF 10:00 A.M.
IN ROOM 501 AS THE COUNTY CLERK OF ASSESSMENT DISTRICTS IN THE OFFICE
OF THE COUNTY RECORDER OF THE COUNTY OF SAN JOAQUIN, STATE OF CALIFORNIA.

County Recorder by Christina M. Miao
COUNTY RECORDER
COUNTY OF SAN JOAQUIN

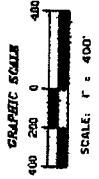
NOTE: FOR A DETAILED DESCRIPTION OF THE LINES AND DIMENSIONS OF EACH PARCEL
WITHIN THE DISTRICT REFER TO THE COUNTY OF SAN JOAQUIN ASSESSOR'S MAPS.

DOC # 2007-008577



LEGEND

- ASSESSMENT DISTRICT BOUNDARY
- PARCEL LINES
- ASSESSMENT NUMBER



NBS

2700 River St. Suite 100
Folsom, CA 95630
Local Government Solutions

5-151

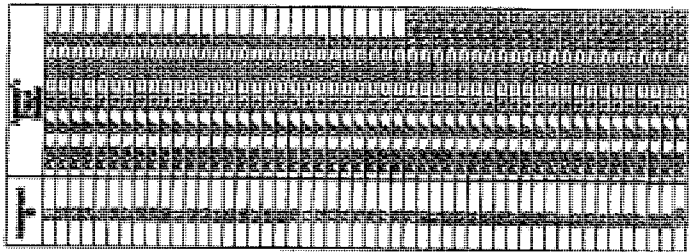
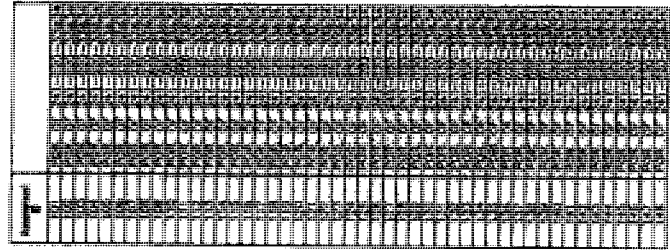
5-151A

SHEET 2 OF 2

ANNEXATION DIAGRAM
MOSSDALE LANDSCAPE AND LIGHTING MAINTENANCE DISTRICT
ANNEXATION NO. 1, ZONE 2 (MOSSDALE LANDING SOUTH)

CITY OF LATHROP
COUNTY OF SAN JOAQUIN
STATE OF CALIFORNIA

Assessment #	Assessor's Parcel Number
1	POR 07 241-070-56
2	POR 07 241-070-56
3	POR 07 241-070-56
4	POR 07 241-070-56
5	POR 07 241-070-56
6	POR 07 241-070-56
7	POR 07 241-070-56
8	POR 07 241-070-56
9	POR 07 241-070-56
10	POR 07 241-070-56
11	POR 07 241-070-56
12	POR 07 241-070-56
13	POR 07 241-070-56
14	POR 07 241-070-56
15	POR 07 241-070-56
16	POR 07 241-070-56
17	POR 07 241-070-56
18	POR 07 241-070-56
19	POR 07 241-070-56
20	POR 07 241-070-56
21	POR 07 241-070-56
22	POR 07 241-070-56
23	POR 07 241-070-56
24	POR 07 241-070-56
25	POR 07 241-070-56
26	POR 07 241-070-56
27	POR 07 241-070-56
28	POR 07 241-070-56
29	POR 07 241-070-56
30	POR 07 241-070-56
31	POR 07 241-070-56
32	POR 07 241-070-56
33	POR 07 241-070-56
34	POR 07 241-070-56
35	POR 07 241-070-56
36	POR 07 241-070-56
37	POR 07 241-070-56
38	POR 07 241-070-56
39	POR 07 241-070-56
40	POR 07 241-070-56
41	POR 07 241-070-56
42	POR 07 241-070-56
43	POR 07 241-070-56
44	POR 07 241-070-56
45	POR 07 241-070-56
46	POR 07 241-070-56
47	POR 07 241-070-56
48	POR 07 241-070-56
49	POR 07 241-070-56
50	POR 07 241-070-56



NBS

2025 - Hayes St. South, SR-103
Lathrop, CA 95240
Local Government Solutions

5-151A

6. PARCEL LISTING

The parcel listing of assessments is provided on the following pages. The description of each lot or parcel is a part of the records of the County Assessor and is incorporated by reference and made part of this Report.

CITY OF LATHROP
MOSSDALE LANDSCAPING AND LIGHTING DISTRICT
FISCAL YEAR 2020/21
PARCEL LISTING

Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment ⁽¹⁾
1	191-360-010-000	SFR	1	1.0	284.38	276.10
1	191-360-020-000	SFR	1	1.0	284.38	276.10
1	191-360-030-000	SFR	1	1.0	284.38	276.10
1	191-360-040-000	SFR	1	1.0	284.38	276.10
1	191-360-050-000	SFR	1	1.0	284.38	276.10
1	191-360-060-000	SFR	1	1.0	284.38	276.10
1	191-360-070-000	SFR	1	1.0	284.38	276.10
1	191-360-080-000	SFR	1	1.0	284.38	276.10
1	191-360-090-000	SFR	1	1.0	284.38	276.10
1	191-360-100-000	SFR	1	1.0	284.38	276.10
1	191-360-110-000	SFR	1	1.0	284.38	276.10
1	191-360-120-000	SFR	1	1.0	284.38	276.10
1	191-360-130-000	SFR	1	1.0	284.38	276.10
1	191-360-140-000	SFR	1	1.0	284.38	276.10
1	191-360-150-000	SFR	1	1.0	284.38	276.10
1	191-360-160-000	SFR	1	1.0	284.38	276.10
1	191-360-170-000	SFR	1	1.0	284.38	276.10
1	191-360-180-000	SFR	1	1.0	284.38	276.10
1	191-360-190-000	SFR	1	1.0	284.38	276.10
1	191-360-200-000	SFR	1	1.0	284.38	276.10
1	191-360-210-000	SFR	1	1.0	284.38	276.10
1	191-360-220-000	SFR	1	1.0	284.38	276.10
1	191-360-230-000	SFR	1	1.0	284.38	276.10
1	191-360-240-000	SFR	1	1.0	284.38	276.10
1	191-360-250-000	SFR	1	1.0	284.38	276.10
1	191-360-260-000	SFR	1	1.0	284.38	276.10
1	191-360-270-000	SFR	1	1.0	284.38	276.10
1	191-360-280-000	SFR	1	1.0	284.38	276.10
1	191-360-290-000	SFR	1	1.0	284.38	276.10
1	191-360-300-000	SFR	1	1.0	284.38	276.10
1	191-360-310-000	SFR	1	1.0	284.38	276.10
1	191-360-320-000	SFR	1	1.0	284.38	276.10
1	191-360-330-000	SFR	1	1.0	284.38	276.10
1	191-360-340-000	SFR	1	1.0	284.38	276.10
1	191-360-350-000	SFR	1	1.0	284.38	276.10
1	191-360-360-000	SFR	1	1.0	284.38	276.10
1	191-360-370-000	SFR	1	1.0	284.38	276.10
1	191-360-380-000	SFR	1	1.0	284.38	276.10
1	191-360-390-000	SFR	1	1.0	284.38	276.10
1	191-360-400-000	SFR	1	1.0	284.38	276.10
1	191-360-410-000	SFR	1	1.0	284.38	276.10
1	191-360-420-000	SFR	1	1.0	284.38	276.10
1	191-360-430-000	SFR	1	1.0	284.38	276.10
1	191-360-440-000	SFR	1	1.0	284.38	276.10
1	191-360-450-000	SFR	1	1.0	284.38	276.10
1	191-360-460-000	SFR	1	1.0	284.38	276.10
1	191-360-470-000	SFR	1	1.0	284.38	276.10
1	191-360-480-000	SFR	1	1.0	284.38	276.10

CITY OF LATHROP
MOSSDALE LANDSCAPING AND LIGHTING DISTRICT
FISCAL YEAR 2020/21
PARCEL LISTING

Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment⁽¹⁾
1	191-360-490-000	SFR	1	1.0	284.38	276.10
1	191-360-500-000	SFR	1	1.0	284.38	276.10
1	191-360-510-000	SFR	1	1.0	284.38	276.10
1	191-360-520-000	SFR	1	1.0	284.38	276.10
1	191-360-530-000	SFR	1	1.0	284.38	276.10
1	191-360-540-000	SFR	1	1.0	284.38	276.10
1	191-360-550-000	SFR	1	1.0	284.38	276.10
1	191-360-560-000	SFR	1	1.0	284.38	276.10
1	191-360-570-000	SFR	1	1.0	284.38	276.10
1	191-360-580-000	SFR	1	1.0	284.38	276.10
1	191-360-590-000	SFR	1	1.0	284.38	276.10
1	191-360-600-000	SFR	1	1.0	284.38	276.10
1	191-360-610-000	SFR	1	1.0	284.38	276.10
1	191-360-620-000	SFR	1	1.0	284.38	276.10
1	191-360-630-000	SFR	1	1.0	284.38	276.10
1	191-360-640-000	SFR	1	1.0	284.38	276.10
1	191-360-650-000	SFR	1	1.0	284.38	276.10
1	191-360-660-000	SFR	1	1.0	284.38	276.10
1	191-360-670-000	SFR	1	1.0	284.38	276.10
1	191-370-010-000	SFR	1	1.0	284.38	276.10
1	191-370-020-000	SFR	1	1.0	284.38	276.10
1	191-370-030-000	SFR	1	1.0	284.38	276.10
1	191-370-040-000	SFR	1	1.0	284.38	276.10
1	191-370-050-000	SFR	1	1.0	284.38	276.10
1	191-370-060-000	SFR	1	1.0	284.38	276.10
1	191-370-070-000	SFR	1	1.0	284.38	276.10
1	191-370-080-000	SFR	1	1.0	284.38	276.10
1	191-370-090-000	SFR	1	1.0	284.38	276.10
1	191-370-100-000	SFR	1	1.0	284.38	276.10
1	191-370-110-000	SFR	1	1.0	284.38	276.10
1	191-370-120-000	SFR	1	1.0	284.38	276.10
1	191-370-130-000	SFR	1	1.0	284.38	276.10
1	191-370-140-000	SFR	1	1.0	284.38	276.10
1	191-370-150-000	SFR	1	1.0	284.38	276.10
1	191-370-160-000	SFR	1	1.0	284.38	276.10
1	191-370-170-000	SFR	1	1.0	284.38	276.10
1	191-370-180-000	SFR	1	1.0	284.38	276.10
1	191-370-190-000	SFR	1	1.0	284.38	276.10
1	191-370-200-000	SFR	1	1.0	284.38	276.10
1	191-370-210-000	SFR	1	1.0	284.38	276.10
1	191-370-220-000	SFR	1	1.0	284.38	276.10
1	191-370-230-000	SFR	1	1.0	284.38	276.10
1	191-370-240-000	SFR	1	1.0	284.38	276.10
1	191-370-250-000	SFR	1	1.0	284.38	276.10
1	191-370-260-000	SFR	1	1.0	284.38	276.10
1	191-370-270-000	SFR	1	1.0	284.38	276.10
1	191-370-280-000	SFR	1	1.0	284.38	276.10
1	191-370-290-000	SFR	1	1.0	284.38	276.10

CITY OF LATHROP
MOSSDALE LANDSCAPING AND LIGHTING DISTRICT
FISCAL YEAR 2020/21
PARCEL LISTING

Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment⁽¹⁾
1	191-370-300-000	SFR	1	1.0	284.38	276.10
1	191-370-310-000	SFR	1	1.0	284.38	276.10
1	191-370-320-000	SFR	1	1.0	284.38	276.10
1	191-370-330-000	SFR	1	1.0	284.38	276.10
1	191-370-340-000	SFR	1	1.0	284.38	276.10
1	191-370-350-000	SFR	1	1.0	284.38	276.10
1	191-370-360-000	SFR	1	1.0	284.38	276.10
1	191-370-370-000	SFR	1	1.0	284.38	276.10
1	191-370-380-000	SFR	1	1.0	284.38	276.10
1	191-370-390-000	SFR	1	1.0	284.38	276.10
1	191-370-400-000	SFR	1	1.0	284.38	276.10
1	191-370-410-000	SFR	1	1.0	284.38	276.10
1	191-370-420-000	SFR	1	1.0	284.38	276.10
1	191-370-430-000	SFR	1	1.0	284.38	276.10
1	191-370-440-000	SFR	1	1.0	284.38	276.10
1	191-370-450-000	SFR	1	1.0	284.38	276.10
1	191-370-460-000	SFR	1	1.0	284.38	276.10
1	191-370-470-000	SFR	1	1.0	284.38	276.10
1	191-370-480-000	SFR	1	1.0	284.38	276.10
1	191-370-490-000	SFR	1	1.0	284.38	276.10
1	191-370-500-000	SFR	1	1.0	284.38	276.10
1	191-370-510-000	SFR	1	1.0	284.38	276.10
1	191-370-520-000	SFR	1	1.0	284.38	276.10
1	191-370-530-000	SFR	1	1.0	284.38	276.10
1	191-370-540-000	SFR	1	1.0	284.38	276.10
1	191-370-550-000	SFR	1	1.0	284.38	276.10
1	191-370-560-000	SFR	1	1.0	284.38	276.10
1	191-370-570-000	SFR	1	1.0	284.38	276.10
1	191-370-580-000	SFR	1	1.0	284.38	276.10
1	191-370-590-000	SFR	1	1.0	284.38	276.10
1	191-370-600-000	SFR	1	1.0	284.38	276.10
1	191-370-610-000	SFR	1	1.0	284.38	276.10
1	191-370-620-000	SFR	1	1.0	284.38	276.10
1	191-370-630-000	SFR	1	1.0	284.38	276.10
1	191-370-640-000	SFR	1	1.0	284.38	276.10
1	191-370-650-000	SFR	1	1.0	284.38	276.10
1	191-370-660-000	SFR	1	1.0	284.38	276.10
1	191-370-670-000	SFR	1	1.0	284.38	276.10
1	191-370-680-000	SFR	1	1.0	284.38	276.10
1	191-370-690-000	SFR	1	1.0	284.38	276.10
1	191-370-700-000	SFR	1	1.0	284.38	276.10
1	191-380-010-000	SFR	1	1.0	284.38	276.10
1	191-380-020-000	SFR	1	1.0	284.38	276.10
1	191-380-030-000	SFR	1	1.0	284.38	276.10
1	191-380-040-000	SFR	1	1.0	284.38	276.10
1	191-380-050-000	SFR	1	1.0	284.38	276.10
1	191-380-060-000	SFR	1	1.0	284.38	276.10
1	191-380-070-000	SFR	1	1.0	284.38	276.10

CITY OF LATHROP
MOSSDALE LANDSCAPING AND LIGHTING DISTRICT
FISCAL YEAR 2020/21
PARCEL LISTING

Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment⁽¹⁾
1	191-380-080-000	SFR	1	1.0	284.38	276.10
1	191-380-090-000	SFR	1	1.0	284.38	276.10
1	191-380-100-000	SFR	1	1.0	284.38	276.10
1	191-380-110-000	SFR	1	1.0	284.38	276.10
1	191-380-120-000	SFR	1	1.0	284.38	276.10
1	191-380-130-000	SFR	1	1.0	284.38	276.10
1	191-380-140-000	SFR	1	1.0	284.38	276.10
1	191-380-150-000	SFR	1	1.0	284.38	276.10
1	191-380-160-000	SFR	1	1.0	284.38	276.10
1	191-380-170-000	SFR	1	1.0	284.38	276.10
1	191-380-180-000	SFR	1	1.0	284.38	276.10
1	191-380-190-000	SFR	1	1.0	284.38	276.10
1	191-380-200-000	SFR	1	1.0	284.38	276.10
1	191-380-210-000	SFR	1	1.0	284.38	276.10
1	191-380-220-000	SFR	1	1.0	284.38	276.10
1	191-380-230-000	SFR	1	1.0	284.38	276.10
1	191-380-240-000	SFR	1	1.0	284.38	276.10
1	191-380-250-000	SFR	1	1.0	284.38	276.10
1	191-380-260-000	SFR	1	1.0	284.38	276.10
1	191-380-270-000	SFR	1	1.0	284.38	276.10
1	191-380-280-000	SFR	1	1.0	284.38	276.10
1	191-380-290-000	SFR	1	1.0	284.38	276.10
1	191-380-300-000	SFR	1	1.0	284.38	276.10
1	191-380-310-000	SFR	1	1.0	284.38	276.10
1	191-380-320-000	SFR	1	1.0	284.38	276.10
1	191-380-330-000	SFR	1	1.0	284.38	276.10
1	191-380-340-000	SFR	1	1.0	284.38	276.10
1	191-380-350-000	SFR	1	1.0	284.38	276.10
1	191-380-360-000	SFR	1	1.0	284.38	276.10
1	191-380-370-000	SFR	1	1.0	284.38	276.10
1	191-380-380-000	SFR	1	1.0	284.38	276.10
1	191-380-390-000	SFR	1	1.0	284.38	276.10
1	191-380-400-000	SFR	1	1.0	284.38	276.10
1	191-380-410-000	SFR	1	1.0	284.38	276.10
1	191-380-420-000	SFR	1	1.0	284.38	276.10
1	191-380-430-000	SFR	1	1.0	284.38	276.10
1	191-380-440-000	SFR	1	1.0	284.38	276.10
1	191-380-450-000	SFR	1	1.0	284.38	276.10
1	191-380-460-000	SFR	1	1.0	284.38	276.10
1	191-380-470-000	SFR	1	1.0	284.38	276.10
1	191-380-480-000	SFR	1	1.0	284.38	276.10
1	191-380-490-000	SFR	1	1.0	284.38	276.10
1	191-380-500-000	SFR	1	1.0	284.38	276.10
1	191-380-510-000	SFR	1	1.0	284.38	276.10
1	191-380-520-000	SFR	1	1.0	284.38	276.10
1	191-380-530-000	SFR	1	1.0	284.38	276.10
1	191-380-540-000	SFR	1	1.0	284.38	276.10
1	191-380-550-000	SFR	1	1.0	284.38	276.10

CITY OF LATHROP
MOSSDALE LANDSCAPING AND LIGHTING DISTRICT
FISCAL YEAR 2020/21
PARCEL LISTING

Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment⁽¹⁾
1	191-380-560-000	SFR	1	1.0	284.38	276.10
1	191-380-570-000	SFR	1	1.0	284.38	276.10
1	191-380-580-000	SFR	1	1.0	284.38	276.10
1	191-380-590-000	SFR	1	1.0	284.38	276.10
1	191-380-600-000	SFR	1	1.0	284.38	276.10
1	191-380-610-000	SFR	1	1.0	284.38	276.10
1	191-380-620-000	SFR	1	1.0	284.38	276.10
1	191-380-630-000	SFR	1	1.0	284.38	276.10
1	191-380-640-000	SFR	1	1.0	284.38	276.10
1	191-380-650-000	SFR	1	1.0	284.38	276.10
1	191-380-660-000	SFR	1	1.0	284.38	276.10
1	191-390-010-000	SFR	1	1.0	284.38	276.10
1	191-390-020-000	SFR	1	1.0	284.38	276.10
1	191-390-030-000	SFR	1	1.0	284.38	276.10
1	191-390-040-000	SFR	1	1.0	284.38	276.10
1	191-390-050-000	SFR	1	1.0	284.38	276.10
1	191-390-060-000	SFR	1	1.0	284.38	276.10
1	191-390-070-000	SFR	1	1.0	284.38	276.10
1	191-390-080-000	SFR	1	1.0	284.38	276.10
1	191-390-090-000	SFR	1	1.0	284.38	276.10
1	191-390-100-000	SFR	1	1.0	284.38	276.10
1	191-390-110-000	SFR	1	1.0	284.38	276.10
1	191-390-120-000	SFR	1	1.0	284.38	276.10
1	191-390-130-000	SFR	1	1.0	284.38	276.10
1	191-390-140-000	SFR	1	1.0	284.38	276.10
1	191-390-150-000	SFR	1	1.0	284.38	276.10
1	191-390-160-000	SFR	1	1.0	284.38	276.10
1	191-390-170-000	SFR	1	1.0	284.38	276.10
1	191-390-180-000	SFR	1	1.0	284.38	276.10
1	191-390-190-000	SFR	1	1.0	284.38	276.10
1	191-390-200-000	SFR	1	1.0	284.38	276.10
1	191-390-210-000	SFR	1	1.0	284.38	276.10
1	191-390-220-000	SFR	1	1.0	284.38	276.10
1	191-390-230-000	SFR	1	1.0	284.38	276.10
1	191-390-250-000	SFR	1	1.0	284.38	276.10
1	191-390-260-000	SFR	1	1.0	284.38	276.10
1	191-390-270-000	SFR	1	1.0	284.38	276.10
1	191-390-280-000	SFR	1	1.0	284.38	276.10
1	191-390-290-000	SFR	1	1.0	284.38	276.10
1	191-390-300-000	SFR	1	1.0	284.38	276.10
1	191-390-310-000	SFR	1	1.0	284.38	276.10
1	191-390-320-000	SFR	1	1.0	284.38	276.10
1	191-390-330-000	SFR	1	1.0	284.38	276.10
1	191-390-340-000	SFR	1	1.0	284.38	276.10
1	191-390-350-000	SFR	1	1.0	284.38	276.10
1	191-390-360-000	SFR	1	1.0	284.38	276.10
1	191-390-370-000	SFR	1	1.0	284.38	276.10
1	191-390-380-000	SFR	1	1.0	284.38	276.10

CITY OF LATHROP
MOSSDALE LANDSCAPING AND LIGHTING DISTRICT
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Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment⁽¹⁾
1	191-390-390-000	SFR	1	1.0	284.38	276.10
1	191-390-400-000	SFR	1	1.0	284.38	276.10
1	191-390-410-000	SFR	1	1.0	284.38	276.10
1	191-390-420-000	SFR	1	1.0	284.38	276.10
1	191-390-430-000	SFR	1	1.0	284.38	276.10
1	191-390-440-000	SFR	1	1.0	284.38	276.10
1	191-390-450-000	SFR	1	1.0	284.38	276.10
1	191-390-460-000	SFR	1	1.0	284.38	276.10
1	191-390-470-000	SFR	1	1.0	284.38	276.10
1	191-390-480-000	SFR	1	1.0	284.38	276.10
1	191-390-490-000	SFR	1	1.0	284.38	276.10
1	191-390-500-000	SFR	1	1.0	284.38	276.10
1	191-390-510-000	SFR	1	1.0	284.38	276.10
1	191-390-520-000	SFR	1	1.0	284.38	276.10
1	191-390-530-000	SFR	1	1.0	284.38	276.10
1	191-390-540-000	SFR	1	1.0	284.38	276.10
1	191-390-550-000	SFR	1	1.0	284.38	276.10
1	191-390-560-000	SFR	1	1.0	284.38	276.10
1	191-390-570-000	SFR	1	1.0	284.38	276.10
1	191-390-580-000	SFR	1	1.0	284.38	276.10
1	191-390-590-000	SFR	1	1.0	284.38	276.10
1	191-390-600-000	SFR	1	1.0	284.38	276.10
1	191-390-610-000	SFR	1	1.0	284.38	276.10
1	191-390-620-000	SFR	1	1.0	284.38	276.10
1	191-390-630-000	SFR	1	1.0	284.38	276.10
1	191-390-640-000	SFR	1	1.0	284.38	276.10
1	191-390-650-000	SFR	1	1.0	284.38	276.10
1	191-390-660-000	SFR	1	1.0	284.38	276.10
1	191-390-670-000	SFR	1	1.0	284.38	276.10
1	191-400-010-000	SFR	1	1.0	284.38	276.10
1	191-400-020-000	SFR	1	1.0	284.38	276.10
1	191-400-030-000	SFR	1	1.0	284.38	276.10
1	191-400-040-000	SFR	1	1.0	284.38	276.10
1	191-400-050-000	SFR	1	1.0	284.38	276.10
1	191-400-060-000	SFR	1	1.0	284.38	276.10
1	191-400-070-000	SFR	1	1.0	284.38	276.10
1	191-400-080-000	SFR	1	1.0	284.38	276.10
1	191-400-090-000	SFR	1	1.0	284.38	276.10
1	191-400-100-000	SFR	1	1.0	284.38	276.10
1	191-400-110-000	SFR	1	1.0	284.38	276.10
1	191-400-120-000	SFR	1	1.0	284.38	276.10
1	191-400-130-000	SFR	1	1.0	284.38	276.10
1	191-400-140-000	SFR	1	1.0	284.38	276.10
1	191-400-150-000	SFR	1	1.0	284.38	276.10
1	191-400-160-000	SFR	1	1.0	284.38	276.10
1	191-400-170-000	SFR	1	1.0	284.38	276.10
1	191-400-180-000	SFR	1	1.0	284.38	276.10
1	191-400-190-000	SFR	1	1.0	284.38	276.10

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MOSSDALE LANDSCAPING AND LIGHTING DISTRICT
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Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment⁽¹⁾
1	191-400-200-000	SFR	1	1.0	284.38	276.10
1	191-400-210-000	SFR	1	1.0	284.38	276.10
1	191-400-220-000	SFR	1	1.0	284.38	276.10
1	191-400-230-000	SFR	1	1.0	284.38	276.10
1	191-400-240-000	SFR	1	1.0	284.38	276.10
1	191-400-250-000	SFR	1	1.0	284.38	276.10
1	191-400-260-000	SFR	1	1.0	284.38	276.10
1	191-400-270-000	SFR	1	1.0	284.38	276.10
1	191-400-280-000	SFR	1	1.0	284.38	276.10
1	191-400-290-000	SFR	1	1.0	284.38	276.10
1	191-400-300-000	SFR	1	1.0	284.38	276.10
1	191-400-310-000	SFR	1	1.0	284.38	276.10
1	191-400-320-000	SFR	1	1.0	284.38	276.10
1	191-400-330-000	SFR	1	1.0	284.38	276.10
1	191-400-340-000	SFR	1	1.0	284.38	276.10
1	191-400-350-000	SFR	1	1.0	284.38	276.10
1	191-400-360-000	SFR	1	1.0	284.38	276.10
1	191-400-370-000	SFR	1	1.0	284.38	276.10
1	191-400-380-000	SFR	1	1.0	284.38	276.10
1	191-400-390-000	SFR	1	1.0	284.38	276.10
1	191-400-400-000	SFR	1	1.0	284.38	276.10
1	191-400-410-000	SFR	1	1.0	284.38	276.10
1	191-400-420-000	SFR	1	1.0	284.38	276.10
1	191-400-430-000	SFR	1	1.0	284.38	276.10
1	191-400-440-000	SFR	1	1.0	284.38	276.10
1	191-400-450-000	SFR	1	1.0	284.38	276.10
1	191-400-460-000	SFR	1	1.0	284.38	276.10
1	191-400-470-000	SFR	1	1.0	284.38	276.10
1	191-400-480-000	SFR	1	1.0	284.38	276.10
1	191-400-490-000	SFR	1	1.0	284.38	276.10
1	191-400-500-000	SFR	1	1.0	284.38	276.10
1	191-400-510-000	SFR	1	1.0	284.38	276.10
1	191-400-520-000	SFR	1	1.0	284.38	276.10
1	191-400-530-000	SFR	1	1.0	284.38	276.10
1	191-400-540-000	SFR	1	1.0	284.38	276.10
1	191-400-550-000	SFR	1	1.0	284.38	276.10
1	191-400-560-000	SFR	1	1.0	284.38	276.10
1	191-400-570-000	SFR	1	1.0	284.38	276.10
1	191-410-010-000	SFR	1	1.0	284.38	276.10
1	191-410-020-000	SFR	1	1.0	284.38	276.10
1	191-410-030-000	SFR	1	1.0	284.38	276.10
1	191-410-040-000	SFR	1	1.0	284.38	276.10
1	191-410-050-000	SFR	1	1.0	284.38	276.10
1	191-410-060-000	SFR	1	1.0	284.38	276.10
1	191-410-070-000	SFR	1	1.0	284.38	276.10
1	191-410-080-000	SFR	1	1.0	284.38	276.10
1	191-410-090-000	SFR	1	1.0	284.38	276.10
1	191-410-100-000	SFR	1	1.0	284.38	276.10

CITY OF LATHROP
MOSSDALE LANDSCAPING AND LIGHTING DISTRICT
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Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment⁽¹⁾
1	191-410-110-000	SFR	1	1.0	284.38	276.10
1	191-410-120-000	SFR	1	1.0	284.38	276.10
1	191-410-130-000	SFR	1	1.0	284.38	276.10
1	191-410-140-000	SFR	1	1.0	284.38	276.10
1	191-410-150-000	SFR	1	1.0	284.38	276.10
1	191-410-160-000	SFR	1	1.0	284.38	276.10
1	191-410-170-000	SFR	1	1.0	284.38	276.10
1	191-410-180-000	SFR	1	1.0	284.38	276.10
1	191-410-190-000	SFR	1	1.0	284.38	276.10
1	191-410-200-000	SFR	1	1.0	284.38	276.10
1	191-410-210-000	SFR	1	1.0	284.38	276.10
1	191-410-220-000	SFR	1	1.0	284.38	276.10
1	191-410-230-000	SFR	1	1.0	284.38	276.10
1	191-410-240-000	SFR	1	1.0	284.38	276.10
1	191-410-250-000	SFR	1	1.0	284.38	276.10
1	191-410-260-000	SFR	1	1.0	284.38	276.10
1	191-410-270-000	SFR	1	1.0	284.38	276.10
1	191-410-280-000	SFR	1	1.0	284.38	276.10
1	191-410-290-000	SFR	1	1.0	284.38	276.10
1	191-410-300-000	SFR	1	1.0	284.38	276.10
1	191-410-310-000	SFR	1	1.0	284.38	276.10
1	191-410-320-000	SFR	1	1.0	284.38	276.10
1	191-410-330-000	SFR	1	1.0	284.38	276.10
1	191-410-340-000	SFR	1	1.0	284.38	276.10
1	191-410-350-000	SFR	1	1.0	284.38	276.10
1	191-410-360-000	SFR	1	1.0	284.38	276.10
1	191-410-370-000	SFR	1	1.0	284.38	276.10
1	191-410-380-000	SFR	1	1.0	284.38	276.10
1	191-410-390-000	SFR	1	1.0	284.38	276.10
1	191-410-400-000	SFR	1	1.0	284.38	276.10
1	191-410-410-000	SFR	1	1.0	284.38	276.10
1	191-410-420-000	SFR	1	1.0	284.38	276.10
1	191-410-430-000	SFR	1	1.0	284.38	276.10
1	191-410-440-000	SFR	1	1.0	284.38	276.10
1	191-410-450-000	SFR	1	1.0	284.38	276.10
1	191-410-460-000	SFR	1	1.0	284.38	276.10
1	191-410-470-000	SFR	1	1.0	284.38	276.10
1	191-410-480-000	SFR	1	1.0	284.38	276.10
1	191-410-490-000	SFR	1	1.0	284.38	276.10
1	191-410-500-000	SFR	1	1.0	284.38	276.10
1	191-410-510-000	SFR	1	1.0	284.38	276.10
1	191-410-520-000	SFR	1	1.0	284.38	276.10
1	191-410-530-000	SFR	1	1.0	284.38	276.10
1	191-420-010-000	SFR	1	1.0	284.38	276.10
1	191-420-020-000	SFR	1	1.0	284.38	276.10
1	191-420-030-000	SFR	1	1.0	284.38	276.10
1	191-420-040-000	SFR	1	1.0	284.38	276.10
1	191-420-050-000	SFR	1	1.0	284.38	276.10

CITY OF LATHROP
MOSSDALE LANDSCAPING AND LIGHTING DISTRICT
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Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment⁽¹⁾
1	191-420-060-000	SFR	1	1.0	284.38	276.10
1	191-420-070-000	SFR	1	1.0	284.38	276.10
1	191-420-080-000	SFR	1	1.0	284.38	276.10
1	191-420-090-000	SFR	1	1.0	284.38	276.10
1	191-420-100-000	SFR	1	1.0	284.38	276.10
1	191-420-110-000	SFR	1	1.0	284.38	276.10
1	191-420-120-000	SFR	1	1.0	284.38	276.10
1	191-420-130-000	SFR	1	1.0	284.38	276.10
1	191-420-140-000	SFR	1	1.0	284.38	276.10
1	191-420-150-000	SFR	1	1.0	284.38	276.10
1	191-420-160-000	SFR	1	1.0	284.38	276.10
1	191-420-170-000	SFR	1	1.0	284.38	276.10
1	191-420-180-000	SFR	1	1.0	284.38	276.10
1	191-420-190-000	SFR	1	1.0	284.38	276.10
1	191-420-200-000	SFR	1	1.0	284.38	276.10
1	191-420-210-000	SFR	1	1.0	284.38	276.10
1	191-420-220-000	SFR	1	1.0	284.38	276.10
1	191-420-230-000	SFR	1	1.0	284.38	276.10
1	191-420-240-000	SFR	1	1.0	284.38	276.10
1	191-420-250-000	SFR	1	1.0	284.38	276.10
1	191-420-260-000	SFR	1	1.0	284.38	276.10
1	191-420-270-000	SFR	1	1.0	284.38	276.10
1	191-420-280-000	SFR	1	1.0	284.38	276.10
1	191-420-290-000	SFR	1	1.0	284.38	276.10
1	191-420-300-000	SFR	1	1.0	284.38	276.10
1	191-420-310-000	SFR	1	1.0	284.38	276.10
1	191-420-320-000	SFR	1	1.0	284.38	276.10
1	191-420-330-000	SFR	1	1.0	284.38	276.10
1	191-420-340-000	SFR	1	1.0	284.38	276.10
1	191-420-350-000	SFR	1	1.0	284.38	276.10
1	191-420-360-000	SFR	1	1.0	284.38	276.10
1	191-420-370-000	SFR	1	1.0	284.38	276.10
1	191-420-380-000	SFR	1	1.0	284.38	276.10
1	191-420-390-000	SFR	1	1.0	284.38	276.10
1	191-420-400-000	SFR	1	1.0	284.38	276.10
1	191-420-410-000	SFR	1	1.0	284.38	276.10
1	191-420-420-000	SFR	1	1.0	284.38	276.10
1	191-420-430-000	SFR	1	1.0	284.38	276.10
1	191-420-440-000	SFR	1	1.0	284.38	276.10
1	191-420-450-000	SFR	1	1.0	284.38	276.10
1	191-420-460-000	SFR	1	1.0	284.38	276.10
1	191-420-470-000	SFR	1	1.0	284.38	276.10
1	191-420-480-000	SFR	1	1.0	284.38	276.10
1	191-420-490-000	SFR	1	1.0	284.38	276.10
1	191-420-500-000	SFR	1	1.0	284.38	276.10
1	191-420-510-000	SFR	1	1.0	284.38	276.10
1	191-420-520-000	SFR	1	1.0	284.38	276.10
1	191-420-530-000	SFR	1	1.0	284.38	276.10

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Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment⁽¹⁾
1	191-420-540-000	SFR	1	1.0	284.38	276.10
1	191-420-550-000	SFR	1	1.0	284.38	276.10
1	191-420-560-000	SFR	1	1.0	284.38	276.10
1	191-420-570-000	SFR	1	1.0	284.38	276.10
1	191-420-580-000	SFR	1	1.0	284.38	276.10
1	191-420-590-000	SFR	1	1.0	284.38	276.10
1	191-420-600-000	SFR	1	1.0	284.38	276.10
1	191-420-610-000	SFR	1	1.0	284.38	276.10
1	191-420-620-000	SFR	1	1.0	284.38	276.10
1	191-420-630-000	SFR	1	1.0	284.38	276.10
1	191-420-640-000	SFR	1	1.0	284.38	276.10
1	191-420-650-000	SFR	1	1.0	284.38	276.10
1	191-420-660-000	SFR	1	1.0	284.38	276.10
1	191-430-010-000	SFR	1	1.0	284.38	276.10
1	191-430-020-000	SFR	1	1.0	284.38	276.10
1	191-430-030-000	SFR	1	1.0	284.38	276.10
1	191-430-040-000	SFR	1	1.0	284.38	276.10
1	191-430-050-000	SFR	1	1.0	284.38	276.10
1	191-430-060-000	SFR	1	1.0	284.38	276.10
1	191-430-070-000	SFR	1	1.0	284.38	276.10
1	191-430-080-000	SFR	1	1.0	284.38	276.10
1	191-430-090-000	SFR	1	1.0	284.38	276.10
1	191-430-100-000	SFR	1	1.0	284.38	276.10
1	191-430-110-000	SFR	1	1.0	284.38	276.10
1	191-430-120-000	SFR	1	1.0	284.38	276.10
1	191-430-130-000	SFR	1	1.0	284.38	276.10
1	191-430-140-000	SFR	1	1.0	284.38	276.10
1	191-430-150-000	SFR	1	1.0	284.38	276.10
1	191-430-160-000	SFR	1	1.0	284.38	276.10
1	191-430-170-000	SFR	1	1.0	284.38	276.10
1	191-430-180-000	SFR	1	1.0	284.38	276.10
1	191-430-190-000	SFR	1	1.0	284.38	276.10
1	191-430-200-000	SFR	1	1.0	284.38	276.10
1	191-430-210-000	SFR	1	1.0	284.38	276.10
1	191-430-220-000	SFR	1	1.0	284.38	276.10
1	191-430-230-000	SFR	1	1.0	284.38	276.10
1	191-430-240-000	SFR	1	1.0	284.38	276.10
1	191-430-250-000	SFR	1	1.0	284.38	276.10
1	191-430-260-000	SFR	1	1.0	284.38	276.10
1	191-430-270-000	SFR	1	1.0	284.38	276.10
1	191-430-280-000	SFR	1	1.0	284.38	276.10
1	191-430-290-000	SFR	1	1.0	284.38	276.10
1	191-430-300-000	SFR	1	1.0	284.38	276.10
1	191-430-310-000	SFR	1	1.0	284.38	276.10
1	191-430-320-000	SFR	1	1.0	284.38	276.10
1	191-430-330-000	SFR	1	1.0	284.38	276.10
1	191-430-340-000	SFR	1	1.0	284.38	276.10
1	191-430-350-000	SFR	1	1.0	284.38	276.10

CITY OF LATHROP
MOSSDALE LANDSCAPING AND LIGHTING DISTRICT
FISCAL YEAR 2020/21
PARCEL LISTING

Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment⁽¹⁾
1	191-430-360-000	SFR	1	1.0	284.38	276.10
1	191-430-370-000	SFR	1	1.0	284.38	276.10
1	191-430-380-000	SFR	1	1.0	284.38	276.10
1	191-430-390-000	SFR	1	1.0	284.38	276.10
1	191-430-400-000	SFR	1	1.0	284.38	276.10
1	191-430-410-000	SFR	1	1.0	284.38	276.10
1	191-430-420-000	SFR	1	1.0	284.38	276.10
1	191-430-430-000	SFR	1	1.0	284.38	276.10
1	191-430-440-000	SFR	1	1.0	284.38	276.10
1	191-430-450-000	SFR	1	1.0	284.38	276.10
1	191-430-460-000	SFR	1	1.0	284.38	276.10
1	191-430-470-000	SFR	1	1.0	284.38	276.10
1	191-430-480-000	SFR	1	1.0	284.38	276.10
1	191-430-490-000	SFR	1	1.0	284.38	276.10
1	191-430-500-000	SFR	1	1.0	284.38	276.10
1	191-430-510-000	SFR	1	1.0	284.38	276.10
1	191-430-520-000	SFR	1	1.0	284.38	276.10
1	191-430-530-000	SFR	1	1.0	284.38	276.10
1	191-430-540-000	SFR	1	1.0	284.38	276.10
1	191-430-550-000	SFR	1	1.0	284.38	276.10
1	191-430-560-000	SFR	1	1.0	284.38	276.10
1	191-430-570-000	SFR	1	1.0	284.38	276.10
1	191-430-580-000	SFR	1	1.0	284.38	276.10
1	191-430-590-000	SFR	1	1.0	284.38	276.10
1	191-430-600-000	SFR	1	1.0	284.38	276.10
1	191-430-610-000	SFR	1	1.0	284.38	276.10
1	191-430-620-000	SFR	1	1.0	284.38	276.10
1	191-430-630-000	SFR	1	1.0	284.38	276.10
1	191-430-640-000	SFR	1	1.0	284.38	276.10
1	191-430-650-000	SFR	1	1.0	284.38	276.10
1	191-430-660-000	SFR	1	1.0	284.38	276.10
1	191-430-670-000	SFR	1	1.0	284.38	276.10
1	191-430-680-000	SFR	1	1.0	284.38	276.10
1	191-430-690-000	SFR	1	1.0	284.38	276.10
1	191-430-700-000	SFR	1	1.0	284.38	276.10
1	191-430-710-000	SFR	1	1.0	284.38	276.10
1	191-430-720-000	SFR	1	1.0	284.38	276.10
1	191-430-730-000	SFR	1	1.0	284.38	276.10
1	191-440-010-000	SFR	1	1.0	284.38	276.10
1	191-440-020-000	SFR	1	1.0	284.38	276.10
1	191-440-030-000	SFR	1	1.0	284.38	276.10
1	191-440-040-000	SFR	1	1.0	284.38	276.10
1	191-440-050-000	SFR	1	1.0	284.38	276.10
1	191-440-060-000	SFR	1	1.0	284.38	276.10
1	191-440-070-000	SFR	1	1.0	284.38	276.10
1	191-440-110-000	SFR	1	1.0	284.38	276.10
1	191-440-120-000	SFR	1	1.0	284.38	276.10
1	191-440-130-000	SFR	1	1.0	284.38	276.10

CITY OF LATHROP
MOSSDALE LANDSCAPING AND LIGHTING DISTRICT
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Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment⁽¹⁾
1	191-440-140-000	SFR	1	1.0	284.38	276.10
1	191-440-150-000	SFR	1	1.0	284.38	276.10
1	191-440-160-000	SFR	1	1.0	284.38	276.10
1	191-440-170-000	SFR	1	1.0	284.38	276.10
1	191-440-180-000	SFR	1	1.0	284.38	276.10
1	191-440-190-000	SFR	1	1.0	284.38	276.10
1	191-440-200-000	SFR	1	1.0	284.38	276.10
1	191-440-210-000	SFR	1	1.0	284.38	276.10
1	191-440-220-000	SFR	1	1.0	284.38	276.10
1	191-440-230-000	SFR	1	1.0	284.38	276.10
1	191-440-240-000	SFR	1	1.0	284.38	276.10
1	191-440-250-000	SFR	1	1.0	284.38	276.10
1	191-440-260-000	SFR	1	1.0	284.38	276.10
1	191-440-270-000	SFR	1	1.0	284.38	276.10
1	191-440-280-000	SFR	1	1.0	284.38	276.10
1	191-440-290-000	SFR	1	1.0	284.38	276.10
1	191-440-300-000	SFR	1	1.0	284.38	276.10
1	191-440-310-000	SFR	1	1.0	284.38	276.10
1	191-440-320-000	SFR	1	1.0	284.38	276.10
1	191-440-330-000	SFR	1	1.0	284.38	276.10
1	191-440-340-000	SFR	1	1.0	284.38	276.10
1	191-440-350-000	SFR	1	1.0	284.38	276.10
1	191-440-360-000	SFR	1	1.0	284.38	276.10
1	191-440-370-000	SFR	1	1.0	284.38	276.10
1	191-440-380-000	SFR	1	1.0	284.38	276.10
1	191-440-390-000	SFR	1	1.0	284.38	276.10
1	191-440-400-000	SFR	1	1.0	284.38	276.10
1	191-440-410-000	SFR	1	1.0	284.38	276.10
1	191-440-420-000	SFR	1	1.0	284.38	276.10
1	191-440-430-000	SFR	1	1.0	284.38	276.10
1	191-440-440-000	SFR	1	1.0	284.38	276.10
1	191-440-450-000	SFR	1	1.0	284.38	276.10
1	191-440-460-000	SFR	1	1.0	284.38	276.10
1	191-440-470-000	SFR	1	1.0	284.38	276.10
1	191-440-480-000	SFR	1	1.0	284.38	276.10
1	191-440-490-000	SFR	1	1.0	284.38	276.10
1	191-440-500-000	SFR	1	1.0	284.38	276.10
1	191-440-510-000	SFR	1	1.0	284.38	276.10
1	191-440-520-000	SFR	1	1.0	284.38	276.10
1	191-440-530-000	SFR	1	1.0	284.38	276.10
1	191-440-540-000	SFR	1	1.0	284.38	276.10
1	191-440-550-000	SFR	1	1.0	284.38	276.10
1	191-440-560-000	SFR	1	1.0	284.38	276.10
1	191-440-570-000	SFR	1	1.0	284.38	276.10
1	191-440-580-000	SFR	1	1.0	284.38	276.10
1	191-440-590-000	SFR	1	1.0	284.38	276.10
1	191-440-600-000	SFR	1	1.0	284.38	276.10
1	191-440-610-000	SFR	1	1.0	284.38	276.10

**CITY OF LATHROP
MOSSDALE LANDSCAPING AND LIGHTING DISTRICT
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PARCEL LISTING**

Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment⁽¹⁾
1	191-440-620-000	SFR	1	1.0	284.38	276.10
1	191-440-630-000	SFR	1	1.0	284.38	276.10
1	191-440-640-000	SFR	1	1.0	284.38	276.10
1	191-440-650-000	SFR	1	1.0	284.38	276.10
1	191-440-660-000	SFR	1	1.0	284.38	276.10
1	191-440-670-000	SFR	1	1.0	284.38	276.10
1	191-440-680-000	SFR	1	1.0	284.38	276.10
1	191-440-690-000	SFR	1	1.0	284.38	276.10
1	191-440-700-000	SFR	1	1.0	284.38	276.10
1	191-440-710-000	SFR	1	1.0	284.38	276.10
1	191-440-720-000	SFR	1	1.0	284.38	276.10
1	191-440-730-000	SFR	1	1.0	284.38	276.10
1	191-440-740-000	SFR	1	1.0	284.38	276.10
1	191-440-750-000	SFR	1	1.0	284.38	276.10
1	191-440-760-000	SFR	1	1.0	284.38	276.10
1	191-440-770-000	SFR	1	1.0	284.38	276.10
1	191-440-780-000	SFR	1	1.0	284.38	276.10
1	191-450-010-000	SFR	1	1.0	284.38	276.10
1	191-450-020-000	SFR	1	1.0	284.38	276.10
1	191-450-030-000	SFR	1	1.0	284.38	276.10
1	191-450-040-000	SFR	1	1.0	284.38	276.10
1	191-450-050-000	SFR	1	1.0	284.38	276.10
1	191-450-060-000	SFR	1	1.0	284.38	276.10
1	191-450-070-000	SFR	1	1.0	284.38	276.10
1	191-450-080-000	SFR	1	1.0	284.38	276.10
1	191-450-090-000	SFR	1	1.0	284.38	276.10
1	191-450-100-000	SFR	1	1.0	284.38	276.10
1	191-450-110-000	SFR	1	1.0	284.38	276.10
1	191-450-120-000	SFR	1	1.0	284.38	276.10
1	191-450-130-000	SFR	1	1.0	284.38	276.10
1	191-450-140-000	SFR	1	1.0	284.38	276.10
1	191-450-150-000	SFR	1	1.0	284.38	276.10
1	191-450-160-000	SFR	1	1.0	284.38	276.10
1	191-450-170-000	SFR	1	1.0	284.38	276.10
1	191-450-180-000	SFR	1	1.0	284.38	276.10
1	191-450-190-000	SFR	1	1.0	284.38	276.10
1	191-450-200-000	SFR	1	1.0	284.38	276.10
1	191-450-210-000	SFR	1	1.0	284.38	276.10
1	191-450-220-000	SFR	1	1.0	284.38	276.10
1	191-450-230-000	SFR	1	1.0	284.38	276.10
1	191-450-240-000	SFR	1	1.0	284.38	276.10
1	191-450-250-000	SFR	1	1.0	284.38	276.10
1	191-450-260-000	SFR	1	1.0	284.38	276.10
1	191-450-270-000	SFR	1	1.0	284.38	276.10
1	191-450-280-000	SFR	1	1.0	284.38	276.10
1	191-450-290-000	SFR	1	1.0	284.38	276.10
1	191-450-300-000	SFR	1	1.0	284.38	276.10
1	191-450-310-000	SFR	1	1.0	284.38	276.10

CITY OF LATHROP
MOSSDALE LANDSCAPING AND LIGHTING DISTRICT
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PARCEL LISTING

Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment⁽¹⁾
1	191-450-320-000	SFR	1	1.0	284.38	276.10
1	191-450-330-000	SFR	1	1.0	284.38	276.10
1	191-450-340-000	SFR	1	1.0	284.38	276.10
1	191-450-350-000	SFR	1	1.0	284.38	276.10
1	191-450-360-000	SFR	1	1.0	284.38	276.10
1	191-450-370-000	SFR	1	1.0	284.38	276.10
1	191-450-380-000	SFR	1	1.0	284.38	276.10
1	191-450-390-000	SFR	1	1.0	284.38	276.10
1	191-450-400-000	SFR	1	1.0	284.38	276.10
1	191-450-410-000	SFR	1	1.0	284.38	276.10
1	191-450-420-000	SFR	1	1.0	284.38	276.10
1	191-450-430-000	SFR	1	1.0	284.38	276.10
1	191-460-010-000	SFR	1	1.0	284.38	276.10
1	191-460-020-000	SFR	1	1.0	284.38	276.10
1	191-460-030-000	SFR	1	1.0	284.38	276.10
1	191-460-040-000	SFR	1	1.0	284.38	276.10
1	191-460-050-000	SFR	1	1.0	284.38	276.10
1	191-460-060-000	SFR	1	1.0	284.38	276.10
1	191-460-070-000	SFR	1	1.0	284.38	276.10
1	191-460-080-000	SFR	1	1.0	284.38	276.10
1	191-460-090-000	SFR	1	1.0	284.38	276.10
1	191-460-100-000	SFR	1	1.0	284.38	276.10
1	191-460-110-000	SFR	1	1.0	284.38	276.10
1	191-460-120-000	SFR	1	1.0	284.38	276.10
1	191-460-130-000	SFR	1	1.0	284.38	276.10
1	191-460-140-000	SFR	1	1.0	284.38	276.10
1	191-460-150-000	SFR	1	1.0	284.38	276.10
1	191-460-160-000	SFR	1	1.0	284.38	276.10
1	191-460-170-000	SFR	1	1.0	284.38	276.10
1	191-460-180-000	SFR	1	1.0	284.38	276.10
1	191-460-190-000	SFR	1	1.0	284.38	276.10
1	191-460-200-000	SFR	1	1.0	284.38	276.10
1	191-460-210-000	SFR	1	1.0	284.38	276.10
1	191-460-220-000	SFR	1	1.0	284.38	276.10
1	191-460-230-000	SFR	1	1.0	284.38	276.10
1	191-460-240-000	SFR	1	1.0	284.38	276.10
1	191-460-250-000	SFR	1	1.0	284.38	276.10
1	191-460-260-000	SFR	1	1.0	284.38	276.10
1	191-460-270-000	SFR	1	1.0	284.38	276.10
1	191-460-280-000	SFR	1	1.0	284.38	276.10
1	191-460-290-000	SFR	1	1.0	284.38	276.10
1	191-460-300-000	SFR	1	1.0	284.38	276.10
1	191-460-310-000	SFR	1	1.0	284.38	276.10
1	191-460-320-000	SFR	1	1.0	284.38	276.10
1	191-460-330-000	SFR	1	1.0	284.38	276.10
1	191-460-340-000	SFR	1	1.0	284.38	276.10
1	191-460-350-000	SFR	1	1.0	284.38	276.10
1	191-460-360-000	SFR	1	1.0	284.38	276.10

CITY OF LATHROP
MOSSDALE LANDSCAPING AND LIGHTING DISTRICT
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Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment⁽¹⁾
1	191-470-010-000	SFR	1	1.0	284.38	276.10
1	191-470-020-000	SFR	1	1.0	284.38	276.10
1	191-470-030-000	SFR	1	1.0	284.38	276.10
1	191-470-040-000	SFR	1	1.0	284.38	276.10
1	191-470-050-000	SFR	1	1.0	284.38	276.10
1	191-470-060-000	SFR	1	1.0	284.38	276.10
1	191-470-070-000	SFR	1	1.0	284.38	276.10
1	191-470-080-000	SFR	1	1.0	284.38	276.10
1	191-470-090-000	SFR	1	1.0	284.38	276.10
1	191-470-100-000	SFR	1	1.0	284.38	276.10
1	191-470-110-000	SFR	1	1.0	284.38	276.10
1	191-470-120-000	SFR	1	1.0	284.38	276.10
1	191-470-130-000	SFR	1	1.0	284.38	276.10
1	191-470-140-000	SFR	1	1.0	284.38	276.10
1	191-470-150-000	SFR	1	1.0	284.38	276.10
1	191-470-160-000	SFR	1	1.0	284.38	276.10
1	191-470-170-000	SFR	1	1.0	284.38	276.10
1	191-470-180-000	SFR	1	1.0	284.38	276.10
1	191-470-190-000	SFR	1	1.0	284.38	276.10
1	191-470-200-000	SFR	1	1.0	284.38	276.10
1	191-470-210-000	SFR	1	1.0	284.38	276.10
1	191-470-220-000	SFR	1	1.0	284.38	276.10
1	191-470-230-000	SFR	1	1.0	284.38	276.10
1	191-470-240-000	SFR	1	1.0	284.38	276.10
1	191-470-250-000	SFR	1	1.0	284.38	276.10
1	191-470-260-000	SFR	1	1.0	284.38	276.10
1	191-470-270-000	SFR	1	1.0	284.38	276.10
1	191-470-280-000	SFR	1	1.0	284.38	276.10
1	191-470-290-000	SFR	1	1.0	284.38	276.10
1	191-470-300-000	SFR	1	1.0	284.38	276.10
1	191-470-310-000	SFR	1	1.0	284.38	276.10
1	191-470-320-000	SFR	1	1.0	284.38	276.10
1	191-470-330-000	SFR	1	1.0	284.38	276.10
1	191-470-340-000	SFR	1	1.0	284.38	276.10
1	191-470-350-000	SFR	1	1.0	284.38	276.10
1	191-470-360-000	SFR	1	1.0	284.38	276.10
1	191-470-370-000	SFR	1	1.0	284.38	276.10
1	191-470-380-000	SFR	1	1.0	284.38	276.10
1	191-470-390-000	SFR	1	1.0	284.38	276.10
1	191-480-010-000	SFR	1	1.0	284.38	276.10
1	191-480-020-000	SFR	1	1.0	284.38	276.10
1	191-480-030-000	SFR	1	1.0	284.38	276.10
1	191-480-040-000	SFR	1	1.0	284.38	276.10
1	191-480-050-000	SFR	1	1.0	284.38	276.10
1	191-480-060-000	SFR	1	1.0	284.38	276.10
1	191-480-070-000	SFR	1	1.0	284.38	276.10
1	191-480-080-000	SFR	1	1.0	284.38	276.10
1	191-480-090-000	SFR	1	1.0	284.38	276.10

CITY OF LATHROP
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Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment ⁽¹⁾
1	191-480-100-000	SFR	1	1.0	284.38	276.10
1	191-480-110-000	SFR	1	1.0	284.38	276.10
1	191-480-120-000	SFR	1	1.0	284.38	276.10
1	191-480-130-000	SFR	1	1.0	284.38	276.10
1	191-480-140-000	SFR	1	1.0	284.38	276.10
1	191-480-150-000	SFR	1	1.0	284.38	276.10
1	191-480-160-000	SFR	1	1.0	284.38	276.10
1	191-480-170-000	SFR	1	1.0	284.38	276.10
1	191-480-180-000	SFR	1	1.0	284.38	276.10
1	191-480-190-000	SFR	1	1.0	284.38	276.10
1	191-480-200-000	SFR	1	1.0	284.38	276.10
1	191-480-210-000	SFR	1	1.0	284.38	276.10
1	191-480-220-000	SFR	1	1.0	284.38	276.10
1	191-480-230-000	SFR	1	1.0	284.38	276.10
1	191-480-240-000	SFR	1	1.0	284.38	276.10
1	191-480-250-000	SFR	1	1.0	284.38	276.10
1	191-480-260-000	SFR	1	1.0	284.38	276.10
1	191-480-270-000	SFR	1	1.0	284.38	276.10
1	191-480-280-000	SFR	1	1.0	284.38	276.10
1	191-480-290-000	SFR	1	1.0	284.38	276.10
1	191-480-300-000	SFR	1	1.0	284.38	276.10
1	191-480-310-000	SFR	1	1.0	284.38	276.10
1	191-480-320-000	SFR	1	1.0	284.38	276.10
1	191-480-330-000	SFR	1	1.0	284.38	276.10
1	191-480-340-000	SFR	1	1.0	284.38	276.10
1	191-480-350-000	SFR	1	1.0	284.38	276.10
1	191-480-360-000	SFR	1	1.0	284.38	276.10
1	191-480-370-000	SFR	1	1.0	284.38	276.10
1	191-480-380-000	SFR	1	1.0	284.38	276.10
1	191-480-390-000	SFR	1	1.0	284.38	276.10
1	191-480-400-000	SFR	1	1.0	284.38	276.10
1	191-480-410-000	SFR	1	1.0	284.38	276.10
1	191-480-420-000	SFR	1	1.0	284.38	276.10
1	191-490-010-000	SFR	1	1.0	284.38	276.10
1	191-490-020-000	SFR	1	1.0	284.38	276.10
1	191-490-030-000	SFR	1	1.0	284.38	276.10
1	191-490-040-000	SFR	1	1.0	284.38	276.10
1	191-490-050-000	SFR	1	1.0	284.38	276.10
1	191-490-060-000	SFR	1	1.0	284.38	276.10
1	191-490-070-000	SFR	1	1.0	284.38	276.10
1	191-490-080-000	SFR	1	1.0	284.38	276.10
1	191-490-090-000	SFR	1	1.0	284.38	276.10
1	191-490-100-000	SFR	1	1.0	284.38	276.10
1	191-490-110-000	SFR	1	1.0	284.38	276.10
1	191-490-120-000	SFR	1	1.0	284.38	276.10
1	191-490-130-000	SFR	1	1.0	284.38	276.10
1	191-490-140-000	SFR	1	1.0	284.38	276.10
1	191-490-150-000	SFR	1	1.0	284.38	276.10

CITY OF LATHROP
MOSSDALE LANDSCAPING AND LIGHTING DISTRICT
FISCAL YEAR 2020/21
PARCEL LISTING

Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment⁽¹⁾
1	191-490-160-000	SFR	1	1.0	284.38	276.10
1	191-490-170-000	SFR	1	1.0	284.38	276.10
1	191-490-180-000	SFR	1	1.0	284.38	276.10
1	191-490-190-000	SFR	1	1.0	284.38	276.10
1	191-490-200-000	SFR	1	1.0	284.38	276.10
1	191-490-210-000	SFR	1	1.0	284.38	276.10
1	191-490-220-000	SFR	1	1.0	284.38	276.10
1	191-490-230-000	SFR	1	1.0	284.38	276.10
1	191-490-240-000	SFR	1	1.0	284.38	276.10
1	191-490-250-000	SFR	1	1.0	284.38	276.10
1	191-490-260-000	SFR	1	1.0	284.38	276.10
1	191-490-270-000	SFR	1	1.0	284.38	276.10
1	191-490-280-000	SFR	1	1.0	284.38	276.10
1	191-490-290-000	SFR	1	1.0	284.38	276.10
1	191-490-300-000	SFR	1	1.0	284.38	276.10
1	191-490-310-000	SFR	1	1.0	284.38	276.10
1	191-490-320-000	SFR	1	1.0	284.38	276.10
1	191-490-330-000	SFR	1	1.0	284.38	276.10
1	191-490-340-000	SFR	1	1.0	284.38	276.10
1	191-490-350-000	SFR	1	1.0	284.38	276.10
1	191-490-360-000	SFR	1	1.0	284.38	276.10
1	191-490-370-000	SFR	1	1.0	284.38	276.10
1	191-490-380-000	SFR	1	1.0	284.38	276.10
1	191-490-390-000	SFR	1	1.0	284.38	276.10
1	191-490-400-000	SFR	1	1.0	284.38	276.10
1	191-490-410-000	SFR	1	1.0	284.38	276.10
1	191-490-420-000	SFR	1	1.0	284.38	276.10
1	191-490-430-000	SFR	1	1.0	284.38	276.10
1	191-490-440-000	SFR	1	1.0	284.38	276.10
1	191-490-450-000	SFR	1	1.0	284.38	276.10
1	191-490-460-000	SFR	1	1.0	284.38	276.10
1	191-490-470-000	SFR	1	1.0	284.38	276.10
1	191-490-480-000	SFR	1	1.0	284.38	276.10
1	191-490-490-000	SFR	1	1.0	284.38	276.10
1	191-490-500-000	SFR	1	1.0	284.38	276.10
1	191-490-510-000	SFR	1	1.0	284.38	276.10
1	191-490-520-000	SFR	1	1.0	284.38	276.10
1	191-490-530-000	SFR	1	1.0	284.38	276.10
1	191-490-540-000	SFR	1	1.0	284.38	276.10
1	191-490-550-000	SFR	1	1.0	284.38	276.10
1	191-490-560-000	SFR	1	1.0	284.38	276.10
1	191-490-570-000	SFR	1	1.0	284.38	276.10
1	191-500-010-000	SFR	1	1.0	284.38	276.10
1	191-500-020-000	SFR	1	1.0	284.38	276.10
1	191-500-030-000	SFR	1	1.0	284.38	276.10
1	191-500-040-000	SFR	1	1.0	284.38	276.10
1	191-500-050-000	SFR	1	1.0	284.38	276.10
1	191-500-060-000	SFR	1	1.0	284.38	276.10

CITY OF LATHROP
MOSSDALE LANDSCAPING AND LIGHTING DISTRICT
FISCAL YEAR 2020/21
PARCEL LISTING

Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment⁽¹⁾
1	191-500-070-000	SFR	1	1.0	284.38	276.10
1	191-500-080-000	SFR	1	1.0	284.38	276.10
1	191-500-090-000	SFR	1	1.0	284.38	276.10
1	191-500-100-000	SFR	1	1.0	284.38	276.10
1	191-500-110-000	SFR	1	1.0	284.38	276.10
1	191-500-120-000	SFR	1	1.0	284.38	276.10
1	191-500-130-000	SFR	1	1.0	284.38	276.10
1	191-500-140-000	SFR	1	1.0	284.38	276.10
1	191-500-150-000	SFR	1	1.0	284.38	276.10
1	191-500-160-000	SFR	1	1.0	284.38	276.10
1	191-500-170-000	SFR	1	1.0	284.38	276.10
1	191-500-180-000	SFR	1	1.0	284.38	276.10
1	191-500-190-000	SFR	1	1.0	284.38	276.10
1	191-500-200-000	SFR	1	1.0	284.38	276.10
1	191-500-210-000	SFR	1	1.0	284.38	276.10
1	191-500-220-000	SFR	1	1.0	284.38	276.10
1	191-500-230-000	SFR	1	1.0	284.38	276.10
1	191-500-240-000	SFR	1	1.0	284.38	276.10
1	191-500-250-000	SFR	1	1.0	284.38	276.10
1	191-500-260-000	SFR	1	1.0	284.38	276.10
1	191-500-270-000	SFR	1	1.0	284.38	276.10
1	191-500-280-000	SFR	1	1.0	284.38	276.10
1	191-500-290-000	SFR	1	1.0	284.38	276.10
1	191-500-300-000	SFR	1	1.0	284.38	276.10
1	191-500-310-000	SFR	1	1.0	284.38	276.10
1	191-500-320-000	SFR	1	1.0	284.38	276.10
1	191-500-330-000	SFR	1	1.0	284.38	276.10
1	191-500-340-000	SFR	1	1.0	284.38	276.10
1	191-500-350-000	SFR	1	1.0	284.38	276.10
1	191-500-360-000	SFR	1	1.0	284.38	276.10
1	191-500-370-000	SFR	1	1.0	284.38	276.10
1	191-500-380-000	SFR	1	1.0	284.38	276.10
1	191-500-390-000	SFR	1	1.0	284.38	276.10
1	191-500-400-000	SFR	1	1.0	284.38	276.10
1	191-500-410-000	SFR	1	1.0	284.38	276.10
1	191-500-420-000	SFR	1	1.0	284.38	276.10
1	191-500-430-000	SFR	1	1.0	284.38	276.10
1	191-500-440-000	SFR	1	1.0	284.38	276.10
1	191-500-450-000	SFR	1	1.0	284.38	276.10
1	191-500-460-000	SFR	1	1.0	284.38	276.10
1	191-500-470-000	SFR	1	1.0	284.38	276.10
1	191-500-480-000	SFR	1	1.0	284.38	276.10
1	191-500-490-000	SFR	1	1.0	284.38	276.10
1	191-500-500-000	SFR	1	1.0	284.38	276.10
1	191-510-010-000	SFR	1	1.0	284.38	276.10
1	191-510-020-000	SFR	1	1.0	284.38	276.10
1	191-510-030-000	SFR	1	1.0	284.38	276.10
1	191-510-040-000	SFR	1	1.0	284.38	276.10

CITY OF LATHROP
MOSSDALE LANDSCAPING AND LIGHTING DISTRICT
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PARCEL LISTING

Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment⁽¹⁾
1	191-510-050-000	SFR	1	1.0	284.38	276.10
1	191-510-060-000	SFR	1	1.0	284.38	276.10
1	191-510-070-000	SFR	1	1.0	284.38	276.10
1	191-510-080-000	SFR	1	1.0	284.38	276.10
1	191-510-090-000	SFR	1	1.0	284.38	276.10
1	191-510-100-000	SFR	1	1.0	284.38	276.10
1	191-510-110-000	SFR	1	1.0	284.38	276.10
1	191-510-120-000	SFR	1	1.0	284.38	276.10
1	191-510-130-000	SFR	1	1.0	284.38	276.10
1	191-510-140-000	SFR	1	1.0	284.38	276.10
1	191-510-150-000	SFR	1	1.0	284.38	276.10
1	191-510-160-000	SFR	1	1.0	284.38	276.10
1	191-510-170-000	SFR	1	1.0	284.38	276.10
1	191-510-180-000	SFR	1	1.0	284.38	276.10
1	191-510-190-000	SFR	1	1.0	284.38	276.10
1	191-510-200-000	SFR	1	1.0	284.38	276.10
1	191-510-210-000	SFR	1	1.0	284.38	276.10
1	191-510-220-000	SFR	1	1.0	284.38	276.10
1	191-510-230-000	SFR	1	1.0	284.38	276.10
1	191-510-240-000	SFR	1	1.0	284.38	276.10
1	191-510-250-000	SFR	1	1.0	284.38	276.10
1	191-510-260-000	SFR	1	1.0	284.38	276.10
1	191-510-270-000	SFR	1	1.0	284.38	276.10
1	191-510-280-000	SFR	1	1.0	284.38	276.10
1	191-510-290-000	SFR	1	1.0	284.38	276.10
1	191-510-300-000	SFR	1	1.0	284.38	276.10
1	191-510-310-000	SFR	1	1.0	284.38	276.10
1	191-510-320-000	SFR	1	1.0	284.38	276.10
1	191-510-330-000	SFR	1	1.0	284.38	276.10
1	191-510-340-000	SFR	1	1.0	284.38	276.10
1	191-510-350-000	SFR	1	1.0	284.38	276.10
1	191-510-360-000	SFR	1	1.0	284.38	276.10
1	191-510-370-000	SFR	1	1.0	284.38	276.10
1	191-510-380-000	SFR	1	1.0	284.38	276.10
1	191-510-390-000	SFR	1	1.0	284.38	276.10
1	191-510-400-000	SFR	1	1.0	284.38	276.10
1	191-510-410-000	SFR	1	1.0	284.38	276.10
1	191-510-420-000	SFR	1	1.0	284.38	276.10
1	191-510-430-000	SFR	1	1.0	284.38	276.10
1	191-510-440-000	SFR	1	1.0	284.38	276.10
1	191-510-450-000	SFR	1	1.0	284.38	276.10
1	191-510-460-000	SFR	1	1.0	284.38	276.10
1	191-520-010-000	SFR	1	1.0	284.38	276.10
1	191-520-020-000	SFR	1	1.0	284.38	276.10
1	191-520-030-000	SFR	1	1.0	284.38	276.10
1	191-520-040-000	SFR	1	1.0	284.38	276.10
1	191-520-050-000	SFR	1	1.0	284.38	276.10
1	191-520-060-000	SFR	1	1.0	284.38	276.10

CITY OF LATHROP
MOSSDALE LANDSCAPING AND LIGHTING DISTRICT
FISCAL YEAR 2020/21
PARCEL LISTING

Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment⁽¹⁾
1	191-520-070-000	SFR	1	1.0	284.38	276.10
1	191-520-080-000	SFR	1	1.0	284.38	276.10
1	191-520-090-000	SFR	1	1.0	284.38	276.10
1	191-520-100-000	SFR	1	1.0	284.38	276.10
1	191-520-110-000	SFR	1	1.0	284.38	276.10
1	191-520-120-000	SFR	1	1.0	284.38	276.10
1	191-520-130-000	SFR	1	1.0	284.38	276.10
1	191-520-140-000	SFR	1	1.0	284.38	276.10
1	191-520-150-000	SFR	1	1.0	284.38	276.10
1	191-520-160-000	SFR	1	1.0	284.38	276.10
1	191-520-170-000	SFR	1	1.0	284.38	276.10
1	191-520-180-000	SFR	1	1.0	284.38	276.10
1	191-520-190-000	SFR	1	1.0	284.38	276.10
1	191-520-200-000	SFR	1	1.0	284.38	276.10
1	191-520-210-000	SFR	1	1.0	284.38	276.10
1	191-520-220-000	SFR	1	1.0	284.38	276.10
1	191-520-230-000	SFR	1	1.0	284.38	276.10
1	191-520-240-000	SFR	1	1.0	284.38	276.10
1	191-520-250-000	SFR	1	1.0	284.38	276.10
1	191-520-260-000	SFR	1	1.0	284.38	276.10
1	191-520-270-000	SFR	1	1.0	284.38	276.10
1	191-520-280-000	SFR	1	1.0	284.38	276.10
1	191-520-290-000	SFR	1	1.0	284.38	276.10
1	191-520-300-000	SFR	1	1.0	284.38	276.10
1	191-520-310-000	SFR	1	1.0	284.38	276.10
1	191-520-320-000	SFR	1	1.0	284.38	276.10
1	191-520-330-000	SFR	1	1.0	284.38	276.10
1	191-520-340-000	SFR	1	1.0	284.38	276.10
1	191-520-350-000	SFR	1	1.0	284.38	276.10
1	191-520-360-000	SFR	1	1.0	284.38	276.10
1	191-520-370-000	SFR	1	1.0	284.38	276.10
1	191-520-380-000	SFR	1	1.0	284.38	276.10
1	191-520-390-000	SFR	1	1.0	284.38	276.10
1	191-520-400-000	SFR	1	1.0	284.38	276.10
1	191-520-410-000	SFR	1	1.0	284.38	276.10
1	191-520-420-000	SFR	1	1.0	284.38	276.10
1	191-520-430-000	SFR	1	1.0	284.38	276.10
1	191-520-440-000	SFR	1	1.0	284.38	276.10
1	191-520-450-000	SFR	1	1.0	284.38	276.10
1	191-520-460-000	SFR	1	1.0	284.38	276.10
1	191-520-470-000	SFR	1	1.0	284.38	276.10
1	191-520-480-000	SFR	1	1.0	284.38	276.10
1	191-520-490-000	SFR	1	1.0	284.38	276.10
1	191-520-500-000	SFR	1	1.0	284.38	276.10
1	191-520-510-000	SFR	1	1.0	284.38	276.10
1	191-520-520-000	SFR	1	1.0	284.38	276.10
1	191-520-530-000	SFR	1	1.0	284.38	276.10
1	191-520-540-000	SFR	1	1.0	284.38	276.10

CITY OF LATHROP
MOSSDALE LANDSCAPING AND LIGHTING DISTRICT
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PARCEL LISTING

Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment⁽¹⁾
1	191-520-550-000	SFR	1	1.0	284.38	276.10
1	191-520-560-000	SFR	1	1.0	284.38	276.10
1	191-520-570-000	SFR	1	1.0	284.38	276.10
1	191-520-580-000	SFR	1	1.0	284.38	276.10
1	191-520-590-000	SFR	1	1.0	284.38	276.10
1	191-520-600-000	SFR	1	1.0	284.38	276.10
1	191-520-610-000	SFR	1	1.0	284.38	276.10
1	191-520-620-000	SFR	1	1.0	284.38	276.10
1	191-520-630-000	SFR	1	1.0	284.38	276.10
1	191-520-640-000	SFR	1	1.0	284.38	276.10
1	191-530-010-000	SFR	1	1.0	284.38	276.10
1	191-530-020-000	SFR	1	1.0	284.38	276.10
1	191-530-030-000	SFR	1	1.0	284.38	276.10
1	191-530-040-000	SFR	1	1.0	284.38	276.10
1	191-530-050-000	SFR	1	1.0	284.38	276.10
1	191-530-060-000	SFR	1	1.0	284.38	276.10
1	191-530-070-000	SFR	1	1.0	284.38	276.10
1	191-530-080-000	SFR	1	1.0	284.38	276.10
1	191-530-090-000	SFR	1	1.0	284.38	276.10
1	191-530-100-000	SFR	1	1.0	284.38	276.10
1	191-530-110-000	SFR	1	1.0	284.38	276.10
1	191-530-120-000	SFR	1	1.0	284.38	276.10
1	191-530-130-000	SFR	1	1.0	284.38	276.10
1	191-530-140-000	SFR	1	1.0	284.38	276.10
1	191-530-150-000	SFR	1	1.0	284.38	276.10
1	191-530-160-000	SFR	1	1.0	284.38	276.10
1	191-530-170-000	SFR	1	1.0	284.38	276.10
1	191-530-180-000	SFR	1	1.0	284.38	276.10
1	191-530-190-000	SFR	1	1.0	284.38	276.10
1	191-530-200-000	SFR	1	1.0	284.38	276.10
1	191-530-210-000	SFR	1	1.0	284.38	276.10
1	191-530-220-000	SFR	1	1.0	284.38	276.10
1	191-530-230-000	SFR	1	1.0	284.38	276.10
1	191-530-240-000	SFR	1	1.0	284.38	276.10
1	191-530-250-000	SFR	1	1.0	284.38	276.10
1	191-530-260-000	SFR	1	1.0	284.38	276.10
1	191-530-270-000	SFR	1	1.0	284.38	276.10
1	191-530-280-000	SFR	1	1.0	284.38	276.10
1	191-530-290-000	SFR	1	1.0	284.38	276.10
1	191-530-300-000	SFR	1	1.0	284.38	276.10
1	191-530-310-000	SFR	1	1.0	284.38	276.10
1	191-530-320-000	SFR	1	1.0	284.38	276.10
1	191-530-330-000	SFR	1	1.0	284.38	276.10
1	191-530-340-000	SFR	1	1.0	284.38	276.10
1	191-530-350-000	SFR	1	1.0	284.38	276.10
1	191-530-360-000	SFR	1	1.0	284.38	276.10
1	191-530-370-000	SFR	1	1.0	284.38	276.10
1	191-530-380-000	SFR	1	1.0	284.38	276.10

CITY OF LATHROP
MOSSDALE LANDSCAPING AND LIGHTING DISTRICT
FISCAL YEAR 2020/21
PARCEL LISTING

Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment⁽¹⁾
1	191-530-390-000	SFR	1	1.0	284.38	276.10
1	191-530-400-000	SFR	1	1.0	284.38	276.10
1	191-530-410-000	SFR	1	1.0	284.38	276.10
1	191-530-420-000	SFR	1	1.0	284.38	276.10
1	191-530-430-000	SFR	1	1.0	284.38	276.10
1	191-530-440-000	SFR	1	1.0	284.38	276.10
1	191-530-450-000	SFR	1	1.0	284.38	276.10
1	191-530-460-000	SFR	1	1.0	284.38	276.10
1	191-530-470-000	SFR	1	1.0	284.38	276.10
1	191-530-480-000	SFR	1	1.0	284.38	276.10
1	191-530-490-000	SFR	1	1.0	284.38	276.10
1	191-530-500-000	SFR	1	1.0	284.38	276.10
1	191-530-510-000	SFR	1	1.0	284.38	276.10
1	191-530-520-000	SFR	1	1.0	284.38	276.10
1	191-530-530-000	SFR	1	1.0	284.38	276.10
1	191-530-540-000	SFR	1	1.0	284.38	276.10
1	191-530-550-000	SFR	1	1.0	284.38	276.10
1	191-530-560-000	SFR	1	1.0	284.38	276.10
1	191-530-570-000	SFR	1	1.0	284.38	276.10
1	191-530-590-000	SFR	1	1.0	284.38	276.10
1	191-530-600-000	SFR	1	1.0	284.38	276.10
1	191-530-610-000	SFR	1	1.0	284.38	276.10
1	191-530-620-000	SFR	1	1.0	284.38	276.10
1	191-530-630-000	SFR	1	1.0	284.38	276.10
1	191-530-640-000	SFR	1	1.0	284.38	276.10
1	191-530-650-000	SFR	1	1.0	284.38	276.10
1	191-530-660-000	SFR	1	1.0	284.38	276.10
1	191-530-670-000	SFR	1	1.0	284.38	276.10
1	191-530-680-000	SFR	1	1.0	284.38	276.10
1	191-530-690-000	SFR	1	1.0	284.38	276.10
1	191-530-700-000	SFR	1	1.0	284.38	276.10
1	191-530-710-000	SFR	1	1.0	284.38	276.10
1	191-530-720-000	SFR	1	1.0	284.38	276.10
1	191-530-730-000	SFR	1	1.0	284.38	276.10
1	191-530-740-000	SFR	1	1.0	284.38	276.10
1	191-530-750-000	SFR	1	1.0	284.38	276.10
1	191-540-010-000	SFR	1	1.0	284.38	276.10
1	191-540-020-000	SFR	1	1.0	284.38	276.10
1	191-540-030-000	SFR	1	1.0	284.38	276.10
1	191-540-040-000	SFR	1	1.0	284.38	276.10
1	191-540-050-000	SFR	1	1.0	284.38	276.10
1	191-540-060-000	SFR	1	1.0	284.38	276.10
1	191-540-070-000	SFR	1	1.0	284.38	276.10
1	191-540-080-000	SFR	1	1.0	284.38	276.10
1	191-540-090-000	SFR	1	1.0	284.38	276.10
1	191-540-100-000	SFR	1	1.0	284.38	276.10
1	191-540-110-000	SFR	1	1.0	284.38	276.10
1	191-540-120-000	SFR	1	1.0	284.38	276.10

CITY OF LATHROP
MOSSDALE LANDSCAPING AND LIGHTING DISTRICT
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Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment⁽¹⁾
1	191-540-130-000	SFR	1	1.0	284.38	276.10
1	191-540-140-000	SFR	1	1.0	284.38	276.10
1	191-540-150-000	SFR	1	1.0	284.38	276.10
1	191-540-160-000	SFR	1	1.0	284.38	276.10
1	191-540-170-000	SFR	1	1.0	284.38	276.10
1	191-540-180-000	SFR	1	1.0	284.38	276.10
1	191-540-190-000	SFR	1	1.0	284.38	276.10
1	191-540-200-000	SFR	1	1.0	284.38	276.10
1	191-540-210-000	SFR	1	1.0	284.38	276.10
1	191-540-220-000	SFR	1	1.0	284.38	276.10
1	191-540-230-000	SFR	1	1.0	284.38	276.10
1	191-540-240-000	SFR	1	1.0	284.38	276.10
1	191-540-250-000	SFR	1	1.0	284.38	276.10
1	191-540-260-000	SFR	1	1.0	284.38	276.10
1	191-540-270-000	SFR	1	1.0	284.38	276.10
1	191-540-280-000	SFR	1	1.0	284.38	276.10
1	191-540-290-000	SFR	1	1.0	284.38	276.10
1	191-540-300-000	SFR	1	1.0	284.38	276.10
1	191-540-310-000	SFR	1	1.0	284.38	276.10
1	191-540-320-000	SFR	1	1.0	284.38	276.10
1	191-540-330-000	SFR	1	1.0	284.38	276.10
1	191-540-340-000	SFR	1	1.0	284.38	276.10
1	191-540-350-000	SFR	1	1.0	284.38	276.10
1	191-540-360-000	SFR	1	1.0	284.38	276.10
1	191-540-370-000	SFR	1	1.0	284.38	276.10
1	191-540-380-000	SFR	1	1.0	284.38	276.10
1	191-540-390-000	SFR	1	1.0	284.38	276.10
1	191-540-400-000	SFR	1	1.0	284.38	276.10
1	191-540-410-000	SFR	1	1.0	284.38	276.10
1	191-540-420-000	SFR	1	1.0	284.38	276.10
1	191-540-430-000	SFR	1	1.0	284.38	276.10
1	191-540-440-000	SFR	1	1.0	284.38	276.10
1	191-540-450-000	SFR	1	1.0	284.38	276.10
1	191-540-460-000	SFR	1	1.0	284.38	276.10
1	191-540-470-000	SFR	1	1.0	284.38	276.10
1	191-540-480-000	SFR	1	1.0	284.38	276.10
1	191-540-490-000	SFR	1	1.0	284.38	276.10
1	191-540-500-000	SFR	1	1.0	284.38	276.10
1	191-540-510-000	SFR	1	1.0	284.38	276.10
1	191-540-520-000	SFR	1	1.0	284.38	276.10
1	191-540-530-000	SFR	1	1.0	284.38	276.10
1	191-540-540-000	SFR	1	1.0	284.38	276.10
1	191-540-550-000	SFR	1	1.0	284.38	276.10
1	191-540-560-000	SFR	1	1.0	284.38	276.10
1	191-540-570-000	SFR	1	1.0	284.38	276.10
1	191-540-580-000	SFR	1	1.0	284.38	276.10
1	191-540-590-000	SFR	1	1.0	284.38	276.10
1	191-540-600-000	SFR	1	1.0	284.38	276.10

CITY OF LATHROP
MOSSDALE LANDSCAPING AND LIGHTING DISTRICT
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Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment⁽¹⁾
1	191-550-010-000	SFR	1	1.0	284.38	276.10
1	191-550-020-000	SFR	1	1.0	284.38	276.10
1	191-550-030-000	SFR	1	1.0	284.38	276.10
1	191-550-040-000	SFR	1	1.0	284.38	276.10
1	191-550-050-000	SFR	1	1.0	284.38	276.10
1	191-550-060-000	SFR	1	1.0	284.38	276.10
1	191-550-070-000	SFR	1	1.0	284.38	276.10
1	191-550-080-000	SFR	1	1.0	284.38	276.10
1	191-550-090-000	SFR	1	1.0	284.38	276.10
1	191-550-100-000	SFR	1	1.0	284.38	276.10
1	191-550-110-000	SFR	1	1.0	284.38	276.10
1	191-550-120-000	SFR	1	1.0	284.38	276.10
1	191-550-130-000	SFR	1	1.0	284.38	276.10
1	191-550-140-000	SFR	1	1.0	284.38	276.10
1	191-550-150-000	SFR	1	1.0	284.38	276.10
1	191-550-160-000	SFR	1	1.0	284.38	276.10
1	191-550-170-000	SFR	1	1.0	284.38	276.10
1	191-550-180-000	SFR	1	1.0	284.38	276.10
1	191-550-190-000	SFR	1	1.0	284.38	276.10
1	191-550-200-000	SFR	1	1.0	284.38	276.10
1	191-550-210-000	SFR	1	1.0	284.38	276.10
1	191-550-220-000	SFR	1	1.0	284.38	276.10
1	191-550-230-000	SFR	1	1.0	284.38	276.10
1	191-550-240-000	SFR	1	1.0	284.38	276.10
1	191-550-250-000	SFR	1	1.0	284.38	276.10
1	191-550-260-000	SFR	1	1.0	284.38	276.10
1	191-550-270-000	SFR	1	1.0	284.38	276.10
1	191-550-280-000	SFR	1	1.0	284.38	276.10
1	191-550-290-000	SFR	1	1.0	284.38	276.10
1	191-550-300-000	SFR	1	1.0	284.38	276.10
1	191-550-310-000	SFR	1	1.0	284.38	276.10
1	191-550-320-000	SFR	1	1.0	284.38	276.10
1	191-550-330-000	SFR	1	1.0	284.38	276.10
1	191-550-340-000	SFR	1	1.0	284.38	276.10
1	191-550-350-000	SFR	1	1.0	284.38	276.10
1	191-550-360-000	SFR	1	1.0	284.38	276.10
1	191-550-370-000	SFR	1	1.0	284.38	276.10
1	191-550-380-000	SFR	1	1.0	284.38	276.10
1	191-550-390-000	SFR	1	1.0	284.38	276.10
1	191-550-400-000	SFR	1	1.0	284.38	276.10
1	191-550-410-000	SFR	1	1.0	284.38	276.10
1	191-550-420-000	SFR	1	1.0	284.38	276.10
1	191-550-430-000	SFR	1	1.0	284.38	276.10
1	191-550-440-000	SFR	1	1.0	284.38	276.10
1	191-550-450-000	SFR	1	1.0	284.38	276.10
1	191-550-460-000	SFR	1	1.0	284.38	276.10
1	191-550-470-000	SFR	1	1.0	284.38	276.10
1	191-550-480-000	SFR	1	1.0	284.38	276.10

CITY OF LATHROP
MOSSDALE LANDSCAPING AND LIGHTING DISTRICT
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Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment⁽¹⁾
1	191-550-490-000	SFR	1	1.0	284.38	276.10
1	191-550-500-000	SFR	1	1.0	284.38	276.10
1	191-550-510-000	SFR	1	1.0	284.38	276.10
1	191-550-520-000	SFR	1	1.0	284.38	276.10
1	191-550-530-000	SFR	1	1.0	284.38	276.10
1	191-550-540-000	SFR	1	1.0	284.38	276.10
1	191-550-550-000	SFR	1	1.0	284.38	276.10
1	191-550-560-000	SFR	1	1.0	284.38	276.10
1	191-550-570-000	SFR	1	1.0	284.38	276.10
1	191-550-580-000	SFR	1	1.0	284.38	276.10
1	191-550-590-000	SFR	1	1.0	284.38	276.10
1	191-550-600-000	SFR	1	1.0	284.38	276.10
1	191-550-610-000	SFR	1	1.0	284.38	276.10
1	191-550-620-000	SFR	1	1.0	284.38	276.10
1	191-550-630-000	SFR	1	1.0	284.38	276.10
1	191-550-640-000	SFR	1	1.0	284.38	276.10
1	191-550-650-000	SFR	1	1.0	284.38	276.10
1	191-550-660-000	SFR	1	1.0	284.38	276.10
1	191-550-670-000	SFR	1	1.0	284.38	276.10
1	191-550-680-000	SFR	1	1.0	284.38	276.10
1	191-560-010-000	SFR	1	1.0	284.38	276.10
1	191-560-020-000	SFR	1	1.0	284.38	276.10
1	191-560-030-000	SFR	1	1.0	284.38	276.10
1	191-560-040-000	SFR	1	1.0	284.38	276.10
1	191-560-050-000	SFR	1	1.0	284.38	276.10
1	191-560-060-000	SFR	1	1.0	284.38	276.10
1	191-560-070-000	SFR	1	1.0	284.38	276.10
1	191-560-080-000	SFR	1	1.0	284.38	276.10
1	191-560-090-000	SFR	1	1.0	284.38	276.10
1	191-560-100-000	SFR	1	1.0	284.38	276.10
1	191-560-110-000	SFR	1	1.0	284.38	276.10
1	191-560-120-000	SFR	1	1.0	284.38	276.10
1	191-560-130-000	SFR	1	1.0	284.38	276.10
1	191-560-140-000	SFR	1	1.0	284.38	276.10
1	191-560-150-000	SFR	1	1.0	284.38	276.10
1	191-560-160-000	SFR	1	1.0	284.38	276.10
1	191-560-170-000	SFR	1	1.0	284.38	276.10
1	191-560-180-000	SFR	1	1.0	284.38	276.10
1	191-560-190-000	SFR	1	1.0	284.38	276.10
1	191-560-200-000	SFR	1	1.0	284.38	276.10
1	191-560-210-000	SFR	1	1.0	284.38	276.10
1	191-560-220-000	SFR	1	1.0	284.38	276.10
1	191-560-230-000	SFR	1	1.0	284.38	276.10
1	191-560-240-000	SFR	1	1.0	284.38	276.10
1	191-560-250-000	SFR	1	1.0	284.38	276.10
1	191-560-260-000	SFR	1	1.0	284.38	276.10
1	191-560-270-000	SFR	1	1.0	284.38	276.10
1	191-560-280-000	SFR	1	1.0	284.38	276.10

CITY OF LATHROP
MOSSDALE LANDSCAPING AND LIGHTING DISTRICT
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Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment⁽¹⁾
1	191-560-290-000	SFR	1	1.0	284.38	276.10
1	191-560-300-000	SFR	1	1.0	284.38	276.10
1	191-560-310-000	SFR	1	1.0	284.38	276.10
1	191-560-320-000	SFR	1	1.0	284.38	276.10
1	191-560-330-000	SFR	1	1.0	284.38	276.10
1	191-560-340-000	SFR	1	1.0	284.38	276.10
1	191-560-350-000	SFR	1	1.0	284.38	276.10
1	191-560-360-000	SFR	1	1.0	284.38	276.10
1	191-560-370-000	SFR	1	1.0	284.38	276.10
1	191-560-380-000	SFR	1	1.0	284.38	276.10
1	191-560-390-000	SFR	1	1.0	284.38	276.10
1	191-560-400-000	SFR	1	1.0	284.38	276.10
1	191-560-410-000	SFR	1	1.0	284.38	276.10
1	191-560-420-000	SFR	1	1.0	284.38	276.10
1	191-560-430-000	SFR	1	1.0	284.38	276.10
1	191-560-440-000	SFR	1	1.0	284.38	276.10
1	191-560-450-000	SFR	1	1.0	284.38	276.10
1	191-560-460-000	SFR	1	1.0	284.38	276.10
1	191-570-010-000	SFR	1	1.0	284.38	276.10
1	191-570-020-000	SFR	1	1.0	284.38	276.10
1	191-570-030-000	SFR	1	1.0	284.38	276.10
1	191-570-040-000	SFR	1	1.0	284.38	276.10
1	191-570-050-000	SFR	1	1.0	284.38	276.10
1	191-570-060-000	SFR	1	1.0	284.38	276.10
1	191-570-070-000	SFR	1	1.0	284.38	276.10
1	191-570-080-000	SFR	1	1.0	284.38	276.10
1	191-570-090-000	SFR	1	1.0	284.38	276.10
1	191-570-100-000	SFR	1	1.0	284.38	276.10
1	191-570-110-000	SFR	1	1.0	284.38	276.10
1	191-570-120-000	SFR	1	1.0	284.38	276.10
1	191-570-130-000	SFR	1	1.0	284.38	276.10
1	191-570-140-000	SFR	1	1.0	284.38	276.10
1	191-570-150-000	SFR	1	1.0	284.38	276.10
1	191-570-160-000	SFR	1	1.0	284.38	276.10
1	191-570-170-000	SFR	1	1.0	284.38	276.10
1	191-570-180-000	SFR	1	1.0	284.38	276.10
1	191-570-190-000	SFR	1	1.0	284.38	276.10
1	191-570-200-000	SFR	1	1.0	284.38	276.10
1	191-570-210-000	SFR	1	1.0	284.38	276.10
1	191-570-220-000	SFR	1	1.0	284.38	276.10
1	191-570-230-000	SFR	1	1.0	284.38	276.10
1	191-570-240-000	SFR	1	1.0	284.38	276.10
1	191-570-250-000	SFR	1	1.0	284.38	276.10
1	191-570-260-000	SFR	1	1.0	284.38	276.10
1	191-570-270-000	SFR	1	1.0	284.38	276.10
1	191-570-280-000	SFR	1	1.0	284.38	276.10
1	191-570-290-000	SFR	1	1.0	284.38	276.10
1	191-570-300-000	SFR	1	1.0	284.38	276.10

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Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment⁽¹⁾
1	191-570-310-000	SFR	1	1.0	284.38	276.10
1	191-570-320-000	SFR	1	1.0	284.38	276.10
1	191-570-330-000	SFR	1	1.0	284.38	276.10
1	191-570-340-000	SFR	1	1.0	284.38	276.10
1	191-570-350-000	SFR	1	1.0	284.38	276.10
1	191-570-360-000	SFR	1	1.0	284.38	276.10
1	191-570-370-000	SFR	1	1.0	284.38	276.10
1	191-570-380-000	SFR	1	1.0	284.38	276.10
1	191-570-390-000	SFR	1	1.0	284.38	276.10
1	191-570-400-000	SFR	1	1.0	284.38	276.10
1	191-570-410-000	SFR	1	1.0	284.38	276.10
1	191-570-420-000	SFR	1	1.0	284.38	276.10
1	191-570-430-000	SFR	1	1.0	284.38	276.10
1	191-570-440-000	SFR	1	1.0	284.38	276.10
1	191-570-450-000	SFR	1	1.0	284.38	276.10
1	191-570-460-000	SFR	1	1.0	284.38	276.10
1	191-570-470-000	SFR	1	1.0	284.38	276.10
1	191-570-480-000	SFR	1	1.0	284.38	276.10
1	191-570-490-000	SFR	1	1.0	284.38	276.10
1	191-570-500-000	SFR	1	1.0	284.38	276.10
1	191-580-010-000	SFR	1	1.0	284.38	276.10
1	191-580-020-000	SFR	1	1.0	284.38	276.10
1	191-580-030-000	SFR	1	1.0	284.38	276.10
1	191-580-040-000	SFR	1	1.0	284.38	276.10
1	191-580-050-000	SFR	1	1.0	284.38	276.10
1	191-580-060-000	SFR	1	1.0	284.38	276.10
1	191-580-070-000	SFR	1	1.0	284.38	276.10
1	191-580-080-000	SFR	1	1.0	284.38	276.10
1	191-580-090-000	SFR	1	1.0	284.38	276.10
1	191-580-100-000	SFR	1	1.0	284.38	276.10
1	191-580-110-000	SFR	1	1.0	284.38	276.10
1	191-580-120-000	SFR	1	1.0	284.38	276.10
1	191-580-130-000	SFR	1	1.0	284.38	276.10
1	191-580-140-000	SFR	1	1.0	284.38	276.10
1	191-580-150-000	SFR	1	1.0	284.38	276.10
1	191-580-160-000	SFR	1	1.0	284.38	276.10
1	191-580-170-000	SFR	1	1.0	284.38	276.10
1	191-580-180-000	SFR	1	1.0	284.38	276.10
1	191-580-190-000	SFR	1	1.0	284.38	276.10
1	191-580-200-000	SFR	1	1.0	284.38	276.10
1	191-580-210-000	SFR	1	1.0	284.38	276.10
1	191-580-220-000	SFR	1	1.0	284.38	276.10
1	191-580-230-000	SFR	1	1.0	284.38	276.10
1	191-580-240-000	SFR	1	1.0	284.38	276.10
1	191-580-250-000	SFR	1	1.0	284.38	276.10
1	191-580-260-000	SFR	1	1.0	284.38	276.10
1	191-580-270-000	SFR	1	1.0	284.38	276.10
1	191-580-280-000	SFR	1	1.0	284.38	276.10

CITY OF LATHROP
MOSSDALE LANDSCAPING AND LIGHTING DISTRICT
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Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment⁽¹⁾
1	191-580-290-000	SFR	1	1.0	284.38	276.10
1	191-580-300-000	SFR	1	1.0	284.38	276.10
1	191-580-310-000	SFR	1	1.0	284.38	276.10
1	191-580-320-000	SFR	1	1.0	284.38	276.10
1	191-580-330-000	SFR	1	1.0	284.38	276.10
1	191-580-340-000	SFR	1	1.0	284.38	276.10
1	191-580-350-000	SFR	1	1.0	284.38	276.10
1	191-580-360-000	SFR	1	1.0	284.38	276.10
1	191-580-370-000	SFR	1	1.0	284.38	276.10
1	191-580-380-000	SFR	1	1.0	284.38	276.10
1	191-580-390-000	SFR	1	1.0	284.38	276.10
1	191-590-010-000	SFR	1	1.0	284.38	276.10
1	191-590-020-000	SFR	1	1.0	284.38	276.10
1	191-590-030-000	SFR	1	1.0	284.38	276.10
1	191-590-040-000	SFR	1	1.0	284.38	276.10
1	191-590-050-000	SFR	1	1.0	284.38	276.10
1	191-590-060-000	SFR	1	1.0	284.38	276.10
1	191-590-070-000	SFR	1	1.0	284.38	276.10
1	191-590-080-000	SFR	1	1.0	284.38	276.10
1	191-590-090-000	SFR	1	1.0	284.38	276.10
1	191-590-100-000	SFR	1	1.0	284.38	276.10
1	191-590-110-000	SFR	1	1.0	284.38	276.10
1	191-590-120-000	SFR	1	1.0	284.38	276.10
1	191-590-130-000	SFR	1	1.0	284.38	276.10
1	191-590-140-000	SFR	1	1.0	284.38	276.10
1	191-590-150-000	SFR	1	1.0	284.38	276.10
1	191-590-180-000	SFR	1	1.0	284.38	276.10
1	191-590-190-000	SFR	1	1.0	284.38	276.10
1	191-590-200-000	SFR	1	1.0	284.38	276.10
1	191-590-210-000	SFR	1	1.0	284.38	276.10
1	191-590-220-000	SFR	1	1.0	284.38	276.10
1	191-590-240-000	SFR	1	1.0	284.38	276.10
1	191-590-250-000	SFR	1	1.0	284.38	276.10
1	191-590-260-000	SFR	1	1.0	284.38	276.10
1	191-590-270-000	SFR	1	1.0	284.38	276.10
1	191-590-280-000	SFR	1	1.0	284.38	276.10
1	191-590-290-000	SFR	1	1.0	284.38	276.10
1	191-590-300-000	SFR	1	1.0	284.38	276.10
1	191-590-310-000	SFR	1	1.0	284.38	276.10
1	191-590-320-000	SFR	1	1.0	284.38	276.10
1	191-590-330-000	SFR	1	1.0	284.38	276.10
1	191-590-340-000	SFR	1	1.0	284.38	276.10
1	191-590-350-000	SFR	1	1.0	284.38	276.10
1	191-590-360-000	SFR	1	1.0	284.38	276.10
1	191-590-370-000	SFR	1	1.0	284.38	276.10
1	191-590-380-000	SFR	1	1.0	284.38	276.10
1	191-590-390-000	SFR	1	1.0	284.38	276.10
1	191-590-400-000	SFR	1	1.0	284.38	276.10

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Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment⁽¹⁾
1	191-590-410-000	SFR	1	1.0	284.38	276.10
1	191-590-420-000	SFR	1	1.0	284.38	276.10
1	191-590-430-000	SFR	1	1.0	284.38	276.10
1	191-590-440-000	SFR	1	1.0	284.38	276.10
1	191-590-450-000	SFR	1	1.0	284.38	276.10
1	191-590-460-000	SFR	1	1.0	284.38	276.10
1	191-590-470-000	SFR	1	1.0	284.38	276.10
1	191-590-480-000	SFR	1	1.0	284.38	276.10
1	191-590-490-000	SFR	1	1.0	284.38	276.10
1	191-590-500-000	SFR	1	1.0	284.38	276.10
1	191-590-510-000	SFR	1	1.0	284.38	276.10
1	191-590-520-000	SFR	1	1.0	284.38	276.10
1	191-590-530-000	SFR	1	1.0	284.38	276.10
1	191-590-540-000	SFR	1	1.0	284.38	276.10
1	191-590-550-000	SFR	1	1.0	284.38	276.10
1	191-590-560-000	SFR	1	1.0	284.38	276.10
1	191-590-570-000	SFR	1	1.0	284.38	276.10
1	191-590-580-000	SFR	1	1.0	284.38	276.10
1	191-590-590-000	SFR	1	1.0	284.38	276.10
1	191-590-600-000	SFR	1	1.0	284.38	276.10
1	191-590-610-000	SFR	1	1.0	284.38	276.10
1	191-590-620-000	SFR	1	1.0	284.38	276.10
1	191-590-630-000	SFR	1	1.0	284.38	276.10
1	191-590-640-000	SFR	1	1.0	284.38	276.10
1	191-590-650-000	SFR	1	1.0	284.38	276.10
1	191-590-660-000	SFR	1	1.0	284.38	276.10
1	191-590-670-000	SFR	1	1.0	284.38	276.10
1	191-590-680-000	SFR	1	1.0	284.38	276.10
1	191-590-690-000	SFR	1	1.0	284.38	276.10
1	191-590-700-000	SFR	1	1.0	284.38	276.10
1	191-600-010-000	SFR	1	1.0	284.38	276.10
1	191-600-020-000	SFR	1	1.0	284.38	276.10
1	191-600-030-000	SFR	1	1.0	284.38	276.10
1	191-600-040-000	SFR	1	1.0	284.38	276.10
1	191-600-050-000	SFR	1	1.0	284.38	276.10
1	191-600-060-000	SFR	1	1.0	284.38	276.10
1	191-600-070-000	SFR	1	1.0	284.38	276.10
1	191-600-080-000	SFR	1	1.0	284.38	276.10
1	191-600-090-000	SFR	1	1.0	284.38	276.10
1	191-600-100-000	SFR	1	1.0	284.38	276.10
1	191-600-110-000	SFR	1	1.0	284.38	276.10
1	191-600-120-000	SFR	1	1.0	284.38	276.10
1	191-600-130-000	SFR	1	1.0	284.38	276.10
1	191-600-140-000	SFR	1	1.0	284.38	276.10
1	191-600-150-000	SFR	1	1.0	284.38	276.10
1	191-600-160-000	SFR	1	1.0	284.38	276.10
1	191-600-170-000	SFR	1	1.0	284.38	276.10
1	191-600-180-000	SFR	1	1.0	284.38	276.10

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Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment⁽¹⁾
1	191-600-190-000	SFR	1	1.0	284.38	276.10
1	191-600-200-000	SFR	1	1.0	284.38	276.10
1	191-600-210-000	SFR	1	1.0	284.38	276.10
1	191-600-220-000	SFR	1	1.0	284.38	276.10
1	191-600-230-000	SFR	1	1.0	284.38	276.10
1	191-600-240-000	SFR	1	1.0	284.38	276.10
1	191-600-250-000	SFR	1	1.0	284.38	276.10
1	191-600-260-000	SFR	1	1.0	284.38	276.10
1	191-600-270-000	SFR	1	1.0	284.38	276.10
1	191-600-280-000	SFR	1	1.0	284.38	276.10
1	191-600-290-000	SFR	1	1.0	284.38	276.10
1	191-600-300-000	SFR	1	1.0	284.38	276.10
1	191-600-340-000	SFR	1	1.0	284.38	276.10
1	191-600-350-000	SFR	1	1.0	284.38	276.10
1	191-600-360-000	SFR	1	1.0	284.38	276.10
1	191-600-370-000	SFR	1	1.0	284.38	276.10
1	191-600-380-000	SFR	1	1.0	284.38	276.10
1	191-600-390-000	SFR	1	1.0	284.38	276.10
1	191-600-400-000	SFR	1	1.0	284.38	276.10
1	191-600-460-000	SFR	1	1.0	284.38	276.10
1	191-600-470-000	SFR	1	1.0	284.38	276.10
1	191-600-480-000	SFR	1	1.0	284.38	276.10
1	191-600-490-000	SFR	1	1.0	284.38	276.10
1	191-600-500-000	SFR	1	1.0	284.38	276.10
1	191-600-510-000	SFR	1	1.0	284.38	276.10
1	191-600-520-000	SFR	1	1.0	284.38	276.10
1	191-600-530-000	SFR	1	1.0	284.38	276.10
1	191-600-540-000	SFR	1	1.0	284.38	276.10
1	191-600-550-000	SFR	1	1.0	284.38	276.10
1	191-600-560-000	SFR	1	1.0	284.38	276.10
1	191-600-570-000	SFR	1	1.0	284.38	276.10
1	191-600-580-000	SFR	1	1.0	284.38	276.10
1	191-600-590-000	SFR	1	1.0	284.38	276.10
1	191-600-600-000	SFR	1	1.0	284.38	276.10
1	191-600-610-000	SFR	1	1.0	284.38	276.10
1	191-600-620-000	SFR	1	1.0	284.38	276.10
1	191-600-630-000	SFR	1	1.0	284.38	276.10
1	191-600-640-000	SFR	1	1.0	284.38	276.10
1	191-600-650-000	SFR	1	1.0	284.38	276.10
1	191-600-660-000	SFR	1	1.0	284.38	276.10
1	191-600-670-000	SFR	1	1.0	284.38	276.10
1	191-600-680-000	SFR	1	1.0	284.38	276.10
1	191-600-690-000	SFR	1	1.0	284.38	276.10
1	191-600-700-000	SFR	1	1.0	284.38	276.10
1	191-600-710-000	SFR	1	1.0	284.38	276.10
1	191-600-720-000	SFR	1	1.0	284.38	276.10
1	191-600-730-000	SFR	1	1.0	284.38	276.10
1	191-600-740-000	SFR	1	1.0	284.38	276.10

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MOSSDALE LANDSCAPING AND LIGHTING DISTRICT
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Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment⁽¹⁾
1	191-600-750-000	SFR	1	1.0	284.38	276.10
1	191-610-030-000	SFR	1	1.0	284.38	276.10
1	191-610-040-000	SFR	1	1.0	284.38	276.10
1	191-610-050-000	SFR	1	1.0	284.38	276.10
1	191-610-060-000	SFR	1	1.0	284.38	276.10
1	191-610-070-000	SFR	1	1.0	284.38	276.10
1	191-610-080-000	SFR	1	1.0	284.38	276.10
1	191-610-090-000	SFR	1	1.0	284.38	276.10
1	191-610-100-000	SFR	1	1.0	284.38	276.10
1	191-610-110-000	SFR	1	1.0	284.38	276.10
1	191-610-120-000	SFR	1	1.0	284.38	276.10
1	191-610-130-000	SFR	1	1.0	284.38	276.10
1	191-610-140-000	SFR	1	1.0	284.38	276.10
1	191-610-150-000	SFR	1	1.0	284.38	276.10
1	191-610-160-000	SFR	1	1.0	284.38	276.10
1	191-610-170-000	SFR	1	1.0	284.38	276.10
1	191-610-180-000	SFR	1	1.0	284.38	276.10
1	191-610-190-000	SFR	1	1.0	284.38	276.10
1	191-610-200-000	SFR	1	1.0	284.38	276.10
1	191-610-210-000	SFR	1	1.0	284.38	276.10
1	191-610-240-000	SFR	1	1.0	284.38	276.10
1	191-610-250-000	SFR	1	1.0	284.38	276.10
1	191-610-260-000	SFR	1	1.0	284.38	276.10
1	191-610-270-000	SFR	1	1.0	284.38	276.10
1	191-610-280-000	SFR	1	1.0	284.38	276.10
1	191-610-290-000	SFR	1	1.0	284.38	276.10
1	191-610-300-000	SFR	1	1.0	284.38	276.10
1	191-610-310-000	SFR	1	1.0	284.38	276.10
1	191-610-320-000	SFR	1	1.0	284.38	276.10
1	191-610-330-000	SFR	1	1.0	284.38	276.10
1	191-610-340-000	SFR	1	1.0	284.38	276.10
1	191-610-350-000	SFR	1	1.0	284.38	276.10
1	191-610-360-000	SFR	1	1.0	284.38	276.10
1	191-610-370-000	SFR	1	1.0	284.38	276.10
1	191-610-380-000	SFR	1	1.0	284.38	276.10
1	191-610-390-000	SFR	1	1.0	284.38	276.10
1	191-610-400-000	SFR	1	1.0	284.38	276.10
1	191-610-410-000	SFR	1	1.0	284.38	276.10
1	191-620-010-000	SFR	1	1.0	284.38	276.10
1	191-620-020-000	SFR	1	1.0	284.38	276.10
1	191-620-030-000	SFR	1	1.0	284.38	276.10
1	191-620-040-000	SFR	1	1.0	284.38	276.10
1	191-620-050-000	SFR	1	1.0	284.38	276.10
1	191-620-060-000	SFR	1	1.0	284.38	276.10
1	191-620-070-000	SFR	1	1.0	284.38	276.10
1	191-620-130-000	SFR	1	1.0	284.38	276.10
1	191-620-140-000	SFR	1	1.0	284.38	276.10
1	191-620-150-000	SFR	1	1.0	284.38	276.10

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Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment⁽¹⁾
1	191-620-160-000	SFR	1	1.0	284.38	276.10
1	191-620-170-000	SFR	1	1.0	284.38	276.10
1	191-620-180-000	SFR	1	1.0	284.38	276.10
1	191-620-190-000	SFR	1	1.0	284.38	276.10
1	191-620-200-000	SFR	1	1.0	284.38	276.10
1	191-620-210-000	SFR	1	1.0	284.38	276.10
1	191-620-220-000	SFR	1	1.0	284.38	276.10
1	191-620-230-000	SFR	1	1.0	284.38	276.10
1	191-620-250-000	SFR	1	1.0	284.38	276.10
1	191-620-260-000	SFR	1	1.0	284.38	276.10
1	191-620-270-000	SFR	1	1.0	284.38	276.10
1	191-620-280-000	SFR	1	1.0	284.38	276.10
1	191-620-290-000	SFR	1	1.0	284.38	276.10
1	191-620-300-000	SFR	1	1.0	284.38	276.10
1	191-620-310-000	SFR	1	1.0	284.38	276.10
1	191-620-320-000	SFR	1	1.0	284.38	276.10
1	191-620-330-000	SFR	1	1.0	284.38	276.10
1	191-620-340-000	SFR	1	1.0	284.38	276.10
1	191-620-350-000	SFR	1	1.0	284.38	276.10
1	191-620-360-000	SFR	1	1.0	284.38	276.10
1	191-620-370-000	SFR	1	1.0	284.38	276.10
1	191-620-380-000	SFR	1	1.0	284.38	276.10
1	191-620-390-000	SFR	1	1.0	284.38	276.10
1	191-620-400-000	SFR	1	1.0	284.38	276.10
1	191-620-410-000	SFR	1	1.0	284.38	276.10
1	191-620-420-000	SFR	1	1.0	284.38	276.10
1	191-620-430-000	SFR	1	1.0	284.38	276.10
1	191-620-440-000	SFR	1	1.0	284.38	276.10
1	191-620-450-000	SFR	1	1.0	284.38	276.10
1	191-620-460-000	SFR	1	1.0	284.38	276.10
1	191-620-470-000	SFR	1	1.0	284.38	276.10
1	191-620-480-000	SFR	1	1.0	284.38	276.10
1	191-620-520-000	SFR	1	1.0	284.38	276.10
1	191-620-540-000	SFR	1	1.0	284.38	276.10
1	191-620-560-000	SFR	1	1.0	284.38	276.10
1	191-620-570-000	SFR	1	1.0	284.38	276.10
1	191-630-010-000	SFR	1	1.0	284.38	276.10
1	191-630-020-000	SFR	1	1.0	284.38	276.10
1	191-630-030-000	SFR	1	1.0	284.38	276.10
1	191-630-040-000	SFR	1	1.0	284.38	276.10
1	191-630-050-000	SFR	1	1.0	284.38	276.10
1	191-630-060-000	SFR	1	1.0	284.38	276.10
1	191-630-070-000	SFR	1	1.0	284.38	276.10
1	191-630-080-000	SFR	1	1.0	284.38	276.10
1	191-630-090-000	SFR	1	1.0	284.38	276.10
1	191-630-100-000	SFR	1	1.0	284.38	276.10
1	191-630-110-000	SFR	1	1.0	284.38	276.10
1	191-630-120-000	SFR	1	1.0	284.38	276.10

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Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment⁽¹⁾
1	191-630-130-000	SFR	1	1.0	284.38	276.10
1	191-630-140-000	SFR	1	1.0	284.38	276.10
1	191-630-150-000	SFR	1	1.0	284.38	276.10
1	191-630-180-000	SFR	1	1.0	284.38	276.10
1	191-630-190-000	SFR	1	1.0	284.38	276.10
1	191-630-200-000	SFR	1	1.0	284.38	276.10
1	191-630-210-000	SFR	1	1.0	284.38	276.10
1	191-630-220-000	SFR	1	1.0	284.38	276.10
1	191-630-230-000	SFR	1	1.0	284.38	276.10
1	191-630-240-000	SFR	1	1.0	284.38	276.10
1	191-630-250-000	SFR	1	1.0	284.38	276.10
1	191-630-260-000	SFR	1	1.0	284.38	276.10
1	191-630-270-000	SFR	1	1.0	284.38	276.10
1	191-630-280-000	SFR	1	1.0	284.38	276.10
1	191-630-290-000	SFR	1	1.0	284.38	276.10
1	191-630-320-000	SFR	1	1.0	284.38	276.10
1	191-630-330-000	SFR	1	1.0	284.38	276.10
1	191-630-340-000	SFR	1	1.0	284.38	276.10
1	191-630-350-000	SFR	1	1.0	284.38	276.10
1	191-630-360-000	SFR	1	1.0	284.38	276.10
1	191-630-370-000	SFR	1	1.0	284.38	276.10
1	191-630-380-000	SFR	1	1.0	284.38	276.10
1	191-630-390-000	SFR	1	1.0	284.38	276.10
1	191-630-400-000	SFR	1	1.0	284.38	276.10
1	191-630-410-000	SFR	1	1.0	284.38	276.10
1	191-630-420-000	SFR	1	1.0	284.38	276.10
1	191-630-430-000	SFR	1	1.0	284.38	276.10
1	191-630-440-000	SFR	1	1.0	284.38	276.10
1	191-630-450-000	SFR	1	1.0	284.38	276.10
1	191-630-460-000	SFR	1	1.0	284.38	276.10
1	191-630-470-000	SFR	1	1.0	284.38	276.10
1	191-630-480-000	SFR	1	1.0	284.38	276.10
1	191-630-500-000	SFR	1	1.0	284.38	276.10
1	191-630-510-000	SFR	1	1.0	284.38	276.10
1	191-640-010-000	SFR	1	1.0	284.38	276.10
1	191-640-020-000	SFR	1	1.0	284.38	276.10
1	191-640-030-000	SFR	1	1.0	284.38	276.10
1	191-640-040-000	SFR	1	1.0	284.38	276.10
1	191-640-050-000	SFR	1	1.0	284.38	276.10
1	191-640-060-000	SFR	1	1.0	284.38	276.10
1	191-640-070-000	SFR	1	1.0	284.38	276.10
1	191-640-080-000	SFR	1	1.0	284.38	276.10
1	191-640-090-000	SFR	1	1.0	284.38	276.10
1	191-640-100-000	SFR	1	1.0	284.38	276.10
1	191-640-110-000	SFR	1	1.0	284.38	276.10
1	191-640-120-000	SFR	1	1.0	284.38	276.10
1	191-640-130-000	SFR	1	1.0	284.38	276.10
1	191-640-140-000	SFR	1	1.0	284.38	276.10

CITY OF LATHROP
MOSSDALE LANDSCAPING AND LIGHTING DISTRICT
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Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment⁽¹⁾
1	191-640-150-000	SFR	1	1.0	284.38	276.10
1	191-640-160-000	SFR	1	1.0	284.38	276.10
1	191-640-170-000	SFR	1	1.0	284.38	276.10
1	191-640-180-000	SFR	1	1.0	284.38	276.10
1	191-640-190-000	SFR	1	1.0	284.38	276.10
1	191-640-200-000	SFR	1	1.0	284.38	276.10
1	191-640-210-000	SFR	1	1.0	284.38	276.10
1	191-640-220-000	SFR	1	1.0	284.38	276.10
1	191-640-230-000	SFR	1	1.0	284.38	276.10
1	191-640-240-000	SFR	1	1.0	284.38	276.10
1	191-640-250-000	SFR	1	1.0	284.38	276.10
1	191-640-260-000	SFR	1	1.0	284.38	276.10
1	191-640-270-000	SFR	1	1.0	284.38	276.10
1	191-640-280-000	SFR	1	1.0	284.38	276.10
1	191-640-290-000	SFR	1	1.0	284.38	276.10
1	191-640-300-000	SFR	1	1.0	284.38	276.10
1	191-640-310-000	SFR	1	1.0	284.38	276.10
1	191-640-320-000	SFR	1	1.0	284.38	276.10
1	191-640-330-000	SFR	1	1.0	284.38	276.10
1	191-640-340-000	SFR	1	1.0	284.38	276.10
1	191-640-350-000	SFR	1	1.0	284.38	276.10
1	191-640-360-000	SFR	1	1.0	284.38	276.10
1	191-640-370-000	SFR	1	1.0	284.38	276.10
1	191-640-380-000	SFR	1	1.0	284.38	276.10
1	191-640-390-000	SFR	1	1.0	284.38	276.10
1	191-640-400-000	SFR	1	1.0	284.38	276.10
1	191-640-410-000	SFR	1	1.0	284.38	276.10
1	191-640-420-000	SFR	1	1.0	284.38	276.10
1	191-640-430-000	SFR	1	1.0	284.38	276.10
1	191-640-440-000	SFR	1	1.0	284.38	276.10
1	191-640-450-000	SFR	1	1.0	284.38	276.10
1	191-640-460-000	SFR	1	1.0	284.38	276.10
1	191-640-470-000	SFR	1	1.0	284.38	276.10
1	191-640-480-000	SFR	1	1.0	284.38	276.10
1	191-640-490-000	SFR	1	1.0	284.38	276.10
1	191-640-500-000	SFR	1	1.0	284.38	276.10
1	191-640-510-000	SFR	1	1.0	284.38	276.10
1	191-640-520-000	SFR	1	1.0	284.38	276.10
1	191-640-530-000	SFR	1	1.0	284.38	276.10
1	191-640-540-000	SFR	1	1.0	284.38	276.10
1	191-640-550-000	SFR	1	1.0	284.38	276.10
1	191-640-560-000	SFR	1	1.0	284.38	276.10
1	191-640-570-000	SFR	1	1.0	284.38	276.10
1	191-640-580-000	SFR	1	1.0	284.38	276.10
1	191-640-590-000	SFR	1	1.0	284.38	276.10
1	191-640-600-000	SFR	1	1.0	284.38	276.10
1	191-640-610-000	SFR	1	1.0	284.38	276.10
1	191-640-620-000	SFR	1	1.0	284.38	276.10

CITY OF LATHROP
MOSSDALE LANDSCAPING AND LIGHTING DISTRICT
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Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment⁽¹⁾
1	191-640-630-000	SFR	1	1.0	284.38	276.10
1	191-640-640-000	SFR	1	1.0	284.38	276.10
1	191-640-650-000	SFR	1	1.0	284.38	276.10
1	191-650-010-000	SFR	1	1.0	284.38	276.10
1	191-650-020-000	SFR	1	1.0	284.38	276.10
1	191-650-030-000	SFR	1	1.0	284.38	276.10
1	191-650-040-000	SFR	1	1.0	284.38	276.10
1	191-650-050-000	SFR	1	1.0	284.38	276.10
1	191-650-060-000	SFR	1	1.0	284.38	276.10
1	191-650-070-000	SFR	1	1.0	284.38	276.10
1	191-650-080-000	SFR	1	1.0	284.38	276.10
1	191-650-090-000	SFR	1	1.0	284.38	276.10
1	191-650-100-000	SFR	1	1.0	284.38	276.10
1	191-650-110-000	SFR	1	1.0	284.38	276.10
1	191-650-120-000	SFR	1	1.0	284.38	276.10
1	191-650-130-000	SFR	1	1.0	284.38	276.10
1	191-650-140-000	SFR	1	1.0	284.38	276.10
1	191-650-150-000	SFR	1	1.0	284.38	276.10
1	191-650-160-000	SFR	1	1.0	284.38	276.10
1	191-650-170-000	SFR	1	1.0	284.38	276.10
1	191-650-180-000	SFR	1	1.0	284.38	276.10
1	191-650-190-000	SFR	1	1.0	284.38	276.10
1	191-650-200-000	SFR	1	1.0	284.38	276.10
1	191-650-210-000	SFR	1	1.0	284.38	276.10
1	191-650-220-000	SFR	1	1.0	284.38	276.10
1	191-650-230-000	SFR	1	1.0	284.38	276.10
1	191-650-240-000	SFR	1	1.0	284.38	276.10
1	191-650-250-000	SFR	1	1.0	284.38	276.10
1	191-650-260-000	SFR	1	1.0	284.38	276.10
1	191-650-270-000	SFR	1	1.0	284.38	276.10
1	191-650-280-000	SFR	1	1.0	284.38	276.10
1	191-650-290-000	SFR	1	1.0	284.38	276.10
1	191-650-300-000	SFR	1	1.0	284.38	276.10
1	191-650-310-000	SFR	1	1.0	284.38	276.10
1	191-650-320-000	SFR	1	1.0	284.38	276.10
1	191-650-330-000	SFR	1	1.0	284.38	276.10
1	191-650-340-000	SFR	1	1.0	284.38	276.10
1	191-650-350-000	SFR	1	1.0	284.38	276.10
1	191-650-360-000	SFR	1	1.0	284.38	276.10
1	191-660-010-000	SFR	1	1.0	284.38	276.10
1	191-660-020-000	SFR	1	1.0	284.38	276.10
1	191-660-030-000	SFR	1	1.0	284.38	276.10
1	191-660-040-000	SFR	1	1.0	284.38	276.10
1	191-660-050-000	SFR	1	1.0	284.38	276.10
1	191-660-060-000	SFR	1	1.0	284.38	276.10
1	191-660-070-000	SFR	1	1.0	284.38	276.10
1	191-660-080-000	SFR	1	1.0	284.38	276.10
1	191-660-090-000	SFR	1	1.0	284.38	276.10

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MOSSDALE LANDSCAPING AND LIGHTING DISTRICT
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Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment⁽¹⁾
1	191-660-100-000	SFR	1	1.0	284.38	276.10
1	191-660-110-000	SFR	1	1.0	284.38	276.10
1	191-660-120-000	SFR	1	1.0	284.38	276.10
1	191-660-130-000	SFR	1	1.0	284.38	276.10
1	191-660-140-000	SFR	1	1.0	284.38	276.10
1	191-660-150-000	SFR	1	1.0	284.38	276.10
1	191-660-160-000	SFR	1	1.0	284.38	276.10
1	191-660-170-000	SFR	1	1.0	284.38	276.10
1	191-660-180-000	SFR	1	1.0	284.38	276.10
1	191-660-190-000	SFR	1	1.0	284.38	276.10
1	191-660-200-000	SFR	1	1.0	284.38	276.10
1	191-660-210-000	SFR	1	1.0	284.38	276.10
1	191-660-220-000	SFR	1	1.0	284.38	276.10
1	191-660-230-000	SFR	1	1.0	284.38	276.10
1	191-660-240-000	SFR	1	1.0	284.38	276.10
1	191-660-250-000	SFR	1	1.0	284.38	276.10
1	191-660-260-000	SFR	1	1.0	284.38	276.10
1	191-660-270-000	SFR	1	1.0	284.38	276.10
1	191-660-280-000	SFR	1	1.0	284.38	276.10
1	191-660-290-000	SFR	1	1.0	284.38	276.10
1	191-660-300-000	SFR	1	1.0	284.38	276.10
1	191-660-310-000	SFR	1	1.0	284.38	276.10
1	191-660-320-000	SFR	1	1.0	284.38	276.10
1	191-660-330-000	SFR	1	1.0	284.38	276.10
1	191-670-010-000	SFR	1	1.0	284.38	276.10
1	191-670-020-000	SFR	1	1.0	284.38	276.10
1	191-670-030-000	SFR	1	1.0	284.38	276.10
1	191-670-040-000	SFR	1	1.0	284.38	276.10
1	191-670-050-000	SFR	1	1.0	284.38	276.10
1	191-670-060-000	SFR	1	1.0	284.38	276.10
1	191-670-070-000	SFR	1	1.0	284.38	276.10
1	191-670-080-000	SFR	1	1.0	284.38	276.10
1	191-670-090-000	SFR	1	1.0	284.38	276.10
1	191-670-100-000	SFR	1	1.0	284.38	276.10
1	191-670-110-000	SFR	1	1.0	284.38	276.10
1	191-670-120-000	SFR	1	1.0	284.38	276.10
1	191-670-130-000	SFR	1	1.0	284.38	276.10
1	191-670-140-000	SFR	1	1.0	284.38	276.10
1	191-670-150-000	SFR	1	1.0	284.38	276.10
1	191-670-160-000	SFR	1	1.0	284.38	276.10
1	191-670-170-000	SFR	1	1.0	284.38	276.10
1	191-670-180-000	SFR	1	1.0	284.38	276.10
1	191-670-190-000	SFR	1	1.0	284.38	276.10
1	191-670-200-000	SFR	1	1.0	284.38	276.10
1	191-670-210-000	SFR	1	1.0	284.38	276.10
1	191-670-220-000	SFR	1	1.0	284.38	276.10
1	191-670-230-000	SFR	1	1.0	284.38	276.10
1	191-670-240-000	SFR	1	1.0	284.38	276.10

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MOSSDALE LANDSCAPING AND LIGHTING DISTRICT
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Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment⁽¹⁾
1	191-670-250-000	SFR	1	1.0	284.38	276.10
1	191-670-260-000	SFR	1	1.0	284.38	276.10
1	191-670-270-000	SFR	1	1.0	284.38	276.10
1	191-670-280-000	SFR	1	1.0	284.38	276.10
1	191-670-290-000	SFR	1	1.0	284.38	276.10
1	191-670-300-000	SFR	1	1.0	284.38	276.10
1	191-670-310-000	SFR	1	1.0	284.38	276.10
1	191-670-320-000	SFR	1	1.0	284.38	276.10
1	191-670-330-000	SFR	1	1.0	284.38	276.10
1	191-670-340-000	SFR	1	1.0	284.38	276.10
1	191-670-350-000	SFR	1	1.0	284.38	276.10
1	191-670-360-000	SFR	1	1.0	284.38	276.10
1	191-670-370-000	SFR	1	1.0	284.38	276.10
1	191-670-380-000	SFR	1	1.0	284.38	276.10
1	191-670-390-000	SFR	1	1.0	284.38	276.10
1	191-670-400-000	SFR	1	1.0	284.38	276.10
1	191-670-410-000	SFR	1	1.0	284.38	276.10
1	191-670-420-000	SFR	1	1.0	284.38	276.10
1	191-670-430-000	SFR	1	1.0	284.38	276.10
1	191-670-440-000	SFR	1	1.0	284.38	276.10
1	191-670-450-000	SFR	1	1.0	284.38	276.10
1	191-670-460-000	SFR	1	1.0	284.38	276.10
1	191-670-470-000	SFR	1	1.0	284.38	276.10
1	191-670-480-000	SFR	1	1.0	284.38	276.10
1	191-670-490-000	SFR	1	1.0	284.38	276.10
1	191-670-500-000	SFR	1	1.0	284.38	276.10
1	191-670-510-000	SFR	1	1.0	284.38	276.10
1	191-670-520-000	SFR	1	1.0	284.38	276.10
1	191-680-010-000	SFR	1	1.0	284.38	276.10
1	191-680-020-000	SFR	1	1.0	284.38	276.10
1	191-680-030-000	SFR	1	1.0	284.38	276.10
1	191-680-040-000	SFR	1	1.0	284.38	276.10
1	191-680-050-000	SFR	1	1.0	284.38	276.10
1	191-680-060-000	SFR	1	1.0	284.38	276.10
1	191-680-070-000	SFR	1	1.0	284.38	276.10
1	191-680-080-000	SFR	1	1.0	284.38	276.10
1	191-680-090-000	SFR	1	1.0	284.38	276.10
1	191-680-100-000	SFR	1	1.0	284.38	276.10
1	191-680-110-000	SFR	1	1.0	284.38	276.10
1	191-680-120-000	SFR	1	1.0	284.38	276.10
1	191-680-130-000	SFR	1	1.0	284.38	276.10
1	191-680-140-000	SFR	1	1.0	284.38	276.10
1	191-680-150-000	SFR	1	1.0	284.38	276.10
1	191-680-160-000	SFR	1	1.0	284.38	276.10
1	191-680-170-000	SFR	1	1.0	284.38	276.10
1	191-680-180-000	SFR	1	1.0	284.38	276.10
1	191-680-190-000	SFR	1	1.0	284.38	276.10
1	191-680-200-000	SFR	1	1.0	284.38	276.10

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Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment⁽¹⁾
1	191-680-210-000	SFR	1	1.0	284.38	276.10
1	191-680-220-000	SFR	1	1.0	284.38	276.10
1	191-680-230-000	SFR	1	1.0	284.38	276.10
1	191-680-240-000	SFR	1	1.0	284.38	276.10
1	191-680-250-000	SFR	1	1.0	284.38	276.10
1	191-680-260-000	SFR	1	1.0	284.38	276.10
1	191-680-270-000	SFR	1	1.0	284.38	276.10
1	191-680-280-000	SFR	1	1.0	284.38	276.10
1	191-680-290-000	SFR	1	1.0	284.38	276.10
1	191-680-300-000	SFR	1	1.0	284.38	276.10
1	191-680-310-000	SFR	1	1.0	284.38	276.10
1	191-680-320-000	SFR	1	1.0	284.38	276.10
1	191-680-330-000	SFR	1	1.0	284.38	276.10
1	191-680-340-000	SFR	1	1.0	284.38	276.10
1	191-680-350-000	SFR	1	1.0	284.38	276.10
1	191-680-360-000	SFR	1	1.0	284.38	276.10
1	191-680-370-000	SFR	1	1.0	284.38	276.10
1	191-680-380-000	SFR	1	1.0	284.38	276.10
1	191-680-390-000	SFR	1	1.0	284.38	276.10
1	191-680-400-000	SFR	1	1.0	284.38	276.10
1	191-680-410-000	SFR	1	1.0	284.38	276.10
1	191-680-420-000	SFR	1	1.0	284.38	276.10
1	191-680-430-000	SFR	1	1.0	284.38	276.10
1	191-680-440-000	SFR	1	1.0	284.38	276.10
1	191-680-450-000	SFR	1	1.0	284.38	276.10
1	191-680-460-000	SFR	1	1.0	284.38	276.10
1	191-680-470-000	SFR	1	1.0	284.38	276.10
1	191-680-480-000	SFR	1	1.0	284.38	276.10
1	191-680-490-000	SFR	1	1.0	284.38	276.10
1	191-680-500-000	SFR	1	1.0	284.38	276.10
1	191-680-510-000	SFR	1	1.0	284.38	276.10
1	191-680-520-000	SFR	1	1.0	284.38	276.10
1	191-690-010-000	SFR	1	1.0	284.38	276.10
1	191-690-020-000	SFR	1	1.0	284.38	276.10
1	191-690-030-000	SFR	1	1.0	284.38	276.10
1	191-690-040-000	SFR	1	1.0	284.38	276.10
1	191-690-050-000	SFR	1	1.0	284.38	276.10
1	191-690-060-000	SFR	1	1.0	284.38	276.10
1	191-690-070-000	SFR	1	1.0	284.38	276.10
1	191-690-080-000	SFR	1	1.0	284.38	276.10
1	191-690-120-000	SFR	1	1.0	284.38	276.10
1	191-690-130-000	SFR	1	1.0	284.38	276.10
1	191-690-140-000	SFR	1	1.0	284.38	276.10
1	191-690-150-000	SFR	1	1.0	284.38	276.10
1	191-690-160-000	SFR	1	1.0	284.38	276.10
1	191-690-170-000	SFR	1	1.0	284.38	276.10
1	191-690-180-000	SFR	1	1.0	284.38	276.10
1	191-690-190-000	SFR	1	1.0	284.38	276.10

CITY OF LATHROP
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Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment⁽¹⁾
1	191-690-200-000	SFR	1	1.0	284.38	276.10
1	191-690-210-000	SFR	1	1.0	284.38	276.10
1	191-690-220-000	SFR	1	1.0	284.38	276.10
1	191-690-230-000	SFR	1	1.0	284.38	276.10
1	191-690-240-000	SFR	1	1.0	284.38	276.10
1	191-690-250-000	SFR	1	1.0	284.38	276.10
1	191-690-260-000	SFR	1	1.0	284.38	276.10
1	191-690-270-000	SFR	1	1.0	284.38	276.10
1	191-690-280-000	SFR	1	1.0	284.38	276.10
1	191-690-290-000	SFR	1	1.0	284.38	276.10
1	191-690-300-000	SFR	1	1.0	284.38	276.10
1	191-690-310-000	SFR	1	1.0	284.38	276.10
1	191-690-320-000	SFR	1	1.0	284.38	276.10
1	191-690-330-000	SFR	1	1.0	284.38	276.10
1	191-690-340-000	SFR	1	1.0	284.38	276.10
1	191-690-350-000	SFR	1	1.0	284.38	276.10
1	191-690-360-000	SFR	1	1.0	284.38	276.10
1	191-690-370-000	SFR	1	1.0	284.38	276.10
1	191-690-380-000	SFR	1	1.0	284.38	276.10
1	191-690-390-000	SFR	1	1.0	284.38	276.10
1	191-690-400-000	SFR	1	1.0	284.38	276.10
1	191-690-410-000	SFR	1	1.0	284.38	276.10
1	191-690-520-000	SFR	1	1.0	284.38	276.10
1	191-690-530-000	SFR	1	1.0	284.38	276.10
1	191-690-540-000	SFR	1	1.0	284.38	276.10
1	191-730-010-000	SFR	1	1.0	284.38	276.10
1	191-730-020-000	SFR	1	1.0	284.38	276.10
1	191-730-030-000	SFR	1	1.0	284.38	276.10
1	191-730-040-000	SFR	1	1.0	284.38	276.10
1	191-730-050-000	SFR	1	1.0	284.38	276.10
1	191-730-060-000	SFR	1	1.0	284.38	276.10
1	191-730-070-000	SFR	1	1.0	284.38	276.10
1	191-730-080-000	SFR	1	1.0	284.38	276.10
1	191-730-090-000	SFR	1	1.0	284.38	276.10
1	191-730-100-000	SFR	1	1.0	284.38	276.10
1	191-730-110-000	SFR	1	1.0	284.38	276.10
1	191-730-120-000	SFR	1	1.0	284.38	276.10
1	191-730-130-000	SFR	1	1.0	284.38	276.10
1	191-730-140-000	SFR	1	1.0	284.38	276.10
1	191-730-150-000	SFR	1	1.0	284.38	276.10
1	191-730-160-000	SFR	1	1.0	284.38	276.10
1	191-730-170-000	SFR	1	1.0	284.38	276.10
1	191-730-180-000	SFR	1	1.0	284.38	276.10
1	191-730-190-000	SFR	1	1.0	284.38	276.10
1	191-730-200-000	SFR	1	1.0	284.38	276.10
1	191-730-210-000	SFR	1	1.0	284.38	276.10
1	191-730-220-000	SFR	1	1.0	284.38	276.10
1	191-730-230-000	SFR	1	1.0	284.38	276.10

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Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment⁽¹⁾
1	191-730-240-000	SFR	1	1.0	284.38	276.10
1	191-730-250-000	SFR	1	1.0	284.38	276.10
1	191-730-260-000	SFR	1	1.0	284.38	276.10
1	191-730-270-000	SFR	1	1.0	284.38	276.10
1	191-730-280-000	SFR	1	1.0	284.38	276.10
1	191-730-290-000	SFR	1	1.0	284.38	276.10
1	191-730-300-000	SFR	1	1.0	284.38	276.10
1	191-730-310-000	SFR	1	1.0	284.38	276.10
1	191-730-320-000	SFR	1	1.0	284.38	276.10
1	191-730-330-000	SFR	1	1.0	284.38	276.10
1	191-730-340-000	SFR	1	1.0	284.38	276.10
1	191-730-350-000	SFR	1	1.0	284.38	276.10
1	191-730-360-000	SFR	1	1.0	284.38	276.10
1	191-730-370-000	SFR	1	1.0	284.38	276.10
1	191-730-380-000	SFR	1	1.0	284.38	276.10
1	191-730-390-000	SFR	1	1.0	284.38	276.10
1	191-730-400-000	SFR	1	1.0	284.38	276.10
1	191-730-410-000	SFR	1	1.0	284.38	276.10
1	191-730-420-000	SFR	1	1.0	284.38	276.10
1	191-730-430-000	SFR	1	1.0	284.38	276.10
1	191-730-440-000	SFR	1	1.0	284.38	276.10
1	191-730-450-000	SFR	1	1.0	284.38	276.10
1	191-730-460-000	SFR	1	1.0	284.38	276.10
1	191-730-470-000	SFR	1	1.0	284.38	276.10
1	191-730-480-000	SFR	1	1.0	284.38	276.10
1	191-730-490-000	SFR	1	1.0	284.38	276.10
1	191-730-500-000	SFR	1	1.0	284.38	276.10
1	191-730-510-000	SFR	1	1.0	284.38	276.10
1	191-730-520-000	SFR	1	1.0	284.38	276.10
1	191-730-530-000	SFR	1	1.0	284.38	276.10
1	191-730-540-000	SFR	1	1.0	284.38	276.10
1	191-730-550-000	SFR	1	1.0	284.38	276.10
1	191-730-560-000	SFR	1	1.0	284.38	276.10
1	191-740-010-000	SFR	1	1.0	284.38	276.10
1	191-740-020-000	SFR	1	1.0	284.38	276.10
1	191-740-030-000	SFR	1	1.0	284.38	276.10
1	191-740-040-000	SFR	1	1.0	284.38	276.10
1	191-740-050-000	SFR	1	1.0	284.38	276.10
1	191-740-060-000	SFR	1	1.0	284.38	276.10
1	191-740-070-000	SFR	1	1.0	284.38	276.10
1	191-740-080-000	SFR	1	1.0	284.38	276.10
1	191-740-090-000	SFR	1	1.0	284.38	276.10
1	191-740-100-000	SFR	1	1.0	284.38	276.10
1	191-740-110-000	SFR	1	1.0	284.38	276.10
1	191-740-120-000	SFR	1	1.0	284.38	276.10
1	191-740-130-000	SFR	1	1.0	284.38	276.10
1	191-740-140-000	SFR	1	1.0	284.38	276.10
1	191-740-150-000	SFR	1	1.0	284.38	276.10

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Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment⁽¹⁾
1	191-740-160-000	SFR	1	1.0	284.38	276.10
1	191-740-170-000	SFR	1	1.0	284.38	276.10
1	191-740-180-000	SFR	1	1.0	284.38	276.10
1	191-740-190-000	SFR	1	1.0	284.38	276.10
1	191-740-200-000	SFR	1	1.0	284.38	276.10
1	191-740-210-000	SFR	1	1.0	284.38	276.10
1	191-740-220-000	SFR	1	1.0	284.38	276.10
1	191-740-230-000	SFR	1	1.0	284.38	276.10
1	191-740-240-000	SFR	1	1.0	284.38	276.10
1	191-740-250-000	SFR	1	1.0	284.38	276.10
1	191-740-260-000	SFR	1	1.0	284.38	276.10
1	191-740-270-000	SFR	1	1.0	284.38	276.10
1	191-740-280-000	SFR	1	1.0	284.38	276.10
1	191-740-290-000	SFR	1	1.0	284.38	276.10
1	191-740-300-000	SFR	1	1.0	284.38	276.10
1	191-740-310-000	SFR	1	1.0	284.38	276.10
1	191-740-320-000	SFR	1	1.0	284.38	276.10
1	191-740-330-000	SFR	1	1.0	284.38	276.10
1	191-740-340-000	SFR	1	1.0	284.38	276.10
1	191-740-350-000	SFR	1	1.0	284.38	276.10
1	191-740-360-000	SFR	1	1.0	284.38	276.10
1	191-740-370-000	SFR	1	1.0	284.38	276.10
1	191-740-380-000	SFR	1	1.0	284.38	276.10
1	191-740-390-000	SFR	1	1.0	284.38	276.10
1	191-740-400-000	SFR	1	1.0	284.38	276.10
1	191-740-410-000	SFR	1	1.0	284.38	276.10
1	191-740-420-000	SFR	1	1.0	284.38	276.10
1	191-740-430-000	SFR	1	1.0	284.38	276.10
1	191-740-440-000	SFR	1	1.0	284.38	276.10
1	191-740-450-000	SFR	1	1.0	284.38	276.10
1	191-740-460-000	SFR	1	1.0	284.38	276.10
1	191-750-010-000	SFR	1	1.0	284.38	276.10
1	191-750-020-000	SFR	1	1.0	284.38	276.10
1	191-750-030-000	SFR	1	1.0	284.38	276.10
1	191-750-040-000	SFR	1	1.0	284.38	276.10
1	191-750-050-000	SFR	1	1.0	284.38	276.10
1	191-750-060-000	SFR	1	1.0	284.38	276.10
1	191-750-070-000	SFR	1	1.0	284.38	276.10
1	191-750-080-000	SFR	1	1.0	284.38	276.10
1	191-750-090-000	SFR	1	1.0	284.38	276.10
1	191-750-100-000	SFR	1	1.0	284.38	276.10
1	191-750-110-000	SFR	1	1.0	284.38	276.10
1	191-750-120-000	SFR	1	1.0	284.38	276.10
1	191-750-130-000	SFR	1	1.0	284.38	276.10
1	191-750-140-000	SFR	1	1.0	284.38	276.10
1	191-750-150-000	SFR	1	1.0	284.38	276.10
1	191-750-160-000	SFR	1	1.0	284.38	276.10
1	191-750-170-000	SFR	1	1.0	284.38	276.10

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Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment⁽¹⁾
1	191-750-180-000	SFR	1	1.0	284.38	276.10
1	191-750-190-000	SFR	1	1.0	284.38	276.10
1	191-750-200-000	SFR	1	1.0	284.38	276.10
1	191-750-210-000	SFR	1	1.0	284.38	276.10
1	191-750-220-000	SFR	1	1.0	284.38	276.10
1	191-750-230-000	SFR	1	1.0	284.38	276.10
1	191-750-240-000	SFR	1	1.0	284.38	276.10
1	191-750-250-000	SFR	1	1.0	284.38	276.10
1	191-750-260-000	SFR	1	1.0	284.38	276.10
1	191-750-270-000	SFR	1	1.0	284.38	276.10
1	191-750-280-000	SFR	1	1.0	284.38	276.10
1	191-750-290-000	SFR	1	1.0	284.38	276.10
1	191-750-300-000	SFR	1	1.0	284.38	276.10
1	191-750-310-000	SFR	1	1.0	284.38	276.10
1	191-750-320-000	SFR	1	1.0	284.38	276.10
1	191-750-330-000	SFR	1	1.0	284.38	276.10
1	191-750-340-000	SFR	1	1.0	284.38	276.10
1	191-750-350-000	SFR	1	1.0	284.38	276.10
1	191-750-360-000	SFR	1	1.0	284.38	276.10
1	191-750-370-000	SFR	1	1.0	284.38	276.10
1	191-750-380-000	SFR	1	1.0	284.38	276.10
1	191-750-390-000	SFR	1	1.0	284.38	276.10
1	191-750-400-000	SFR	1	1.0	284.38	276.10
1	191-750-410-000	SFR	1	1.0	284.38	276.10
1	191-750-420-000	SFR	1	1.0	284.38	276.10
1	191-750-430-000	SFR	1	1.0	284.38	276.10
1	191-750-440-000	SFR	1	1.0	284.38	276.10
1	191-750-450-000	SFR	1	1.0	284.38	276.10
1	191-750-460-000	SFR	1	1.0	284.38	276.10
1	191-750-470-000	SFR	1	1.0	284.38	276.10
1	191-750-480-000	SFR	1	1.0	284.38	276.10
1	191-750-490-000	SFR	1	1.0	284.38	276.10
1	191-750-500-000	SFR	1	1.0	284.38	276.10
1	191-750-510-000	SFR	1	1.0	284.38	276.10
1	191-750-520-000	SFR	1	1.0	284.38	276.10
1	241-700-010-000	SFR	1	1.0	284.38	276.10
1	241-700-020-000	SFR	1	1.0	284.38	276.10
1	241-700-030-000	SFR	1	1.0	284.38	276.10
1	241-700-040-000	SFR	1	1.0	284.38	276.10
1	241-700-050-000	SFR	1	1.0	284.38	276.10
1	241-700-060-000	SFR	1	1.0	284.38	276.10
1	241-700-070-000	SFR	1	1.0	284.38	276.10
1	241-700-080-000	SFR	1	1.0	284.38	276.10
1	241-700-090-000	SFR	1	1.0	284.38	276.10
1	241-700-100-000	SFR	1	1.0	284.38	276.10
1	241-700-110-000	SFR	1	1.0	284.38	276.10
1	241-700-120-000	SFR	1	1.0	284.38	276.10
1	241-700-130-000	SFR	1	1.0	284.38	276.10

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Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment⁽¹⁾
1	241-700-140-000	SFR	1	1.0	284.38	276.10
1	241-700-150-000	SFR	1	1.0	284.38	276.10
1	241-700-160-000	SFR	1	1.0	284.38	276.10
1	241-700-170-000	SFR	1	1.0	284.38	276.10
1	241-700-180-000	SFR	1	1.0	284.38	276.10
1	241-700-190-000	SFR	1	1.0	284.38	276.10
1	241-700-200-000	SFR	1	1.0	284.38	276.10
1	241-700-210-000	SFR	1	1.0	284.38	276.10
1	241-700-220-000	SFR	1	1.0	284.38	276.10
1	241-700-230-000	SFR	1	1.0	284.38	276.10
1	241-700-240-000	SFR	1	1.0	284.38	276.10
1	241-700-250-000	SFR	1	1.0	284.38	276.10
1	241-700-260-000	SFR	1	1.0	284.38	276.10
2	241-020-680-000	SFR	1	1.0	284.38	276.10
2	241-710-010-000	SFR	1	1.0	284.38	276.10
2	241-710-020-000	SFR	1	1.0	284.38	276.10
2	241-710-030-000	SFR	1	1.0	284.38	276.10
2	241-710-040-000	SFR	1	1.0	284.38	276.10
2	241-710-050-000	SFR	1	1.0	284.38	276.10
2	241-710-060-000	SFR	1	1.0	284.38	276.10
2	241-710-070-000	SFR	1	1.0	284.38	276.10
2	241-710-080-000	SFR	1	1.0	284.38	276.10
2	241-710-090-000	SFR	1	1.0	284.38	276.10
2	241-710-100-000	SFR	1	1.0	284.38	276.10
2	241-710-110-000	SFR	1	1.0	284.38	276.10
2	241-710-120-000	SFR	1	1.0	284.38	276.10
2	241-710-130-000	SFR	1	1.0	284.38	276.10
2	241-710-140-000	SFR	1	1.0	284.38	276.10
2	241-710-150-000	SFR	1	1.0	284.38	276.10
2	241-710-160-000	SFR	1	1.0	284.38	276.10
2	241-710-170-000	SFR	1	1.0	284.38	276.10
2	241-710-180-000	SFR	1	1.0	284.38	276.10
2	241-710-190-000	SFR	1	1.0	284.38	276.10
2	241-710-200-000	SFR	1	1.0	284.38	276.10
2	241-710-210-000	SFR	1	1.0	284.38	276.10
2	241-710-220-000	SFR	1	1.0	284.38	276.10
2	241-710-230-000	SFR	1	1.0	284.38	276.10
2	241-710-240-000	SFR	1	1.0	284.38	276.10
2	241-710-250-000	SFR	1	1.0	284.38	276.10
2	241-710-260-000	SFR	1	1.0	284.38	276.10
2	241-710-270-000	SFR	1	1.0	284.38	276.10
2	241-710-280-000	SFR	1	1.0	284.38	276.10
2	241-710-290-000	SFR	1	1.0	284.38	276.10
2	241-710-300-000	SFR	1	1.0	284.38	276.10
2	241-710-310-000	SFR	1	1.0	284.38	276.10
2	241-710-320-000	SFR	1	1.0	284.38	276.10
2	241-710-330-000	SFR	1	1.0	284.38	276.10
2	241-710-340-000	SFR	1	1.0	284.38	276.10

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Zone	APN	Development Type	Units	EU	Maximum Assessment	2020/21 Assessment⁽¹⁾
2	241-710-350-000	SFR	1	1.0	284.38	276.10
2	241-710-360-000	SFR	1	1.0	284.38	276.10
2	241-710-370-000	SFR	1	1.0	284.38	276.10
2	241-710-380-000	SFR	1	1.0	284.38	276.10
2	241-710-390-000	SFR	1	1.0	284.38	276.10
2	241-710-400-000	SFR	1	1.0	284.38	276.10
2	241-710-410-000	SFR	1	1.0	284.38	276.10
2	241-710-420-000	SFR	1	1.0	284.38	276.10
2	241-710-430-000	SFR	1	1.0	284.38	276.10
2	241-710-440-000	SFR	1	1.0	284.38	276.10
2	241-710-450-000	SFR	1	1.0	284.38	276.10
2	241-710-460-000	SFR	1	1.0	284.38	276.10
2	241-710-470-000	SFR	1	1.0	284.38	276.10
2	241-710-480-000	SFR	1	1.0	284.38	276.10
2	241-710-490-000	SFR	1	1.0	284.38	276.10
2	241-710-500-000	SFR	1	1.0	284.38	276.10
2	241-710-510-000	SFR	1	1.0	284.38	276.10
2	241-710-520-000	SFR	1	1.0	284.38	276.10
2	241-710-530-000	SFR	1	1.0	284.38	276.10
2	241-710-540-000	SFR	1	1.0	284.38	276.10
2	241-710-550-000	SFR	1	1.0	284.38	276.10
2	241-710-560-000	SFR	1	1.0	284.38	276.10
2	241-710-570-000	SFR	1	1.0	284.38	276.10
2	241-710-580-000	SFR	1	1.0	284.38	276.10
2	241-710-590-000	SFR	1	1.0	284.38	276.10
2	241-710-600-000	SFR	1	1.0	284.38	276.10
2	241-710-610-000	SFR	1	1.0	284.38	276.10
2	241-710-620-000	SFR	1	1.0	284.38	276.10
2	241-710-630-000	SFR	1	1.0	284.38	276.10
2	241-710-640-000	SFR	1	1.0	284.38	276.10
2	241-710-650-000	SFR	1	1.0	284.38	276.10
2	241-710-660-000	SFR	1	1.0	284.38	276.10
2	241-710-670-000	SFR	1	1.0	284.38	276.10
2	241-710-680-000	SFR	1	1.0	284.38	276.10
2	241-710-690-000	SFR	1	1.0	284.38	276.10
2	241-710-700-000	SFR	1	1.0	284.38	276.10
2	241-710-710-000	SFR	1	1.0	284.38	276.10
2	241-710-720-000	SFR	1	1.0	284.38	276.10
2	241-710-730-000	SFR	1	1.0	284.38	276.10
2	241-710-740-000	SFR	1	1.0	284.38	276.10
2	241-710-750-000	SFR	1	1.0	284.38	276.10
2	241-710-760-000	SFR	1	1.0	284.38	276.10
2	241-710-770-000	SFR	1	1.0	284.38	276.10
2	241-710-780-000	SFR	1	1.0	284.38	276.10
Totals:			2,192	2,158.4	\$613,805.79	\$595,934.24

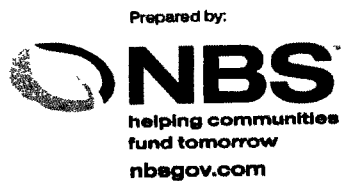
(1) Where applicable, the actual levy will be rounded down to an even amount for County tax roll purposes.

CITY OF LATHROP

Stonebridge Landscaping District

Annual Engineer's Report

Fiscal Year 2020/21



Corporate Headquarters
32605 Temecula Parkway, Suite 100
Temecula, CA 92592
Toll free: 800.676.7516

**CITY OF LATHROP
STONEBRIDGE LANDSCAPING DISTRICT**

**390 Towne Centre Drive
Lathrop, California 95330
Phone - (209) 941-7320
Fax - (209) 941-7339**

CITY COUNCIL

Sonny Dhaliwal, Mayor

Martha Salcedo, Vice Mayor

Paul Akinjo, Councilmember

Diane Lazard, Councilmember

Jennifer Torres-O'Callaghan, Councilmember

CITY STAFF

Stephen Salvatore, City Manager

Salvador Navarrete, City Attorney

Cari James, Finance Director

Glenn Gebhardt, City Engineer

NBS

Tim Seufert, Client Services Director

Kristin Harvey, Senior Consultant

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1. ENGINEER’S LETTER

WHEREAS, the City Council of the City of Lathrop (the “City”), State of California, directed NBS Government Finance Group, DBA NBS (“NBS”) to prepare and file a report presenting plans and specifications describing the general nature, location, and extent of the improvements to be maintained, and an estimate of the costs of the maintenance, operations, and servicing of the improvements for the City of Lathrop Stonebridge Landscaping District (the “District”) for Fiscal Year 2020/21. The report includes a diagram for the District showing the area and properties proposed to be assessed, an assessment of the estimated costs of the maintenance, operations and servicing of the improvements, and the net amount to be assessed upon all assessable parcels within the District in proportion to the special benefit received;

WHEREAS, the proposed assessment rate of \$292.88 per single family lot, is not greater than 105% of the prior year maximum assessment, as approved by the land owners. The District is in compliance with the assessment balloting procedures set forth in Section 4 of Article XIII D of the California Constitution and the District was formed by consent of 100% of the land owners.

NOW THEREFORE, only special benefits are assessed and any general benefits have been identified. The following assessment is made to fund the portion of the estimated costs of maintenance, operation, and servicing of the improvements to be paid by the assessable real property within the District in proportion to the special benefit received:

SUMMARY OF ASSESSMENT– SINGLE FAMILY LOTS

Description	Amount
Balance to Levy	\$264,470.64
Total Single Family Lots	903
Calculated Assessment Per Single Family Lot	\$292.88
Maximum Assessment Per Single Family Lot	\$438.78
Total Assessment – Single Family Lots	\$264,470.64

I, the undersigned, respectfully submit the enclosed Engineer’s Report and, to the best of my knowledge, information, and belief, the Engineer’s Report, Assessments, and the District Diagram herein have been prepared and computed in accordance with the order and historical practices of the City Council of the City.

NBS Government Finance Group, DBA NBS

2. OVERVIEW

2.1 Introduction

The City previously formed several maintenance assessment districts for the purpose of providing maintenance services to benefit certain parcels in the City. Over several years, these districts have levied and collected special assessments. The District was formed in 1998 pursuant to the Landscaping and Lighting Act of 1972, Part 2 of Division 15 of the California Streets and Highways Code (the “Act”). All parcels within the District which have special benefit conferred upon them as a result of the maintenance and operation of improvements have been identified and the proportionate special benefit derived by each identified parcel has been determined in relation to the entire cost of the maintenance and operation of the improvements. Only parcels that receive direct special benefit are assessed, and each parcel is assessed in proportion to the estimated special benefit received.

This Annual Engineer’s Report (the “Report”) describes the District and the charge per single family lot for Fiscal Year 2020/21 based on the historical and estimated cost to maintain the improvements and provide the services that benefit parcels within the District.

The word “parcel,” for the purposes of this Report, refers to an individual property assigned its own Assessor’s Parcel Number by the San Joaquin County (the “County”) Assessor’s Office. The County Auditor-Controller uses Assessor’s Parcel Numbers and specific fund numbers to identify, on the tax roll, properties assessed for special district benefit assessments.

Following consideration of public comments at a noticed public hearing and following review of the Report, the City Council may confirm the submittal of the Report and may order the levy and collection of assessments for Fiscal Year 2020/21. If approved, the assessment information will be submitted to the County Auditor-Controller and included on the property tax roll for each benefiting parcel for Fiscal Year 2020/21.

2.2 Effect of Proposition 218

On November 5, 1996, California voters approved Proposition 218 by a vote of 56.5% to 43.5%. The provisions of the Proposition, now California Constitutional Articles XIII C and XIII D, added substantive and procedural requirements for assessments.

As approved by the land owners, the maximum assessment rate increases by 5% each year. The maximum assessment rate for Fiscal Year 2020/21 is \$438.78 per single family lot. The proposed assessment rate for Fiscal Year 2020/21 is \$292.88, which is below the maximum assessment rate.

The District is in compliance with the assessment balloting procedures set forth in Section 4 of Article XIII D and the District was formed by consent of 100% of the land owners.

The following table shows the levy assessment rate and the maximum assessment rate for the three most recent years.

Fiscal Year	Levy Assessment Rate	Maximum Assessment Rate
2020/21	\$292.88	\$438.78
2019/20	265.64	417.89
2018/19	225.06	397.99

2.3 Plans and Specifications for the Improvements

The District consists of a fully developed residential area generally located east of I-5, west of the Union Pacific Railroad, north of Warren Avenue, and south of Roth Road.

Improvements within the District include the design, construction, or installation, including the maintenance or servicing, or both, of landscaping, including trees, shrubs, grass or other ornamental vegetation, statuary fountains and other ornamental structures, and facilities; providing for the life, growth, health and beauty of landscaping, including cultivation, irrigation, trimming, spraying, fertilizing, and treating for disease or injury; the removal of trimmings, rubbish, debris, and other solid waste; and the operation of any fountains or the maintenance of any other improvements.

The improvements provide special benefit to the parcels assessed since:

- 1) The improvements are adjacent to the neighborhoods within which assessed parcels are located, and the improvements:
 - a) help to identify, distinguish, and enhance these neighborhoods, including the entrances thereto; and
 - b) help to improve the quality of life in these neighborhoods by reducing the potential for graffiti, eliminating dust and litter, providing sound attenuation, eliminating the potential for blight, and providing added security and safety through an added City presence; and
- 2) In the absence of the District, the work and improvements would not otherwise be provided by the City.

3. ESTIMATE OF COSTS

3.1 Description of Budget Items

Personnel Services - Includes employee salaries, salary related costs, and employee benefits including retirement, medical benefits, and workers compensation costs, etc.

Maintenance & Operations - Includes the following:

Advertising/Legal Notices - Includes the cost of publishing the required legal notices necessary to complete the required procedures for levying the assessments.

Contract Services - Includes professional services necessary for District maintenance including trees and landscaping, park maintenance, equipment rental, computer technical support, and the preparation of the Report.

Gas, Diesel, Oil & Lubricants - Includes fuel, oil and lubricants for vehicles, and miscellaneous small equipment.

Maintenance & Repair - Includes contracted maintenance and repair services such as annual fire extinguisher service and emergency repairs.

Miscellaneous Supplies - Includes custodial supplies, building maintenance materials, and supplies, parts, tools, reference materials, and additional administrative costs.

Printing & Typesetting - Includes the cost of preparing the required legal notices necessary to complete the required procedures for levying the assessments.

Training, Membership, Travel & Dues – Includes continuing training for maintenance staff.

Uniforms/Protective Clothing - Includes employee uniforms including safety boots, jackets, gloves, etc.

Utilities - Gas & Electric - Includes electrical power for sprinklers, statuary fountains etc.

Water - Includes water for irrigation.

Fixed Charges & Special Fees - Includes the charges per parcel to collect the assessments on the County Secured Property Tax Roll.

Indirect Costs - Includes overhead costs of the City related to the maintenance, operation, and administration of the District.

3.2 District Budget

The budget for Fiscal Year 2020/21 is as follows.

Description	2020/21 Budget
Personnel Services	\$20,495.00
Maintenance & Operations Total	232,100.00
Fixed Charge Total	4,827.00
Indirect Costs	<u>31,797.00</u>
Total District Costs	\$289,219.00
General Benefit	(4,680.00)
Contribution to (from) Operational Reserves	(19,068.36)
Contribution to (from) Capital Reserves	0.00
Other Revenue Sources	<u>(1,000.00)</u>
Total Balance to Levy	\$264,470.64

3.3 Balance to Levy

Total District Costs - Includes personnel services, maintenance and operations, capital costs, and indirect costs determined above.

General Benefit - Includes any enhancement of street frontages that do not lie entirely within the District, which are estimated to cost \$4,680.00 (for Fiscal Year 2020/21). The cost is to be paid from funds other than assessments.

Contribution to (from) Operational Reserves - The Operational Reserves item provides funds to operate the District from the time period of July 1 (beginning of the fiscal year) through December when the County provides the City with the first installment of assessments collected from the property tax bills. This eliminates the need for the City to transfer funds from non-District accounts to pay for District charges during the first half of the fiscal year. Negative amounts shown here are transfers that are used to reduce the Balance to Levy.

Contribution to (from) Capital Reserves - The Capital Reserve Account item provides funds to maintain reserves for extraordinary maintenance items and unexpected capital expenditures that may occur as a result of natural occurrences or other unforeseen circumstances.

Other Revenue Sources - This is the amount of additional funds designated for use by the District that are not from District assessments. These funds are added to the District account to reduce assessments and may be from either non-District sources including City General Fund contributions or District sources including interest earnings.

Balance to Levy - This is the total amount to be levied and collected through assessments for the current fiscal year. The Balance to Levy represents the sum of the total direct and administration costs, reserves, contributions, and other revenue sources.

The following table shows the total costs, additional revenues, and the Balance to Levy for Fiscal Year 2020/21.

Description	Amount
Total District Costs	\$289,219.00
Less General Benefit	(4,680.00)
Contribution to (from) Operational Reserves	(19,068.36)
Contribution to (from) Capital Reserves	0.00
Other Revenue Sources	<u>(1,000.00)</u>
Balance to Levy	\$264,470.64

3.4 Operational & Maintenance Reserve Information

The following table shows the estimated balance of the Operational and Maintenance Reserves.

Description	Amount
Estimated Beginning Balance - July 1, 2020	\$49,939.27
Contribution to (from) Operational and Maintenance Reserves	<u>(19,068.36)</u>
Estimated Ending Balance - June 30, 2021	\$30,870.91

The reserves are intended to be used and/or accumulated for repair and/or capital replacement, as needed for improvements within the District.

4. METHOD OF APPORTIONMENT

4.1 Method of Apportionment

Pursuant to the Act, the costs of the District are apportioned by a formula or method which fairly distributes the net amount to be assessed among all assessable parcels in proportion to the estimated special benefit to be received by each such parcel from the maintenance, servicing, and operation of the improvements. The proportional special benefit derived by each parcel is determined in relationship to the entirety of the maintenance and operation expenses of the improvements. No assessment has been apportioned on any parcel that exceeds the reasonable cost of the proportional benefit conferred on that parcel. The assessment has been levied in accordance with the assessment methodology adopted and approved by the City Council at the time of District formation.

Only special benefits are assessed and any general benefits have been separated from the special benefits. The general benefits are derived from any enhancement of street frontages which do not lie entirely within the District, and are estimated to cost \$4,680.00 (for Fiscal Year 2020/21). The cost is to be paid from funds other than those raised by the assessments.

The basis of benefit for the District was determined as follows:

- The estimated annual maintenance cost will be allocated equally to each subdivided single family lot existing at the time of levy of the assessment, not to exceed the maximum assessment amount described below.
- The maximum assessment for Fiscal Year 1999/00 for each subdivided single family lot was \$157.50. Each year, the maximum assessment rate has been calculated by multiplying the previous year's maximum assessment rate by 1.05.
- In the event the amount obtained by assessing the maximum assessment to each subdivided single family lot is less than the total estimated maintenance cost, the difference will be assessed to the undivided parcels within the District, proportional to parcel area. There are currently no undivided parcels in the district.

4.2 Assessment - Subdivided Single Family Lots

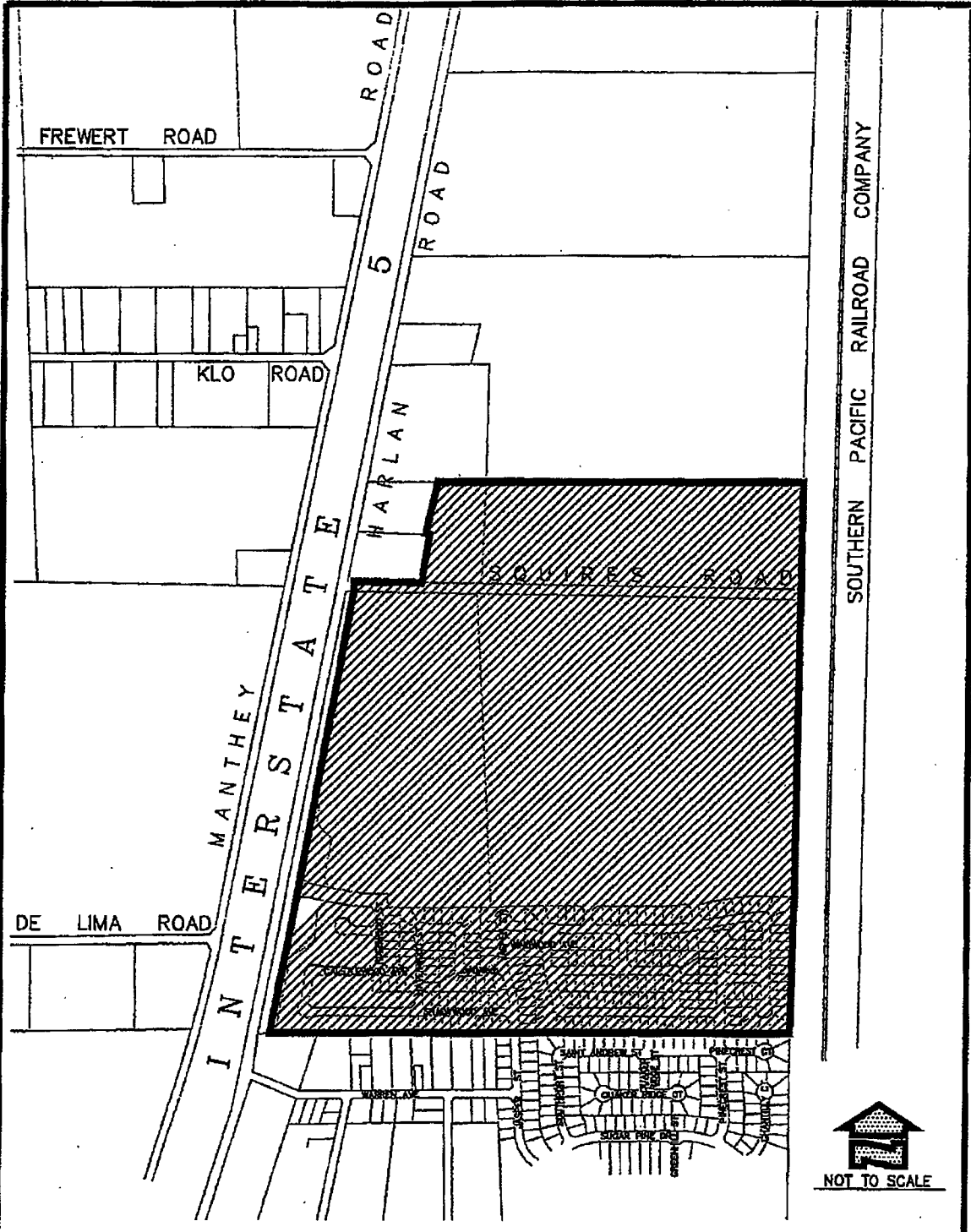
The following table shows the assessment for subdivided single family lots for the Fiscal Year 2020/21 levy.

Description	Amount
Balance to Levy	\$264,470.64
Total Single Family Lots	903
Calculated Assessment Per Single Family Lot	\$292.88
Maximum Assessment Per Single Family Lot	\$438.78
Total Assessment - Single Family Lots ⁽¹⁾	\$264,470.64

(1) Includes installment rounding of \$0.01 per parcel for tax roll purposes.

5. DISTRICT DIAGRAM

Reference is made to the District Diagram on file with the City Clerk. The following page provides the boundaries of the District. The lines and dimensions shown on maps of the County Assessor for the current year are incorporated by reference and made part of this Report.



City of Lathrop

Stonebridge Landscaping District



Date: June 2001

6. PARCEL LISTING

The parcel listing of assessments is provided on the following pages. The description of each lot or parcel is a part of the records of the County Assessor and is incorporated by reference and made part of this Report.

CITY OF LATHROP
STONEBRIDGE LANDSCAPING DISTRICT
FISCAL YEAR 2020/21
PARCEL LISTING

APN	Land Use	Max Rate	Levy Rate	Levy
196-580-010-000	SFR	\$438.78	\$292.88	\$292.88
196-580-020-000	SFR	438.78	292.88	292.88
196-580-030-000	SFR	438.78	292.88	292.88
196-580-040-000	SFR	438.78	292.88	292.88
196-580-050-000	SFR	438.78	292.88	292.88
196-580-060-000	SFR	438.78	292.88	292.88
196-580-070-000	SFR	438.78	292.88	292.88
196-580-080-000	SFR	438.78	292.88	292.88
196-580-090-000	SFR	438.78	292.88	292.88
196-580-100-000	SFR	438.78	292.88	292.88
196-580-110-000	SFR	438.78	292.88	292.88
196-580-120-000	SFR	438.78	292.88	292.88
196-580-130-000	SFR	438.78	292.88	292.88
196-580-140-000	SFR	438.78	292.88	292.88
196-580-150-000	SFR	438.78	292.88	292.88
196-580-160-000	SFR	438.78	292.88	292.88
196-580-170-000	SFR	438.78	292.88	292.88
196-580-180-000	SFR	438.78	292.88	292.88
196-580-190-000	SFR	438.78	292.88	292.88
196-580-200-000	SFR	438.78	292.88	292.88
196-580-210-000	SFR	438.78	292.88	292.88
196-580-220-000	SFR	438.78	292.88	292.88
196-580-230-000	SFR	438.78	292.88	292.88
196-580-240-000	SFR	438.78	292.88	292.88
196-580-250-000	SFR	438.78	292.88	292.88
196-580-260-000	SFR	438.78	292.88	292.88
196-580-270-000	SFR	438.78	292.88	292.88
196-580-280-000	SFR	438.78	292.88	292.88
196-580-290-000	SFR	438.78	292.88	292.88
196-580-300-000	SFR	438.78	292.88	292.88
196-580-310-000	SFR	438.78	292.88	292.88
196-580-320-000	SFR	438.78	292.88	292.88
196-580-330-000	SFR	438.78	292.88	292.88
196-580-340-000	SFR	438.78	292.88	292.88
196-580-350-000	SFR	438.78	292.88	292.88
196-580-360-000	SFR	438.78	292.88	292.88

CITY OF LATHROP
STONEBRIDGE LANDSCAPING DISTRICT
FISCAL YEAR 2020/21
PARCEL LISTING

APN	Land Use	Max Rate	Levy Rate	Levy
196-580-370-000	SFR	438.78	292.88	292.88
196-580-380-000	SFR	438.78	292.88	292.88
196-580-390-000	SFR	438.78	292.88	292.88
196-580-400-000	SFR	438.78	292.88	292.88
196-580-410-000	SFR	438.78	292.88	292.88
196-580-420-000	SFR	438.78	292.88	292.88
196-580-430-000	SFR	438.78	292.88	292.88
196-580-440-000	SFR	438.78	292.88	292.88
196-580-450-000	SFR	438.78	292.88	292.88
196-580-460-000	SFR	438.78	292.88	292.88
196-580-470-000	SFR	438.78	292.88	292.88
196-580-480-000	SFR	438.78	292.88	292.88
196-580-490-000	SFR	438.78	292.88	292.88
196-580-500-000	SFR	438.78	292.88	292.88
196-580-510-000	SFR	438.78	292.88	292.88
196-580-520-000	SFR	438.78	292.88	292.88
196-580-530-000	SFR	438.78	292.88	292.88
196-580-540-000	SFR	438.78	292.88	292.88
196-580-550-000	SFR	438.78	292.88	292.88
196-580-560-000	SFR	438.78	292.88	292.88
196-580-570-000	SFR	438.78	292.88	292.88
196-580-580-000	SFR	438.78	292.88	292.88
196-580-590-000	SFR	438.78	292.88	292.88
196-580-600-000	SFR	438.78	292.88	292.88
196-580-610-000	SFR	438.78	292.88	292.88
196-580-620-000	SFR	438.78	292.88	292.88
196-580-630-000	SFR	438.78	292.88	292.88
196-580-640-000	SFR	438.78	292.88	292.88
196-580-650-000	SFR	438.78	292.88	292.88
196-580-660-000	SFR	438.78	292.88	292.88
196-580-670-000	SFR	438.78	292.88	292.88
196-580-680-000	SFR	438.78	292.88	292.88
196-580-690-000	SFR	438.78	292.88	292.88
196-580-700-000	SFR	438.78	292.88	292.88
196-580-710-000	SFR	438.78	292.88	292.88
196-580-720-000	SFR	438.78	292.88	292.88

**CITY OF LATHROP
STONEBRIDGE LANDSCAPING DISTRICT
FISCAL YEAR 2020/21
PARCEL LISTING**

APN	Land Use	Max Rate	Levy Rate	Levy
196-580-730-000	SFR	438.78	292.88	292.88
196-580-740-000	SFR	438.78	292.88	292.88
196-580-750-000	SFR	438.78	292.88	292.88
196-580-760-000	SFR	438.78	292.88	292.88
196-580-770-000	SFR	438.78	292.88	292.88
196-580-780-000	SFR	438.78	292.88	292.88
196-580-790-000	SFR	438.78	292.88	292.88
196-580-800-000	SFR	438.78	292.88	292.88
196-580-810-000	SFR	438.78	292.88	292.88
196-580-820-000	SFR	438.78	292.88	292.88
196-580-830-000	SFR	438.78	292.88	292.88
196-580-840-000	SFR	438.78	292.88	292.88
196-580-850-000	SFR	438.78	292.88	292.88
196-580-860-000	SFR	438.78	292.88	292.88
196-580-870-000	SFR	438.78	292.88	292.88
196-580-880-000	SFR	438.78	292.88	292.88
196-600-010-000	SFR	438.78	292.88	292.88
196-600-020-000	SFR	438.78	292.88	292.88
196-600-030-000	SFR	438.78	292.88	292.88
196-600-040-000	SFR	438.78	292.88	292.88
196-600-050-000	SFR	438.78	292.88	292.88
196-600-060-000	SFR	438.78	292.88	292.88
196-600-070-000	SFR	438.78	292.88	292.88
196-600-080-000	SFR	438.78	292.88	292.88
196-600-090-000	SFR	438.78	292.88	292.88
196-600-100-000	SFR	438.78	292.88	292.88
196-600-110-000	SFR	438.78	292.88	292.88
196-600-120-000	SFR	438.78	292.88	292.88
196-600-130-000	SFR	438.78	292.88	292.88
196-600-140-000	SFR	438.78	292.88	292.88
196-600-150-000	SFR	438.78	292.88	292.88
196-600-160-000	SFR	438.78	292.88	292.88
196-600-170-000	SFR	438.78	292.88	292.88
196-600-180-000	SFR	438.78	292.88	292.88
196-600-190-000	SFR	438.78	292.88	292.88
196-600-200-000	SFR	438.78	292.88	292.88

**CITY OF LATHROP
STONEBRIDGE LANDSCAPING DISTRICT
FISCAL YEAR 2020/21
PARCEL LISTING**

APN	Land Use	Max Rate	Levy Rate	Levy
196-600-210-000	SFR	438.78	292.88	292.88
196-600-220-000	SFR	438.78	292.88	292.88
196-600-230-000	SFR	438.78	292.88	292.88
196-600-240-000	SFR	438.78	292.88	292.88
196-600-250-000	SFR	438.78	292.88	292.88
196-600-260-000	SFR	438.78	292.88	292.88
196-600-270-000	SFR	438.78	292.88	292.88
196-600-280-000	SFR	438.78	292.88	292.88
196-600-290-000	SFR	438.78	292.88	292.88
196-600-300-000	SFR	438.78	292.88	292.88
196-600-310-000	SFR	438.78	292.88	292.88
196-600-320-000	SFR	438.78	292.88	292.88
196-600-330-000	SFR	438.78	292.88	292.88
196-600-340-000	SFR	438.78	292.88	292.88
196-600-350-000	SFR	438.78	292.88	292.88
196-600-360-000	SFR	438.78	292.88	292.88
196-600-370-000	SFR	438.78	292.88	292.88
196-600-380-000	SFR	438.78	292.88	292.88
196-600-390-000	SFR	438.78	292.88	292.88
196-600-400-000	SFR	438.78	292.88	292.88
196-600-410-000	SFR	438.78	292.88	292.88
196-600-420-000	SFR	438.78	292.88	292.88
196-600-430-000	SFR	438.78	292.88	292.88
196-600-440-000	SFR	438.78	292.88	292.88
196-600-450-000	SFR	438.78	292.88	292.88
196-600-460-000	SFR	438.78	292.88	292.88
196-600-470-000	SFR	438.78	292.88	292.88
196-600-480-000	SFR	438.78	292.88	292.88
196-600-490-000	SFR	438.78	292.88	292.88
196-600-500-000	SFR	438.78	292.88	292.88
196-600-510-000	SFR	438.78	292.88	292.88
196-600-520-000	SFR	438.78	292.88	292.88
196-600-530-000	SFR	438.78	292.88	292.88
196-600-540-000	SFR	438.78	292.88	292.88
196-600-550-000	SFR	438.78	292.88	292.88
196-600-560-000	SFR	438.78	292.88	292.88

**CITY OF LATHROP
STONEBRIDGE LANDSCAPING DISTRICT
FISCAL YEAR 2020/21
PARCEL LISTING**

APN	Land Use	Max Rate	Levy Rate	Levy
196-600-570-000	SFR	438.78	292.88	292.88
196-600-580-000	SFR	438.78	292.88	292.88
196-600-590-000	SFR	438.78	292.88	292.88
196-600-600-000	SFR	438.78	292.88	292.88
196-600-610-000	SFR	438.78	292.88	292.88
196-600-620-000	SFR	438.78	292.88	292.88
196-600-630-000	SFR	438.78	292.88	292.88
196-600-640-000	SFR	438.78	292.88	292.88
196-600-650-000	SFR	438.78	292.88	292.88
196-600-660-000	SFR	438.78	292.88	292.88
196-600-670-000	SFR	438.78	292.88	292.88
196-600-680-000	SFR	438.78	292.88	292.88
196-600-690-000	SFR	438.78	292.88	292.88
196-600-700-000	SFR	438.78	292.88	292.88
196-600-710-000	SFR	438.78	292.88	292.88
196-600-720-000	SFR	438.78	292.88	292.88
196-600-730-000	SFR	438.78	292.88	292.88
196-600-740-000	SFR	438.78	292.88	292.88
196-600-750-000	SFR	438.78	292.88	292.88
196-600-760-000	SFR	438.78	292.88	292.88
196-600-770-000	SFR	438.78	292.88	292.88
196-600-780-000	SFR	438.78	292.88	292.88
196-600-790-000	SFR	438.78	292.88	292.88
196-610-010-000	SFR	438.78	292.88	292.88
196-610-020-000	SFR	438.78	292.88	292.88
196-610-030-000	SFR	438.78	292.88	292.88
196-610-040-000	SFR	438.78	292.88	292.88
196-610-050-000	SFR	438.78	292.88	292.88
196-610-060-000	SFR	438.78	292.88	292.88
196-610-070-000	SFR	438.78	292.88	292.88
196-610-080-000	SFR	438.78	292.88	292.88
196-610-090-000	SFR	438.78	292.88	292.88
196-610-100-000	SFR	438.78	292.88	292.88
196-610-110-000	SFR	438.78	292.88	292.88
196-610-120-000	SFR	438.78	292.88	292.88
196-610-130-000	SFR	438.78	292.88	292.88

**CITY OF LATHROP
STONEBRIDGE LANDSCAPING DISTRICT
FISCAL YEAR 2020/21
PARCEL LISTING**

APN	Land Use	Max Rate	Levy Rate	Levy
196-610-140-000	SFR	438.78	292.88	292.88
196-610-150-000	SFR	438.78	292.88	292.88
196-610-160-000	SFR	438.78	292.88	292.88
196-610-170-000	SFR	438.78	292.88	292.88
196-610-180-000	SFR	438.78	292.88	292.88
196-610-190-000	SFR	438.78	292.88	292.88
196-610-200-000	SFR	438.78	292.88	292.88
196-610-210-000	SFR	438.78	292.88	292.88
196-610-220-000	SFR	438.78	292.88	292.88
196-610-230-000	SFR	438.78	292.88	292.88
196-610-240-000	SFR	438.78	292.88	292.88
196-610-250-000	SFR	438.78	292.88	292.88
196-610-260-000	SFR	438.78	292.88	292.88
196-610-270-000	SFR	438.78	292.88	292.88
196-610-280-000	SFR	438.78	292.88	292.88
196-610-290-000	SFR	438.78	292.88	292.88
196-610-300-000	SFR	438.78	292.88	292.88
196-610-310-000	SFR	438.78	292.88	292.88
196-610-320-000	SFR	438.78	292.88	292.88
196-610-330-000	SFR	438.78	292.88	292.88
196-610-340-000	SFR	438.78	292.88	292.88
196-610-350-000	SFR	438.78	292.88	292.88
196-610-360-000	SFR	438.78	292.88	292.88
196-610-370-000	SFR	438.78	292.88	292.88
196-610-380-000	SFR	438.78	292.88	292.88
196-610-390-000	SFR	438.78	292.88	292.88
196-610-400-000	SFR	438.78	292.88	292.88
196-610-410-000	SFR	438.78	292.88	292.88
196-610-420-000	SFR	438.78	292.88	292.88
196-610-430-000	SFR	438.78	292.88	292.88
196-610-440-000	SFR	438.78	292.88	292.88
196-610-450-000	SFR	438.78	292.88	292.88
196-610-460-000	SFR	438.78	292.88	292.88
196-610-470-000	SFR	438.78	292.88	292.88
196-610-480-000	SFR	438.78	292.88	292.88
196-610-490-000	SFR	438.78	292.88	292.88

**CITY OF LATHROP
STONEBRIDGE LANDSCAPING DISTRICT
FISCAL YEAR 2020/21
PARCEL LISTING**

APN	Land Use	Max Rate	Levy Rate	Levy
196-610-500-000	SFR	438.78	292.88	292.88
196-610-510-000	SFR	438.78	292.88	292.88
196-610-520-000	SFR	438.78	292.88	292.88
196-610-530-000	SFR	438.78	292.88	292.88
196-610-540-000	SFR	438.78	292.88	292.88
196-610-550-000	SFR	438.78	292.88	292.88
196-610-560-000	SFR	438.78	292.88	292.88
196-610-570-000	SFR	438.78	292.88	292.88
196-610-580-000	SFR	438.78	292.88	292.88
196-610-590-000	SFR	438.78	292.88	292.88
196-610-600-000	SFR	438.78	292.88	292.88
196-610-610-000	SFR	438.78	292.88	292.88
196-610-620-000	SFR	438.78	292.88	292.88
196-610-630-000	SFR	438.78	292.88	292.88
196-610-640-000	SFR	438.78	292.88	292.88
196-610-650-000	SFR	438.78	292.88	292.88
196-610-660-000	SFR	438.78	292.88	292.88
196-610-670-000	SFR	438.78	292.88	292.88
196-610-680-000	SFR	438.78	292.88	292.88
196-610-690-000	SFR	438.78	292.88	292.88
196-610-700-000	SFR	438.78	292.88	292.88
196-610-710-000	SFR	438.78	292.88	292.88
196-610-750-000	SFR	438.78	292.88	292.88
196-610-760-000	SFR	438.78	292.88	292.88
196-610-770-000	SFR	438.78	292.88	292.88
196-610-780-000	SFR	438.78	292.88	292.88
196-610-790-000	SFR	438.78	292.88	292.88
196-610-800-000	SFR	438.78	292.88	292.88
196-610-810-000	SFR	438.78	292.88	292.88
196-610-820-000	SFR	438.78	292.88	292.88
196-610-830-000	SFR	438.78	292.88	292.88
196-610-840-000	SFR	438.78	292.88	292.88
196-610-850-000	SFR	438.78	292.88	292.88
196-610-870-000	SFR	438.78	292.88	292.88
196-620-010-000	SFR	438.78	292.88	292.88
196-620-020-000	SFR	438.78	292.88	292.88

CITY OF LATHROP
STONEBRIDGE LANDSCAPING DISTRICT
FISCAL YEAR 2020/21
PARCEL LISTING

APN	Land Use	Max Rate	Levy Rate	Levy
196-620-030-000	SFR	438.78	292.88	292.88
196-620-040-000	SFR	438.78	292.88	292.88
196-620-050-000	SFR	438.78	292.88	292.88
196-620-060-000	SFR	438.78	292.88	292.88
196-620-070-000	SFR	438.78	292.88	292.88
196-620-080-000	SFR	438.78	292.88	292.88
196-620-090-000	SFR	438.78	292.88	292.88
196-620-100-000	SFR	438.78	292.88	292.88
196-620-110-000	SFR	438.78	292.88	292.88
196-620-120-000	SFR	438.78	292.88	292.88
196-620-130-000	SFR	438.78	292.88	292.88
196-620-140-000	SFR	438.78	292.88	292.88
196-620-150-000	SFR	438.78	292.88	292.88
196-620-160-000	SFR	438.78	292.88	292.88
196-620-170-000	SFR	438.78	292.88	292.88
196-620-180-000	SFR	438.78	292.88	292.88
196-620-190-000	SFR	438.78	292.88	292.88
196-620-200-000	SFR	438.78	292.88	292.88
196-620-210-000	SFR	438.78	292.88	292.88
196-620-220-000	SFR	438.78	292.88	292.88
196-620-230-000	SFR	438.78	292.88	292.88
196-620-240-000	SFR	438.78	292.88	292.88
196-620-250-000	SFR	438.78	292.88	292.88
196-620-260-000	SFR	438.78	292.88	292.88
196-620-270-000	SFR	438.78	292.88	292.88
196-620-280-000	SFR	438.78	292.88	292.88
196-620-290-000	SFR	438.78	292.88	292.88
196-620-300-000	SFR	438.78	292.88	292.88
196-620-310-000	SFR	438.78	292.88	292.88
196-620-320-000	SFR	438.78	292.88	292.88
196-620-330-000	SFR	438.78	292.88	292.88
196-620-340-000	SFR	438.78	292.88	292.88
196-620-350-000	SFR	438.78	292.88	292.88
196-620-360-000	SFR	438.78	292.88	292.88
196-620-370-000	SFR	438.78	292.88	292.88
196-620-380-000	SFR	438.78	292.88	292.88

CITY OF LATHROP
STONEBRIDGE LANDSCAPING DISTRICT
FISCAL YEAR 2020/21
PARCEL LISTING

APN	Land Use	Max Rate	Levy Rate	Levy
196-620-390-000	SFR	438.78	292.88	292.88
196-620-400-000	SFR	438.78	292.88	292.88
196-620-410-000	SFR	438.78	292.88	292.88
196-620-420-000	SFR	438.78	292.88	292.88
196-620-430-000	SFR	438.78	292.88	292.88
196-620-440-000	SFR	438.78	292.88	292.88
196-620-450-000	SFR	438.78	292.88	292.88
196-620-460-000	SFR	438.78	292.88	292.88
196-620-470-000	SFR	438.78	292.88	292.88
196-620-480-000	SFR	438.78	292.88	292.88
196-620-490-000	SFR	438.78	292.88	292.88
196-620-500-000	SFR	438.78	292.88	292.88
196-620-510-000	SFR	438.78	292.88	292.88
196-620-520-000	SFR	438.78	292.88	292.88
196-620-530-000	SFR	438.78	292.88	292.88
196-620-540-000	SFR	438.78	292.88	292.88
196-620-550-000	SFR	438.78	292.88	292.88
196-620-560-000	SFR	438.78	292.88	292.88
196-620-570-000	GOVT ⁽¹⁾	438.78	292.88	292.88
196-630-010-000	SFR	438.78	292.88	292.88
196-630-020-000	SFR	438.78	292.88	292.88
196-630-030-000	SFR	438.78	292.88	292.88
196-630-040-000	SFR	438.78	292.88	292.88
196-630-050-000	SFR	438.78	292.88	292.88
196-630-060-000	SFR	438.78	292.88	292.88
196-630-070-000	SFR	438.78	292.88	292.88
196-630-080-000	SFR	438.78	292.88	292.88
196-630-090-000	SFR	438.78	292.88	292.88
196-630-100-000	SFR	438.78	292.88	292.88
196-630-110-000	SFR	438.78	292.88	292.88
196-630-120-000	SFR	438.78	292.88	292.88
196-630-130-000	SFR	438.78	292.88	292.88
196-630-140-000	SFR	438.78	292.88	292.88
196-630-150-000	SFR	438.78	292.88	292.88
196-630-160-000	SFR	438.78	292.88	292.88
196-630-170-000	SFR	438.78	292.88	292.88

CITY OF LATHROP
STONEBRIDGE LANDSCAPING DISTRICT
FISCAL YEAR 2020/21
PARCEL LISTING

APN	Land Use	Max Rate	Levy Rate	Levy
196-630-180-000	SFR	438.78	292.88	292.88
196-630-190-000	SFR	438.78	292.88	292.88
196-630-200-000	SFR	438.78	292.88	292.88
196-630-210-000	SFR	438.78	292.88	292.88
196-630-220-000	SFR	438.78	292.88	292.88
196-630-230-000	SFR	438.78	292.88	292.88
196-630-240-000	SFR	438.78	292.88	292.88
196-630-250-000	SFR	438.78	292.88	292.88
196-630-260-000	SFR	438.78	292.88	292.88
196-630-270-000	SFR	438.78	292.88	292.88
196-630-280-000	SFR	438.78	292.88	292.88
196-630-290-000	SFR	438.78	292.88	292.88
196-630-300-000	SFR	438.78	292.88	292.88
196-630-310-000	SFR	438.78	292.88	292.88
196-630-320-000	SFR	438.78	292.88	292.88
196-630-330-000	SFR	438.78	292.88	292.88
196-630-340-000	SFR	438.78	292.88	292.88
196-630-350-000	SFR	438.78	292.88	292.88
196-630-360-000	SFR	438.78	292.88	292.88
196-630-370-000	SFR	438.78	292.88	292.88
196-630-380-000	SFR	438.78	292.88	292.88
196-630-390-000	SFR	438.78	292.88	292.88
196-630-400-000	SFR	438.78	292.88	292.88
196-630-410-000	SFR	438.78	292.88	292.88
196-630-420-000	SFR	438.78	292.88	292.88
196-630-430-000	SFR	438.78	292.88	292.88
196-630-440-000	SFR	438.78	292.88	292.88
196-630-450-000	SFR	438.78	292.88	292.88
196-630-460-000	SFR	438.78	292.88	292.88
196-630-470-000	SFR	438.78	292.88	292.88
196-630-480-000	SFR	438.78	292.88	292.88
196-630-490-000	SFR	438.78	292.88	292.88
196-630-500-000	SFR	438.78	292.88	292.88
196-630-510-000	SFR	438.78	292.88	292.88
196-630-520-000	SFR	438.78	292.88	292.88
196-630-530-000	SFR	438.78	292.88	292.88

CITY OF LATHROP
STONEBRIDGE LANDSCAPING DISTRICT
FISCAL YEAR 2020/21
PARCEL LISTING

APN	Land Use	Max Rate	Levy Rate	Levy
196-630-540-000	SFR	438.78	292.88	292.88
196-630-550-000	SFR	438.78	292.88	292.88
196-630-560-000	SFR	438.78	292.88	292.88
196-630-570-000	SFR	438.78	292.88	292.88
196-630-580-000	SFR	438.78	292.88	292.88
196-630-590-000	SFR	438.78	292.88	292.88
196-630-600-000	SFR	438.78	292.88	292.88
196-630-610-000	SFR	438.78	292.88	292.88
196-630-620-000	SFR	438.78	292.88	292.88
196-630-630-000	SFR	438.78	292.88	292.88
196-630-640-000	SFR	438.78	292.88	292.88
196-630-650-000	SFR	438.78	292.88	292.88
196-640-010-000	SFR	438.78	292.88	292.88
196-640-020-000	SFR	438.78	292.88	292.88
196-640-030-000	SFR	438.78	292.88	292.88
196-640-040-000	SFR	438.78	292.88	292.88
196-640-050-000	SFR	438.78	292.88	292.88
196-640-060-000	SFR	438.78	292.88	292.88
196-640-070-000	SFR	438.78	292.88	292.88
196-640-080-000	SFR	438.78	292.88	292.88
196-640-090-000	SFR	438.78	292.88	292.88
196-640-100-000	SFR	438.78	292.88	292.88
196-640-110-000	SFR	438.78	292.88	292.88
196-640-120-000	SFR	438.78	292.88	292.88
196-640-130-000	SFR	438.78	292.88	292.88
196-640-140-000	SFR	438.78	292.88	292.88
196-640-150-000	SFR	438.78	292.88	292.88
196-640-160-000	SFR	438.78	292.88	292.88
196-640-170-000	SFR	438.78	292.88	292.88
196-640-180-000	SFR	438.78	292.88	292.88
196-640-190-000	SFR	438.78	292.88	292.88
196-640-200-000	SFR	438.78	292.88	292.88
196-640-210-000	SFR	438.78	292.88	292.88
196-640-220-000	SFR	438.78	292.88	292.88
196-640-230-000	SFR	438.78	292.88	292.88
196-640-240-000	SFR	438.78	292.88	292.88

**CITY OF LATHROP
STONEBRIDGE LANDSCAPING DISTRICT
FISCAL YEAR 2020/21
PARCEL LISTING**

APN	Land Use	Max Rate	Levy Rate	Levy
196-640-250-000	SFR	438.78	292.88	292.88
196-640-260-000	SFR	438.78	292.88	292.88
196-640-270-000	SFR	438.78	292.88	292.88
196-640-280-000	SFR	438.78	292.88	292.88
196-640-290-000	SFR	438.78	292.88	292.88
196-640-300-000	SFR	438.78	292.88	292.88
196-640-310-000	SFR	438.78	292.88	292.88
196-640-320-000	SFR	438.78	292.88	292.88
196-640-330-000	SFR	438.78	292.88	292.88
196-640-340-000	SFR	438.78	292.88	292.88
196-640-350-000	SFR	438.78	292.88	292.88
196-640-360-000	SFR	438.78	292.88	292.88
196-640-370-000	SFR	438.78	292.88	292.88
196-640-380-000	SFR	438.78	292.88	292.88
196-640-390-000	SFR	438.78	292.88	292.88
196-640-400-000	SFR	438.78	292.88	292.88
196-640-410-000	SFR	438.78	292.88	292.88
196-640-420-000	SFR	438.78	292.88	292.88
196-640-430-000	SFR	438.78	292.88	292.88
196-640-440-000	SFR	438.78	292.88	292.88
196-640-450-000	SFR	438.78	292.88	292.88
196-640-460-000	SFR	438.78	292.88	292.88
196-640-470-000	SFR	438.78	292.88	292.88
196-640-480-000	SFR	438.78	292.88	292.88
196-640-490-000	SFR	438.78	292.88	292.88
196-640-500-000	SFR	438.78	292.88	292.88
196-650-010-000	SFR	438.78	292.88	292.88
196-650-020-000	SFR	438.78	292.88	292.88
196-650-030-000	SFR	438.78	292.88	292.88
196-650-040-000	SFR	438.78	292.88	292.88
196-650-050-000	SFR	438.78	292.88	292.88
196-650-060-000	SFR	438.78	292.88	292.88
196-650-070-000	SFR	438.78	292.88	292.88
196-650-080-000	SFR	438.78	292.88	292.88
196-650-090-000	SFR	438.78	292.88	292.88
196-650-100-000	SFR	438.78	292.88	292.88

CITY OF LATHROP
STONEBRIDGE LANDSCAPING DISTRICT
FISCAL YEAR 2020/21
PARCEL LISTING

APN	Land Use	Max Rate	Levy Rate	Levy
196-650-110-000	SFR	438.78	292.88	292.88
196-650-120-000	SFR	438.78	292.88	292.88
196-650-130-000	SFR	438.78	292.88	292.88
196-650-140-000	SFR	438.78	292.88	292.88
196-650-150-000	SFR	438.78	292.88	292.88
196-650-160-000	SFR	438.78	292.88	292.88
196-650-170-000	SFR	438.78	292.88	292.88
196-650-180-000	SFR	438.78	292.88	292.88
196-650-190-000	SFR	438.78	292.88	292.88
196-650-200-000	SFR	438.78	292.88	292.88
196-650-210-000	SFR	438.78	292.88	292.88
196-650-220-000	SFR	438.78	292.88	292.88
196-650-230-000	SFR	438.78	292.88	292.88
196-650-240-000	SFR	438.78	292.88	292.88
196-650-250-000	SFR	438.78	292.88	292.88
196-650-260-000	SFR	438.78	292.88	292.88
196-650-270-000	SFR	438.78	292.88	292.88
196-650-280-000	SFR	438.78	292.88	292.88
196-650-290-000	SFR	438.78	292.88	292.88
196-650-300-000	SFR	438.78	292.88	292.88
196-650-310-000	SFR	438.78	292.88	292.88
196-650-320-000	SFR	438.78	292.88	292.88
196-650-330-000	SFR	438.78	292.88	292.88
196-650-340-000	SFR	438.78	292.88	292.88
196-650-350-000	SFR	438.78	292.88	292.88
196-650-360-000	SFR	438.78	292.88	292.88
196-650-370-000	SFR	438.78	292.88	292.88
196-650-380-000	SFR	438.78	292.88	292.88
196-650-390-000	SFR	438.78	292.88	292.88
196-650-400-000	SFR	438.78	292.88	292.88
196-650-410-000	SFR	438.78	292.88	292.88
196-650-420-000	SFR	438.78	292.88	292.88
196-650-430-000	SFR	438.78	292.88	292.88
196-650-440-000	SFR	438.78	292.88	292.88
196-650-450-000	SFR	438.78	292.88	292.88
196-650-460-000	SFR	438.78	292.88	292.88

CITY OF LATHROP
STONEBRIDGE LANDSCAPING DISTRICT
FISCAL YEAR 2020/21
PARCEL LISTING

APN	Land Use	Max Rate	Levy Rate	Levy
196-650-470-000	SFR	438.78	292.88	292.88
196-650-480-000	SFR	438.78	292.88	292.88
196-650-490-000	SFR	438.78	292.88	292.88
196-650-500-000	SFR	438.78	292.88	292.88
196-650-510-000	SFR	438.78	292.88	292.88
196-650-520-000	SFR	438.78	292.88	292.88
196-650-530-000	SFR	438.78	292.88	292.88
196-650-540-000	SFR	438.78	292.88	292.88
196-650-550-000	SFR	438.78	292.88	292.88
196-650-560-000	SFR	438.78	292.88	292.88
196-650-570-000	SFR	438.78	292.88	292.88
196-650-580-000	SFR	438.78	292.88	292.88
196-650-590-000	SFR	438.78	292.88	292.88
196-650-600-000	SFR	438.78	292.88	292.88
196-650-610-000	SFR	438.78	292.88	292.88
196-650-620-000	SFR	438.78	292.88	292.88
196-650-630-000	SFR	438.78	292.88	292.88
196-650-640-000	SFR	438.78	292.88	292.88
196-650-650-000	SFR	438.78	292.88	292.88
196-650-660-000	SFR	438.78	292.88	292.88
196-660-010-000	SFR	438.78	292.88	292.88
196-660-020-000	SFR	438.78	292.88	292.88
196-660-030-000	SFR	438.78	292.88	292.88
196-660-040-000	SFR	438.78	292.88	292.88
196-660-050-000	SFR	438.78	292.88	292.88
196-660-060-000	SFR	438.78	292.88	292.88
196-660-070-000	SFR	438.78	292.88	292.88
196-660-080-000	SFR	438.78	292.88	292.88
196-660-090-000	SFR	438.78	292.88	292.88
196-660-100-000	SFR	438.78	292.88	292.88
196-660-110-000	SFR	438.78	292.88	292.88
196-660-120-000	SFR	438.78	292.88	292.88
196-660-130-000	SFR	438.78	292.88	292.88
196-660-140-000	SFR	438.78	292.88	292.88
196-660-150-000	SFR	438.78	292.88	292.88
196-660-160-000	SFR	438.78	292.88	292.88

CITY OF LATHROP
STONEBRIDGE LANDSCAPING DISTRICT
FISCAL YEAR 2020/21
PARCEL LISTING

APN	Land Use	Max Rate	Levy Rate	Levy
196-660-170-000	SFR	438.78	292.88	292.88
196-660-180-000	SFR	438.78	292.88	292.88
196-660-190-000	SFR	438.78	292.88	292.88
196-660-200-000	SFR	438.78	292.88	292.88
196-660-210-000	SFR	438.78	292.88	292.88
196-660-220-000	SFR	438.78	292.88	292.88
196-660-230-000	SFR	438.78	292.88	292.88
196-660-240-000	SFR	438.78	292.88	292.88
196-660-250-000	SFR	438.78	292.88	292.88
196-660-260-000	SFR	438.78	292.88	292.88
196-660-270-000	SFR	438.78	292.88	292.88
196-660-280-000	SFR	438.78	292.88	292.88
196-660-290-000	SFR	438.78	292.88	292.88
196-660-300-000	SFR	438.78	292.88	292.88
196-660-310-000	SFR	438.78	292.88	292.88
196-660-320-000	SFR	438.78	292.88	292.88
196-660-330-000	SFR	438.78	292.88	292.88
196-660-340-000	SFR	438.78	292.88	292.88
196-660-350-000	SFR	438.78	292.88	292.88
196-660-360-000	SFR	438.78	292.88	292.88
196-660-370-000	SFR	438.78	292.88	292.88
196-660-380-000	SFR	438.78	292.88	292.88
196-660-390-000	SFR	438.78	292.88	292.88
196-660-400-000	SFR	438.78	292.88	292.88
196-660-410-000	SFR	438.78	292.88	292.88
196-660-420-000	SFR	438.78	292.88	292.88
196-660-430-000	SFR	438.78	292.88	292.88
196-660-440-000	SFR	438.78	292.88	292.88
196-660-450-000	SFR	438.78	292.88	292.88
196-660-460-000	SFR	438.78	292.88	292.88
196-660-470-000	SFR	438.78	292.88	292.88
196-660-500-000	SFR	438.78	292.88	292.88
196-660-530-000	SFR	438.78	292.88	292.88
196-660-540-000	SFR	438.78	292.88	292.88
196-660-550-000	SFR	438.78	292.88	292.88
196-660-560-000	SFR	438.78	292.88	292.88

CITY OF LATHROP
STONEBRIDGE LANDSCAPING DISTRICT
FISCAL YEAR 2020/21
PARCEL LISTING

APN	Land Use	Max Rate	Levy Rate	Levy
196-670-010-000	SFR	438.78	292.88	292.88
196-670-020-000	SFR	438.78	292.88	292.88
196-670-030-000	SFR	438.78	292.88	292.88
196-670-040-000	SFR	438.78	292.88	292.88
196-670-050-000	SFR	438.78	292.88	292.88
196-670-060-000	SFR	438.78	292.88	292.88
196-670-070-000	SFR	438.78	292.88	292.88
196-670-080-000	SFR	438.78	292.88	292.88
196-670-090-000	SFR	438.78	292.88	292.88
196-670-100-000	SFR	438.78	292.88	292.88
196-670-110-000	SFR	438.78	292.88	292.88
196-670-120-000	SFR	438.78	292.88	292.88
196-670-130-000	SFR	438.78	292.88	292.88
196-670-140-000	SFR	438.78	292.88	292.88
196-670-150-000	SFR	438.78	292.88	292.88
196-670-160-000	SFR	438.78	292.88	292.88
196-670-170-000	SFR	438.78	292.88	292.88
196-670-180-000	SFR	438.78	292.88	292.88
196-670-190-000	SFR	438.78	292.88	292.88
196-670-200-000	SFR	438.78	292.88	292.88
196-670-210-000	SFR	438.78	292.88	292.88
196-670-220-000	SFR	438.78	292.88	292.88
196-670-230-000	SFR	438.78	292.88	292.88
196-670-240-000	SFR	438.78	292.88	292.88
196-670-250-000	SFR	438.78	292.88	292.88
196-670-260-000	SFR	438.78	292.88	292.88
196-670-270-000	SFR	438.78	292.88	292.88
196-670-280-000	SFR	438.78	292.88	292.88
196-670-290-000	SFR	438.78	292.88	292.88
196-670-300-000	SFR	438.78	292.88	292.88
196-670-310-000	SFR	438.78	292.88	292.88
196-670-320-000	SFR	438.78	292.88	292.88
196-670-330-000	SFR	438.78	292.88	292.88
196-670-340-000	SFR	438.78	292.88	292.88
196-670-350-000	SFR	438.78	292.88	292.88
196-670-360-000	SFR	438.78	292.88	292.88

**CITY OF LATHROP
STONEBRIDGE LANDSCAPING DISTRICT
FISCAL YEAR 2020/21
PARCEL LISTING**

APN	Land Use	Max Rate	Levy Rate	Levy
196-670-370-000	SFR	438.78	292.88	292.88
196-670-380-000	SFR	438.78	292.88	292.88
196-670-390-000	SFR	438.78	292.88	292.88
196-670-400-000	SFR	438.78	292.88	292.88
196-670-410-000	SFR	438.78	292.88	292.88
196-670-420-000	SFR	438.78	292.88	292.88
196-670-430-000	SFR	438.78	292.88	292.88
196-670-440-000	SFR	438.78	292.88	292.88
196-670-450-000	SFR	438.78	292.88	292.88
196-670-460-000	SFR	438.78	292.88	292.88
196-670-470-000	SFR	438.78	292.88	292.88
196-670-480-000	SFR	438.78	292.88	292.88
196-670-490-000	SFR	438.78	292.88	292.88
196-670-500-000	SFR	438.78	292.88	292.88
196-670-510-000	SFR	438.78	292.88	292.88
196-680-010-000	SFR	438.78	292.88	292.88
196-680-020-000	SFR	438.78	292.88	292.88
196-680-030-000	SFR	438.78	292.88	292.88
196-680-040-000	SFR	438.78	292.88	292.88
196-680-050-000	SFR	438.78	292.88	292.88
196-680-060-000	SFR	438.78	292.88	292.88
196-680-070-000	SFR	438.78	292.88	292.88
196-680-080-000	SFR	438.78	292.88	292.88
196-680-090-000	SFR	438.78	292.88	292.88
196-680-100-000	SFR	438.78	292.88	292.88
196-680-110-000	SFR	438.78	292.88	292.88
196-680-120-000	SFR	438.78	292.88	292.88
196-680-130-000	SFR	438.78	292.88	292.88
196-680-140-000	SFR	438.78	292.88	292.88
196-680-150-000	SFR	438.78	292.88	292.88
196-680-160-000	SFR	438.78	292.88	292.88
196-680-170-000	SFR	438.78	292.88	292.88
196-680-180-000	SFR	438.78	292.88	292.88
196-680-190-000	SFR	438.78	292.88	292.88
196-680-200-000	SFR	438.78	292.88	292.88
196-680-210-000	SFR	438.78	292.88	292.88

**CITY OF LATHROP
STONEBRIDGE LANDSCAPING DISTRICT
FISCAL YEAR 2020/21
PARCEL LISTING**

APN	Land Use	Max Rate	Levy Rate	Levy
196-680-220-000	SFR	438.78	292.88	292.88
196-680-230-000	SFR	438.78	292.88	292.88
196-680-240-000	SFR	438.78	292.88	292.88
196-680-250-000	SFR	438.78	292.88	292.88
196-680-260-000	SFR	438.78	292.88	292.88
196-680-270-000	SFR	438.78	292.88	292.88
196-680-280-000	SFR	438.78	292.88	292.88
196-680-290-000	SFR	438.78	292.88	292.88
196-680-300-000	SFR	438.78	292.88	292.88
196-680-310-000	SFR	438.78	292.88	292.88
196-680-320-000	SFR	438.78	292.88	292.88
196-680-330-000	SFR	438.78	292.88	292.88
196-680-340-000	SFR	438.78	292.88	292.88
196-680-350-000	SFR	438.78	292.88	292.88
196-680-360-000	SFR	438.78	292.88	292.88
196-680-370-000	SFR	438.78	292.88	292.88
196-680-380-000	SFR	438.78	292.88	292.88
196-680-390-000	SFR	438.78	292.88	292.88
196-680-400-000	SFR	438.78	292.88	292.88
196-680-410-000	SFR	438.78	292.88	292.88
196-680-420-000	SFR	438.78	292.88	292.88
196-680-430-000	SFR	438.78	292.88	292.88
196-680-440-000	SFR	438.78	292.88	292.88
196-680-450-000	SFR	438.78	292.88	292.88
196-680-460-000	SFR	438.78	292.88	292.88
196-680-470-000	SFR	438.78	292.88	292.88
196-680-480-000	SFR	438.78	292.88	292.88
196-680-490-000	SFR	438.78	292.88	292.88
196-680-500-000	SFR	438.78	292.88	292.88
196-680-510-000	SFR	438.78	292.88	292.88
196-680-520-000	SFR	438.78	292.88	292.88
196-680-530-000	SFR	438.78	292.88	292.88
196-680-540-000	SFR	438.78	292.88	292.88
196-680-550-000	SFR	438.78	292.88	292.88
196-680-560-000	SFR	438.78	292.88	292.88
196-680-570-000	SFR	438.78	292.88	292.88

**CITY OF LATHROP
STONEBRIDGE LANDSCAPING DISTRICT
FISCAL YEAR 2020/21
PARCEL LISTING**

APN	Land Use	Max Rate	Levy Rate	Levy
196-680-580-000	SFR	438.78	292.88	292.88
196-680-590-000	SFR	438.78	292.88	292.88
196-680-600-000	SFR	438.78	292.88	292.88
196-680-610-000	SFR	438.78	292.88	292.88
196-680-620-000	SFR	438.78	292.88	292.88
196-680-630-000	SFR	438.78	292.88	292.88
196-680-640-000	SFR	438.78	292.88	292.88
196-680-650-000	SFR	438.78	292.88	292.88
196-680-660-000	SFR	438.78	292.88	292.88
196-680-670-000	SFR	438.78	292.88	292.88
196-680-680-000	SFR	438.78	292.88	292.88
196-680-690-000	SFR	438.78	292.88	292.88
196-680-700-000	SFR	438.78	292.88	292.88
196-680-710-000	SFR	438.78	292.88	292.88
196-680-720-000	SFR	438.78	292.88	292.88
196-680-730-000	SFR	438.78	292.88	292.88
196-680-740-000	SFR	438.78	292.88	292.88
196-680-750-000	SFR	438.78	292.88	292.88
196-680-760-000	SFR	438.78	292.88	292.88
196-680-770-000	SFR	438.78	292.88	292.88
196-680-780-000	SFR	438.78	292.88	292.88
196-680-790-000	SFR	438.78	292.88	292.88
196-680-800-000	SFR	438.78	292.88	292.88
196-680-810-000	SFR	438.78	292.88	292.88
196-680-820-000	SFR	438.78	292.88	292.88
196-680-830-000	SFR	438.78	292.88	292.88
196-680-840-000	SFR	438.78	292.88	292.88
196-680-850-000	SFR	438.78	292.88	292.88
196-680-860-000	SFR	438.78	292.88	292.88
196-680-870-000	SFR	438.78	292.88	292.88
196-680-880-000	SFR	438.78	292.88	292.88
196-690-010-000	SFR	438.78	292.88	292.88
196-690-020-000	SFR	438.78	292.88	292.88
196-690-030-000	SFR	438.78	292.88	292.88
196-690-040-000	SFR	438.78	292.88	292.88
196-690-050-000	SFR	438.78	292.88	292.88

**CITY OF LATHROP
STONEBRIDGE LANDSCAPING DISTRICT
FISCAL YEAR 2020/21
PARCEL LISTING**

APN	Land Use	Max Rate	Levy Rate	Levy
196-690-060-000	SFR	438.78	292.88	292.88
196-690-070-000	SFR	438.78	292.88	292.88
196-690-080-000	SFR	438.78	292.88	292.88
196-690-090-000	SFR	438.78	292.88	292.88
196-690-100-000	SFR	438.78	292.88	292.88
196-690-110-000	SFR	438.78	292.88	292.88
196-690-120-000	SFR	438.78	292.88	292.88
196-690-130-000	SFR	438.78	292.88	292.88
196-690-140-000	SFR	438.78	292.88	292.88
196-690-150-000	SFR	438.78	292.88	292.88
196-690-160-000	SFR	438.78	292.88	292.88
196-690-170-000	SFR	438.78	292.88	292.88
196-690-180-000	SFR	438.78	292.88	292.88
196-690-190-000	SFR	438.78	292.88	292.88
196-690-200-000	SFR	438.78	292.88	292.88
196-690-210-000	SFR	438.78	292.88	292.88
196-690-220-000	SFR	438.78	292.88	292.88
196-690-230-000	SFR	438.78	292.88	292.88
196-690-240-000	SFR	438.78	292.88	292.88
196-690-250-000	SFR	438.78	292.88	292.88
196-690-260-000	SFR	438.78	292.88	292.88
196-690-270-000	SFR	438.78	292.88	292.88
196-690-280-000	SFR	438.78	292.88	292.88
196-690-290-000	SFR	438.78	292.88	292.88
196-690-300-000	SFR	438.78	292.88	292.88
196-690-310-000	SFR	438.78	292.88	292.88
196-690-320-000	SFR	438.78	292.88	292.88
196-690-330-000	SFR	438.78	292.88	292.88
196-690-340-000	SFR	438.78	292.88	292.88
196-690-350-000	SFR	438.78	292.88	292.88
196-690-360-000	SFR	438.78	292.88	292.88
196-690-370-000	SFR	438.78	292.88	292.88
196-690-380-000	SFR	438.78	292.88	292.88
196-690-390-000	SFR	438.78	292.88	292.88
196-690-400-000	SFR	438.78	292.88	292.88
196-690-410-000	SFR	438.78	292.88	292.88

CITY OF LATHROP
STONEBRIDGE LANDSCAPING DISTRICT
FISCAL YEAR 2020/21
PARCEL LISTING

APN	Land Use	Max Rate	Levy Rate	Levy
196-690-420-000	SFR	438.78	292.88	292.88
196-690-430-000	SFR	438.78	292.88	292.88
196-700-010-000	SFR	438.78	292.88	292.88
196-700-020-000	SFR	438.78	292.88	292.88
196-700-030-000	SFR	438.78	292.88	292.88
196-700-040-000	SFR	438.78	292.88	292.88
196-700-050-000	SFR	438.78	292.88	292.88
196-700-060-000	SFR	438.78	292.88	292.88
196-700-070-000	SFR	438.78	292.88	292.88
196-700-080-000	SFR	438.78	292.88	292.88
196-700-090-000	SFR	438.78	292.88	292.88
196-700-100-000	SFR	438.78	292.88	292.88
196-700-110-000	SFR	438.78	292.88	292.88
196-700-120-000	SFR	438.78	292.88	292.88
196-700-130-000	SFR	438.78	292.88	292.88
196-700-140-000	SFR	438.78	292.88	292.88
196-700-150-000	SFR	438.78	292.88	292.88
196-700-160-000	SFR	438.78	292.88	292.88
196-700-170-000	SFR	438.78	292.88	292.88
196-700-180-000	SFR	438.78	292.88	292.88
196-700-190-000	SFR	438.78	292.88	292.88
196-700-200-000	SFR	438.78	292.88	292.88
196-700-210-000	SFR	438.78	292.88	292.88
196-700-220-000	SFR	438.78	292.88	292.88
196-700-230-000	SFR	438.78	292.88	292.88
196-700-240-000	SFR	438.78	292.88	292.88
196-700-250-000	SFR	438.78	292.88	292.88
196-700-260-000	SFR	438.78	292.88	292.88
196-700-270-000	SFR	438.78	292.88	292.88
196-700-280-000	SFR	438.78	292.88	292.88
196-700-290-000	SFR	438.78	292.88	292.88
196-700-300-000	SFR	438.78	292.88	292.88
196-700-310-000	SFR	438.78	292.88	292.88
196-700-320-000	SFR	438.78	292.88	292.88
196-700-330-000	SFR	438.78	292.88	292.88
196-700-340-000	SFR	438.78	292.88	292.88

CITY OF LATHROP
STONEBRIDGE LANDSCAPING DISTRICT
FISCAL YEAR 2020/21
PARCEL LISTING

APN	Land Use	Max Rate	Levy Rate	Levy
196-700-350-000	SFR	438.78	292.88	292.88
196-700-360-000	SFR	438.78	292.88	292.88
196-700-370-000	SFR	438.78	292.88	292.88
196-700-380-000	SFR	438.78	292.88	292.88
196-700-390-000	SFR	438.78	292.88	292.88
196-700-400-000	SFR	438.78	292.88	292.88
196-700-410-000	SFR	438.78	292.88	292.88
196-700-420-000	SFR	438.78	292.88	292.88
196-700-430-000	SFR	438.78	292.88	292.88
196-700-440-000	SFR	438.78	292.88	292.88
196-700-450-000	SFR	438.78	292.88	292.88
196-700-460-000	SFR	438.78	292.88	292.88
196-700-470-000	SFR	438.78	292.88	292.88
196-700-480-000	SFR	438.78	292.88	292.88
196-700-490-000	SFR	438.78	292.88	292.88
196-700-500-000	SFR	438.78	292.88	292.88
196-700-510-000	SFR	438.78	292.88	292.88
196-700-520-000	SFR	438.78	292.88	292.88
196-700-530-000	SFR	438.78	292.88	292.88
196-700-540-000	SFR	438.78	292.88	292.88
196-700-550-000	SFR	438.78	292.88	292.88
196-700-560-000	SFR	438.78	292.88	292.88
196-700-570-000	SFR	438.78	292.88	292.88
196-700-580-000	SFR	438.78	292.88	292.88
196-700-590-000	SFR	438.78	292.88	292.88
196-700-600-000	SFR	438.78	292.88	292.88
196-700-610-000	SFR	438.78	292.88	292.88
196-700-620-000	SFR	438.78	292.88	292.88
196-700-630-000	SFR	438.78	292.88	292.88
196-700-640-000	SFR	438.78	292.88	292.88
196-700-650-000	SFR	438.78	292.88	292.88
196-700-660-000	SFR	438.78	292.88	292.88
196-700-670-000	SFR	438.78	292.88	292.88
196-700-680-000	SFR	438.78	292.88	292.88
196-700-690-000	SFR	438.78	292.88	292.88
196-700-700-000	SFR	438.78	292.88	292.88

CITY OF LATHROP
STONEBRIDGE LANDSCAPING DISTRICT
FISCAL YEAR 2020/21
PARCEL LISTING

APN	Land Use	Max Rate	Levy Rate	Levy
196-700-710-000	SFR	438.78	292.88	292.88
196-710-010-000	SFR	438.78	292.88	292.88
196-710-020-000	SFR	438.78	292.88	292.88
196-710-030-000	SFR	438.78	292.88	292.88
196-710-040-000	SFR	438.78	292.88	292.88
196-710-050-000	SFR	438.78	292.88	292.88
196-710-060-000	SFR	438.78	292.88	292.88
196-710-070-000	SFR	438.78	292.88	292.88
196-710-080-000	SFR	438.78	292.88	292.88
196-710-090-000	SFR	438.78	292.88	292.88
196-710-100-000	SFR	438.78	292.88	292.88
196-710-110-000	SFR	438.78	292.88	292.88
196-710-120-000	SFR	438.78	292.88	292.88
196-710-130-000	SFR	438.78	292.88	292.88
196-710-140-000	SFR	438.78	292.88	292.88
196-710-150-000	SFR	438.78	292.88	292.88
196-710-160-000	SFR	438.78	292.88	292.88
196-710-170-000	SFR	438.78	292.88	292.88
196-710-180-000	SFR	438.78	292.88	292.88
196-710-190-000	SFR	438.78	292.88	292.88
196-710-200-000	SFR	438.78	292.88	292.88
196-710-210-000	SFR	438.78	292.88	292.88
196-710-220-000	SFR	438.78	292.88	292.88
196-710-230-000	SFR	438.78	292.88	292.88
196-710-240-000	SFR	438.78	292.88	292.88
196-710-250-000	SFR	438.78	292.88	292.88
196-710-260-000	SFR	438.78	292.88	292.88
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196-710-300-000	SFR	438.78	292.88	292.88
196-710-310-000	SFR	438.78	292.88	292.88
196-710-320-000	SFR	438.78	292.88	292.88
196-710-330-000	SFR	438.78	292.88	292.88
196-710-340-000	SFR	438.78	292.88	292.88
196-710-350-000	SFR	438.78	292.88	292.88

**CITY OF LATHROP
STONEBRIDGE LANDSCAPING DISTRICT
FISCAL YEAR 2020/21
PARCEL LISTING**

APN	Land Use	Max Rate	Levy Rate	Levy
196-710-360-000	SFR	438.78	292.88	292.88
196-710-370-000	SFR	438.78	292.88	292.88
196-710-380-000	SFR	438.78	292.88	292.88
196-710-390-000	SFR	438.78	292.88	292.88
196-710-400-000	SFR	438.78	292.88	292.88
196-710-410-000	SFR	438.78	292.88	292.88
196-710-420-000	SFR	438.78	292.88	292.88
196-710-430-000	SFR	438.78	292.88	292.88
196-710-440-000	SFR	438.78	292.88	292.88
196-710-450-000	SFR	438.78	292.88	292.88
196-710-460-000	SFR	438.78	292.88	292.88
196-710-470-000	SFR	438.78	292.88	292.88
196-710-480-000	SFR	438.78	292.88	292.88
196-710-490-000	SFR	438.78	292.88	292.88
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196-710-520-000	SFR	438.78	292.88	292.88
196-710-530-000	SFR	438.78	292.88	292.88
196-710-540-000	SFR	438.78	292.88	292.88
196-710-550-000	SFR	438.78	292.88	292.88
196-710-560-000	SFR	438.78	292.88	292.88
196-710-570-000	GOVT ⁽¹⁾	438.78	292.88	292.88
196-720-010-000	SFR	438.78	292.88	292.88
196-720-020-000	SFR	438.78	292.88	292.88
196-720-030-000	SFR	438.78	292.88	292.88
196-720-040-000	SFR	438.78	292.88	292.88
196-720-050-000	SFR	438.78	292.88	292.88
196-720-060-000	SFR	438.78	292.88	292.88
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196-720-120-000	SFR	438.78	292.88	292.88
196-720-130-000	SFR	438.78	292.88	292.88
196-720-140-000	SFR	438.78	292.88	292.88

CITY OF LATHROP
STONEBRIDGE LANDSCAPING DISTRICT
FISCAL YEAR 2020/21
PARCEL LISTING

APN	Land Use	Max Rate	Levy Rate	Levy
196-720-150-000	SFR	438.78	292.88	292.88
196-720-160-000	SFR	438.78	292.88	292.88
196-720-170-000	SFR	438.78	292.88	292.88
196-720-180-000	SFR	438.78	292.88	292.88
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196-720-280-000	SFR	438.78	292.88	292.88
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196-720-330-000	SFR	438.78	292.88	292.88
196-720-340-000	SFR	438.78	292.88	292.88
196-720-350-000	SFR	438.78	292.88	292.88
196-720-360-000	SFR	438.78	292.88	292.88
196-720-370-000	SFR	438.78	292.88	292.88
196-720-380-000	SFR	438.78	292.88	292.88
196-720-390-000	SFR	438.78	292.88	292.88
196-720-400-000	SFR	438.78	292.88	292.88
196-720-410-000	SFR	438.78	292.88	292.88
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196-720-430-000	SFR	438.78	292.88	292.88
196-720-440-000	SFR	438.78	292.88	292.88
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196-720-470-000	SFR	438.78	292.88	292.88
196-720-480-000	SFR	438.78	292.88	292.88
196-720-490-000	SFR	438.78	292.88	292.88
196-720-500-000	SFR	438.78	292.88	292.88

**CITY OF LATHROP
 STONEBRIDGE LANDSCAPING DISTRICT
 FISCAL YEAR 2020/21
 PARCEL LISTING**

APN	Land Use	Max Rate	Levy Rate	Levy
196-720-510-000	SFR	438.78	292.88	292.88
196-720-520-000	SFR	438.78	292.88	292.88
196-720-530-000	SFR	438.78	292.88	292.88
Total:	903 Parcels			\$264,470.64

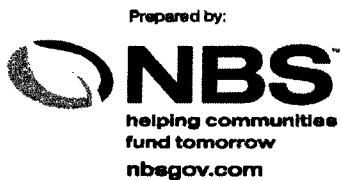
(!) Per City instruction, APN 196-620-570-000 & 196-710-570-000 are assessable.

CITY OF LATHROP

Stonebridge Drainage and Lighting Area of Benefit

Annual Engineer's Report

Fiscal Year 2020/21



Corporate Headquarters
32605 Temecula Parkway, Suite 100
Temecula, CA 92592
Toll free: 800.676.7516

**CITY OF LATHROP
STONEBRIDGE DRAINAGE AND LIGHTING
AREA OF BENEFIT**

**390 Towne Centre Drive
Lathrop, California 95330
Phone - (209) 941-7320
Fax - (209) 941-7339**

CITY COUNCIL

Sonny Dhaliwal, Mayor

Martha Salcedo, Vice Mayor

Paul Akinjo, Councilmember

Diane Lazard, Councilmember

Jennifer Torres-O'Callaghan, Councilmember

CITY STAFF

Stephen Salvatore, City Manager

Salvador Navarrete, City Attorney

Cari James, Finance Director

Glenn Gebhardt, City Engineer

NBS

Tim Seufert, Client Services Director

Kristin Harvey, Senior Consultant

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1. ENGINEER’S LETTER

WHEREAS, the City Council of the City of Lathrop (the “City”), State of California, directed NBS Government Finance Group, DBA NBS (“NBS”) to prepare and file a report presenting plans and specifications describing the general nature, location and extent of the improvements to be maintained, and an estimate of the costs of the maintenance, operations and servicing of the improvements for the City of Lathrop Stonebridge Drainage and Lighting Area of Benefit (the “District”) for Fiscal Year 2020/21. The report includes a diagram for the District showing the area and properties proposed to be assessed, an assessment of the estimated costs of the maintenance, operations and servicing of the improvements, and the net amount to be assessed upon all assessable parcels within the District in proportion to the special benefit received;

WHEREAS, the proposed assessment rate of \$248.14 per single family lot, is not greater than 105% of the prior year maximum assessment, as approved by the land owners. The District is in compliance with the assessment balloting procedures set forth in Section 4 of Article XIII D of the California Constitution and the District was formed by consent of 100% of the land owners.

NOW THEREFORE, only special benefits are assessed and any general benefits have been identified. The following assessment is made to fund the portion of the estimated costs of maintenance, operation, and servicing of the improvements to be paid by the assessable real property within the District in proportion to the special benefit received:

SUMMARY OF ASSESSMENT– SINGLE FAMILY LOTS

Description	Amount
Balance to Levy	\$223,822.28
Total Single Family Lots	902
Calculated Assessment Per Single Family Lot	\$248.14
Maximum Assessment Per Single Family Lot	\$438.78
Total Assessment – Single Family Lots	\$223,822.28

I, the undersigned, respectfully submit the enclosed Engineer’s Report and, to the best of my knowledge, information, and belief, the Engineer’s Report, Assessments, and the District Diagram herein have been prepared and computed in accordance with the order and historical practices of the City Council of the City.

NBS Government Finance Group, DBA NBS



2. OVERVIEW

2.1 Introduction

The City previously formed several maintenance assessment districts for the purpose of providing maintenance services to benefit certain parcels in the City. Over several years, these districts have levied and collected special assessments. In 1998, the District was formed pursuant to the Benefit Assessment Act of 1982, beginning with Section 54703 of the California Government Code (the “Act”). All parcels within the District which have special benefit conferred upon them as a result of the maintenance and operation of improvements have been identified and the proportionate special benefit derived by each identified parcel has been determined in relation to the entire cost of the maintenance and operation of the improvements. Only parcels that receive direct special benefit are assessed, and each parcel is assessed in proportion to the estimated special benefit received.

This Annual Engineer’s Report (the “Report”) describes the District and the charge per single family lot for Fiscal Year 2020/21 based on the historical and estimated cost to maintain the improvements and provide the services that benefit parcels within the District.

The word “parcel,” for the purposes of this Report, refers to an individual property assigned its own Assessor’s Parcel Number by the San Joaquin County (the “County”) Assessor’s Office. The County Auditor-Controller uses Assessor’s Parcel Numbers and specific fund numbers to identify, on the tax roll, properties assessed for special district benefit assessments.

Following consideration of public comments at a noticed public hearing and following review of the Report, the City Council may confirm the submittal of the Report and may order the levy and collection of assessments for Fiscal Year 2020/21. If approved, the assessment information will be submitted to the County Auditor-Controller, and included on the property tax roll for each benefiting parcel for Fiscal Year 2020/21.

2.2 Effect of Proposition 218

On November 5, 1996, California voters approved Proposition 218 by a vote of 56.5% to 43.5%. The provisions of the Proposition, now California Constitutional Articles XIII C and XIII D, added substantive and procedural requirements for assessments, which affect the City of Lathrop lighting maintenance assessments.

As approved by the land owners, the maximum assessment rate increases by 5% each year. The maximum assessment rate for Fiscal Year 2020/21 is \$438.78 per single family lot. The proposed assessment rate for Fiscal Year 2020/21 is \$248.14, which is below the maximum assessment rate.

The District is in compliance with the assessment balloting procedures set forth in Section 4 of Article XIII D and the District was formed by consent of 100% of the land owners.

The following table shows the levy assessment rate and the maximum assessment rate for the three most recent years.

Fiscal Year	Levy Assessment Rate	Maximum Assessment Rate
2020/21	\$248.14	\$438.78
2019/20	236.32	417.89
2018/19	225.06	397.99

2.3 Plans and Specifications for the Improvements

The District consists of a fully developed residential area generally located east of I-5, west of the Union Pacific Railroad, north of Warren Avenue, and south of Roth Road.

Improvements within the District include the design, construction, or installation, including the maintenance or servicing, or both, of public lighting facilities for the lighting of any public places, including traffic signals, ornamental standards, luminaries, poles, supports, tunnels, manholes, vaults, conduits, pipes, wires, conductors, guys, stubs, platforms, braces, transformers, insulators, contacts, switches, capacitors, meters, communication circuits, appliances, attachments, and appurtenances, including the cost of repair, removal, or replacement of all or any part thereof; providing for electric current or energy, gas or other illuminating agent for any public lighting facilities or for the lighting or operation of any other improvements; and the maintenance of storm drainage facilities, trunk main line pipe with manholes and drop inlets, pump station including backup emergency generator and telemetry system, trunk line outfall structure at river, concrete lined open channel, and earth lined holding pond.

The improvements provide special benefit to the parcels assessed since:

- 1) The improvements are adjacent to the neighborhoods within which assessed parcels are located, and the result is improved quality of life and added security and safety in these neighborhoods by reducing the potential for flooding, providing lighting, and adding a City presence; and
- 2) In the absence of the District, the work and improvements would not otherwise be provided by the City.

3. ESTIMATE OF COSTS

3.1 Description of Budget Items

Personnel Services - Includes employee salaries, salary related costs, and employee benefits including retirement, medical benefits, and workers compensation costs, etc.

Maintenance & Operations - Includes the following:

Advertising/Legal Notices - Includes the cost of publishing the required legal notices necessary to complete the required procedures for levying the assessments.

Chemicals - Includes insect repellent, weed killer, and rodent control.

Communication Equipment Repair - Includes repair of electrical components, power cords, etc.

Contract - Other - Includes uniform service, hazardous waste dump fees, Sheriff's Community Corp., alarm service, and the cost to recondition one pump and motor.

Contract Services - Includes professional services necessary for District maintenance including trees and landscaping, park maintenance, equipment rental, computer technical support, and the preparation of the Report.

Gas, Diesel, Oil & Lubricants - Includes fuel, oil and lubricants for vehicles, and miscellaneous small equipment.

Maintenance & Repair - Includes contracted maintenance and repair services such as annual fire extinguisher service and emergency repairs.

Miscellaneous Supplies - Includes office equipment and supplies, custodial supplies, building maintenance materials and supplies, parts, tools, reference materials, and additional administrative costs.

Other Maintenance & Repair - Includes items related to non-contracted maintenance and repair such as barricade batteries, paint, collection line repair, cones, signs, etc.

Printing & Typesetting - Includes the cost of preparing the required legal notices necessary to complete the required procedures for levying the assessments.

Training, Membership, Travel & Dues - Includes continuing training for maintenance staff.

Uniforms/Protective Clothing - Includes employee uniforms including safety boots, jackets, gloves, etc.

Utilities - Gas & Electric - Includes electrical power for the storm drain pump stations.

Water Service - Includes water for the storm drain pump stations.

Fixed Charges & Special Fees - Includes the charges per parcel to collect the assessments on the County Secured Property Tax Roll.

Indirect Costs - Includes overhead costs of the City related to the maintenance, operation, and administration of the District.

3.2 District Budget

The budget for Fiscal Year 2020/21 is as follows.

Description	2020/21 Budget
Personnel Services	\$110,364.00
Maintenance & Operations Total	150,500.00
Fixed Assets/Capital Total	7,461.00
Indirect Costs	<u>50,138.00</u>
Total District Costs	\$318,463.00
General Benefit	(4,680.00)
Contribution to (from) Operational Reserves	(89,960.72)
Contribution to (from) Capital Reserves	0.00
Other Revenue Sources	<u>0.00</u>
Total Balance to Levy	\$223,822.28

3.3 Balance to Levy

Total District Costs - Includes personnel services, maintenance and operations, capital costs, and indirect costs determined above.

General Benefit - Includes any enhancement of street frontages that do not lie entirely within the District, which are estimated to cost \$4,680.00 (for Fiscal Year 2020/21). The cost is to be paid from funds other than assessments.

Contribution to (from) Operational Reserves - The Operational Reserves item provides funds to operate the District from the time period of July 1 (beginning of the fiscal year) through December when the County provides the City with the first installment of assessments collected from the property tax bills. This eliminates the need for the City to transfer funds from non-District accounts to pay for District charges during the first half of the fiscal year. Negative amounts shown here are transfers that are used to reduce the Balance to Levy.

Contribution to (from) Capital Reserves - The Capital Reserve Account item provides funds to maintain reserves for extraordinary maintenance items and unexpected capital expenditures that may occur as a result of natural occurrences or other unforeseen circumstances.

Other Revenue Sources - This is the amount of additional funds designated for use by the District that are not from District assessments. These funds are added to the District account to reduce assessments and may be from either non-District sources including City General Fund contributions or District sources including interest earnings.

Balance to Levy - This is the total amount to be levied and collected through assessments for the current fiscal year. The Balance to Levy represents the sum of the total direct and administration costs, reserves, contributions, and other revenue sources.

The following table shows the total costs, additional revenues, and the Balance to Levy for Fiscal Year 2020/21.

Description	Amount
Total District Costs	\$318,463.00
Less General Benefit	(4,680.00)
Contribution to (from) Operational Reserves	(89,960.72)
Contribution to (from) Capital Reserves	0.00
Other Revenue Sources	<u>0.00</u>
Balance to Levy	\$223,822.28

3.4 Reserve Information

The following table shows the estimated balance of the Operational Reserves.

Description	Amount
Estimated Beginning Balance - July 1, 2020 ⁽¹⁾	\$348,067.17
Contribution to (from) Operational Reserves	<u>(89,960.72)</u>
Estimated Ending Balance - June 30, 2021	\$258,106.45

(1) Includes \$180,000 designated for capital replacement.

The reserves are intended to be used and/or accumulated for repair and/or capital replacement, as needed for improvements within the District.

4. METHOD OF APPORTIONMENT

4.1 Method of Apportionment

Pursuant to the Act, the costs of the District are apportioned by a formula or method which fairly distributes the net amount to be assessed among all assessable parcels in proportion to the estimated special benefit to be received by each such parcel from the maintenance, servicing and operation of the improvements. The proportional special benefit derived by each parcel is determined in relationship to the entirety of the maintenance and operation expenses of the improvements. No assessment has been apportioned on any parcel that exceeds the reasonable cost of the proportional benefit conferred on that parcel. The assessment has been levied in accordance with the assessment methodology adopted and approved by the City Council at the time of District formation.

Only special benefits are assessed and any general benefits have been separated from the special benefits. The general benefits are derived from any enhancement of street frontages which do not lie entirely within the District, and are estimated to cost \$4,680.00 (for Fiscal Year 2020/21). The cost is to be paid from funds other than those raised by the assessments.

The basis of benefit for the District was determined as follows:

- The estimated annual maintenance cost will be allocated equally to each subdivided single family lot existing at the time of levy of the assessment, not to exceed the maximum assessment amount described below.
- The maximum assessment for Fiscal Year 1999/00 for each subdivided single family lot was \$157.50. Each year, the maximum assessment rate has been calculated by multiplying the previous year's maximum assessment rate by 1.05.
- In the event the amount obtained by assessing the maximum assessment to each subdivided single family lot is less than the total estimated maintenance cost, the difference will be assessed to the undivided parcels within the District, proportional to parcel area. There are currently no undivided parcels in the district.

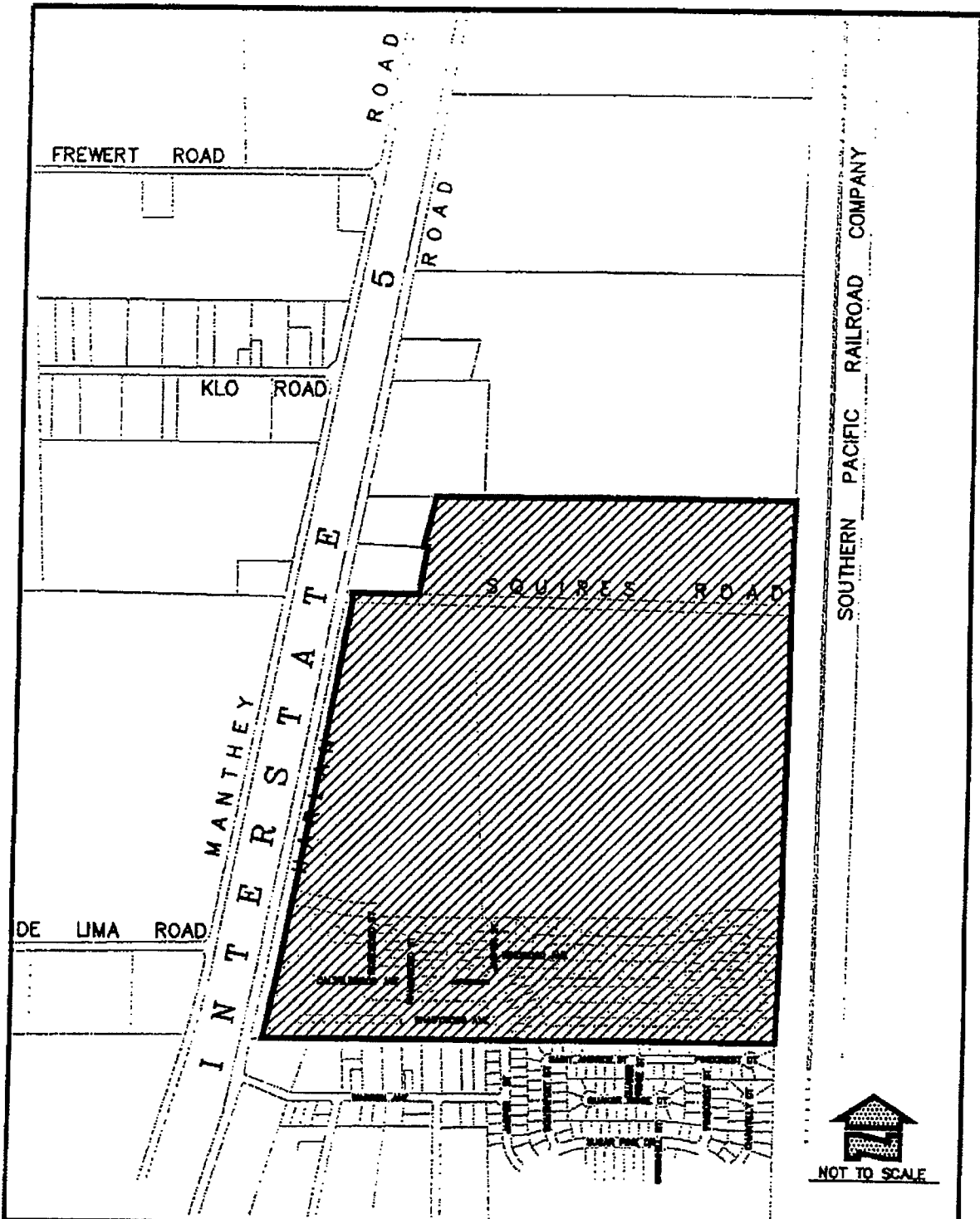
4.2 Assessment - Subdivided Single Family Lots

The following table shows the assessment for subdivided single family lots for the Fiscal Year 2020/21 levy.

Description	Amount
Balance to Levy	\$223,822.28
Total Single Family Lots	902
Calculated Assessment Per Single Family Lot	\$248.14
Maximum Assessment Per Single Family Lot	\$438.78
Total Assessment - Single Family Lots	\$223,822.28

5. DISTRICT DIAGRAM

Reference is made to the District Diagram on file with the City Clerk. The following page provides the boundaries of the District. The lines and dimensions shown on maps of the County Assessor for the current year are incorporated by reference and made part of this Report.



City of Lathrop

Stonebridge Drainage & Lighting District



Date: February 1899

6. PARCEL LISTING

The parcel listing of assessments is provided on the following pages. The description of each lot or parcel is a part of the records of the County Assessor and is incorporated by reference and made part of this Report.

**CITY OF LATHROP
STONEBRIDGE DRAINAGE AND LIGHTING
FISCAL YEAR 2020/21
PARCEL LISTING**

APN	Land Use	Max Rate	Levy Rate	Levy
196-580-010-000	SFR	\$438.78	\$248.14	\$248.14
196-580-020-000	SFR	438.78	248.14	248.14
196-580-030-000	SFR	438.78	248.14	248.14
196-580-040-000	SFR	438.78	248.14	248.14
196-580-050-000	SFR	438.78	248.14	248.14
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196-580-070-000	SFR	438.78	248.14	248.14
196-580-080-000	SFR	438.78	248.14	248.14
196-580-090-000	SFR	438.78	248.14	248.14
196-580-100-000	SFR	438.78	248.14	248.14
196-580-110-000	SFR	438.78	248.14	248.14
196-580-120-000	SFR	438.78	248.14	248.14
196-580-130-000	SFR	438.78	248.14	248.14
196-580-140-000	SFR	438.78	248.14	248.14
196-580-150-000	SFR	438.78	248.14	248.14
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196-580-220-000	SFR	438.78	248.14	248.14
196-580-230-000	SFR	438.78	248.14	248.14
196-580-240-000	SFR	438.78	248.14	248.14
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196-580-260-000	SFR	438.78	248.14	248.14
196-580-270-000	SFR	438.78	248.14	248.14
196-580-280-000	SFR	438.78	248.14	248.14
196-580-290-000	SFR	438.78	248.14	248.14
196-580-300-000	SFR	438.78	248.14	248.14
196-580-310-000	SFR	438.78	248.14	248.14
196-580-320-000	SFR	438.78	248.14	248.14
196-580-330-000	SFR	438.78	248.14	248.14
196-580-340-000	SFR	438.78	248.14	248.14
196-580-350-000	SFR	438.78	248.14	248.14
196-580-360-000	SFR	438.78	248.14	248.14

CITY OF LATHROP
STONEBRIDGE DRAINAGE AND LIGHTING
FISCAL YEAR 2020/21
PARCEL LISTING

APN	Land Use	Max Rate	Levy Rate	Levy
196-580-370-000	SFR	438.78	248.14	248.14
196-580-380-000	SFR	438.78	248.14	248.14
196-580-390-000	SFR	438.78	248.14	248.14
196-580-400-000	SFR	438.78	248.14	248.14
196-580-410-000	SFR	438.78	248.14	248.14
196-580-420-000	SFR	438.78	248.14	248.14
196-580-430-000	SFR	438.78	248.14	248.14
196-580-440-000	SFR	438.78	248.14	248.14
196-580-450-000	SFR	438.78	248.14	248.14
196-580-460-000	SFR	438.78	248.14	248.14
196-580-470-000	SFR	438.78	248.14	248.14
196-580-480-000	SFR	438.78	248.14	248.14
196-580-490-000	SFR	438.78	248.14	248.14
196-580-500-000	SFR	438.78	248.14	248.14
196-580-510-000	SFR	438.78	248.14	248.14
196-580-520-000	SFR	438.78	248.14	248.14
196-580-530-000	SFR	438.78	248.14	248.14
196-580-540-000	SFR	438.78	248.14	248.14
196-580-550-000	SFR	438.78	248.14	248.14
196-580-560-000	SFR	438.78	248.14	248.14
196-580-570-000	SFR	438.78	248.14	248.14
196-580-580-000	SFR	438.78	248.14	248.14
196-580-590-000	SFR	438.78	248.14	248.14
196-580-600-000	SFR	438.78	248.14	248.14
196-580-610-000	SFR	438.78	248.14	248.14
196-580-620-000	SFR	438.78	248.14	248.14
196-580-630-000	SFR	438.78	248.14	248.14
196-580-640-000	SFR	438.78	248.14	248.14
196-580-650-000	SFR	438.78	248.14	248.14
196-580-660-000	SFR	438.78	248.14	248.14
196-580-670-000	SFR	438.78	248.14	248.14
196-580-680-000	SFR	438.78	248.14	248.14
196-580-690-000	SFR	438.78	248.14	248.14
196-580-700-000	SFR	438.78	248.14	248.14
196-580-710-000	SFR	438.78	248.14	248.14
196-580-720-000	SFR	438.78	248.14	248.14

**CITY OF LATHROP
STONEBRIDGE DRAINAGE AND LIGHTING
FISCAL YEAR 2020/21
PARCEL LISTING**

APN	Land Use	Max Rate	Levy Rate	Levy
196-580-730-000	SFR	438.78	248.14	248.14
196-580-740-000	SFR	438.78	248.14	248.14
196-580-750-000	SFR	438.78	248.14	248.14
196-580-760-000	SFR	438.78	248.14	248.14
196-580-770-000	SFR	438.78	248.14	248.14
196-580-780-000	SFR	438.78	248.14	248.14
196-580-790-000	SFR	438.78	248.14	248.14
196-580-800-000	SFR	438.78	248.14	248.14
196-580-810-000	SFR	438.78	248.14	248.14
196-580-820-000	SFR	438.78	248.14	248.14
196-580-830-000	SFR	438.78	248.14	248.14
196-580-840-000	SFR	438.78	248.14	248.14
196-580-850-000	SFR	438.78	248.14	248.14
196-580-860-000	SFR	438.78	248.14	248.14
196-580-870-000	SFR	438.78	248.14	248.14
196-580-880-000	SFR	438.78	248.14	248.14
196-600-010-000	SFR	438.78	248.14	248.14
196-600-020-000	SFR	438.78	248.14	248.14
196-600-030-000	SFR	438.78	248.14	248.14
196-600-040-000	SFR	438.78	248.14	248.14
196-600-050-000	SFR	438.78	248.14	248.14
196-600-060-000	SFR	438.78	248.14	248.14
196-600-070-000	SFR	438.78	248.14	248.14
196-600-080-000	SFR	438.78	248.14	248.14
196-600-090-000	SFR	438.78	248.14	248.14
196-600-100-000	SFR	438.78	248.14	248.14
196-600-110-000	SFR	438.78	248.14	248.14
196-600-120-000	SFR	438.78	248.14	248.14
196-600-130-000	SFR	438.78	248.14	248.14
196-600-140-000	SFR	438.78	248.14	248.14
196-600-150-000	SFR	438.78	248.14	248.14
196-600-160-000	SFR	438.78	248.14	248.14
196-600-170-000	SFR	438.78	248.14	248.14
196-600-180-000	SFR	438.78	248.14	248.14
196-600-190-000	SFR	438.78	248.14	248.14
196-600-200-000	SFR	438.78	248.14	248.14

CITY OF LATHROP
STONEBRIDGE DRAINAGE AND LIGHTING
FISCAL YEAR 2020/21
PARCEL LISTING

APN	Land Use	Max Rate	Levy Rate	Levy
196-600-210-000	SFR	438.78	248.14	248.14
196-600-220-000	SFR	438.78	248.14	248.14
196-600-230-000	SFR	438.78	248.14	248.14
196-600-240-000	SFR	438.78	248.14	248.14
196-600-250-000	SFR	438.78	248.14	248.14
196-600-260-000	SFR	438.78	248.14	248.14
196-600-270-000	SFR	438.78	248.14	248.14
196-600-280-000	SFR	438.78	248.14	248.14
196-600-290-000	SFR	438.78	248.14	248.14
196-600-300-000	SFR	438.78	248.14	248.14
196-600-310-000	SFR	438.78	248.14	248.14
196-600-320-000	SFR	438.78	248.14	248.14
196-600-330-000	SFR	438.78	248.14	248.14
196-600-340-000	SFR	438.78	248.14	248.14
196-600-350-000	SFR	438.78	248.14	248.14
196-600-360-000	SFR	438.78	248.14	248.14
196-600-370-000	SFR	438.78	248.14	248.14
196-600-380-000	SFR	438.78	248.14	248.14
196-600-390-000	SFR	438.78	248.14	248.14
196-600-400-000	SFR	438.78	248.14	248.14
196-600-410-000	SFR	438.78	248.14	248.14
196-600-420-000	SFR	438.78	248.14	248.14
196-600-430-000	SFR	438.78	248.14	248.14
196-600-440-000	SFR	438.78	248.14	248.14
196-600-450-000	SFR	438.78	248.14	248.14
196-600-460-000	SFR	438.78	248.14	248.14
196-600-470-000	SFR	438.78	248.14	248.14
196-600-480-000	SFR	438.78	248.14	248.14
196-600-490-000	SFR	438.78	248.14	248.14
196-600-500-000	SFR	438.78	248.14	248.14
196-600-510-000	SFR	438.78	248.14	248.14
196-600-520-000	SFR	438.78	248.14	248.14
196-600-530-000	SFR	438.78	248.14	248.14
196-600-540-000	SFR	438.78	248.14	248.14
196-600-550-000	SFR	438.78	248.14	248.14
196-600-560-000	SFR	438.78	248.14	248.14

CITY OF LATHROP
STONEBRIDGE DRAINAGE AND LIGHTING
FISCAL YEAR 2020/21
PARCEL LISTING

APN	Land Use	Max Rate	Levy Rate	Levy
196-600-570-000	SFR	438.78	248.14	248.14
196-600-580-000	SFR	438.78	248.14	248.14
196-600-590-000	SFR	438.78	248.14	248.14
196-600-600-000	SFR	438.78	248.14	248.14
196-600-610-000	SFR	438.78	248.14	248.14
196-600-620-000	SFR	438.78	248.14	248.14
196-600-630-000	SFR	438.78	248.14	248.14
196-600-640-000	SFR	438.78	248.14	248.14
196-600-650-000	SFR	438.78	248.14	248.14
196-600-660-000	SFR	438.78	248.14	248.14
196-600-670-000	SFR	438.78	248.14	248.14
196-600-680-000	SFR	438.78	248.14	248.14
196-600-690-000	SFR	438.78	248.14	248.14
196-600-700-000	SFR	438.78	248.14	248.14
196-600-710-000	SFR	438.78	248.14	248.14
196-600-720-000	SFR	438.78	248.14	248.14
196-600-730-000	SFR	438.78	248.14	248.14
196-600-740-000	SFR	438.78	248.14	248.14
196-600-750-000	SFR	438.78	248.14	248.14
196-600-760-000	SFR	438.78	248.14	248.14
196-600-770-000	SFR	438.78	248.14	248.14
196-600-780-000	SFR	438.78	248.14	248.14
196-600-790-000	SFR	438.78	248.14	248.14
196-610-010-000	SFR	438.78	248.14	248.14
196-610-020-000	SFR	438.78	248.14	248.14
196-610-030-000	SFR	438.78	248.14	248.14
196-610-040-000	SFR	438.78	248.14	248.14
196-610-050-000	SFR	438.78	248.14	248.14
196-610-060-000	SFR	438.78	248.14	248.14
196-610-070-000	SFR	438.78	248.14	248.14
196-610-080-000	SFR	438.78	248.14	248.14
196-610-090-000	SFR	438.78	248.14	248.14
196-610-100-000	SFR	438.78	248.14	248.14
196-610-110-000	SFR	438.78	248.14	248.14
196-610-120-000	SFR	438.78	248.14	248.14
196-610-130-000	SFR	438.78	248.14	248.14

**CITY OF LATHROP
STONEBRIDGE DRAINAGE AND LIGHTING
FISCAL YEAR 2020/21
PARCEL LISTING**

APN	Land Use	Max Rate	Levy Rate	Levy
196-610-140-000	SFR	438.78	248.14	248.14
196-610-150-000	SFR	438.78	248.14	248.14
196-610-160-000	SFR	438.78	248.14	248.14
196-610-170-000	SFR	438.78	248.14	248.14
196-610-180-000	SFR	438.78	248.14	248.14
196-610-190-000	SFR	438.78	248.14	248.14
196-610-200-000	SFR	438.78	248.14	248.14
196-610-210-000	SFR	438.78	248.14	248.14
196-610-220-000	SFR	438.78	248.14	248.14
196-610-230-000	SFR	438.78	248.14	248.14
196-610-240-000	SFR	438.78	248.14	248.14
196-610-250-000	SFR	438.78	248.14	248.14
196-610-260-000	SFR	438.78	248.14	248.14
196-610-270-000	SFR	438.78	248.14	248.14
196-610-280-000	SFR	438.78	248.14	248.14
196-610-290-000	SFR	438.78	248.14	248.14
196-610-300-000	SFR	438.78	248.14	248.14
196-610-310-000	SFR	438.78	248.14	248.14
196-610-320-000	SFR	438.78	248.14	248.14
196-610-330-000	SFR	438.78	248.14	248.14
196-610-340-000	SFR	438.78	248.14	248.14
196-610-350-000	SFR	438.78	248.14	248.14
196-610-360-000	SFR	438.78	248.14	248.14
196-610-370-000	SFR	438.78	248.14	248.14
196-610-380-000	SFR	438.78	248.14	248.14
196-610-390-000	SFR	438.78	248.14	248.14
196-610-400-000	SFR	438.78	248.14	248.14
196-610-410-000	SFR	438.78	248.14	248.14
196-610-420-000	SFR	438.78	248.14	248.14
196-610-430-000	SFR	438.78	248.14	248.14
196-610-440-000	SFR	438.78	248.14	248.14
196-610-450-000	SFR	438.78	248.14	248.14
196-610-460-000	SFR	438.78	248.14	248.14
196-610-470-000	SFR	438.78	248.14	248.14
196-610-480-000	SFR	438.78	248.14	248.14
196-610-490-000	SFR	438.78	248.14	248.14

**CITY OF LATHROP
STONEBRIDGE DRAINAGE AND LIGHTING
FISCAL YEAR 2020/21
PARCEL LISTING**

APN	Land Use	Max Rate	Levy Rate	Levy
196-610-500-000	SFR	438.78	248.14	248.14
196-610-510-000	SFR	438.78	248.14	248.14
196-610-520-000	SFR	438.78	248.14	248.14
196-610-530-000	SFR	438.78	248.14	248.14
196-610-540-000	SFR	438.78	248.14	248.14
196-610-550-000	SFR	438.78	248.14	248.14
196-610-560-000	SFR	438.78	248.14	248.14
196-610-570-000	SFR	438.78	248.14	248.14
196-610-580-000	SFR	438.78	248.14	248.14
196-610-590-000	SFR	438.78	248.14	248.14
196-610-600-000	SFR	438.78	248.14	248.14
196-610-610-000	SFR	438.78	248.14	248.14
196-610-620-000	SFR	438.78	248.14	248.14
196-610-630-000	SFR	438.78	248.14	248.14
196-610-640-000	SFR	438.78	248.14	248.14
196-610-650-000	SFR	438.78	248.14	248.14
196-610-660-000	SFR	438.78	248.14	248.14
196-610-670-000	SFR	438.78	248.14	248.14
196-610-680-000	SFR	438.78	248.14	248.14
196-610-690-000	SFR	438.78	248.14	248.14
196-610-700-000	SFR	438.78	248.14	248.14
196-610-710-000	SFR	438.78	248.14	248.14
196-610-750-000	SFR	438.78	248.14	248.14
196-610-760-000	SFR	438.78	248.14	248.14
196-610-770-000	SFR	438.78	248.14	248.14
196-610-780-000	SFR	438.78	248.14	248.14
196-610-790-000	SFR	438.78	248.14	248.14
196-610-800-000	SFR	438.78	248.14	248.14
196-610-810-000	SFR	438.78	248.14	248.14
196-610-820-000	SFR	438.78	248.14	248.14
196-610-830-000	SFR	438.78	248.14	248.14
196-610-840-000	SFR	438.78	248.14	248.14
196-610-850-000	SFR	438.78	248.14	248.14
196-610-870-000	SFR	438.78	248.14	248.14
196-620-010-000	SFR	438.78	248.14	248.14
196-620-020-000	SFR	438.78	248.14	248.14

CITY OF LATHROP
STONEBRIDGE DRAINAGE AND LIGHTING
FISCAL YEAR 2020/21
PARCEL LISTING

APN	Land Use	Max Rate	Levy Rate	Levy
196-620-030-000	SFR	438.78	248.14	248.14
196-620-040-000	SFR	438.78	248.14	248.14
196-620-050-000	SFR	438.78	248.14	248.14
196-620-060-000	SFR	438.78	248.14	248.14
196-620-070-000	SFR	438.78	248.14	248.14
196-620-080-000	SFR	438.78	248.14	248.14
196-620-090-000	SFR	438.78	248.14	248.14
196-620-100-000	SFR	438.78	248.14	248.14
196-620-110-000	SFR	438.78	248.14	248.14
196-620-120-000	SFR	438.78	248.14	248.14
196-620-130-000	SFR	438.78	248.14	248.14
196-620-140-000	SFR	438.78	248.14	248.14
196-620-150-000	SFR	438.78	248.14	248.14
196-620-160-000	SFR	438.78	248.14	248.14
196-620-170-000	SFR	438.78	248.14	248.14
196-620-180-000	SFR	438.78	248.14	248.14
196-620-190-000	SFR	438.78	248.14	248.14
196-620-200-000	SFR	438.78	248.14	248.14
196-620-210-000	SFR	438.78	248.14	248.14
196-620-220-000	SFR	438.78	248.14	248.14
196-620-230-000	SFR	438.78	248.14	248.14
196-620-240-000	SFR	438.78	248.14	248.14
196-620-250-000	SFR	438.78	248.14	248.14
196-620-260-000	SFR	438.78	248.14	248.14
196-620-270-000	SFR	438.78	248.14	248.14
196-620-280-000	SFR	438.78	248.14	248.14
196-620-290-000	SFR	438.78	248.14	248.14
196-620-300-000	SFR	438.78	248.14	248.14
196-620-310-000	SFR	438.78	248.14	248.14
196-620-320-000	SFR	438.78	248.14	248.14
196-620-330-000	SFR	438.78	248.14	248.14
196-620-340-000	SFR	438.78	248.14	248.14
196-620-350-000	SFR	438.78	248.14	248.14
196-620-360-000	SFR	438.78	248.14	248.14
196-620-370-000	SFR	438.78	248.14	248.14
196-620-380-000	SFR	438.78	248.14	248.14

**CITY OF LATHROP
STONEBRIDGE DRAINAGE AND LIGHTING
FISCAL YEAR 2020/21
PARCEL LISTING**

APN	Land Use	Max Rate	Levy Rate	Levy
196-620-390-000	SFR	438.78	248.14	248.14
196-620-400-000	SFR	438.78	248.14	248.14
196-620-410-000	SFR	438.78	248.14	248.14
196-620-420-000	SFR	438.78	248.14	248.14
196-620-430-000	SFR	438.78	248.14	248.14
196-620-440-000	SFR	438.78	248.14	248.14
196-620-450-000	SFR	438.78	248.14	248.14
196-620-460-000	SFR	438.78	248.14	248.14
196-620-470-000	SFR	438.78	248.14	248.14
196-620-480-000	SFR	438.78	248.14	248.14
196-620-490-000	SFR	438.78	248.14	248.14
196-620-500-000	SFR	438.78	248.14	248.14
196-620-510-000	SFR	438.78	248.14	248.14
196-620-520-000	SFR	438.78	248.14	248.14
196-620-530-000	SFR	438.78	248.14	248.14
196-620-540-000	SFR	438.78	248.14	248.14
196-620-550-000	SFR	438.78	248.14	248.14
196-620-560-000	SFR	438.78	248.14	248.14
196-620-570-000	GOVT ⁽¹⁾	438.78	248.14	248.14
196-630-010-000	SFR	438.78	248.14	248.14
196-630-020-000	SFR	438.78	248.14	248.14
196-630-030-000	SFR	438.78	248.14	248.14
196-630-040-000	SFR	438.78	248.14	248.14
196-630-050-000	SFR	438.78	248.14	248.14
196-630-060-000	SFR	438.78	248.14	248.14
196-630-070-000	SFR	438.78	248.14	248.14
196-630-080-000	SFR	438.78	248.14	248.14
196-630-090-000	SFR	438.78	248.14	248.14
196-630-100-000	SFR	438.78	248.14	248.14
196-630-110-000	SFR	438.78	248.14	248.14
196-630-120-000	SFR	438.78	248.14	248.14
196-630-130-000	SFR	438.78	248.14	248.14
196-630-140-000	SFR	438.78	248.14	248.14
196-630-150-000	SFR	438.78	248.14	248.14
196-630-160-000	SFR	438.78	248.14	248.14
196-630-170-000	SFR	438.78	248.14	248.14

CITY OF LATHROP
STONEBRIDGE DRAINAGE AND LIGHTING
FISCAL YEAR 2020/21
PARCEL LISTING

APN	Land Use	Max Rate	Levy Rate	Levy
196-630-180-000	SFR	438.78	248.14	248.14
196-630-190-000	SFR	438.78	248.14	248.14
196-630-200-000	SFR	438.78	248.14	248.14
196-630-210-000	SFR	438.78	248.14	248.14
196-630-220-000	SFR	438.78	248.14	248.14
196-630-230-000	SFR	438.78	248.14	248.14
196-630-240-000	SFR	438.78	248.14	248.14
196-630-250-000	SFR	438.78	248.14	248.14
196-630-260-000	SFR	438.78	248.14	248.14
196-630-270-000	SFR	438.78	248.14	248.14
196-630-280-000	SFR	438.78	248.14	248.14
196-630-290-000	SFR	438.78	248.14	248.14
196-630-300-000	SFR	438.78	248.14	248.14
196-630-310-000	SFR	438.78	248.14	248.14
196-630-320-000	SFR	438.78	248.14	248.14
196-630-330-000	SFR	438.78	248.14	248.14
196-630-340-000	SFR	438.78	248.14	248.14
196-630-350-000	SFR	438.78	248.14	248.14
196-630-360-000	SFR	438.78	248.14	248.14
196-630-370-000	SFR	438.78	248.14	248.14
196-630-380-000	SFR	438.78	248.14	248.14
196-630-390-000	SFR	438.78	248.14	248.14
196-630-400-000	SFR	438.78	248.14	248.14
196-630-410-000	SFR	438.78	248.14	248.14
196-630-420-000	SFR	438.78	248.14	248.14
196-630-430-000	SFR	438.78	248.14	248.14
196-630-440-000	SFR	438.78	248.14	248.14
196-630-450-000	SFR	438.78	248.14	248.14
196-630-460-000	SFR	438.78	248.14	248.14
196-630-470-000	SFR	438.78	248.14	248.14
196-630-480-000	SFR	438.78	248.14	248.14
196-630-490-000	SFR	438.78	248.14	248.14
196-630-500-000	SFR	438.78	248.14	248.14
196-630-510-000	SFR	438.78	248.14	248.14
196-630-520-000	SFR	438.78	248.14	248.14
196-630-530-000	SFR	438.78	248.14	248.14

CITY OF LATHROP
STONEBRIDGE DRAINAGE AND LIGHTING
FISCAL YEAR 2020/21
PARCEL LISTING

APN	Land Use	Max Rate	Levy Rate	Levy
196-630-540-000	SFR	438.78	248.14	248.14
196-630-550-000	SFR	438.78	248.14	248.14
196-630-560-000	SFR	438.78	248.14	248.14
196-630-570-000	SFR	438.78	248.14	248.14
196-630-580-000	SFR	438.78	248.14	248.14
196-630-590-000	SFR	438.78	248.14	248.14
196-630-600-000	SFR	438.78	248.14	248.14
196-630-610-000	SFR	438.78	248.14	248.14
196-630-620-000	SFR	438.78	248.14	248.14
196-630-630-000	SFR	438.78	248.14	248.14
196-630-640-000	SFR	438.78	248.14	248.14
196-630-650-000	SFR	438.78	248.14	248.14
196-640-010-000	SFR	438.78	248.14	248.14
196-640-020-000	SFR	438.78	248.14	248.14
196-640-030-000	SFR	438.78	248.14	248.14
196-640-040-000	SFR	438.78	248.14	248.14
196-640-050-000	SFR	438.78	248.14	248.14
196-640-060-000	SFR	438.78	248.14	248.14
196-640-070-000	SFR	438.78	248.14	248.14
196-640-080-000	SFR	438.78	248.14	248.14
196-640-090-000	SFR	438.78	248.14	248.14
196-640-100-000	SFR	438.78	248.14	248.14
196-640-110-000	SFR	438.78	248.14	248.14
196-640-120-000	SFR	438.78	248.14	248.14
196-640-130-000	SFR	438.78	248.14	248.14
196-640-140-000	SFR	438.78	248.14	248.14
196-640-150-000	SFR	438.78	248.14	248.14
196-640-160-000	SFR	438.78	248.14	248.14
196-640-170-000	SFR	438.78	248.14	248.14
196-640-180-000	SFR	438.78	248.14	248.14
196-640-190-000	SFR	438.78	248.14	248.14
196-640-200-000	SFR	438.78	248.14	248.14
196-640-210-000	SFR	438.78	248.14	248.14
196-640-220-000	SFR	438.78	248.14	248.14
196-640-230-000	SFR	438.78	248.14	248.14
196-640-240-000	SFR	438.78	248.14	248.14

**CITY OF LATHROP
STONEBRIDGE DRAINAGE AND LIGHTING
FISCAL YEAR 2020/21
PARCEL LISTING**

APN	Land Use	Max Rate	Levy Rate	Levy
196-640-250-000	SFR	438.78	248.14	248.14
196-640-260-000	SFR	438.78	248.14	248.14
196-640-270-000	SFR	438.78	248.14	248.14
196-640-280-000	SFR	438.78	248.14	248.14
196-640-290-000	SFR	438.78	248.14	248.14
196-640-300-000	SFR	438.78	248.14	248.14
196-640-310-000	SFR	438.78	248.14	248.14
196-640-320-000	SFR	438.78	248.14	248.14
196-640-330-000	SFR	438.78	248.14	248.14
196-640-340-000	SFR	438.78	248.14	248.14
196-640-350-000	SFR	438.78	248.14	248.14
196-640-360-000	SFR	438.78	248.14	248.14
196-640-370-000	SFR	438.78	248.14	248.14
196-640-380-000	SFR	438.78	248.14	248.14
196-640-390-000	SFR	438.78	248.14	248.14
196-640-400-000	SFR	438.78	248.14	248.14
196-640-410-000	SFR	438.78	248.14	248.14
196-640-420-000	SFR	438.78	248.14	248.14
196-640-430-000	SFR	438.78	248.14	248.14
196-640-440-000	SFR	438.78	248.14	248.14
196-640-450-000	SFR	438.78	248.14	248.14
196-640-460-000	SFR	438.78	248.14	248.14
196-640-470-000	SFR	438.78	248.14	248.14
196-640-480-000	SFR	438.78	248.14	248.14
196-640-490-000	SFR	438.78	248.14	248.14
196-640-500-000	SFR	438.78	248.14	248.14
196-650-010-000	SFR	438.78	248.14	248.14
196-650-020-000	SFR	438.78	248.14	248.14
196-650-030-000	SFR	438.78	248.14	248.14
196-650-040-000	SFR	438.78	248.14	248.14
196-650-050-000	SFR	438.78	248.14	248.14
196-650-060-000	SFR	438.78	248.14	248.14
196-650-070-000	SFR	438.78	248.14	248.14
196-650-080-000	SFR	438.78	248.14	248.14
196-650-090-000	SFR	438.78	248.14	248.14
196-650-100-000	SFR	438.78	248.14	248.14

**CITY OF LATHROP
STONEBRIDGE DRAINAGE AND LIGHTING
FISCAL YEAR 2020/21
PARCEL LISTING**

APN	Land Use	Max Rate	Levy Rate	Levy
196-650-110-000	SFR	438.78	248.14	248.14
196-650-120-000	SFR	438.78	248.14	248.14
196-650-130-000	SFR	438.78	248.14	248.14
196-650-140-000	SFR	438.78	248.14	248.14
196-650-150-000	SFR	438.78	248.14	248.14
196-650-160-000	SFR	438.78	248.14	248.14
196-650-170-000	SFR	438.78	248.14	248.14
196-650-180-000	SFR	438.78	248.14	248.14
196-650-190-000	SFR	438.78	248.14	248.14
196-650-200-000	SFR	438.78	248.14	248.14
196-650-210-000	SFR	438.78	248.14	248.14
196-650-220-000	SFR	438.78	248.14	248.14
196-650-230-000	SFR	438.78	248.14	248.14
196-650-240-000	SFR	438.78	248.14	248.14
196-650-250-000	SFR	438.78	248.14	248.14
196-650-260-000	SFR	438.78	248.14	248.14
196-650-270-000	SFR	438.78	248.14	248.14
196-650-280-000	SFR	438.78	248.14	248.14
196-650-290-000	SFR	438.78	248.14	248.14
196-650-300-000	SFR	438.78	248.14	248.14
196-650-310-000	SFR	438.78	248.14	248.14
196-650-320-000	SFR	438.78	248.14	248.14
196-650-330-000	SFR	438.78	248.14	248.14
196-650-340-000	SFR	438.78	248.14	248.14
196-650-350-000	SFR	438.78	248.14	248.14
196-650-360-000	SFR	438.78	248.14	248.14
196-650-370-000	SFR	438.78	248.14	248.14
196-650-380-000	SFR	438.78	248.14	248.14
196-650-390-000	SFR	438.78	248.14	248.14
196-650-400-000	SFR	438.78	248.14	248.14
196-650-410-000	SFR	438.78	248.14	248.14
196-650-420-000	SFR	438.78	248.14	248.14
196-650-430-000	SFR	438.78	248.14	248.14
196-650-440-000	SFR	438.78	248.14	248.14
196-650-450-000	SFR	438.78	248.14	248.14
196-650-460-000	SFR	438.78	248.14	248.14

**CITY OF LATHROP
STONEBRIDGE DRAINAGE AND LIGHTING
FISCAL YEAR 2020/21
PARCEL LISTING**

APN	Land Use	Max Rate	Levy Rate	Levy
196-650-470-000	SFR	438.78	248.14	248.14
196-650-480-000	SFR	438.78	248.14	248.14
196-650-490-000	SFR	438.78	248.14	248.14
196-650-500-000	SFR	438.78	248.14	248.14
196-650-510-000	SFR	438.78	248.14	248.14
196-650-520-000	SFR	438.78	248.14	248.14
196-650-530-000	SFR	438.78	248.14	248.14
196-650-540-000	SFR	438.78	248.14	248.14
196-650-550-000	SFR	438.78	248.14	248.14
196-650-560-000	SFR	438.78	248.14	248.14
196-650-570-000	SFR	438.78	248.14	248.14
196-650-580-000	SFR	438.78	248.14	248.14
196-650-590-000	SFR	438.78	248.14	248.14
196-650-600-000	SFR	438.78	248.14	248.14
196-650-610-000	SFR	438.78	248.14	248.14
196-650-620-000	SFR	438.78	248.14	248.14
196-650-630-000	SFR	438.78	248.14	248.14
196-650-640-000	SFR	438.78	248.14	248.14
196-650-650-000	SFR	438.78	248.14	248.14
196-650-660-000	SFR	438.78	248.14	248.14
196-660-010-000	SFR	438.78	248.14	248.14
196-660-020-000	SFR	438.78	248.14	248.14
196-660-030-000	SFR	438.78	248.14	248.14
196-660-040-000	SFR	438.78	248.14	248.14
196-660-050-000	SFR	438.78	248.14	248.14
196-660-060-000	SFR	438.78	248.14	248.14
196-660-070-000	SFR	438.78	248.14	248.14
196-660-080-000	SFR	438.78	248.14	248.14
196-660-090-000	SFR	438.78	248.14	248.14
196-660-100-000	SFR	438.78	248.14	248.14
196-660-110-000	SFR	438.78	248.14	248.14
196-660-120-000	SFR	438.78	248.14	248.14
196-660-130-000	SFR	438.78	248.14	248.14
196-660-140-000	SFR	438.78	248.14	248.14
196-660-150-000	SFR	438.78	248.14	248.14
196-660-160-000	SFR	438.78	248.14	248.14

**CITY OF LATHROP
STONEBRIDGE DRAINAGE AND LIGHTING
FISCAL YEAR 2020/21
PARCEL LISTING**

APN	Land Use	Max Rate	Levy Rate	Levy
196-660-170-000	SFR	438.78	248.14	248.14
196-660-180-000	SFR	438.78	248.14	248.14
196-660-190-000	SFR	438.78	248.14	248.14
196-660-200-000	SFR	438.78	248.14	248.14
196-660-210-000	SFR	438.78	248.14	248.14
196-660-220-000	SFR	438.78	248.14	248.14
196-660-230-000	SFR	438.78	248.14	248.14
196-660-240-000	SFR	438.78	248.14	248.14
196-660-250-000	SFR	438.78	248.14	248.14
196-660-260-000	SFR	438.78	248.14	248.14
196-660-270-000	SFR	438.78	248.14	248.14
196-660-280-000	SFR	438.78	248.14	248.14
196-660-290-000	SFR	438.78	248.14	248.14
196-660-300-000	SFR	438.78	248.14	248.14
196-660-310-000	SFR	438.78	248.14	248.14
196-660-320-000	SFR	438.78	248.14	248.14
196-660-330-000	SFR	438.78	248.14	248.14
196-660-340-000	SFR	438.78	248.14	248.14
196-660-350-000	SFR	438.78	248.14	248.14
196-660-360-000	SFR	438.78	248.14	248.14
196-660-370-000	SFR	438.78	248.14	248.14
196-660-380-000	SFR	438.78	248.14	248.14
196-660-390-000	SFR	438.78	248.14	248.14
196-660-400-000	SFR	438.78	248.14	248.14
196-660-410-000	SFR	438.78	248.14	248.14
196-660-420-000	SFR	438.78	248.14	248.14
196-660-430-000	SFR	438.78	248.14	248.14
196-660-440-000	SFR	438.78	248.14	248.14
196-660-450-000	SFR	438.78	248.14	248.14
196-660-460-000	SFR	438.78	248.14	248.14
196-660-470-000	SFR	438.78	248.14	248.14
196-660-500-000	SFR	438.78	248.14	248.14
196-660-530-000	SFR	438.78	248.14	248.14
196-660-540-000	SFR	438.78	248.14	248.14
196-660-550-000	SFR	438.78	248.14	248.14
196-660-560-000	SFR	438.78	248.14	248.14

**CITY OF LATHROP
STONEBRIDGE DRAINAGE AND LIGHTING
FISCAL YEAR 2020/21
PARCEL LISTING**

APN	Land Use	Max Rate	Levy Rate	Levy
196-670-010-000	SFR	438.78	248.14	248.14
196-670-020-000	SFR	438.78	248.14	248.14
196-670-030-000	SFR	438.78	248.14	248.14
196-670-040-000	SFR	438.78	248.14	248.14
196-670-050-000	SFR	438.78	248.14	248.14
196-670-060-000	SFR	438.78	248.14	248.14
196-670-070-000	SFR	438.78	248.14	248.14
196-670-080-000	SFR	438.78	248.14	248.14
196-670-090-000	SFR	438.78	248.14	248.14
196-670-100-000	SFR	438.78	248.14	248.14
196-670-110-000	SFR	438.78	248.14	248.14
196-670-120-000	SFR	438.78	248.14	248.14
196-670-130-000	SFR	438.78	248.14	248.14
196-670-140-000	SFR	438.78	248.14	248.14
196-670-150-000	SFR	438.78	248.14	248.14
196-670-160-000	SFR	438.78	248.14	248.14
196-670-170-000	SFR	438.78	248.14	248.14
196-670-180-000	SFR	438.78	248.14	248.14
196-670-190-000	SFR	438.78	248.14	248.14
196-670-200-000	SFR	438.78	248.14	248.14
196-670-210-000	SFR	438.78	248.14	248.14
196-670-220-000	SFR	438.78	248.14	248.14
196-670-230-000	SFR	438.78	248.14	248.14
196-670-240-000	SFR	438.78	248.14	248.14
196-670-250-000	SFR	438.78	248.14	248.14
196-670-260-000	SFR	438.78	248.14	248.14
196-670-270-000	SFR	438.78	248.14	248.14
196-670-280-000	SFR	438.78	248.14	248.14
196-670-290-000	SFR	438.78	248.14	248.14
196-670-300-000	SFR	438.78	248.14	248.14
196-670-310-000	SFR	438.78	248.14	248.14
196-670-320-000	SFR	438.78	248.14	248.14
196-670-330-000	SFR	438.78	248.14	248.14
196-670-340-000	SFR	438.78	248.14	248.14
196-670-350-000	SFR	438.78	248.14	248.14
196-670-360-000	SFR	438.78	248.14	248.14

CITY OF LATHROP
STONEBRIDGE DRAINAGE AND LIGHTING
FISCAL YEAR 2020/21
PARCEL LISTING

APN	Land Use	Max Rate	Levy Rate	Levy
196-670-370-000	SFR	438.78	248.14	248.14
196-670-380-000	SFR	438.78	248.14	248.14
196-670-390-000	SFR	438.78	248.14	248.14
196-670-400-000	SFR	438.78	248.14	248.14
196-670-410-000	SFR	438.78	248.14	248.14
196-670-420-000	SFR	438.78	248.14	248.14
196-670-430-000	SFR	438.78	248.14	248.14
196-670-440-000	SFR	438.78	248.14	248.14
196-670-450-000	SFR	438.78	248.14	248.14
196-670-460-000	SFR	438.78	248.14	248.14
196-670-470-000	SFR	438.78	248.14	248.14
196-670-480-000	SFR	438.78	248.14	248.14
196-670-490-000	SFR	438.78	248.14	248.14
196-670-500-000	SFR	438.78	248.14	248.14
196-670-510-000	SFR	438.78	248.14	248.14
196-680-010-000	SFR	438.78	248.14	248.14
196-680-020-000	SFR	438.78	248.14	248.14
196-680-030-000	SFR	438.78	248.14	248.14
196-680-040-000	SFR	438.78	248.14	248.14
196-680-050-000	SFR	438.78	248.14	248.14
196-680-060-000	SFR	438.78	248.14	248.14
196-680-070-000	SFR	438.78	248.14	248.14
196-680-080-000	SFR	438.78	248.14	248.14
196-680-090-000	SFR	438.78	248.14	248.14
196-680-100-000	SFR	438.78	248.14	248.14
196-680-110-000	SFR	438.78	248.14	248.14
196-680-120-000	SFR	438.78	248.14	248.14
196-680-130-000	SFR	438.78	248.14	248.14
196-680-140-000	SFR	438.78	248.14	248.14
196-680-150-000	SFR	438.78	248.14	248.14
196-680-160-000	SFR	438.78	248.14	248.14
196-680-170-000	SFR	438.78	248.14	248.14
196-680-180-000	SFR	438.78	248.14	248.14
196-680-190-000	SFR	438.78	248.14	248.14
196-680-200-000	SFR	438.78	248.14	248.14
196-680-210-000	SFR	438.78	248.14	248.14

CITY OF LATHROP
STONEBRIDGE DRAINAGE AND LIGHTING
FISCAL YEAR 2020/21
PARCEL LISTING

APN	Land Use	Max Rate	Levy Rate	Levy
196-680-220-000	SFR	438.78	248.14	248.14
196-680-230-000	SFR	438.78	248.14	248.14
196-680-240-000	SFR	438.78	248.14	248.14
196-680-250-000	SFR	438.78	248.14	248.14
196-680-260-000	SFR	438.78	248.14	248.14
196-680-270-000	SFR	438.78	248.14	248.14
196-680-280-000	SFR	438.78	248.14	248.14
196-680-290-000	SFR	438.78	248.14	248.14
196-680-300-000	SFR	438.78	248.14	248.14
196-680-310-000	SFR	438.78	248.14	248.14
196-680-320-000	SFR	438.78	248.14	248.14
196-680-330-000	SFR	438.78	248.14	248.14
196-680-340-000	SFR	438.78	248.14	248.14
196-680-350-000	SFR	438.78	248.14	248.14
196-680-360-000	SFR	438.78	248.14	248.14
196-680-370-000	SFR	438.78	248.14	248.14
196-680-380-000	SFR	438.78	248.14	248.14
196-680-390-000	SFR	438.78	248.14	248.14
196-680-400-000	SFR	438.78	248.14	248.14
196-680-410-000	SFR	438.78	248.14	248.14
196-680-420-000	SFR	438.78	248.14	248.14
196-680-430-000	SFR	438.78	248.14	248.14
196-680-440-000	SFR	438.78	248.14	248.14
196-680-450-000	SFR	438.78	248.14	248.14
196-680-460-000	SFR	438.78	248.14	248.14
196-680-470-000	SFR	438.78	248.14	248.14
196-680-480-000	SFR	438.78	248.14	248.14
196-680-490-000	SFR	438.78	248.14	248.14
196-680-500-000	SFR	438.78	248.14	248.14
196-680-510-000	SFR	438.78	248.14	248.14
196-680-520-000	SFR	438.78	248.14	248.14
196-680-530-000	SFR	438.78	248.14	248.14
196-680-540-000	SFR	438.78	248.14	248.14
196-680-550-000	SFR	438.78	248.14	248.14
196-680-560-000	SFR	438.78	248.14	248.14
196-680-570-000	SFR	438.78	248.14	248.14

CITY OF LATHROP
STONEBRIDGE DRAINAGE AND LIGHTING
FISCAL YEAR 2020/21
PARCEL LISTING

APN	Land Use	Max Rate	Levy Rate	Levy
196-680-580-000	SFR	438.78	248.14	248.14
196-680-590-000	SFR	438.78	248.14	248.14
196-680-600-000	SFR	438.78	248.14	248.14
196-680-610-000	SFR	438.78	248.14	248.14
196-680-620-000	SFR	438.78	248.14	248.14
196-680-630-000	SFR	438.78	248.14	248.14
196-680-640-000	SFR	438.78	248.14	248.14
196-680-650-000	SFR	438.78	248.14	248.14
196-680-660-000	SFR	438.78	248.14	248.14
196-680-670-000	SFR	438.78	248.14	248.14
196-680-680-000	SFR	438.78	248.14	248.14
196-680-690-000	SFR	438.78	248.14	248.14
196-680-700-000	SFR	438.78	248.14	248.14
196-680-710-000	SFR	438.78	248.14	248.14
196-680-720-000	SFR	438.78	248.14	248.14
196-680-730-000	SFR	438.78	248.14	248.14
196-680-740-000	SFR	438.78	248.14	248.14
196-680-750-000	SFR	438.78	248.14	248.14
196-680-760-000	SFR	438.78	248.14	248.14
196-680-770-000	SFR	438.78	248.14	248.14
196-680-780-000	SFR	438.78	248.14	248.14
196-680-790-000	SFR	438.78	248.14	248.14
196-680-800-000	SFR	438.78	248.14	248.14
196-680-810-000	SFR	438.78	248.14	248.14
196-680-820-000	SFR	438.78	248.14	248.14
196-680-830-000	SFR	438.78	248.14	248.14
196-680-840-000	SFR	438.78	248.14	248.14
196-680-850-000	SFR	438.78	248.14	248.14
196-680-860-000	SFR	438.78	248.14	248.14
196-680-870-000	SFR	438.78	248.14	248.14
196-680-880-000	SFR	438.78	248.14	248.14
196-690-010-000	SFR	438.78	248.14	248.14
196-690-020-000	SFR	438.78	248.14	248.14
196-690-030-000	SFR	438.78	248.14	248.14
196-690-040-000	SFR	438.78	248.14	248.14
196-690-050-000	SFR	438.78	248.14	248.14

CITY OF LATHROP
STONEBRIDGE DRAINAGE AND LIGHTING
FISCAL YEAR 2020/21
PARCEL LISTING

APN	Land Use	Max Rate	Levy Rate	Levy
196-690-060-000	SFR	438.78	248.14	248.14
196-690-070-000	SFR	438.78	248.14	248.14
196-690-080-000	SFR	438.78	248.14	248.14
196-690-090-000	SFR	438.78	248.14	248.14
196-690-100-000	SFR	438.78	248.14	248.14
196-690-110-000	SFR	438.78	248.14	248.14
196-690-120-000	SFR	438.78	248.14	248.14
196-690-130-000	SFR	438.78	248.14	248.14
196-690-140-000	SFR	438.78	248.14	248.14
196-690-150-000	SFR	438.78	248.14	248.14
196-690-160-000	SFR	438.78	248.14	248.14
196-690-170-000	SFR	438.78	248.14	248.14
196-690-180-000	SFR	438.78	248.14	248.14
196-690-190-000	SFR	438.78	248.14	248.14
196-690-200-000	SFR	438.78	248.14	248.14
196-690-210-000	SFR	438.78	248.14	248.14
196-690-220-000	SFR	438.78	248.14	248.14
196-690-230-000	SFR	438.78	248.14	248.14
196-690-240-000	SFR	438.78	248.14	248.14
196-690-250-000	SFR	438.78	248.14	248.14
196-690-260-000	SFR	438.78	248.14	248.14
196-690-270-000	SFR	438.78	248.14	248.14
196-690-280-000	SFR	438.78	248.14	248.14
196-690-290-000	SFR	438.78	248.14	248.14
196-690-300-000	SFR	438.78	248.14	248.14
196-690-310-000	SFR	438.78	248.14	248.14
196-690-320-000	SFR	438.78	248.14	248.14
196-690-330-000	SFR	438.78	248.14	248.14
196-690-340-000	SFR	438.78	248.14	248.14
196-690-350-000	SFR	438.78	248.14	248.14
196-690-360-000	SFR	438.78	248.14	248.14
196-690-370-000	SFR	438.78	248.14	248.14
196-690-380-000	SFR	438.78	248.14	248.14
196-690-390-000	SFR	438.78	248.14	248.14
196-690-400-000	SFR	438.78	248.14	248.14
196-690-410-000	SFR	438.78	248.14	248.14

**CITY OF LATHROP
STONEBRIDGE DRAINAGE AND LIGHTING
FISCAL YEAR 2020/21
PARCEL LISTING**

APN	Land Use	Max Rate	Levy Rate	Levy
196-690-420-000	SFR	438.78	248.14	248.14
196-690-430-000	SFR	438.78	248.14	248.14
196-700-010-000	SFR	438.78	248.14	248.14
196-700-020-000	SFR	438.78	248.14	248.14
196-700-030-000	SFR	438.78	248.14	248.14
196-700-040-000	SFR	438.78	248.14	248.14
196-700-050-000	SFR	438.78	248.14	248.14
196-700-060-000	SFR	438.78	248.14	248.14
196-700-070-000	SFR	438.78	248.14	248.14
196-700-080-000	SFR	438.78	248.14	248.14
196-700-090-000	SFR	438.78	248.14	248.14
196-700-100-000	SFR	438.78	248.14	248.14
196-700-110-000	SFR	438.78	248.14	248.14
196-700-120-000	SFR	438.78	248.14	248.14
196-700-130-000	SFR	438.78	248.14	248.14
196-700-140-000	SFR	438.78	248.14	248.14
196-700-150-000	SFR	438.78	248.14	248.14
196-700-160-000	SFR	438.78	248.14	248.14
196-700-170-000	SFR	438.78	248.14	248.14
196-700-180-000	SFR	438.78	248.14	248.14
196-700-190-000	SFR	438.78	248.14	248.14
196-700-200-000	SFR	438.78	248.14	248.14
196-700-210-000	SFR	438.78	248.14	248.14
196-700-220-000	SFR	438.78	248.14	248.14
196-700-230-000	SFR	438.78	248.14	248.14
196-700-240-000	SFR	438.78	248.14	248.14
196-700-250-000	SFR	438.78	248.14	248.14
196-700-260-000	SFR	438.78	248.14	248.14
196-700-270-000	SFR	438.78	248.14	248.14
196-700-280-000	SFR	438.78	248.14	248.14
196-700-290-000	SFR	438.78	248.14	248.14
196-700-300-000	SFR	438.78	248.14	248.14
196-700-310-000	SFR	438.78	248.14	248.14
196-700-320-000	SFR	438.78	248.14	248.14
196-700-330-000	SFR	438.78	248.14	248.14
196-700-340-000	SFR	438.78	248.14	248.14

CITY OF LATHROP
STONEBRIDGE DRAINAGE AND LIGHTING
FISCAL YEAR 2020/21
PARCEL LISTING

APN	Land Use	Max Rate	Levy Rate	Levy
196-700-350-000	SFR	438.78	248.14	248.14
196-700-360-000	SFR	438.78	248.14	248.14
196-700-370-000	SFR	438.78	248.14	248.14
196-700-380-000	SFR	438.78	248.14	248.14
196-700-390-000	SFR	438.78	248.14	248.14
196-700-400-000	SFR	438.78	248.14	248.14
196-700-410-000	SFR	438.78	248.14	248.14
196-700-420-000	SFR	438.78	248.14	248.14
196-700-430-000	SFR	438.78	248.14	248.14
196-700-440-000	SFR	438.78	248.14	248.14
196-700-450-000	SFR	438.78	248.14	248.14
196-700-460-000	SFR	438.78	248.14	248.14
196-700-470-000	SFR	438.78	248.14	248.14
196-700-480-000	SFR	438.78	248.14	248.14
196-700-490-000	SFR	438.78	248.14	248.14
196-700-500-000	SFR	438.78	248.14	248.14
196-700-510-000	SFR	438.78	248.14	248.14
196-700-520-000	SFR	438.78	248.14	248.14
196-700-530-000	SFR	438.78	248.14	248.14
196-700-540-000	SFR	438.78	248.14	248.14
196-700-550-000	SFR	438.78	248.14	248.14
196-700-560-000	SFR	438.78	248.14	248.14
196-700-570-000	SFR	438.78	248.14	248.14
196-700-580-000	SFR	438.78	248.14	248.14
196-700-590-000	SFR	438.78	248.14	248.14
196-700-600-000	SFR	438.78	248.14	248.14
196-700-610-000	SFR	438.78	248.14	248.14
196-700-620-000	SFR	438.78	248.14	248.14
196-700-630-000	SFR	438.78	248.14	248.14
196-700-640-000	SFR	438.78	248.14	248.14
196-700-650-000	SFR	438.78	248.14	248.14
196-700-660-000	SFR	438.78	248.14	248.14
196-700-670-000	SFR	438.78	248.14	248.14
196-700-680-000	SFR	438.78	248.14	248.14
196-700-690-000	SFR	438.78	248.14	248.14
196-700-700-000	SFR	438.78	248.14	248.14

CITY OF LATHROP
STONEBRIDGE DRAINAGE AND LIGHTING
FISCAL YEAR 2020/21
PARCEL LISTING

APN	Land Use	Max Rate	Levy Rate	Levy
196-700-710-000	SFR	438.78	248.14	248.14
196-710-010-000	SFR	438.78	248.14	248.14
196-710-020-000	SFR	438.78	248.14	248.14
196-710-030-000	SFR	438.78	248.14	248.14
196-710-040-000	SFR	438.78	248.14	248.14
196-710-050-000	SFR	438.78	248.14	248.14
196-710-060-000	SFR	438.78	248.14	248.14
196-710-070-000	SFR	438.78	248.14	248.14
196-710-080-000	SFR	438.78	248.14	248.14
196-710-090-000	SFR	438.78	248.14	248.14
196-710-100-000	SFR	438.78	248.14	248.14
196-710-110-000	SFR	438.78	248.14	248.14
196-710-120-000	SFR	438.78	248.14	248.14
196-710-130-000	SFR	438.78	248.14	248.14
196-710-140-000	SFR	438.78	248.14	248.14
196-710-150-000	SFR	438.78	248.14	248.14
196-710-160-000	SFR	438.78	248.14	248.14
196-710-170-000	SFR	438.78	248.14	248.14
196-710-180-000	SFR	438.78	248.14	248.14
196-710-190-000	SFR	438.78	248.14	248.14
196-710-200-000	SFR	438.78	248.14	248.14
196-710-210-000	SFR	438.78	248.14	248.14
196-710-220-000	SFR	438.78	248.14	248.14
196-710-230-000	SFR	438.78	248.14	248.14
196-710-240-000	SFR	438.78	248.14	248.14
196-710-250-000	SFR	438.78	248.14	248.14
196-710-260-000	SFR	438.78	248.14	248.14
196-710-270-000	SFR	438.78	248.14	248.14
196-710-280-000	SFR	438.78	248.14	248.14
196-710-290-000	SFR	438.78	248.14	248.14
196-710-300-000	SFR	438.78	248.14	248.14
196-710-310-000	SFR	438.78	248.14	248.14
196-710-320-000	SFR	438.78	248.14	248.14
196-710-330-000	SFR	438.78	248.14	248.14
196-710-340-000	SFR	438.78	248.14	248.14
196-710-350-000	SFR	438.78	248.14	248.14

**CITY OF LATHROP
STONEBRIDGE DRAINAGE AND LIGHTING
FISCAL YEAR 2020/21
PARCEL LISTING**

APN	Land Use	Max Rate	Levy Rate	Levy
196-710-360-000	SFR	438.78	248.14	248.14
196-710-370-000	SFR	438.78	248.14	248.14
196-710-380-000	SFR	438.78	248.14	248.14
196-710-390-000	SFR	438.78	248.14	248.14
196-710-400-000	SFR	438.78	248.14	248.14
196-710-410-000	SFR	438.78	248.14	248.14
196-710-420-000	SFR	438.78	248.14	248.14
196-710-430-000	SFR	438.78	248.14	248.14
196-710-440-000	SFR	438.78	248.14	248.14
196-710-450-000	SFR	438.78	248.14	248.14
196-710-460-000	SFR	438.78	248.14	248.14
196-710-470-000	SFR	438.78	248.14	248.14
196-710-480-000	SFR	438.78	248.14	248.14
196-710-490-000	SFR	438.78	248.14	248.14
196-710-500-000	SFR	438.78	248.14	248.14
196-710-510-000	SFR	438.78	248.14	248.14
196-710-520-000	SFR	438.78	248.14	248.14
196-710-530-000	SFR	438.78	248.14	248.14
196-710-540-000	SFR	438.78	248.14	248.14
196-710-550-000	SFR	438.78	248.14	248.14
196-710-560-000	SFR	438.78	248.14	248.14
196-720-010-000	SFR	438.78	248.14	248.14
196-720-020-000	SFR	438.78	248.14	248.14
196-720-030-000	SFR	438.78	248.14	248.14
196-720-040-000	SFR	438.78	248.14	248.14
196-720-050-000	SFR	438.78	248.14	248.14
196-720-060-000	SFR	438.78	248.14	248.14
196-720-070-000	SFR	438.78	248.14	248.14
196-720-080-000	SFR	438.78	248.14	248.14
196-720-090-000	SFR	438.78	248.14	248.14
196-720-100-000	SFR	438.78	248.14	248.14
196-720-110-000	SFR	438.78	248.14	248.14
196-720-120-000	SFR	438.78	248.14	248.14
196-720-130-000	SFR	438.78	248.14	248.14
196-720-140-000	SFR	438.78	248.14	248.14
196-720-150-000	SFR	438.78	248.14	248.14

CITY OF LATHROP
STONEBRIDGE DRAINAGE AND LIGHTING
FISCAL YEAR 2020/21
PARCEL LISTING

APN	Land Use	Max Rate	Levy Rate	Levy
196-720-160-000	SFR	438.78	248.14	248.14
196-720-170-000	SFR	438.78	248.14	248.14
196-720-180-000	SFR	438.78	248.14	248.14
196-720-190-000	SFR	438.78	248.14	248.14
196-720-200-000	SFR	438.78	248.14	248.14
196-720-210-000	SFR	438.78	248.14	248.14
196-720-220-000	SFR	438.78	248.14	248.14
196-720-230-000	SFR	438.78	248.14	248.14
196-720-240-000	SFR	438.78	248.14	248.14
196-720-250-000	SFR	438.78	248.14	248.14
196-720-260-000	SFR	438.78	248.14	248.14
196-720-270-000	SFR	438.78	248.14	248.14
196-720-280-000	SFR	438.78	248.14	248.14
196-720-290-000	SFR	438.78	248.14	248.14
196-720-300-000	SFR	438.78	248.14	248.14
196-720-310-000	SFR	438.78	248.14	248.14
196-720-320-000	SFR	438.78	248.14	248.14
196-720-330-000	SFR	438.78	248.14	248.14
196-720-340-000	SFR	438.78	248.14	248.14
196-720-350-000	SFR	438.78	248.14	248.14
196-720-360-000	SFR	438.78	248.14	248.14
196-720-370-000	SFR	438.78	248.14	248.14
196-720-380-000	SFR	438.78	248.14	248.14
196-720-390-000	SFR	438.78	248.14	248.14
196-720-400-000	SFR	438.78	248.14	248.14
196-720-410-000	SFR	438.78	248.14	248.14
196-720-420-000	SFR	438.78	248.14	248.14
196-720-430-000	SFR	438.78	248.14	248.14
196-720-440-000	SFR	438.78	248.14	248.14
196-720-450-000	SFR	438.78	248.14	248.14
196-720-460-000	SFR	438.78	248.14	248.14
196-720-470-000	SFR	438.78	248.14	248.14
196-720-480-000	SFR	438.78	248.14	248.14
196-720-490-000	SFR	438.78	248.14	248.14
196-720-500-000	SFR	438.78	248.14	248.14
196-720-510-000	SFR	438.78	248.14	248.14

**CITY OF LATHROP
 STONEBRIDGE DRAINAGE AND LIGHTING
 FISCAL YEAR 2020/21
 PARCEL LISTING**

APN	Land Use	Max Rate	Levy Rate	Levy
196-720-520-000	SFR	438.78	248.14	248.14
196-720-530-000	SFR	438.78	248.14	248.14
Total:	902 Parcels			\$223,822.28

(1) Per City instruction, APN 196-620-570-000 is assessable.

CITY OF LATHROP

City Zone 1 Storm Drainage Annual Engineer's Report

Fiscal Year 2020/21



Corporate Headquarters
32605 Temecula Parkway, Suite 100
Temecula, CA 92592
Toll free: 800.676.7516

**CITY OF LATHROP
CITY ZONE 1 STORM DRAINAGE**

**390 Towne Centre Drive
Lathrop, California 95330
Phone - (209) 941-7320
Fax - (209) 941-7339**

CITY COUNCIL

Sonny Dhaliwal, Mayor

Martha Salcedo, Vice Mayor

Paul Akinjo, Councilmember

Diane Lazard, Councilmember

Jennifer Torres-O'Callaghan, Councilmember

CITY STAFF

Stephen Salvatore, City Manager

Salvador Navarrete, City Attorney

Cari James, Finance Director

Glenn Gebhardt, City Engineer

NBS

Tim Seufert, Client Services Director

Kristin Harvey, Senior Consultant

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1. ENGINEER'S LETTER

WHEREAS, the City Council of the City of Lathrop (the "City"), State of California, directed NBS Government Finance Group, DBA NBS ("NBS") to prepare and file a report presenting plans and specifications describing the general nature, location, and extent of the improvements to be maintained, and an estimate of the costs of the maintenance, operations, and servicing of the improvements for the City Zone 1 Storm Drainage ("City Zone 1" or the "District") for Fiscal Year 2020/21. The report includes a diagram for the District showing the area and properties proposed to be assessed, an assessment of the estimated costs of the maintenance, operations, and servicing of the improvements, and the net amount to be assessed upon all assessable parcels within the District in proportion to the special benefit received;

WHEREAS, the assessment for City Zone 1 for Fiscal Year 1996/97 and thereafter of \$112.52 per unit meets the requirements of an existing assessment that is not subject to the assessment ballot procedures under Section 5(a) of Article XIII D of the California Constitution which reads: "the following assessments existing on the effective date of this article shall be exempt from the procedures and approval process...any assessment imposed exclusively to finance the capital costs or maintenance and operation expenses for sidewalks, streets, sewers, water, flood control, drainage systems or vector control". The City may continue to levy the assessment for City Zone 1 as long as the rate does not exceed \$112.52 per unit;

NOW THEREFORE, only parcels that receive direct special benefit are assessed, and each parcel is assessed in proportion to the estimated special benefit received. The following assessment is made to fund the portion of the estimated costs of maintenance, operation and servicing of the improvements to be paid by the assessable real property within City Zone 1 in proportion to the special benefit received:

SUMMARY OF ASSESSMENT

Description	Amount
Total Costs	\$295,860.00
Contribution to (from) Operational Reserves	(56,719.04)
Contribution to (from) Capital Reserves	0.00
Other Revenue Sources	<u>0.00</u>
Total Costs to be Assessed ⁽¹⁾	\$239,140.96
Total Units to be Assessed	2,125.322
Total Assessment per Unit	\$112.52
Total Parcels to be Assessed	2,081

I, the undersigned, respectfully submit the enclosed Engineer's Report and, to the best of my knowledge, information, and belief, the Engineer's Report, Assessments, and the District Diagram herein have been prepared and computed in accordance with the order and historical practices of the City Council of the City.

NBS Government Finance Group, DBA NBS

2. OVERVIEW

2.1 Introduction

The City Council of the City of Lathrop, previously accepted responsibility for portions of County Service Area (“CSA”) No. 4, Zones A & B. Zone A and B of CSA No. 4 became City Zone 1 Storm Drainage pursuant to Ballot Measure A, upon incorporation of the City on June 6, 1989. The City was authorized by the Local Agency Formation Commission (“LAFCO”) to continue the levy and collection of storm drainage assessments, as was previously authorized by the County of San Joaquin (the “County”).

This Annual Engineer’s Report (the “Report”) describes the District and the assessment per parcel for Fiscal Year 2020/21 based on the historical and estimated cost to maintain the improvements and provide the services that benefit parcels within the District. The parcels contained within City Zone 1 receive a special benefit from the improvements and will pay only their fair share of the costs of the operations, servicing, and maintenance of the improvements within the District.

The word “parcel,” for the purposes of this Report, refers to an individual property assigned its own Assessor’s Parcel Number by the San Joaquin County Assessor’s Office. The San Joaquin County Auditor-Controller uses Assessor’s Parcel Numbers and specific fund numbers to identify, on the tax roll, properties assessed for special district benefit assessments.

Following consideration of public comments and written protests at a noticed public hearing, and following review of the Report, the City Council may confirm the Report. Following final approval of the Report and confirmation of the assessments, the City Council may order the levy and collection of assessments for Fiscal Year 2020/21. The assessment information will be submitted to the County Auditor-Controller and included on the property tax roll for each benefiting parcel for Fiscal Year 2020/21.

2.2 Effect of Proposition 218

On November 5, 1996, California voters approved Proposition 218 by a vote of 56.5% to 43.5%. The provisions of the Proposition, now California Constitutional Articles XIII C and XIII D, added substantive and procedural requirements for assessments which affect City Zone 1.

- The assessment for City Zone 1 for Fiscal Year 1996/97 and thereafter of \$112.52 per unit meets the requirements of an existing assessment that is not subject to the assessment ballot procedures under Section 5(a) of the Proposition which reads: “the following assessments existing on the effective date of this article shall be exempt from the procedures and approval process...any assessment imposed exclusively to finance the capital costs or maintenance and operation expenses for sidewalks, streets, sewers, water, flood control, drainage systems or vector control”.
- The City may continue to levy the assessment for City Zone 1 as long as the rate does not exceed \$112.52 per unit.

- Section 5 of Article XIII D reads: *“Beginning July 1, 1997, all existing, new, or increased assessments shall comply with this article.”* This requires that all proposed increases in the assessments for City Zone 1A be approved by property owners following the assessment balloting procedures set forth in Section 4 of Article XIII D.

2.3 Plans and Specifications for the Improvements

City Zone 1 provides services necessary to maintain existing storm drain facilities in addition to long-term repair and renovation of the facilities. The District encompasses most of the area north of Louise Avenue, east of Interstate 5, and west of the Southern Pacific Railroad.

All improvements within the District are maintained and serviced on a regular basis. The frequency and specific maintenance operations required within the District are determined by City staff, but are generally scheduled weekly. It should be noted that extraordinary maintenance and capital asset replacement has not occurred for several years due to the lack of funding beyond that which provides for the District’s ordinary, baseline maintenance. The District has been limited to the same assessment rate since District formation because of the absence of an annual cost escalation factor.

3. ESTIMATE OF COSTS

3.1 Description of Budget Items

Personnel Services - Includes employee salaries, salary related costs, and employee benefits including retirement, medical benefits, and workers compensation costs, etc.

Maintenance & Operations - Includes the following:

Advertising/Legal Notices - Includes the cost of publishing the required legal notices necessary to complete the required procedures for levying the assessments.

Alarm Service - Includes servicing the alarm at the corporation yard on 7th Street.

Auto & Heavy Equipment Maintenance Parts - Includes replacement parts for City vehicles used for storm drain maintenance including tires, safety lights, and engine tune-ups.

Auto & Heavy Equipment Maintenance & Repair - Includes maintenance of City vehicles used for storm drain maintenance.

Chemicals - Includes insect repellent, weed killer, and rodent control.

Communication Equipment Repair - Includes repair of electronic components, power cords, and mobile and portable radios.

Contract - Other - Includes uniform service, hazardous waste dump fees, Sheriff's Community Corp., and the cost to recondition one pump and motor.

Contract Services - Includes professional services necessary for District maintenance, including trees and landscaping, park maintenance, equipment rental, computer technical support, the preparation of the Report, and administration.

Equipment Rental - Includes miscellaneous equipment rental, which the City does not own.

Gas, Diesel, Oil & Lubricants - Includes fuel, oil and lubricants for vehicles, and miscellaneous small equipment used for storm drain maintenance.

Insurance - Includes insurance costs for vehicles and property associated with storm drain maintenance.

Maintenance & Repair - Includes contracted maintenance and repair services such as annual fire extinguisher service and emergency repairs.

Materials & Supplies - Includes first aid supplies.

Miscellaneous Supplies - Includes office equipment and supplies, custodial supplies, parts, tools, reference materials, and additional administrative costs.

Other Maintenance & Repair - Includes items related to non-contracted maintenance and repair such as barricade batteries, paint, collection line repair, cones, signs, etc.

Printing & Typesetting - Includes the cost of preparing the required legal notices necessary to complete the required procedures for levying the assessments.

Shop Tools - Includes miscellaneous small tools necessary for storm drain maintenance such as shovels, weed eaters, and a shop vacuum.

Training, Membership, Travel & Dues - Includes continuing training for maintenance staff.

Uniforms/Protective Clothing - Includes employee uniforms including safety boots, jackets, gloves, etc.

Utilities - Gas & Electric - Includes gas and electrical power for the maintenance office at 7th Street and for the storm drain pump stations.

Water Service - Includes water for the storm drain pump stations.

Fixed Charges & Special Fees - Includes the charges per parcel to place the assessments on the County Secured Property Tax Roll.

Capital - Includes the payment for lease purchase of storm drain vehicles and portable pump equipment purchased over five year lease.

Indirect Costs - Includes overhead costs of the City related to the maintenance, operation, and administration of the District.

3.2 City Zone 1 Budget

The budget for Fiscal Year 2020/21 is as follows.

Description	2020/21 Budget
Personnel Services Total	\$134,370.00
Maintenance & Operations Total	118,792.00
Capital Total	<u>0.00</u>
Budget Total	\$253,162.00
Indirect Costs	42,698.00
Equipment Replacement	<u>0.00</u>
Total District Costs	\$295,860.00
Contribution to (from) Operational Reserves	(56,719.04)
Contribution to (from) Capital Reserves	0.00
Other Revenue Sources	<u>0.00</u>
Balance to Levy ⁽¹⁾	\$239,140.96

3.3 Balance to Levy

Total District Costs - Includes the personnel services, maintenance and operations, capital costs, and indirect costs determined above.

Contribution to (from) Operational Reserves - The Operational Reserves item provides funds to operate the District from the time period of July 1 (beginning of the fiscal year) through December when the County provides the City with the first installment of assessments collected from the property tax bills. This eliminates the need for the City to transfer funds from non-District accounts to pay for District charges during the first half of the fiscal year. Negative amounts shown here are transfers that are used to reduce the Balance to Levy. Using reserve amounts in this way allows the levy per unit to remain at prior period rates, despite increases in District costs.

Contribution to (from) Capital Reserves - The Capital Reserve Account item provides funds to maintain reserves for extraordinary maintenance items and unexpected capital expenditures that may occur as a result of natural occurrences or other unforeseen circumstances.

Other Revenue Sources - This is the amount of funds designated for use by the District that are not from District assessments. These funds are added to the District account to reduce assessments and may be from either non-District sources including City General Fund contributions or District sources including interest earnings.

Balance to Levy - This is the total amount to be levied and collected through assessments for the current fiscal year. The Balance to Levy represents the sum of the total direct and administration costs, reserves, contributions, and other revenue sources.

The following table shows the total costs, additional revenues, and the Balance to Levy for Fiscal Year 2020/21.

Description	Amount
Total District Costs	\$295,860.00
Contribution to (from) Operational Reserves	(56,719.04)
Contribution to (from) Capital Reserves	0.00
Other Revenue Sources	<u>0.00</u>
Balance to Levy ⁽¹⁾	\$239,140.96

3.4 Operational & Maintenance Reserve Information

The following table shows the estimated balance of the Operational and Maintenance Reserves.

Description	Amount
Estimated Beginning Balance - July 1, 2020	\$125,642.95
Contribution to (from) Operational and Maintenance Reserves	<u>(56,719.04)</u>
Estimated Ending Balance - June 30, 2021	\$68,923.91

4. METHOD OF APPORTIONMENT

4.1 Method of Apportionment

The costs of the District are apportioned by a formula or method which fairly distributes the net amount to be assessed among all assessable parcels in proportion to the estimated special benefits to be received by each such parcel from the operations, servicing, and maintenance of improvements.

Properties are assessed for the estimated special benefit received from the acceptance of storm water runoff from private property into the storm drain system, as well as improved ingress and egress to and from the property. All assessable parcels within the District will be assessed their proportional share of the costs of operations, servicing, and maintenance of the storm drain system, based upon their relative size.

All property owners in the District benefit from streets that are kept free from standing storm water. Therefore, the costs related to those streets contributing runoff into the system will be borne proportionately by all assessable parcels in the District. The assessment has been levied in accordance with the assessment methodology adopted and approved by the City Council at the time of District formation.

The method used to calculate the assessments is as follows:

$$\text{District Budget} / \text{Total Assessable District Units} = \text{Assessment Rate Per Unit}$$

$$\text{Assessment Rate Per Unit} \times \text{Parcel Units} = \text{Parcel Assessment}$$

The Units are equivalent to the parcel's specific acreage. Parcels that are less than or equal to one acre are assessed as one unit. Parcels that are greater than one acre are assigned units equal to their actual acreage. The Maximum Assessment Rate Per Unit is \$112.52.

4.2 Assessment Per Unit

The following table shows the assessment per unit for the Fiscal Year 2020/21 levy.

Description	Amount
Balance to Levy ⁽¹⁾	\$239,140.96
Assessable District Units	2,125.322
Total Assessment Rate Per Unit	\$112.52

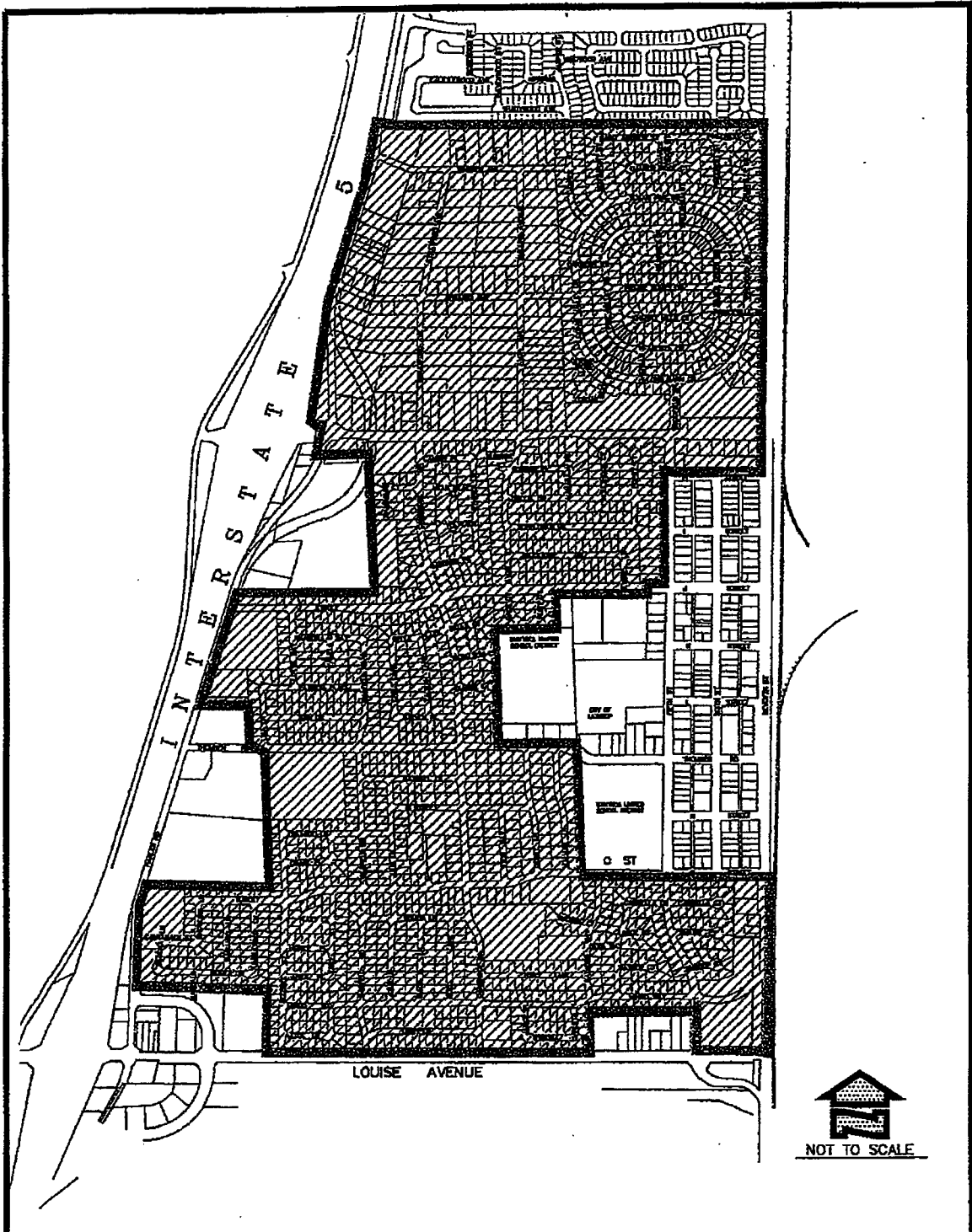
4.3 Historical Assessment Information

The following table shows the historical assessment rates for the District for the past ten years.

Description	Amount
Fiscal Year 2019/20 Assessment Rate Per Unit	\$112.52
Fiscal Year 2018/19 Assessment Rate Per Unit	112.52
Fiscal Year 2017/18 Assessment Rate Per Unit	112.52
Fiscal Year 2016/17 Assessment Rate Per Unit	112.52
Fiscal Year 2015/16 Assessment Rate Per Unit	112.52
Fiscal Year 2014/15 Assessment Rate Per Unit	112.52
Fiscal Year 2013/14 Assessment Rate Per Unit	112.52
Fiscal Year 2012/13 Assessment Rate Per Unit	112.52
Fiscal Year 2011/12 Assessment Rate Per Unit	112.52
Fiscal Year 2010/11 Assessment Rate Per Unit	112.52

5. DISTRICT DIAGRAM

Reference is made to the District Diagram on file with the City Clerk. The following page provides the boundaries of the District. The lines and dimensions shown on maps of the County Assessor for the current year are incorporated by reference and made part of this Report.



City of Lathrop

Storm Drain Zone 1



Date: February 1999

6. PARCEL LISTING

The parcel listing of assessments is provided on the following pages. The description of each lot or parcel is a part of the records of the County Assessor and is incorporated by reference and made part of this Report.

CITY OF LATHROP
CITY ZONE 1 - STORM DRAINAGE
FISCAL YEAR 2020/21
PARCEL LISTING

APN	Land Use	Acreage	Units	Rate	Levy⁽¹⁾
196-050-020-000	MFR	0.380	1.000	\$112.52	\$112.52
196-050-040-000	SFR	0.237	1.000	112.52	112.52
196-050-050-000	SFR	1.002	1.002	112.52	112.74
196-050-090-000	SFR	0.999	1.000	112.52	112.52
196-050-100-000	SFR	0.999	1.000	112.52	112.52
196-050-110-000	SFR	0.633	1.000	112.52	112.52
196-050-120-000	SFR	0.633	1.000	112.52	112.52
196-050-130-000	SFR	0.647	1.000	112.52	112.52
196-050-140-000	SFR	0.172	1.000	112.52	112.52
196-050-150-000	SFR	0.995	1.000	112.52	112.52
196-050-160-000	SFR	1.045	1.045	112.52	117.58
196-050-170-000	SFR	1.037	1.037	112.52	116.68
196-050-180-000	SFR	0.996	1.000	112.52	112.52
196-050-190-000	SFR	1.041	1.041	112.52	117.12
196-050-230-000	SFR	0.259	1.000	112.52	112.52
196-050-240-000	SFR	0.383	1.000	112.52	112.52
196-050-250-000	SFR	0.259	1.000	112.52	112.52
196-050-260-000	SFR	0.279	1.000	112.52	112.52
196-050-270-000	SFR	0.988	1.000	112.52	112.52
196-050-280-000	SFR	0.968	1.000	112.52	112.52
196-050-290-000	MFR	0.995	1.000	112.52	112.52
196-050-300-000	SFR	0.974	1.000	112.52	112.52
196-050-310-000	SFR	0.995	1.000	112.52	112.52
196-050-320-000	SFR	0.972	1.000	112.52	112.52
196-050-330-000	SFR	0.999	1.000	112.52	112.52
196-050-340-000	SFR	0.990	1.000	112.52	112.52
196-050-350-000	SFR	1.008	1.008	112.52	113.42
196-050-360-000	SFR	1.010	1.010	112.52	113.64
196-050-370-000	SFR	0.357	1.000	112.52	112.52
196-050-380-000	SFR	0.199	1.000	112.52	112.52
196-050-390-000	SFR	0.204	1.000	112.52	112.52
196-050-400-000	SFR	0.528	1.000	112.52	112.52
196-050-410-000	SFR	0.530	1.000	112.52	112.52
196-050-420-000	MFR	0.530	1.000	112.52	112.52
196-050-430-000	SFR	0.530	1.000	112.52	112.52
196-050-440-000	SFR	0.530	1.000	112.52	112.52
196-050-450-000	SFR	0.268	1.000	112.52	112.52
196-050-460-000	SFR	0.259	1.000	112.52	112.52
196-050-490-000	SFR	0.298	1.000	112.52	112.52
196-050-500-000	COM	1.030	1.030	112.52	115.88
196-050-510-000	SFR	1.008	1.008	112.52	113.42
196-050-520-000	SFR	1.029	1.029	112.52	115.78
196-050-530-000	SFR	1.015	1.015	112.52	114.20
196-050-540-000	MFR	0.999	1.000	112.52	112.52
196-050-560-000	SFR	0.247	1.000	112.52	112.52
196-050-570-000	SFR	0.247	1.000	112.52	112.52
196-050-580-000	SFR	0.242	1.000	112.52	112.52
196-050-590-000	SFR	0.179	1.000	112.52	112.52
196-050-600-000	SFR	0.364	1.000	112.52	112.52
196-050-610-000	SFR	0.170	1.000	112.52	112.52
196-050-620-000	SFR	0.136	1.000	112.52	112.52
196-050-630-000	SFR	0.128	1.000	112.52	112.52
196-050-640-000	SFR	0.161	1.000	112.52	112.52

CITY OF LATHROP
CITY ZONE 1 - STORM DRAINAGE
FISCAL YEAR 2020/21
PARCEL LISTING

APN	Land Use	Acreage	Units	Rate	Levy ⁽¹⁾
196-050-660-000	SFR	0.148	1.000	112.52	112.52
196-050-680-000	SFR	0.144	1.000	112.52	112.52
196-050-690-000	SFR	1.548	1.548	112.52	174.18
196-050-700-000	SFR	0.185	1.000	112.52	112.52
196-050-710-000	SFR	0.193	1.000	112.52	112.52
196-060-010-000	SFR	0.217	1.000	112.52	112.52
196-060-020-000	SFR	0.217	1.000	112.52	112.52
196-060-030-000	SFR	0.217	1.000	112.52	112.52
196-060-040-000	SFR	0.176	1.000	112.52	112.52
196-060-050-000	SFR	0.165	1.000	112.52	112.52
196-070-010-000	COM	1.790	1.790	112.52	201.40
196-070-070-000	SFR	0.114	1.000	112.52	112.52
196-070-080-000	SFR	0.114	1.000	112.52	112.52
196-070-090-000	SFR	0.161	1.000	112.52	112.52
196-070-100-000	SFR	0.166	1.000	112.52	112.52
196-070-110-000	SFR	0.320	1.000	112.52	112.52
196-070-120-000	SFR	0.240	1.000	112.52	112.52
196-070-130-000	COM	0.060	1.000	112.52	112.52
196-070-140-000	COM	1.030	1.030	112.52	115.88
196-070-150-000	SFR	0.350	1.000	112.52	112.52
196-070-160-000	COM	0.172	1.000	112.52	112.52
196-070-170-000	COM	0.149	1.000	112.52	112.52
196-070-180-000	SFR	0.149	1.000	112.52	112.52
196-070-190-000	COM	0.172	1.000	112.52	112.52
196-070-200-000	SFR	0.688	1.000	112.52	112.52
196-070-210-000	COM	0.819	1.000	112.52	112.52
196-070-220-000	COM	3.000	3.000	112.52	337.56
196-070-230-000	COM	0.040	1.000	112.52	112.52
196-070-240-000	COM	0.980	1.000	112.52	112.52
196-070-250-000	COM	0.703	1.000	112.52	112.52
196-070-270-000	GVT ⁽²⁾	0.188	1.000	112.52	112.52
196-070-280-000	SFR	0.114	1.000	112.52	112.52
196-070-290-000	SFR	0.114	1.000	112.52	112.52
196-070-300-000	COM	1.628	1.628	112.52	183.18
196-080-010-000	SFR	0.159	1.000	112.52	112.52
196-080-020-000	SFR	0.265	1.000	112.52	112.52
196-080-030-000	SFR	0.449	1.000	112.52	112.52
196-080-040-000	SFR	1.120	1.120	112.52	126.02
196-080-050-000	SFR	1.170	1.170	112.52	131.64
196-080-070-000	COM	0.694	1.000	112.52	112.52
196-080-160-000	SFR	0.250	1.000	112.52	112.52
196-080-170-000	COM	0.250	1.000	112.52	112.52
196-080-180-000	SFR	0.247	1.000	112.52	112.52
196-080-190-000	SFR	0.252	1.000	112.52	112.52
196-080-210-000	SFR	1.000	1.000	112.52	112.52
196-080-220-000	SFR	0.500	1.000	112.52	112.52
196-080-230-000	SFR	0.500	1.000	112.52	112.52
196-080-240-000	SFR	1.000	1.000	112.52	112.52
196-080-260-000	SFR	1.500	1.500	112.52	168.78
196-080-270-000	SFR	0.500	1.000	112.52	112.52
196-080-280-000	SFR	0.318	1.000	112.52	112.52
196-080-290-000	COM	0.120	1.000	112.52	112.52
196-080-300-000	SFR	0.500	1.000	112.52	112.52

CITY OF LATHROP
CITY ZONE 1 - STORM DRAINAGE
FISCAL YEAR 2020/21
PARCEL LISTING

APN	Land Use	Acreage	Units	Rate	Levy ⁽¹⁾
196-080-310-000	MFR	1.000	1.000	112.52	112.52
196-080-320-000	SFR	1.000	1.000	112.52	112.52
196-080-330-000	SFR	0.247	1.000	112.52	112.52
196-080-340-000	SFR	0.250	1.000	112.52	112.52
196-080-350-000	SFR	0.500	1.000	112.52	112.52
196-080-360-000	SFR	1.000	1.000	112.52	112.52
196-080-380-000	SFR	1.000	1.000	112.52	112.52
196-080-390-000	SFR	1.080	1.080	112.52	121.52
196-080-400-000	SFR	1.000	1.000	112.52	112.52
196-080-410-000	SFR	1.000	1.000	112.52	112.52
196-080-420-000	SFR	0.484	1.000	112.52	112.52
196-080-430-000	MFR	0.515	1.000	112.52	112.52
196-080-440-000	SFR	1.000	1.000	112.52	112.52
196-080-450-000	SFR	0.248	1.000	112.52	112.52
196-080-460-000	SFR	0.251	1.000	112.52	112.52
196-080-470-000	SFR	0.234	1.000	112.52	112.52
196-080-480-000	SFR	0.263	1.000	112.52	112.52
196-080-490-000	SFR	0.286	1.000	112.52	112.52
196-080-500-000	MFR	0.287	1.000	112.52	112.52
196-080-510-000	MFR	0.298	1.000	112.52	112.52
196-080-520-000	SFR	0.941	1.000	112.52	112.52
196-080-530-000	SFR	0.500	1.000	112.52	112.52
196-080-540-000	SFR	0.500	1.000	112.52	112.52
196-080-550-000	MFR	0.500	1.000	112.52	112.52
196-080-560-000	MFR	0.492	1.000	112.52	112.52
196-080-570-000	MFR	0.473	1.000	112.52	112.52
196-080-580-000	MFR	0.479	1.000	112.52	112.52
196-080-590-000	SFR	0.480	1.000	112.52	112.52
196-080-600-000	SFR	0.348	1.000	112.52	112.52
196-080-610-000	MFR	0.500	1.000	112.52	112.52
196-080-620-000	SFR	0.333	1.000	112.52	112.52
196-080-630-000	SFR	0.151	1.000	112.52	112.52
196-080-640-000	MFR	0.500	1.000	112.52	112.52
196-080-650-000	SFR	0.458	1.000	112.52	112.52
196-080-660-000	SFR	1.033	1.033	112.52	116.22
196-080-670-000	SFR	0.151	1.000	112.52	112.52
196-080-680-000	SFR	0.169	1.000	112.52	112.52
196-080-690-000	SFR	0.180	1.000	112.52	112.52
196-080-700-000	COM	1.162	1.162	112.52	130.74
196-080-710-000	COM	0.860	1.000	112.52	112.52
196-080-720-000	SFR	0.250	1.000	112.52	112.52
196-080-730-000	SFR	0.750	1.000	112.52	112.52
196-080-770-000	COM	2.020	2.020	112.52	227.28
196-080-780-000	COM	0.559	1.000	112.52	112.52
196-080-790-000	COM	0.803	1.000	112.52	112.52
196-080-800-000	SFR	0.696	1.000	112.52	112.52
196-090-010-000	SFR	0.137	1.000	112.52	112.52
196-090-020-000	SFR	0.137	1.000	112.52	112.52
196-090-030-000	SFR	0.146	1.000	112.52	112.52
196-090-040-000	SFR	0.152	1.000	112.52	112.52
196-090-050-000	SFR	0.155	1.000	112.52	112.52
196-090-060-000	SFR	0.150	1.000	112.52	112.52
196-090-070-000	SFR	0.155	1.000	112.52	112.52

CITY OF LATHROP
CITY ZONE 1 - STORM DRAINAGE
FISCAL YEAR 2020/21
PARCEL LISTING

APN	Land Use	Acreage	Units	Rate	Levy⁽¹⁾
196-090-080-000	SFR	0.158	1.000	112.52	112.52
196-090-090-000	SFR	0.173	1.000	112.52	112.52
196-090-100-000	SFR	0.146	1.000	112.52	112.52
196-090-110-000	SFR	0.144	1.000	112.52	112.52
196-090-120-000	SFR	0.137	1.000	112.52	112.52
196-090-130-000	SFR	0.137	1.000	112.52	112.52
196-090-140-000	SFR	0.137	1.000	112.52	112.52
196-090-150-000	SFR	0.137	1.000	112.52	112.52
196-090-160-000	SFR	0.137	1.000	112.52	112.52
196-090-170-000	SFR	0.137	1.000	112.52	112.52
196-090-180-000	SFR	0.137	1.000	112.52	112.52
196-090-190-000	SFR	0.137	1.000	112.52	112.52
196-090-200-000	SFR	0.137	1.000	112.52	112.52
196-090-210-000	SFR	0.137	1.000	112.52	112.52
196-090-220-000	SFR	0.137	1.000	112.52	112.52
196-090-230-000	SFR	0.137	1.000	112.52	112.52
196-090-240-000	SFR	0.144	1.000	112.52	112.52
196-090-250-000	SFR	0.148	1.000	112.52	112.52
196-090-260-000	SFR	0.141	1.000	112.52	112.52
196-090-270-000	SFR	0.137	1.000	112.52	112.52
196-090-280-000	SFR	0.137	1.000	112.52	112.52
196-090-290-000	SFR	0.144	1.000	112.52	112.52
196-090-300-000	SFR	0.144	1.000	112.52	112.52
196-090-310-000	SFR	0.137	1.000	112.52	112.52
196-090-320-000	SFR	0.137	1.000	112.52	112.52
196-090-330-000	SFR	0.145	1.000	112.52	112.52
196-090-340-000	SFR	0.147	1.000	112.52	112.52
196-090-350-000	SFR	0.148	1.000	112.52	112.52
196-090-360-000	SFR	0.137	1.000	112.52	112.52
196-090-370-000	SFR	0.137	1.000	112.52	112.52
196-090-380-000	SFR	0.137	1.000	112.52	112.52
196-090-390-000	SFR	0.199	1.000	112.52	112.52
196-090-400-000	SFR	0.138	1.000	112.52	112.52
196-090-410-000	SFR	0.141	1.000	112.52	112.52
196-090-420-000	SFR	0.144	1.000	112.52	112.52
196-090-430-000	SFR	0.144	1.000	112.52	112.52
196-090-440-000	SFR	0.144	1.000	112.52	112.52
196-090-450-000	SFR	0.144	1.000	112.52	112.52
196-090-460-000	SFR	0.141	1.000	112.52	112.52
196-090-470-000	SFR	0.139	1.000	112.52	112.52
196-090-480-000	SFR	0.206	1.000	112.52	112.52
196-090-490-000	SFR	0.138	1.000	112.52	112.52
196-090-500-000	SFR	0.140	1.000	112.52	112.52
196-090-510-000	SFR	0.137	1.000	112.52	112.52
196-090-520-000	SFR	0.144	1.000	112.52	112.52
196-090-530-000	SFR	0.152	1.000	112.52	112.52
196-090-540-000	SFR	0.147	1.000	112.52	112.52
196-090-550-000	SFR	0.137	1.000	112.52	112.52
196-090-560-000	SFR	0.138	1.000	112.52	112.52
196-090-570-000	SFR	0.138	1.000	112.52	112.52
196-090-580-000	SFR	0.143	1.000	112.52	112.52
196-090-590-000	SFR	0.149	1.000	112.52	112.52
196-090-600-000	SFR	0.140	1.000	112.52	112.52

CITY OF LATHROP
CITY ZONE 1 - STORM DRAINAGE
FISCAL YEAR 2020/21
PARCEL LISTING

APN	Land Use	Acreage	Units	Rate	Levy ⁽¹⁾
196-090-610-000	SFR	0.140	1.000	112.52	112.52
196-090-620-000	SFR	0.140	1.000	112.52	112.52
196-090-630-000	SFR	0.140	1.000	112.52	112.52
196-090-640-000	SFR	0.140	1.000	112.52	112.52
196-090-650-000	SFR	0.140	1.000	112.52	112.52
196-090-660-000	SFR	0.140	1.000	112.52	112.52
196-090-670-000	SFR	0.142	1.000	112.52	112.52
196-090-680-000	SFR	0.142	1.000	112.52	112.52
196-090-690-000	SFR	0.137	1.000	112.52	112.52
196-090-700-000	SFR	0.137	1.000	112.52	112.52
196-090-710-000	SFR	0.139	1.000	112.52	112.52
196-090-720-000	SFR	0.139	1.000	112.52	112.52
196-090-730-000	SFR	0.137	1.000	112.52	112.52
196-090-740-000	SFR	0.137	1.000	112.52	112.52
196-090-750-000	SFR	0.137	1.000	112.52	112.52
196-090-760-000	SFR	0.137	1.000	112.52	112.52
196-090-770-000	SFR	0.137	1.000	112.52	112.52
196-090-780-000	SFR	0.137	1.000	112.52	112.52
196-090-790-000	SFR	0.137	1.000	112.52	112.52
196-090-800-000	SFR	0.137	1.000	112.52	112.52
196-090-810-000	SFR	0.137	1.000	112.52	112.52
196-090-820-000	SFR	0.137	1.000	112.52	112.52
196-090-830-000	SFR	0.137	1.000	112.52	112.52
196-090-840-000	SFR	0.140	1.000	112.52	112.52
196-090-850-000	SFR	0.137	1.000	112.52	112.52
196-090-860-000	SFR	0.137	1.000	112.52	112.52
196-090-870-000	SFR	0.144	1.000	112.52	112.52
196-090-880-000	SFR	0.159	1.000	112.52	112.52
196-090-890-000	SFR	0.155	1.000	112.52	112.52
196-100-010-000	SFR	0.158	1.000	112.52	112.52
196-100-020-000	SFR	0.149	1.000	112.52	112.52
196-100-030-000	SFR	0.149	1.000	112.52	112.52
196-100-040-000	SFR	0.151	1.000	112.52	112.52
196-100-050-000	SFR	0.164	1.000	112.52	112.52
196-100-060-000	SFR	0.157	1.000	112.52	112.52
196-100-070-000	SFR	0.148	1.000	112.52	112.52
196-100-080-000	SFR	0.157	1.000	112.52	112.52
196-100-090-000	SFR	0.166	1.000	112.52	112.52
196-100-100-000	SFR	0.222	1.000	112.52	112.52
196-100-110-000	SFR	0.185	1.000	112.52	112.52
196-100-120-000	SFR	0.182	1.000	112.52	112.52
196-100-130-000	SFR	0.149	1.000	112.52	112.52
196-100-140-000	SFR	0.149	1.000	112.52	112.52
196-100-150-000	SFR	0.149	1.000	112.52	112.52
196-100-160-000	SFR	0.149	1.000	112.52	112.52
196-100-170-000	SFR	0.149	1.000	112.52	112.52
196-100-180-000	SFR	0.193	1.000	112.52	112.52
196-100-190-000	SFR	0.150	1.000	112.52	112.52
196-100-200-000	SFR	0.151	1.000	112.52	112.52
196-100-210-000	SFR	0.149	1.000	112.52	112.52
196-100-220-000	SFR	0.197	1.000	112.52	112.52
196-100-230-000	SFR	0.177	1.000	112.52	112.52
196-100-240-000	SFR	0.154	1.000	112.52	112.52

CITY OF LATHROP
CITY ZONE 1 - STORM DRAINAGE
FISCAL YEAR 2020/21
PARCEL LISTING

APN	Land Use	Acreage	Units	Rate	Levy ⁽¹⁾
196-100-250-000	SFR	0.143	1.000	112.52	112.52
196-100-260-000	SFR	0.138	1.000	112.52	112.52
196-100-270-000	SFR	0.140	1.000	112.52	112.52
196-100-280-000	SFR	0.140	1.000	112.52	112.52
196-100-290-000	SFR	0.140	1.000	112.52	112.52
196-100-300-000	SFR	0.140	1.000	112.52	112.52
196-100-310-000	SFR	0.140	1.000	112.52	112.52
196-100-320-000	SFR	0.140	1.000	112.52	112.52
196-100-330-000	SFR	0.140	1.000	112.52	112.52
196-100-340-000	SFR	0.140	1.000	112.52	112.52
196-100-350-000	SFR	0.140	1.000	112.52	112.52
196-100-360-000	SFR	0.176	1.000	112.52	112.52
196-100-370-000	SFR	0.160	1.000	112.52	112.52
196-100-380-000	SFR	0.150	1.000	112.52	112.52
196-100-390-000	SFR	0.150	1.000	112.52	112.52
196-100-400-000	SFR	0.150	1.000	112.52	112.52
196-100-410-000	SFR	0.150	1.000	112.52	112.52
196-100-420-000	SFR	0.150	1.000	112.52	112.52
196-100-430-000	SFR	0.150	1.000	112.52	112.52
196-100-440-000	SFR	0.146	1.000	112.52	112.52
196-100-450-000	SFR	0.147	1.000	112.52	112.52
196-100-460-000	SFR	0.147	1.000	112.52	112.52
196-100-470-000	SFR	0.147	1.000	112.52	112.52
196-100-480-000	SFR	0.147	1.000	112.52	112.52
196-100-490-000	SFR	0.141	1.000	112.52	112.52
196-100-500-000	SFR	0.137	1.000	112.52	112.52
196-100-510-000	SFR	0.144	1.000	112.52	112.52
196-100-520-000	SFR	0.144	1.000	112.52	112.52
196-100-530-000	SFR	0.137	1.000	112.52	112.52
196-100-540-000	SFR	0.138	1.000	112.52	112.52
196-100-550-000	SFR	0.147	1.000	112.52	112.52
196-100-560-000	SFR	0.151	1.000	112.52	112.52
196-100-570-000	SFR	0.151	1.000	112.52	112.52
196-100-580-000	SFR	0.155	1.000	112.52	112.52
196-100-590-000	SFR	0.155	1.000	112.52	112.52
196-100-600-000	SFR	0.155	1.000	112.52	112.52
196-100-610-000	SFR	0.155	1.000	112.52	112.52
196-100-620-000	SFR	0.143	1.000	112.52	112.52
196-100-630-000	SFR	0.153	1.000	112.52	112.52
196-100-640-000	SFR	0.137	1.000	112.52	112.52
196-100-650-000	SFR	0.137	1.000	112.52	112.52
196-100-660-000	SFR	0.137	1.000	112.52	112.52
196-100-670-000	SFR	0.137	1.000	112.52	112.52
196-100-680-000	SFR	0.144	1.000	112.52	112.52
196-100-690-000	SFR	0.137	1.000	112.52	112.52
196-100-700-000	SFR	0.144	1.000	112.52	112.52
196-100-710-000	SFR	0.137	1.000	112.52	112.52
196-100-720-000	SFR	0.137	1.000	112.52	112.52
196-100-730-000	SFR	0.137	1.000	112.52	112.52
196-100-740-000	SFR	0.137	1.000	112.52	112.52
196-100-750-000	SFR	0.139	1.000	112.52	112.52
196-100-760-000	SFR	0.140	1.000	112.52	112.52
196-100-770-000	SFR	0.141	1.000	112.52	112.52

CITY OF LATHROP
CITY ZONE 1 - STORM DRAINAGE
FISCAL YEAR 2020/21
PARCEL LISTING

APN	Land Use	Acreage	Units	Rate	Levy⁽¹⁾
196-100-780-000	SFR	0.141	1.000	112.52	112.52
196-120-010-000	SFR	0.137	1.000	112.52	112.52
196-120-020-000	SFR	0.138	1.000	112.52	112.52
196-120-030-000	SFR	0.140	1.000	112.52	112.52
196-120-040-000	SFR	0.153	1.000	112.52	112.52
196-120-050-000	SFR	0.145	1.000	112.52	112.52
196-120-060-000	SFR	0.191	1.000	112.52	112.52
196-120-070-000	SFR	0.158	1.000	112.52	112.52
196-120-080-000	SFR	0.143	1.000	112.52	112.52
196-120-090-000	SFR	0.149	1.000	112.52	112.52
196-120-100-000	SFR	0.140	1.000	112.52	112.52
196-120-110-000	SFR	0.138	1.000	112.52	112.52
196-120-120-000	SFR	0.132	1.000	112.52	112.52
196-120-130-000	SFR	0.137	1.000	112.52	112.52
196-120-140-000	SFR	0.137	1.000	112.52	112.52
196-120-150-000	SFR	0.137	1.000	112.52	112.52
196-120-160-000	SFR	0.158	1.000	112.52	112.52
196-120-170-000	SFR	0.131	1.000	112.52	112.52
196-120-180-000	SFR	0.130	1.000	112.52	112.52
196-120-190-000	SFR	0.130	1.000	112.52	112.52
196-120-200-000	SFR	0.130	1.000	112.52	112.52
196-120-210-000	SFR	0.130	1.000	112.52	112.52
196-120-220-000	SFR	0.132	1.000	112.52	112.52
196-120-230-000	SFR	0.133	1.000	112.52	112.52
196-120-240-000	SFR	0.132	1.000	112.52	112.52
196-120-250-000	SFR	0.134	1.000	112.52	112.52
196-120-260-000	SFR	0.135	1.000	112.52	112.52
196-120-270-000	SFR	0.140	1.000	112.52	112.52
196-120-280-000	SFR	0.135	1.000	112.52	112.52
196-120-290-000	SFR	0.201	1.000	112.52	112.52
196-120-300-000	SFR	0.173	1.000	112.52	112.52
196-120-310-000	SFR	0.139	1.000	112.52	112.52
196-120-320-000	SFR	0.137	1.000	112.52	112.52
196-120-330-000	SFR	0.141	1.000	112.52	112.52
196-120-340-000	SFR	0.204	1.000	112.52	112.52
196-120-350-000	SFR	0.173	1.000	112.52	112.52
196-120-360-000	SFR	0.137	1.000	112.52	112.52
196-120-370-000	SFR	0.138	1.000	112.52	112.52
196-120-380-000	SFR	0.137	1.000	112.52	112.52
196-120-390-000	SFR	0.141	1.000	112.52	112.52
196-120-410-000	SFR	0.178	1.000	112.52	112.52
196-120-420-000	SFR	0.202	1.000	112.52	112.52
196-120-430-000	SFR	0.161	1.000	112.52	112.52
196-120-440-000	SFR	0.144	1.000	112.52	112.52
196-120-450-000	SFR	0.156	1.000	112.52	112.52
196-120-460-000	SFR	0.137	1.000	112.52	112.52
196-120-470-000	SFR	0.140	1.000	112.52	112.52
196-120-480-000	SFR	0.143	1.000	112.52	112.52
196-120-490-000	SFR	0.257	1.000	112.52	112.52
196-120-500-000	SFR	0.252	1.000	112.52	112.52
196-120-510-000	SFR	0.260	1.000	112.52	112.52
196-120-520-000	SFR	0.271	1.000	112.52	112.52
196-120-530-000	SFR	0.269	1.000	112.52	112.52

CITY OF LATHROP
CITY ZONE 1 - STORM DRAINAGE
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APN	Land Use	Acreage	Units	Rate	Levy⁽¹⁾
196-120-540-000	SFR	0.149	1.000	112.52	112.52
196-120-550-000	SFR	0.170	1.000	112.52	112.52
196-120-560-000	SFR	0.166	1.000	112.52	112.52
196-120-570-000	SFR	0.206	1.000	112.52	112.52
196-120-580-000	SFR	0.245	1.000	112.52	112.52
196-120-590-000	SFR	0.163	1.000	112.52	112.52
196-120-600-000	SFR	0.139	1.000	112.52	112.52
196-120-610-000	SFR	0.164	1.000	112.52	112.52
196-120-620-000	SFR	0.147	1.000	112.52	112.52
196-120-630-000	SFR	0.141	1.000	112.52	112.52
196-120-640-000	SFR	0.140	1.000	112.52	112.52
196-120-650-000	SFR	0.250	1.000	112.52	112.52
196-120-660-000	SFR	0.249	1.000	112.52	112.52
196-120-670-000	SFR	0.219	1.000	112.52	112.52
196-130-010-000	COM	0.723	1.000	112.52	112.52
196-130-020-000	COM	1.192	1.192	112.52	134.12
196-130-030-000	SFR	0.278	1.000	112.52	112.52
196-130-040-000	SFR	0.173	1.000	112.52	112.52
196-130-050-000	SFR	0.173	1.000	112.52	112.52
196-130-060-000	SFR	0.173	1.000	112.52	112.52
196-130-070-000	SFR	0.173	1.000	112.52	112.52
196-130-080-000	SFR	0.188	1.000	112.52	112.52
196-130-090-000	SFR	0.188	1.000	112.52	112.52
196-130-100-000	SFR	0.139	1.000	112.52	112.52
196-130-110-000	SFR	0.144	1.000	112.52	112.52
196-130-120-000	SFR	0.137	1.000	112.52	112.52
196-130-130-000	SFR	0.137	1.000	112.52	112.52
196-130-140-000	SFR	0.137	1.000	112.52	112.52
196-130-150-000	SFR	0.137	1.000	112.52	112.52
196-130-160-000	SFR	0.137	1.000	112.52	112.52
196-130-170-000	SFR	0.137	1.000	112.52	112.52
196-130-180-000	SFR	0.137	1.000	112.52	112.52
196-130-190-000	SFR	0.137	1.000	112.52	112.52
196-130-200-000	SFR	0.137	1.000	112.52	112.52
196-130-210-000	SFR	0.137	1.000	112.52	112.52
196-130-220-000	SFR	0.137	1.000	112.52	112.52
196-130-230-000	SFR	0.137	1.000	112.52	112.52
196-130-240-000	SFR	0.137	1.000	112.52	112.52
196-130-250-000	SFR	0.189	1.000	112.52	112.52
196-130-260-000	SFR	0.141	1.000	112.52	112.52
196-130-270-000	SFR	0.147	1.000	112.52	112.52
196-130-280-000	SFR	0.153	1.000	112.52	112.52
196-130-290-000	SFR	0.146	1.000	112.52	112.52
196-130-300-000	SFR	0.130	1.000	112.52	112.52
196-130-310-000	SFR	0.171	1.000	112.52	112.52
196-130-320-000	SFR	0.139	1.000	112.52	112.52
196-130-330-000	SFR	0.164	1.000	112.52	112.52
196-130-340-000	SFR	0.142	1.000	112.52	112.52
196-130-350-000	SFR	0.138	1.000	112.52	112.52
196-130-360-000	SFR	0.139	1.000	112.52	112.52
196-130-370-000	SFR	0.140	1.000	112.52	112.52
196-130-380-000	SFR	0.137	1.000	112.52	112.52
196-130-390-000	SFR	0.137	1.000	112.52	112.52

CITY OF LATHROP
CITY ZONE 1 - STORM DRAINAGE
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APN	Land Use	Acreage	Units	Rate	Levy⁽¹⁾
196-130-430-000	SFR	0.170	1.000	112.52	112.52
196-130-440-000	SFR	0.151	1.000	112.52	112.52
196-130-450-000	SFR	0.174	1.000	112.52	112.52
196-130-480-000	SFR	0.231	1.000	112.52	112.52
196-130-490-000	SFR	0.309	1.000	112.52	112.52
196-130-500-000	SFR	0.179	1.000	112.52	112.52
196-130-510-000	SFR	0.169	1.000	112.52	112.52
196-130-520-000	SFR	0.150	1.000	112.52	112.52
196-130-530-000	SFR	0.151	1.000	112.52	112.52
196-130-540-000	SFR	0.174	1.000	112.52	112.52
196-130-550-000	SFR	0.182	1.000	112.52	112.52
196-130-560-000	SFR	0.328	1.000	112.52	112.52
196-130-570-000	SFR	0.252	1.000	112.52	112.52
196-130-580-000	SFR	0.275	1.000	112.52	112.52
196-130-590-000	SFR	0.174	1.000	112.52	112.52
196-130-600-000	SFR	0.157	1.000	112.52	112.52
196-130-610-000	SFR	0.137	1.000	112.52	112.52
196-130-620-000	SFR	0.137	1.000	112.52	112.52
196-130-630-000	SFR	0.151	1.000	112.52	112.52
196-130-640-000	SFR	0.148	1.000	112.52	112.52
196-130-650-000	SFR	0.152	1.000	112.52	112.52
196-130-660-000	SFR	0.160	1.000	112.52	112.52
196-140-040-000	SFR	0.146	1.000	112.52	112.52
196-140-050-000	SFR	0.139	1.000	112.52	112.52
196-140-060-000	SFR	0.194	1.000	112.52	112.52
196-140-070-000	SFR	0.184	1.000	112.52	112.52
196-140-080-000	SFR	0.200	1.000	112.52	112.52
196-140-090-000	SFR	0.148	1.000	112.52	112.52
196-140-100-000	SFR	0.139	1.000	112.52	112.52
196-140-110-000	SFR	0.138	1.000	112.52	112.52
196-140-120-000	SFR	0.138	1.000	112.52	112.52
196-140-130-000	SFR	0.138	1.000	112.52	112.52
196-140-140-000	SFR	0.203	1.000	112.52	112.52
196-140-150-000	SFR	0.212	1.000	112.52	112.52
196-140-170-000	SFR	0.232	1.000	112.52	112.52
196-140-180-000	SFR	0.160	1.000	112.52	112.52
196-140-200-000	SFR	0.249	1.000	112.52	112.52
196-140-210-000	SFR	0.180	1.000	112.52	112.52
196-140-220-000	SFR	0.144	1.000	112.52	112.52
196-140-230-000	SFR	0.144	1.000	112.52	112.52
196-140-240-000	SFR	0.145	1.000	112.52	112.52
196-140-250-000	SFR	0.185	1.000	112.52	112.52
196-140-260-000	SFR	0.185	1.000	112.52	112.52
196-140-280-000	SFR	0.272	1.000	112.52	112.52
196-140-290-000	SFR	0.192	1.000	112.52	112.52
196-140-300-000	SFR	0.174	1.000	112.52	112.52
196-140-310-000	SFR	0.201	1.000	112.52	112.52
196-140-320-000	SFR	0.141	1.000	112.52	112.52
196-140-330-000	SFR	0.143	1.000	112.52	112.52
196-140-340-000	SFR	0.262	1.000	112.52	112.52
196-140-350-000	SFR	0.137	1.000	112.52	112.52
196-140-360-000	SFR	0.137	1.000	112.52	112.52
196-140-370-000	SFR	0.137	1.000	112.52	112.52

CITY OF LATHROP
CITY ZONE 1 - STORM DRAINAGE
FISCAL YEAR 2020/21
PARCEL LISTING

APN	Land Use	Acreage	Units	Rate	Levy⁽¹⁾
196-140-380-000	SFR	0.137	1.000	112.52	112.52
196-140-390-000	SFR	0.137	1.000	112.52	112.52
196-140-400-000	SFR	0.146	1.000	112.52	112.52
196-140-410-000	SFR	0.154	1.000	112.52	112.52
196-140-420-000	SFR	0.137	1.000	112.52	112.52
196-140-430-000	SFR	0.137	1.000	112.52	112.52
196-140-440-000	SFR	0.137	1.000	112.52	112.52
196-140-450-000	SFR	0.137	1.000	112.52	112.52
196-140-460-000	SFR	0.137	1.000	112.52	112.52
196-140-470-000	SFR	0.137	1.000	112.52	112.52
196-140-480-000	SFR	0.143	1.000	112.52	112.52
196-140-490-000	SFR	0.139	1.000	112.52	112.52
196-140-500-000	SFR	0.150	1.000	112.52	112.52
196-140-510-000	SFR	0.143	1.000	112.52	112.52
196-140-520-000	SFR	0.143	1.000	112.52	112.52
196-140-530-000	SFR	0.143	1.000	112.52	112.52
196-140-540-000	SFR	0.143	1.000	112.52	112.52
196-140-550-000	SFR	0.143	1.000	112.52	112.52
196-140-560-000	SFR	0.144	1.000	112.52	112.52
196-140-570-000	SFR	0.158	1.000	112.52	112.52
196-140-580-000	SFR	0.156	1.000	112.52	112.52
196-140-590-000	SFR	0.154	1.000	112.52	112.52
196-140-600-000	SFR	0.193	1.000	112.52	112.52
196-140-610-000	SFR	0.180	1.000	112.52	112.52
196-150-010-000	SFR	0.182	1.000	112.52	112.52
196-150-020-000	SFR	0.162	1.000	112.52	112.52
196-150-030-000	SFR	0.162	1.000	112.52	112.52
196-150-040-000	SFR	0.162	1.000	112.52	112.52
196-150-050-000	SFR	0.162	1.000	112.52	112.52
196-150-060-000	SFR	0.162	1.000	112.52	112.52
196-150-070-000	SFR	0.183	1.000	112.52	112.52
196-150-080-000	SFR	0.203	1.000	112.52	112.52
196-150-090-000	SFR	0.170	1.000	112.52	112.52
196-150-100-000	SFR	0.170	1.000	112.52	112.52
196-150-110-000	SFR	0.170	1.000	112.52	112.52
196-150-120-000	SFR	0.167	1.000	112.52	112.52
196-150-130-000	SFR	0.199	1.000	112.52	112.52
196-150-140-000	SFR	0.236	1.000	112.52	112.52
196-150-150-000	SFR	0.228	1.000	112.52	112.52
196-150-160-000	SFR	0.168	1.000	112.52	112.52
196-150-170-000	SFR	0.150	1.000	112.52	112.52
196-150-180-000	SFR	0.153	1.000	112.52	112.52
196-150-190-000	SFR	0.153	1.000	112.52	112.52
196-150-200-000	SFR	0.153	1.000	112.52	112.52
196-150-210-000	SFR	0.179	1.000	112.52	112.52
196-150-220-000	SFR	0.182	1.000	112.52	112.52
196-150-230-000	SFR	0.153	1.000	112.52	112.52
196-150-240-000	SFR	0.153	1.000	112.52	112.52
196-150-250-000	SFR	0.153	1.000	112.52	112.52
196-150-260-000	SFR	0.149	1.000	112.52	112.52
196-150-270-000	SFR	0.167	1.000	112.52	112.52
196-150-280-000	SFR	0.227	1.000	112.52	112.52
196-150-290-000	SFR	0.222	1.000	112.52	112.52

CITY OF LATHROP
CITY ZONE 1 - STORM DRAINAGE
FISCAL YEAR 2020/21
PARCEL LISTING

APN	Land Use	Acreage	Units	Rate	Levy ⁽¹⁾
196-150-300-000	SFR	0.173	1.000	112.52	112.52
196-150-310-000	SFR	0.151	1.000	112.52	112.52
196-150-320-000	SFR	0.153	1.000	112.52	112.52
196-150-330-000	SFR	0.153	1.000	112.52	112.52
196-150-340-000	SFR	0.153	1.000	112.52	112.52
196-150-350-000	SFR	0.179	1.000	112.52	112.52
196-150-360-000	SFR	0.138	1.000	112.52	112.52
196-150-370-000	SFR	0.138	1.000	112.52	112.52
196-150-380-000	SFR	0.130	1.000	112.52	112.52
196-150-390-000	SFR	0.138	1.000	112.52	112.52
196-150-400-000	SFR	0.140	1.000	112.52	112.52
196-150-410-000	SFR	0.137	1.000	112.52	112.52
196-150-420-000	SFR	0.139	1.000	112.52	112.52
196-150-430-000	SFR	0.140	1.000	112.52	112.52
196-150-440-000	SFR	0.140	1.000	112.52	112.52
196-150-450-000	SFR	0.140	1.000	112.52	112.52
196-150-460-000	SFR	0.139	1.000	112.52	112.52
196-150-470-000	SFR	0.137	1.000	112.52	112.52
196-150-480-000	SFR	0.137	1.000	112.52	112.52
196-150-490-000	SFR	0.137	1.000	112.52	112.52
196-150-500-000	SFR	0.137	1.000	112.52	112.52
196-150-510-000	SFR	0.137	1.000	112.52	112.52
196-150-520-000	SFR	0.137	1.000	112.52	112.52
196-150-530-000	SFR	0.137	1.000	112.52	112.52
196-150-540-000	SFR	0.137	1.000	112.52	112.52
196-150-550-000	SFR	0.137	1.000	112.52	112.52
196-150-560-000	SFR	0.178	1.000	112.52	112.52
196-150-570-000	SFR	0.172	1.000	112.52	112.52
196-150-580-000	SFR	0.187	1.000	112.52	112.52
196-150-590-000	SFR	0.197	1.000	112.52	112.52
196-150-600-000	SFR	0.139	1.000	112.52	112.52
196-150-610-000	SFR	0.137	1.000	112.52	112.52
196-150-620-000	SFR	0.137	1.000	112.52	112.52
196-150-630-000	SFR	0.137	1.000	112.52	112.52
196-150-640-000	SFR	0.137	1.000	112.52	112.52
196-150-650-000	SFR	0.137	1.000	112.52	112.52
196-150-660-000	SFR	0.137	1.000	112.52	112.52
196-150-670-000	SFR	0.137	1.000	112.52	112.52
196-150-680-000	SFR	0.137	1.000	112.52	112.52
196-150-690-000	SFR	0.137	1.000	112.52	112.52
196-150-700-000	SFR	0.137	1.000	112.52	112.52
196-150-710-000	SFR	0.137	1.000	112.52	112.52
196-150-720-000	SFR	0.137	1.000	112.52	112.52
196-150-730-000	SFR	0.138	1.000	112.52	112.52
196-150-740-000	SFR	0.172	1.000	112.52	112.52
196-150-750-000	SFR	0.252	1.000	112.52	112.52
196-150-760-000	SFR	0.172	1.000	112.52	112.52
196-150-770-000	SFR	0.147	1.000	112.52	112.52
196-150-780-000	SFR	0.156	1.000	112.52	112.52
196-150-790-000	SFR	0.144	1.000	112.52	112.52
196-150-800-000	SFR	0.163	1.000	112.52	112.52
196-150-810-000	SFR	0.301	1.000	112.52	112.52
196-160-010-000	SFR	0.173	1.000	112.52	112.52

CITY OF LATHROP
CITY ZONE 1 - STORM DRAINAGE
FISCAL YEAR 2020/21
PARCEL LISTING

APN	Land Use	Acreage	Units	Rate	Levy ⁽¹⁾
196-160-020-000	SFR	0.155	1.000	112.52	112.52
196-160-030-000	SFR	0.172	1.000	112.52	112.52
196-160-040-000	SFR	0.182	1.000	112.52	112.52
196-160-050-000	SFR	0.294	1.000	112.52	112.52
196-160-060-000	SFR	0.178	1.000	112.52	112.52
196-160-070-000	SFR	0.150	1.000	112.52	112.52
196-160-080-000	SFR	0.151	1.000	112.52	112.52
196-160-090-000	SFR	0.151	1.000	112.52	112.52
196-160-100-000	SFR	0.151	1.000	112.52	112.52
196-160-110-000	SFR	0.151	1.000	112.52	112.52
196-160-120-000	SFR	0.151	1.000	112.52	112.52
196-160-130-000	SFR	0.151	1.000	112.52	112.52
196-160-140-000	SFR	0.151	1.000	112.52	112.52
196-160-150-000	SFR	0.151	1.000	112.52	112.52
196-160-160-000	SFR	0.151	1.000	112.52	112.52
196-160-170-000	SFR	0.151	1.000	112.52	112.52
196-160-180-000	SFR	0.151	1.000	112.52	112.52
196-160-190-000	SFR	0.151	1.000	112.52	112.52
196-160-200-000	SFR	0.151	1.000	112.52	112.52
196-160-210-000	SFR	0.174	1.000	112.52	112.52
196-160-250-000	SFR	0.154	1.000	112.52	112.52
196-160-260-000	SFR	0.154	1.000	112.52	112.52
196-160-270-000	SFR	0.154	1.000	112.52	112.52
196-160-280-000	SFR	0.154	1.000	112.52	112.52
196-160-290-000	SFR	0.154	1.000	112.52	112.52
196-160-300-000	SFR	0.154	1.000	112.52	112.52
196-160-310-000	SFR	0.154	1.000	112.52	112.52
196-160-320-000	SFR	0.154	1.000	112.52	112.52
196-160-330-000	SFR	0.154	1.000	112.52	112.52
196-160-340-000	SFR	0.154	1.000	112.52	112.52
196-160-350-000	SFR	0.154	1.000	112.52	112.52
196-160-360-000	SFR	0.177	1.000	112.52	112.52
196-160-370-000	SFR	0.179	1.000	112.52	112.52
196-160-380-000	SFR	0.154	1.000	112.52	112.52
196-160-390-000	SFR	0.153	1.000	112.52	112.52
196-160-400-000	SFR	0.152	1.000	112.52	112.52
196-160-410-000	SFR	0.151	1.000	112.52	112.52
196-160-420-000	SFR	0.150	1.000	112.52	112.52
196-160-430-000	SFR	0.149	1.000	112.52	112.52
196-160-440-000	SFR	0.149	1.000	112.52	112.52
196-160-450-000	SFR	0.154	1.000	112.52	112.52
196-160-460-000	SFR	0.160	1.000	112.52	112.52
196-160-470-000	SFR	0.163	1.000	112.52	112.52
196-160-480-000	SFR	0.163	1.000	112.52	112.52
196-160-520-000	SFR	0.194	1.000	112.52	112.52
196-160-530-000	SFR	0.150	1.000	112.52	112.52
196-160-540-000	SFR	0.152	1.000	112.52	112.52
196-160-550-000	SFR	0.155	1.000	112.52	112.52
196-160-560-000	SFR	0.158	1.000	112.52	112.52
196-160-570-000	SFR	0.162	1.000	112.52	112.52
196-160-580-000	SFR	0.148	1.000	112.52	112.52
196-160-590-000	SFR	0.138	1.000	112.52	112.52
196-160-600-000	SFR	0.138	1.000	112.52	112.52

CITY OF LATHROP
CITY ZONE 1 - STORM DRAINAGE
FISCAL YEAR 2020/21
PARCEL LISTING

APN	Land Use	Acreage	Units	Rate	Levy⁽¹⁾
196-160-610-000	SFR	0.200	1.000	112.52	112.52
196-160-620-000	SFR	0.143	1.000	112.52	112.52
196-160-630-000	SFR	0.209	1.000	112.52	112.52
196-160-640-000	SFR	0.145	1.000	112.52	112.52
196-160-650-000	SFR	0.151	1.000	112.52	112.52
196-160-660-000	SFR	0.151	1.000	112.52	112.52
196-160-670-000	SFR	0.156	1.000	112.52	112.52
196-160-680-000	SFR	0.143	1.000	112.52	112.52
196-160-690-000	SFR	0.137	1.000	112.52	112.52
196-160-700-000	SFR	0.198	1.000	112.52	112.52
196-160-710-000	SFR	0.143	1.000	112.52	112.52
196-160-720-000	SFR	0.211	1.000	112.52	112.52
196-160-730-000	SFR	0.142	1.000	112.52	112.52
196-160-740-000	SFR	0.145	1.000	112.52	112.52
196-160-750-000	SFR	0.144	1.000	112.52	112.52
196-190-010-000	SFR	0.137	1.000	112.52	112.52
196-190-020-000	SFR	0.137	1.000	112.52	112.52
196-190-030-000	SFR	0.137	1.000	112.52	112.52
196-190-040-000	SFR	0.137	1.000	112.52	112.52
196-190-050-000	SFR	0.137	1.000	112.52	112.52
196-190-060-000	SFR	0.137	1.000	112.52	112.52
196-190-070-000	SFR	0.137	1.000	112.52	112.52
196-190-080-000	SFR	0.152	1.000	112.52	112.52
196-190-090-000	SFR	0.139	1.000	112.52	112.52
196-190-100-000	SFR	0.139	1.000	112.52	112.52
196-190-110-000	SFR	0.139	1.000	112.52	112.52
196-190-120-000	SFR	0.139	1.000	112.52	112.52
196-190-130-000	SFR	0.139	1.000	112.52	112.52
196-190-140-000	SFR	0.139	1.000	112.52	112.52
196-190-150-000	SFR	0.139	1.000	112.52	112.52
196-190-160-000	SFR	0.139	1.000	112.52	112.52
196-190-170-000	SFR	0.139	1.000	112.52	112.52
196-190-180-000	SFR	0.139	1.000	112.52	112.52
196-190-190-000	SFR	0.139	1.000	112.52	112.52
196-190-200-000	SFR	0.139	1.000	112.52	112.52
196-190-210-000	SFR	0.139	1.000	112.52	112.52
196-190-220-000	SFR	0.158	1.000	112.52	112.52
196-190-230-000	SFR	0.146	1.000	112.52	112.52
196-190-240-000	SFR	0.139	1.000	112.52	112.52
196-190-250-000	SFR	0.139	1.000	112.52	112.52
196-190-260-000	SFR	0.140	1.000	112.52	112.52
196-190-270-000	SFR	0.138	1.000	112.52	112.52
196-190-280-000	SFR	0.139	1.000	112.52	112.52
196-190-290-000	SFR	0.137	1.000	112.52	112.52
196-190-300-000	SFR	0.137	1.000	112.52	112.52
196-190-310-000	SFR	0.137	1.000	112.52	112.52
196-190-320-000	SFR	0.137	1.000	112.52	112.52
196-190-330-000	SFR	0.156	1.000	112.52	112.52
196-190-340-000	SFR	0.137	1.000	112.52	112.52
196-190-350-000	SFR	0.156	1.000	112.52	112.52
196-190-360-000	SFR	0.148	1.000	112.52	112.52
196-190-370-000	SFR	0.144	1.000	112.52	112.52
196-190-380-000	SFR	0.144	1.000	112.52	112.52

CITY OF LATHROP
CITY ZONE 1 - STORM DRAINAGE
FISCAL YEAR 2020/21
PARCEL LISTING

APN	Land Use	Acreage	Units	Rate	Levy⁽¹⁾
196-190-390-000	SFR	0.144	1.000	112.52	112.52
196-190-400-000	SFR	0.144	1.000	112.52	112.52
196-190-410-000	SFR	0.147	1.000	112.52	112.52
196-190-420-000	SFR	0.151	1.000	112.52	112.52
196-190-430-000	SFR	0.190	1.000	112.52	112.52
196-190-440-000	SFR	0.213	1.000	112.52	112.52
196-190-450-000	SFR	0.140	1.000	112.52	112.52
196-190-460-000	SFR	0.137	1.000	112.52	112.52
196-190-470-000	SFR	0.137	1.000	112.52	112.52
196-190-480-000	SFR	0.137	1.000	112.52	112.52
196-190-490-000	SFR	0.137	1.000	112.52	112.52
196-190-500-000	SFR	0.137	1.000	112.52	112.52
196-190-510-000	SFR	0.156	1.000	112.52	112.52
196-190-520-000	SFR	0.137	1.000	112.52	112.52
196-190-530-000	SFR	0.137	1.000	112.52	112.52
196-190-540-000	SFR	0.137	1.000	112.52	112.52
196-190-550-000	SFR	0.137	1.000	112.52	112.52
196-190-560-000	SFR	0.137	1.000	112.52	112.52
196-190-570-000	SFR	0.137	1.000	112.52	112.52
196-190-580-000	SFR	0.137	1.000	112.52	112.52
196-190-590-000	SFR	0.160	1.000	112.52	112.52
196-190-600-000	SFR	0.176	1.000	112.52	112.52
196-190-610-000	SFR	0.179	1.000	112.52	112.52
196-190-620-000	SFR	0.182	1.000	112.52	112.52
196-190-630-000	SFR	0.161	1.000	112.52	112.52
196-190-640-000	SFR	0.140	1.000	112.52	112.52
196-190-650-000	SFR	0.140	1.000	112.52	112.52
196-190-660-000	SFR	0.158	1.000	112.52	112.52
196-190-670-000	SFR	0.180	1.000	112.52	112.52
196-190-680-000	SFR	0.154	1.000	112.52	112.52
196-190-690-000	SFR	0.206	1.000	112.52	112.52
196-190-700-000	SFR	0.213	1.000	112.52	112.52
196-190-710-000	SFR	0.159	1.000	112.52	112.52
196-190-720-000	SFR	0.182	1.000	112.52	112.52
196-190-730-000	SFR	0.156	1.000	112.52	112.52
196-190-740-000	SFR	0.138	1.000	112.52	112.52
196-190-750-000	SFR	0.191	1.000	112.52	112.52
196-190-760-000	SFR	0.164	1.000	112.52	112.52
196-190-770-000	SFR	0.164	1.000	112.52	112.52
196-190-780-000	SFR	0.164	1.000	112.52	112.52
196-190-810-000	COM	3.770	3.770	112.52	424.20
196-190-820-000	COM	0.675	1.000	112.52	112.52
196-190-830-000	COM	0.732	1.000	112.52	112.52
196-200-010-000	SFR	0.159	1.000	112.52	112.52
196-200-020-000	SFR	0.137	1.000	112.52	112.52
196-200-030-000	SFR	0.137	1.000	112.52	112.52
196-200-040-000	SFR	0.137	1.000	112.52	112.52
196-200-050-000	SFR	0.137	1.000	112.52	112.52
196-200-060-000	SFR	0.137	1.000	112.52	112.52
196-200-070-000	SFR	0.158	1.000	112.52	112.52
196-200-080-000	SFR	0.174	1.000	112.52	112.52
196-200-090-000	SFR	0.334	1.000	112.52	112.52
196-200-100-000	SFR	0.228	1.000	112.52	112.52

CITY OF LATHROP
CITY ZONE 1 - STORM DRAINAGE
FISCAL YEAR 2020/21
PARCEL LISTING

APN	Land Use	Acreage	Units	Rate	Levy ⁽¹⁾
196-200-110-000	SFR	0.181	1.000	112.52	112.52
196-200-120-000	SFR	0.168	1.000	112.52	112.52
196-200-130-000	SFR	0.137	1.000	112.52	112.52
196-200-140-000	SFR	0.137	1.000	112.52	112.52
196-200-150-000	SFR	0.137	1.000	112.52	112.52
196-200-160-000	SFR	0.137	1.000	112.52	112.52
196-200-170-000	SFR	0.137	1.000	112.52	112.52
196-200-180-000	SFR	0.141	1.000	112.52	112.52
196-200-190-000	SFR	0.155	1.000	112.52	112.52
196-200-200-000	SFR	0.181	1.000	112.52	112.52
196-200-210-000	SFR	0.154	1.000	112.52	112.52
196-200-220-000	SFR	0.192	1.000	112.52	112.52
196-200-230-000	SFR	0.153	1.000	112.52	112.52
196-200-240-000	SFR	0.137	1.000	112.52	112.52
196-200-250-000	SFR	0.137	1.000	112.52	112.52
196-200-260-000	SFR	0.137	1.000	112.52	112.52
196-200-270-000	SFR	0.137	1.000	112.52	112.52
196-200-280-000	SFR	0.137	1.000	112.52	112.52
196-200-290-000	SFR	0.137	1.000	112.52	112.52
196-200-300-000	SFR	0.137	1.000	112.52	112.52
196-200-310-000	SFR	0.137	1.000	112.52	112.52
196-200-320-000	SFR	0.137	1.000	112.52	112.52
196-200-330-000	SFR	0.137	1.000	112.52	112.52
196-200-340-000	SFR	0.158	1.000	112.52	112.52
196-200-350-000	SFR	0.142	1.000	112.52	112.52
196-200-360-000	SFR	0.165	1.000	112.52	112.52
196-200-370-000	SFR	0.141	1.000	112.52	112.52
196-200-380-000	SFR	0.141	1.000	112.52	112.52
196-200-390-000	SFR	0.141	1.000	112.52	112.52
196-200-400-000	SFR	0.141	1.000	112.52	112.52
196-200-410-000	SFR	0.141	1.000	112.52	112.52
196-200-420-000	SFR	0.141	1.000	112.52	112.52
196-200-430-000	SFR	0.141	1.000	112.52	112.52
196-200-440-000	SFR	0.141	1.000	112.52	112.52
196-200-450-000	SFR	0.141	1.000	112.52	112.52
196-200-460-000	SFR	0.141	1.000	112.52	112.52
196-200-470-000	SFR	0.185	1.000	112.52	112.52
196-200-480-000	SFR	0.155	1.000	112.52	112.52
196-200-490-000	SFR	0.137	1.000	112.52	112.52
196-200-500-000	SFR	0.137	1.000	112.52	112.52
196-200-510-000	SFR	0.137	1.000	112.52	112.52
196-200-520-000	SFR	0.137	1.000	112.52	112.52
196-200-530-000	SFR	0.137	1.000	112.52	112.52
196-200-540-000	SFR	0.137	1.000	112.52	112.52
196-200-550-000	SFR	0.137	1.000	112.52	112.52
196-200-560-000	SFR	0.137	1.000	112.52	112.52
196-200-570-000	SFR	0.137	1.000	112.52	112.52
196-200-580-000	SFR	0.137	1.000	112.52	112.52
196-200-590-000	SFR	0.137	1.000	112.52	112.52
196-200-600-000	SFR	0.152	1.000	112.52	112.52
196-200-610-000	SFR	0.137	1.000	112.52	112.52
196-200-620-000	SFR	0.159	1.000	112.52	112.52
196-200-630-000	SFR	0.137	1.000	112.52	112.52

**CITY OF LATHROP
CITY ZONE 1 - STORM DRAINAGE
FISCAL YEAR 2020/21
PARCEL LISTING**

APN	Land Use	Acreage	Units	Rate	Levy⁽¹⁾
196-200-640-000	SFR	0.137	1.000	112.52	112.52
196-200-650-000	SFR	0.137	1.000	112.52	112.52
196-200-660-000	SFR	0.137	1.000	112.52	112.52
196-200-670-000	SFR	0.137	1.000	112.52	112.52
196-200-680-000	SFR	0.137	1.000	112.52	112.52
196-200-690-000	SFR	0.137	1.000	112.52	112.52
196-200-700-000	SFR	0.137	1.000	112.52	112.52
196-200-710-000	SFR	0.137	1.000	112.52	112.52
196-200-720-000	SFR	0.137	1.000	112.52	112.52
196-200-730-000	SFR	0.137	1.000	112.52	112.52
196-200-740-000	SFR	0.148	1.000	112.52	112.52
196-200-790-000	COM	2.230	2.230	112.52	250.90
196-210-010-000	SFR	0.137	1.000	112.52	112.52
196-210-020-000	SFR	0.137	1.000	112.52	112.52
196-210-030-000	SFR	0.137	1.000	112.52	112.52
196-210-040-000	SFR	0.137	1.000	112.52	112.52
196-210-050-000	SFR	0.137	1.000	112.52	112.52
196-210-060-000	SFR	0.140	1.000	112.52	112.52
196-210-070-000	SFR	0.161	1.000	112.52	112.52
196-210-080-000	SFR	0.181	1.000	112.52	112.52
196-210-090-000	SFR	0.135	1.000	112.52	112.52
196-210-100-000	SFR	0.144	1.000	112.52	112.52
196-210-110-000	SFR	0.145	1.000	112.52	112.52
196-210-120-000	SFR	0.148	1.000	112.52	112.52
196-210-130-000	SFR	0.147	1.000	112.52	112.52
196-210-140-000	SFR	0.180	1.000	112.52	112.52
196-210-150-000	SFR	0.165	1.000	112.52	112.52
196-210-160-000	SFR	0.150	1.000	112.52	112.52
196-210-170-000	SFR	0.142	1.000	112.52	112.52
196-210-180-000	SFR	0.144	1.000	112.52	112.52
196-210-190-000	SFR	0.138	1.000	112.52	112.52
196-210-200-000	SFR	0.171	1.000	112.52	112.52
196-210-210-000	SFR	0.161	1.000	112.52	112.52
196-210-220-000	SFR	0.157	1.000	112.52	112.52
196-210-230-000	SFR	0.152	1.000	112.52	112.52
196-210-240-000	SFR	0.144	1.000	112.52	112.52
196-210-250-000	SFR	0.146	1.000	112.52	112.52
196-210-260-000	SFR	0.149	1.000	112.52	112.52
196-210-270-000	SFR	0.142	1.000	112.52	112.52
196-210-280-000	SFR	0.146	1.000	112.52	112.52
196-210-290-000	SFR	0.151	1.000	112.52	112.52
196-210-300-000	SFR	0.156	1.000	112.52	112.52
196-210-310-000	SFR	0.159	1.000	112.52	112.52
196-220-010-000	SFR	0.137	1.000	112.52	112.52
196-220-020-000	SFR	0.137	1.000	112.52	112.52
196-220-030-000	SFR	0.137	1.000	112.52	112.52
196-220-040-000	SFR	0.137	1.000	112.52	112.52
196-220-050-000	SFR	0.137	1.000	112.52	112.52
196-220-060-000	SFR	0.137	1.000	112.52	112.52
196-220-130-000	SFR	0.521	1.000	112.52	112.52
196-220-140-000	SFR	0.214	1.000	112.52	112.52
196-220-150-000	SFR	0.133	1.000	112.52	112.52
196-220-160-000	SFR	0.141	1.000	112.52	112.52

CITY OF LATHROP
CITY ZONE 1 - STORM DRAINAGE
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APN	Land Use	Acreage	Units	Rate	Levy⁽¹⁾
196-220-170-000	SFR	0.137	1.000	112.52	112.52
196-220-180-000	SFR	0.137	1.000	112.52	112.52
196-220-190-000	SFR	0.137	1.000	112.52	112.52
196-220-200-000	SFR	0.137	1.000	112.52	112.52
196-220-210-000	SFR	0.137	1.000	112.52	112.52
196-220-220-000	SFR	0.137	1.000	112.52	112.52
196-220-230-000	SFR	0.143	1.000	112.52	112.52
196-220-240-000	SFR	0.183	1.000	112.52	112.52
196-220-250-000	SFR	0.164	1.000	112.52	112.52
196-220-260-000	SFR	0.164	1.000	112.52	112.52
196-220-270-000	SFR	0.164	1.000	112.52	112.52
196-220-280-000	SFR	0.166	1.000	112.52	112.52
196-220-290-000	SFR	0.159	1.000	112.52	112.52
196-220-300-000	SFR	0.159	1.000	112.52	112.52
196-220-310-000	SFR	0.159	1.000	112.52	112.52
196-230-010-000	SFR	0.149	1.000	112.52	112.52
196-230-020-000	SFR	0.149	1.000	112.52	112.52
196-230-030-000	SFR	0.149	1.000	112.52	112.52
196-230-040-000	SFR	0.158	1.000	112.52	112.52
196-230-050-000	SFR	0.138	1.000	112.52	112.52
196-230-060-000	SFR	0.158	1.000	112.52	112.52
196-230-070-000	SFR	0.149	1.000	112.52	112.52
196-230-080-000	SFR	0.149	1.000	112.52	112.52
196-230-090-000	SFR	0.149	1.000	112.52	112.52
196-230-100-000	SFR	0.149	1.000	112.52	112.52
196-230-110-000	SFR	0.149	1.000	112.52	112.52
196-230-120-000	SFR	0.149	1.000	112.52	112.52
196-230-130-000	SFR	0.158	1.000	112.52	112.52
196-230-140-000	SFR	0.156	1.000	112.52	112.52
196-230-150-000	SFR	0.158	1.000	112.52	112.52
196-230-160-000	SFR	0.177	1.000	112.52	112.52
196-230-170-000	SFR	0.239	1.000	112.52	112.52
196-230-180-000	SFR	0.181	1.000	112.52	112.52
196-230-190-000	SFR	0.221	1.000	112.52	112.52
196-230-200-000	SFR	0.186	1.000	112.52	112.52
196-230-210-000	SFR	0.147	1.000	112.52	112.52
196-230-220-000	SFR	0.146	1.000	112.52	112.52
196-230-230-000	SFR	0.156	1.000	112.52	112.52
196-230-240-000	SFR	0.158	1.000	112.52	112.52
196-230-250-000	SFR	0.206	1.000	112.52	112.52
196-230-260-000	SFR	0.173	1.000	112.52	112.52
196-230-270-000	SFR	0.204	1.000	112.52	112.52
196-230-280-000	SFR	0.159	1.000	112.52	112.52
196-230-290-000	SFR	0.180	1.000	112.52	112.52
196-230-300-000	SFR	0.157	1.000	112.52	112.52
196-230-310-000	SFR	0.159	1.000	112.52	112.52
196-230-320-000	SFR	0.164	1.000	112.52	112.52
196-230-330-000	SFR	0.169	1.000	112.52	112.52
196-230-340-000	SFR	0.148	1.000	112.52	112.52
196-230-350-000	SFR	0.226	1.000	112.52	112.52
196-230-360-000	SFR	0.193	1.000	112.52	112.52
196-230-370-000	SFR	0.200	1.000	112.52	112.52
196-230-380-000	SFR	0.162	1.000	112.52	112.52

CITY OF LATHROP
CITY ZONE 1 - STORM DRAINAGE
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APN	Land Use	Acreage	Units	Rate	Levy ⁽¹⁾
196-230-390-000	SFR	0.187	1.000	112.52	112.52
196-230-400-000	SFR	0.161	1.000	112.52	112.52
196-230-410-000	SFR	0.148	1.000	112.52	112.52
196-230-420-000	SFR	0.169	1.000	112.52	112.52
196-230-430-000	SFR	0.144	1.000	112.52	112.52
196-230-440-000	SFR	0.143	1.000	112.52	112.52
196-230-450-000	SFR	0.140	1.000	112.52	112.52
196-230-460-000	SFR	0.140	1.000	112.52	112.52
196-230-470-000	SFR	0.140	1.000	112.52	112.52
196-230-480-000	SFR	0.140	1.000	112.52	112.52
196-230-490-000	SFR	0.140	1.000	112.52	112.52
196-230-500-000	SFR	0.140	1.000	112.52	112.52
196-230-510-000	SFR	0.138	1.000	112.52	112.52
196-230-520-000	SFR	0.137	1.000	112.52	112.52
196-230-530-000	SFR	0.137	1.000	112.52	112.52
196-230-540-000	SFR	0.137	1.000	112.52	112.52
196-230-550-000	SFR	0.183	1.000	112.52	112.52
196-230-560-000	SFR	0.159	1.000	112.52	112.52
196-230-570-000	SFR	0.183	1.000	112.52	112.52
196-270-010-000	COM	1.244	1.244	112.52	139.96
196-270-020-000	MHP	8.340	8.340	112.52	938.40
196-270-040-000	MHP	12.000	12.000	112.52	1350.24
196-270-220-000	MHP	4.800	4.800	112.52	540.08
196-270-300-000	COM	1.437	1.437	112.52	161.68
196-280-010-000	SFR	0.149	1.000	112.52	112.52
196-280-020-000	SFR	0.149	1.000	112.52	112.52
196-280-030-000	SFR	0.149	1.000	112.52	112.52
196-280-040-000	SFR	0.168	1.000	112.52	112.52
196-280-050-000	SFR	0.145	1.000	112.52	112.52
196-280-060-000	SFR	0.138	1.000	112.52	112.52
196-280-070-000	SFR	0.144	1.000	112.52	112.52
196-280-080-000	SFR	0.168	1.000	112.52	112.52
196-280-090-000	SFR	0.202	1.000	112.52	112.52
196-280-100-000	SFR	0.177	1.000	112.52	112.52
196-280-110-000	SFR	0.137	1.000	112.52	112.52
196-280-120-000	SFR	0.139	1.000	112.52	112.52
196-280-130-000	SFR	0.145	1.000	112.52	112.52
196-280-140-000	SFR	0.140	1.000	112.52	112.52
196-280-150-000	SFR	0.139	1.000	112.52	112.52
196-280-160-000	SFR	0.140	1.000	112.52	112.52
196-280-170-000	SFR	0.149	1.000	112.52	112.52
196-280-180-000	SFR	0.148	1.000	112.52	112.52
196-280-190-000	SFR	0.153	1.000	112.52	112.52
196-280-200-000	SFR	0.144	1.000	112.52	112.52
196-280-210-000	SFR	0.139	1.000	112.52	112.52
196-280-220-000	SFR	0.140	1.000	112.52	112.52
196-280-230-000	SFR	0.141	1.000	112.52	112.52
196-280-240-000	SFR	0.148	1.000	112.52	112.52
196-280-250-000	SFR	0.144	1.000	112.52	112.52
196-280-260-000	SFR	0.144	1.000	112.52	112.52
196-280-270-000	SFR	0.144	1.000	112.52	112.52
196-280-280-000	SFR	0.144	1.000	112.52	112.52
196-280-290-000	SFR	0.144	1.000	112.52	112.52

CITY OF LATHROP
CITY ZONE 1 - STORM DRAINAGE
FISCAL YEAR 2020/21
PARCEL LISTING

APN	Land Use	Acreage	Units	Rate	Levy⁽¹⁾
196-280-300-000	SFR	0.144	1.000	112.52	112.52
196-280-310-000	SFR	0.146	1.000	112.52	112.52
196-280-320-000	SFR	0.145	1.000	112.52	112.52
196-280-330-000	SFR	0.140	1.000	112.52	112.52
196-280-340-000	SFR	0.140	1.000	112.52	112.52
196-280-350-000	SFR	0.140	1.000	112.52	112.52
196-280-360-000	SFR	0.140	1.000	112.52	112.52
196-280-370-000	SFR	0.140	1.000	112.52	112.52
196-280-380-000	SFR	0.140	1.000	112.52	112.52
196-280-390-000	SFR	0.140	1.000	112.52	112.52
196-280-400-000	SFR	0.140	1.000	112.52	112.52
196-280-410-000	SFR	0.140	1.000	112.52	112.52
196-290-010-000	SFR	0.142	1.000	112.52	112.52
196-290-020-000	SFR	0.142	1.000	112.52	112.52
196-290-030-000	SFR	0.142	1.000	112.52	112.52
196-290-040-000	SFR	0.142	1.000	112.52	112.52
196-290-050-000	SFR	0.142	1.000	112.52	112.52
196-290-060-000	SFR	0.142	1.000	112.52	112.52
196-290-070-000	SFR	0.142	1.000	112.52	112.52
196-290-080-000	SFR	0.142	1.000	112.52	112.52
196-290-090-000	SFR	0.142	1.000	112.52	112.52
196-290-100-000	SFR	0.142	1.000	112.52	112.52
196-290-110-000	SFR	0.142	1.000	112.52	112.52
196-290-120-000	SFR	0.137	1.000	112.52	112.52
196-290-130-000	SFR	0.142	1.000	112.52	112.52
196-290-140-000	SFR	0.142	1.000	112.52	112.52
196-290-150-000	SFR	0.142	1.000	112.52	112.52
196-290-160-000	SFR	0.142	1.000	112.52	112.52
196-290-170-000	SFR	0.142	1.000	112.52	112.52
196-290-180-000	SFR	0.142	1.000	112.52	112.52
196-290-190-000	SFR	0.142	1.000	112.52	112.52
196-290-200-000	SFR	0.142	1.000	112.52	112.52
196-290-210-000	SFR	0.140	1.000	112.52	112.52
196-290-220-000	SFR	0.142	1.000	112.52	112.52
196-290-230-000	SFR	0.142	1.000	112.52	112.52
196-290-240-000	SFR	0.140	1.000	112.52	112.52
196-290-250-000	SFR	0.143	1.000	112.52	112.52
196-290-260-000	SFR	0.143	1.000	112.52	112.52
196-290-290-000	SFR	0.175	1.000	112.52	112.52
196-290-300-000	SFR	0.142	1.000	112.52	112.52
196-290-310-000	SFR	0.139	1.000	112.52	112.52
196-290-320-000	SFR	0.139	1.000	112.52	112.52
196-290-330-000	SFR	0.139	1.000	112.52	112.52
196-290-340-000	SFR	0.142	1.000	112.52	112.52
196-290-350-000	SFR	0.139	1.000	112.52	112.52
196-290-360-000	SFR	0.139	1.000	112.52	112.52
196-290-370-000	SFR	0.139	1.000	112.52	112.52
196-290-380-000	SFR	0.139	1.000	112.52	112.52
196-290-390-000	SFR	0.139	1.000	112.52	112.52
196-290-400-000	SFR	0.139	1.000	112.52	112.52
196-290-410-000	SFR	0.142	1.000	112.52	112.52
196-290-420-000	SFR	0.139	1.000	112.52	112.52
196-290-430-000	SFR	0.147	1.000	112.52	112.52

CITY OF LATHROP
CITY ZONE 1 - STORM DRAINAGE
FISCAL YEAR 2020/21
PARCEL LISTING

APN	Land Use	Acreage	Units	Rate	Levy ⁽¹⁾
196-290-440-000	SFR	0.139	1.000	112.52	112.52
196-290-450-000	SFR	0.139	1.000	112.52	112.52
196-290-460-000	SFR	0.139	1.000	112.52	112.52
196-290-470-000	SFR	0.148	1.000	112.52	112.52
196-290-480-000	SFR	0.148	1.000	112.52	112.52
196-290-490-000	SFR	0.147	1.000	112.52	112.52
196-290-500-000	SFR	0.142	1.000	112.52	112.52
196-290-510-000	SFR	0.148	1.000	112.52	112.52
196-290-520-000	SFR	0.137	1.000	112.52	112.52
196-290-530-000	SFR	0.142	1.000	112.52	112.52
196-290-540-000	SFR	0.148	1.000	112.52	112.52
196-290-550-000	SFR	0.137	1.000	112.52	112.52
196-290-560-000	SFR	0.147	1.000	112.52	112.52
196-290-570-000	SFR	0.147	1.000	112.52	112.52
196-290-580-000	SFR	0.147	1.000	112.52	112.52
196-290-590-000	SFR	0.242	1.000	112.52	112.52
196-290-600-000	SFR	0.172	1.000	112.52	112.52
196-300-010-000	SFR	0.148	1.000	112.52	112.52
196-300-020-000	SFR	0.148	1.000	112.52	112.52
196-300-030-000	SFR	0.148	1.000	112.52	112.52
196-300-040-000	SFR	0.148	1.000	112.52	112.52
196-300-050-000	SFR	0.148	1.000	112.52	112.52
196-300-060-000	SFR	0.148	1.000	112.52	112.52
196-300-070-000	SFR	0.139	1.000	112.52	112.52
196-300-080-000	SFR	0.139	1.000	112.52	112.52
196-300-090-000	SFR	0.139	1.000	112.52	112.52
196-300-100-000	SFR	0.139	1.000	112.52	112.52
196-300-110-000	SFR	0.139	1.000	112.52	112.52
196-300-120-000	SFR	0.139	1.000	112.52	112.52
196-300-130-000	SFR	0.139	1.000	112.52	112.52
196-300-140-000	SFR	0.139	1.000	112.52	112.52
196-300-150-000	SFR	0.139	1.000	112.52	112.52
196-300-160-000	SFR	0.139	1.000	112.52	112.52
196-300-170-000	SFR	0.139	1.000	112.52	112.52
196-300-180-000	SFR	0.139	1.000	112.52	112.52
196-300-190-000	SFR	0.139	1.000	112.52	112.52
196-300-200-000	SFR	0.139	1.000	112.52	112.52
196-300-210-000	SFR	0.139	1.000	112.52	112.52
196-300-220-000	SFR	0.139	1.000	112.52	112.52
196-300-230-000	SFR	0.173	1.000	112.52	112.52
196-300-240-000	SFR	0.173	1.000	112.52	112.52
196-300-250-000	SFR	0.138	1.000	112.52	112.52
196-300-260-000	SFR	0.136	1.000	112.52	112.52
196-300-270-000	SFR	0.137	1.000	112.52	112.52
196-300-280-000	SFR	0.146	1.000	112.52	112.52
196-300-290-000	SFR	0.790	1.000	112.52	112.52
196-300-300-000	SFR	0.514	1.000	112.52	112.52
196-300-310-000	SFR	1.210	1.210	112.52	136.14
196-300-320-000	SFR	0.340	1.000	112.52	112.52
196-300-330-000	SFR	0.137	1.000	112.52	112.52
196-300-340-000	SFR	0.201	1.000	112.52	112.52
196-300-350-000	SFR	0.187	1.000	112.52	112.52
196-300-360-000	SFR	0.176	1.000	112.52	112.52

CITY OF LATHROP
CITY ZONE 1 - STORM DRAINAGE
FISCAL YEAR 2020/21
PARCEL LISTING

APN	Land Use	Acreage	Units	Rate	Levy⁽¹⁾
196-300-370-000	SFR	0.160	1.000	112.52	112.52
196-300-380-000	SFR	0.136	1.000	112.52	112.52
196-300-390-000	SFR	0.138	1.000	112.52	112.52
196-300-400-000	SFR	0.138	1.000	112.52	112.52
196-300-410-000	SFR	0.154	1.000	112.52	112.52
196-300-420-000	SFR	0.136	1.000	112.52	112.52
196-300-430-000	SFR	0.136	1.000	112.52	112.52
196-300-440-000	SFR	0.136	1.000	112.52	112.52
196-300-450-000	SFR	0.137	1.000	112.52	112.52
196-300-460-000	SFR	0.136	1.000	112.52	112.52
196-300-470-000	SFR	0.137	1.000	112.52	112.52
196-310-010-000	SFR	0.241	1.000	112.52	112.52
196-310-020-000	SFR	0.229	1.000	112.52	112.52
196-310-030-000	SFR	0.238	1.000	112.52	112.52
196-310-040-000	SFR	0.240	1.000	112.52	112.52
196-310-050-000	SFR	0.229	1.000	112.52	112.52
196-310-060-000	SFR	0.229	1.000	112.52	112.52
196-310-070-000	SFR	0.229	1.000	112.52	112.52
196-310-080-000	SFR	0.229	1.000	112.52	112.52
196-310-090-000	SFR	0.229	1.000	112.52	112.52
196-310-100-000	SFR	0.229	1.000	112.52	112.52
196-310-110-000	SFR	0.241	1.000	112.52	112.52
196-310-120-000	SFR	0.229	1.000	112.52	112.52
196-310-130-000	SFR	0.229	1.000	112.52	112.52
196-310-140-000	SFR	0.231	1.000	112.52	112.52
196-310-150-000	SFR	0.241	1.000	112.52	112.52
196-310-160-000	SFR	0.229	1.000	112.52	112.52
196-310-170-000	SFR	0.247	1.000	112.52	112.52
196-310-180-000	SFR	0.215	1.000	112.52	112.52
196-310-190-000	SFR	0.229	1.000	112.52	112.52
196-310-200-000	SFR	0.229	1.000	112.52	112.52
196-310-210-000	SFR	0.229	1.000	112.52	112.52
196-310-220-000	SFR	0.206	1.000	112.52	112.52
196-310-230-000	SFR	0.229	1.000	112.52	112.52
196-310-240-000	SFR	0.229	1.000	112.52	112.52
196-310-250-000	SFR	0.238	1.000	112.52	112.52
196-310-260-000	SFR	0.238	1.000	112.52	112.52
196-310-270-000	SFR	0.229	1.000	112.52	112.52
196-310-280-000	SFR	0.234	1.000	112.52	112.52
196-310-310-000	SFR	0.229	1.000	112.52	112.52
196-310-320-000	SFR	0.228	1.000	112.52	112.52
196-310-330-000	SFR	0.228	1.000	112.52	112.52
196-310-340-000	SFR	0.228	1.000	112.52	112.52
196-310-350-000	SFR	0.219	1.000	112.52	112.52
196-310-360-000	SFR	0.235	1.000	112.52	112.52
196-310-370-000	SFR	0.228	1.000	112.52	112.52
196-310-380-000	SFR	0.228	1.000	112.52	112.52
196-310-390-000	SFR	0.228	1.000	112.52	112.52
196-310-400-000	SFR	0.236	1.000	112.52	112.52
196-310-410-000	SFR	0.236	1.000	112.52	112.52
196-310-420-000	SFR	0.240	1.000	112.52	112.52
196-310-430-000	SFR	0.230	1.000	112.52	112.52
196-320-010-000	SFR	0.229	1.000	112.52	112.52

CITY OF LATHROP
CITY ZONE 1 - STORM DRAINAGE
FISCAL YEAR 2020/21
PARCEL LISTING

APN	Land Use	Acreage	Units	Rate	Levy ⁽¹⁾
196-320-020-000	SFR	0.300	1.000	112.52	112.52
196-320-030-000	SFR	0.229	1.000	112.52	112.52
196-320-040-000	SFR	0.229	1.000	112.52	112.52
196-320-050-000	SFR	0.228	1.000	112.52	112.52
196-320-060-000	SFR	0.228	1.000	112.52	112.52
196-320-070-000	SFR	0.228	1.000	112.52	112.52
196-320-080-000	SFR	0.244	1.000	112.52	112.52
196-320-090-000	SFR	0.228	1.000	112.52	112.52
196-320-100-000	SFR	0.228	1.000	112.52	112.52
196-320-110-000	SFR	0.228	1.000	112.52	112.52
196-320-120-000	SFR	0.228	1.000	112.52	112.52
196-320-130-000	SFR	0.236	1.000	112.52	112.52
196-320-140-000	SFR	0.236	1.000	112.52	112.52
196-320-150-000	SFR	0.228	1.000	112.52	112.52
196-320-160-000	SFR	0.238	1.000	112.52	112.52
196-320-170-000	SFR	0.218	1.000	112.52	112.52
196-320-180-000	SFR	0.224	1.000	112.52	112.52
196-320-190-000	SFR	0.227	1.000	112.52	112.52
196-320-200-000	SFR	0.229	1.000	112.52	112.52
196-320-210-000	SFR	0.217	1.000	112.52	112.52
196-320-220-000	SFR	0.229	1.000	112.52	112.52
196-330-010-000	SFR	0.229	1.000	112.52	112.52
196-330-020-000	SFR	0.229	1.000	112.52	112.52
196-330-030-000	SFR	0.229	1.000	112.52	112.52
196-330-040-000	SFR	0.229	1.000	112.52	112.52
196-330-050-000	SFR	0.231	1.000	112.52	112.52
196-330-060-000	SFR	0.231	1.000	112.52	112.52
196-330-070-000	SFR	0.231	1.000	112.52	112.52
196-330-080-000	SFR	0.229	1.000	112.52	112.52
196-330-090-000	SFR	0.229	1.000	112.52	112.52
196-330-100-000	SFR	0.229	1.000	112.52	112.52
196-330-110-000	SFR	0.282	1.000	112.52	112.52
196-330-120-000	SFR	0.229	1.000	112.52	112.52
196-330-130-000	SFR	0.229	1.000	112.52	112.52
196-330-140-000	SFR	0.229	1.000	112.52	112.52
196-330-150-000	SFR	0.282	1.000	112.52	112.52
196-330-160-000	SFR	0.244	1.000	112.52	112.52
196-330-170-000	SFR	0.254	1.000	112.52	112.52
196-330-180-000	SFR	0.229	1.000	112.52	112.52
196-330-190-000	SFR	0.229	1.000	112.52	112.52
196-340-020-000	SFR	0.251	1.000	112.52	112.52
196-340-030-000	SFR	0.206	1.000	112.52	112.52
196-340-040-000	SFR	0.266	1.000	112.52	112.52
196-340-050-000	SFR	0.229	1.000	112.52	112.52
196-340-060-000	SFR	0.229	1.000	112.52	112.52
196-340-070-000	SFR	0.229	1.000	112.52	112.52
196-340-080-000	SFR	0.241	1.000	112.52	112.52
196-340-090-000	SFR	0.229	1.000	112.52	112.52
196-340-100-000	SFR	0.229	1.000	112.52	112.52
196-340-110-000	SFR	0.229	1.000	112.52	112.52
196-340-120-000	SFR	0.229	1.000	112.52	112.52
196-340-130-000	SFR	0.190	1.000	112.52	112.52
196-340-140-000	SFR	0.236	1.000	112.52	112.52

**CITY OF LATHROP
CITY ZONE 1 - STORM DRAINAGE
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PARCEL LISTING**

APN	Land Use	Acreage	Units	Rate	Levy ⁽¹⁾
196-340-150-000	SFR	0.263	1.000	112.52	112.52
196-340-160-000	SFR	0.229	1.000	112.52	112.52
196-340-170-000	SFR	0.229	1.000	112.52	112.52
196-340-180-000	SFR	0.238	1.000	112.52	112.52
196-340-190-000	SFR	0.644	1.000	112.52	112.52
196-370-010-000	SFR	0.126	1.000	112.52	112.52
196-370-020-000	SFR	0.123	1.000	112.52	112.52
196-370-030-000	SFR	0.123	1.000	112.52	112.52
196-370-040-000	SFR	0.123	1.000	112.52	112.52
196-370-050-000	SFR	0.123	1.000	112.52	112.52
196-370-060-000	SFR	0.123	1.000	112.52	112.52
196-370-070-000	SFR	0.123	1.000	112.52	112.52
196-370-080-000	SFR	0.123	1.000	112.52	112.52
196-370-090-000	SFR	0.123	1.000	112.52	112.52
196-370-100-000	SFR	0.123	1.000	112.52	112.52
196-370-110-000	SFR	0.123	1.000	112.52	112.52
196-370-120-000	SFR	0.123	1.000	112.52	112.52
196-370-130-000	SFR	0.123	1.000	112.52	112.52
196-370-140-000	SFR	0.132	1.000	112.52	112.52
196-370-150-000	SFR	0.124	1.000	112.52	112.52
196-370-160-000	SFR	0.124	1.000	112.52	112.52
196-370-170-000	SFR	0.124	1.000	112.52	112.52
196-370-180-000	SFR	0.138	1.000	112.52	112.52
196-370-190-000	SFR	0.124	1.000	112.52	112.52
196-370-200-000	SFR	0.115	1.000	112.52	112.52
196-370-210-000	SFR	0.117	1.000	112.52	112.52
196-370-220-000	SFR	0.119	1.000	112.52	112.52
196-370-230-000	SFR	0.120	1.000	112.52	112.52
196-370-240-000	SFR	0.129	1.000	112.52	112.52
196-370-250-000	SFR	0.208	1.000	112.52	112.52
196-370-260-000	SFR	0.206	1.000	112.52	112.52
196-370-270-000	SFR	0.125	1.000	112.52	112.52
196-370-280-000	SFR	0.173	1.000	112.52	112.52
196-370-290-000	SFR	0.172	1.000	112.52	112.52
196-370-300-000	SFR	0.173	1.000	112.52	112.52
196-370-310-000	SFR	0.177	1.000	112.52	112.52
196-370-320-000	SFR	0.172	1.000	112.52	112.52
196-370-330-000	SFR	0.173	1.000	112.52	112.52
196-370-340-000	SFR	0.119	1.000	112.52	112.52
196-370-350-000	SFR	0.120	1.000	112.52	112.52
196-370-360-000	SFR	0.120	1.000	112.52	112.52
196-370-370-000	SFR	0.119	1.000	112.52	112.52
196-370-380-000	SFR	0.123	1.000	112.52	112.52
196-370-390-000	SFR	0.114	1.000	112.52	112.52
196-370-400-000	SFR	0.114	1.000	112.52	112.52
196-370-410-000	SFR	0.114	1.000	112.52	112.52
196-370-420-000	SFR	0.114	1.000	112.52	112.52
196-370-430-000	SFR	0.114	1.000	112.52	112.52
196-370-440-000	SFR	0.114	1.000	112.52	112.52
196-370-450-000	SFR	0.114	1.000	112.52	112.52
196-370-460-000	SFR	0.114	1.000	112.52	112.52
196-370-470-000	SFR	0.120	1.000	112.52	112.52
196-370-480-000	SFR	0.125	1.000	112.52	112.52

CITY OF LATHROP
CITY ZONE 1 - STORM DRAINAGE
FISCAL YEAR 2020/21
PARCEL LISTING

APN	Land Use	Acreage	Units	Rate	Levy ⁽¹⁾
196-370-490-000	SFR	0.116	1.000	112.52	112.52
196-370-500-000	SFR	0.116	1.000	112.52	112.52
196-370-510-000	SFR	0.116	1.000	112.52	112.52
196-370-520-000	SFR	0.116	1.000	112.52	112.52
196-370-530-000	SFR	0.116	1.000	112.52	112.52
196-370-540-000	SFR	0.116	1.000	112.52	112.52
196-370-550-000	SFR	0.116	1.000	112.52	112.52
196-370-560-000	SFR	0.116	1.000	112.52	112.52
196-370-570-000	SFR	0.126	1.000	112.52	112.52
196-370-580-000	SFR	0.129	1.000	112.52	112.52
196-370-590-000	SFR	0.116	1.000	112.52	112.52
196-370-600-000	SFR	0.116	1.000	112.52	112.52
196-370-610-000	SFR	0.116	1.000	112.52	112.52
196-370-620-000	SFR	0.116	1.000	112.52	112.52
196-370-630-000	SFR	0.116	1.000	112.52	112.52
196-370-640-000	SFR	0.116	1.000	112.52	112.52
196-370-650-000	SFR	0.116	1.000	112.52	112.52
196-370-660-000	SFR	0.116	1.000	112.52	112.52
196-370-670-000	SFR	0.126	1.000	112.52	112.52
196-370-680-000	SFR	0.123	1.000	112.52	112.52
196-370-690-000	SFR	0.117	1.000	112.52	112.52
196-370-700-000	SFR	0.117	1.000	112.52	112.52
196-370-710-000	SFR	0.117	1.000	112.52	112.52
196-370-720-000	SFR	0.117	1.000	112.52	112.52
196-370-730-000	SFR	0.117	1.000	112.52	112.52
196-370-740-000	SFR	0.117	1.000	112.52	112.52
196-370-750-000	SFR	0.117	1.000	112.52	112.52
196-370-760-000	SFR	0.119	1.000	112.52	112.52
196-370-770-000	SFR	0.117	1.000	112.52	112.52
196-370-780-000	SFR	0.135	1.000	112.52	112.52
196-370-790-000	SFR	0.251	1.000	112.52	112.52
196-370-800-000	SFR	0.139	1.000	112.52	112.52
196-370-810-000	SFR	0.116	1.000	112.52	112.52
196-370-820-000	SFR	0.117	1.000	112.52	112.52
196-370-830-000	SFR	0.117	1.000	112.52	112.52
196-370-840-000	SFR	0.117	1.000	112.52	112.52
196-370-850-000	SFR	0.117	1.000	112.52	112.52
196-370-860-000	SFR	0.117	1.000	112.52	112.52
196-370-870-000	SFR	0.117	1.000	112.52	112.52
196-370-880-000	SFR	0.144	1.000	112.52	112.52
196-370-890-000	SFR	0.172	1.000	112.52	112.52
196-370-900-000	SFR	0.172	1.000	112.52	112.52
196-370-910-000	SFR	0.172	1.000	112.52	112.52
196-370-920-000	SFR	0.172	1.000	112.52	112.52
196-380-010-000	SFR	0.137	1.000	112.52	112.52
196-380-020-000	SFR	0.137	1.000	112.52	112.52
196-380-030-000	SFR	0.137	1.000	112.52	112.52
196-380-040-000	SFR	0.137	1.000	112.52	112.52
196-380-050-000	SFR	0.151	1.000	112.52	112.52
196-380-060-000	SFR	0.197	1.000	112.52	112.52
196-380-070-000	SFR	0.169	1.000	112.52	112.52
196-380-080-000	SFR	0.137	1.000	112.52	112.52
196-380-090-000	SFR	0.144	1.000	112.52	112.52

CITY OF LATHROP
CITY ZONE 1 - STORM DRAINAGE
FISCAL YEAR 2020/21
PARCEL LISTING

APN	Land Use	Acreage	Units	Rate	Levy ⁽¹⁾
196-380-100-000	SFR	0.144	1.000	112.52	112.52
196-380-110-000	SFR	0.144	1.000	112.52	112.52
196-380-120-000	SFR	0.140	1.000	112.52	112.52
196-380-130-000	SFR	0.144	1.000	112.52	112.52
196-380-140-000	SFR	0.144	1.000	112.52	112.52
196-380-150-000	SFR	0.143	1.000	112.52	112.52
196-380-160-000	SFR	0.143	1.000	112.52	112.52
196-380-170-000	SFR	0.143	1.000	112.52	112.52
196-380-180-000	SFR	0.145	1.000	112.52	112.52
196-380-190-000	SFR	0.161	1.000	112.52	112.52
196-380-200-000	SFR	0.143	1.000	112.52	112.52
196-380-210-000	SFR	0.148	1.000	112.52	112.52
196-380-220-000	SFR	0.160	1.000	112.52	112.52
196-380-230-000	SFR	0.170	1.000	112.52	112.52
196-380-240-000	SFR	0.180	1.000	112.52	112.52
196-380-250-000	SFR	0.165	1.000	112.52	112.52
196-380-260-000	SFR	0.158	1.000	112.52	112.52
196-380-270-000	SFR	0.138	1.000	112.52	112.52
196-380-280-000	SFR	0.182	1.000	112.52	112.52
196-380-290-000	SFR	0.146	1.000	112.52	112.52
196-380-300-000	SFR	0.153	1.000	112.52	112.52
196-380-310-000	SFR	0.151	1.000	112.52	112.52
196-380-320-000	SFR	0.161	1.000	112.52	112.52
196-380-330-000	SFR	0.161	1.000	112.52	112.52
196-380-340-000	SFR	0.166	1.000	112.52	112.52
196-380-350-000	SFR	0.138	1.000	112.52	112.52
196-380-360-000	SFR	0.137	1.000	112.52	112.52
196-380-370-000	SFR	0.137	1.000	112.52	112.52
196-380-380-000	SFR	0.137	1.000	112.52	112.52
196-380-390-000	SFR	0.137	1.000	112.52	112.52
196-380-400-000	SFR	0.137	1.000	112.52	112.52
196-380-410-000	SFR	0.137	1.000	112.52	112.52
196-380-420-000	SFR	0.137	1.000	112.52	112.52
196-380-430-000	SFR	0.137	1.000	112.52	112.52
196-380-440-000	SFR	0.138	1.000	112.52	112.52
196-380-450-000	SFR	0.138	1.000	112.52	112.52
196-380-460-000	SFR	0.137	1.000	112.52	112.52
196-380-470-000	SFR	0.137	1.000	112.52	112.52
196-380-480-000	SFR	0.137	1.000	112.52	112.52
196-380-490-000	SFR	0.137	1.000	112.52	112.52
196-390-010-000	SFR	0.255	1.000	112.52	112.52
196-390-020-000	SFR	0.225	1.000	112.52	112.52
196-390-030-000	SFR	0.213	1.000	112.52	112.52
196-390-040-000	SFR	0.196	1.000	112.52	112.52
196-390-050-000	SFR	0.183	1.000	112.52	112.52
196-390-060-000	SFR	0.176	1.000	112.52	112.52
196-390-070-000	SFR	0.172	1.000	112.52	112.52
196-390-080-000	SFR	0.176	1.000	112.52	112.52
196-390-090-000	SFR	0.252	1.000	112.52	112.52
196-390-100-000	SFR	0.296	1.000	112.52	112.52
196-390-110-000	SFR	0.149	1.000	112.52	112.52
196-390-120-000	SFR	0.153	1.000	112.52	112.52
196-390-130-000	SFR	0.151	1.000	112.52	112.52

**CITY OF LATHROP
CITY ZONE 1 - STORM DRAINAGE
FISCAL YEAR 2020/21
PARCEL LISTING**

APN	Land Use	Acreage	Units	Rate	Levy⁽¹⁾
196-390-140-000	SFR	0.153	1.000	112.52	112.52
196-390-150-000	SFR	0.150	1.000	112.52	112.52
196-390-160-000	SFR	0.145	1.000	112.52	112.52
196-390-170-000	SFR	0.138	1.000	112.52	112.52
196-390-180-000	SFR	0.137	1.000	112.52	112.52
196-390-190-000	SFR	0.137	1.000	112.52	112.52
196-390-200-000	SFR	0.137	1.000	112.52	112.52
196-390-210-000	SFR	0.137	1.000	112.52	112.52
196-390-220-000	SFR	0.138	1.000	112.52	112.52
196-390-230-000	SFR	0.138	1.000	112.52	112.52
196-390-240-000	SFR	0.137	1.000	112.52	112.52
196-390-250-000	SFR	0.137	1.000	112.52	112.52
196-390-260-000	SFR	0.137	1.000	112.52	112.52
196-390-270-000	SFR	0.137	1.000	112.52	112.52
196-390-280-000	SFR	0.138	1.000	112.52	112.52
196-390-290-000	SFR	0.149	1.000	112.52	112.52
196-390-300-000	SFR	0.166	1.000	112.52	112.52
196-390-310-000	SFR	0.144	1.000	112.52	112.52
196-390-320-000	SFR	0.144	1.000	112.52	112.52
196-390-330-000	SFR	0.144	1.000	112.52	112.52
196-390-340-000	SFR	0.137	1.000	112.52	112.52
196-390-350-000	SFR	0.137	1.000	112.52	112.52
196-390-360-000	SFR	0.138	1.000	112.52	112.52
196-390-370-000	SFR	0.138	1.000	112.52	112.52
196-390-380-000	SFR	0.138	1.000	112.52	112.52
196-390-390-000	SFR	0.138	1.000	112.52	112.52
196-390-400-000	SFR	0.138	1.000	112.52	112.52
196-390-410-000	SFR	0.149	1.000	112.52	112.52
196-390-420-000	SFR	0.149	1.000	112.52	112.52
196-390-430-000	SFR	0.149	1.000	112.52	112.52
196-390-440-000	SFR	0.137	1.000	112.52	112.52
196-390-450-000	SFR	0.137	1.000	112.52	112.52
196-390-460-000	SFR	0.137	1.000	112.52	112.52
196-390-470-000	SFR	0.137	1.000	112.52	112.52
196-390-480-000	SFR	0.137	1.000	112.52	112.52
196-390-490-000	SFR	0.137	1.000	112.52	112.52
196-390-500-000	SFR	0.137	1.000	112.52	112.52
196-390-510-000	SFR	0.137	1.000	112.52	112.52
196-390-520-000	SFR	0.137	1.000	112.52	112.52
196-390-530-000	SFR	0.137	1.000	112.52	112.52
196-390-540-000	SFR	0.137	1.000	112.52	112.52
196-390-550-000	SFR	0.137	1.000	112.52	112.52
196-390-560-000	SFR	0.137	1.000	112.52	112.52
196-390-570-000	SFR	0.137	1.000	112.52	112.52
196-390-580-000	SFR	0.137	1.000	112.52	112.52
196-390-590-000	SFR	0.137	1.000	112.52	112.52
196-390-600-000	SFR	0.137	1.000	112.52	112.52
196-390-610-000	SFR	0.137	1.000	112.52	112.52
196-390-620-000	SFR	0.137	1.000	112.52	112.52
196-390-630-000	SFR	0.140	1.000	112.52	112.52
196-400-010-000	SFR	0.144	1.000	112.52	112.52
196-400-020-000	SFR	0.172	1.000	112.52	112.52
196-400-030-000	SFR	0.159	1.000	112.52	112.52

CITY OF LATHROP
CITY ZONE 1 - STORM DRAINAGE
FISCAL YEAR 2020/21
PARCEL LISTING

APN	Land Use	Acreage	Units	Rate	Levy ⁽¹⁾
196-400-040-000	SFR	0.134	1.000	112.52	112.52
196-400-050-000	SFR	0.142	1.000	112.52	112.52
196-400-060-000	SFR	0.137	1.000	112.52	112.52
196-400-070-000	SFR	0.137	1.000	112.52	112.52
196-400-080-000	SFR	0.137	1.000	112.52	112.52
196-400-090-000	SFR	0.137	1.000	112.52	112.52
196-400-100-000	SFR	0.137	1.000	112.52	112.52
196-400-110-000	SFR	0.137	1.000	112.52	112.52
196-400-120-000	SFR	0.149	1.000	112.52	112.52
196-400-130-000	SFR	0.149	1.000	112.52	112.52
196-400-140-000	SFR	0.151	1.000	112.52	112.52
196-400-150-000	SFR	0.183	1.000	112.52	112.52
196-400-160-000	SFR	0.182	1.000	112.52	112.52
196-400-170-000	SFR	0.151	1.000	112.52	112.52
196-400-180-000	SFR	0.149	1.000	112.52	112.52
196-400-190-000	SFR	0.149	1.000	112.52	112.52
196-400-200-000	SFR	0.137	1.000	112.52	112.52
196-400-210-000	SFR	0.137	1.000	112.52	112.52
196-400-220-000	SFR	0.137	1.000	112.52	112.52
196-400-230-000	SFR	0.137	1.000	112.52	112.52
196-400-240-000	SFR	0.137	1.000	112.52	112.52
196-400-250-000	SFR	0.137	1.000	112.52	112.52
196-400-260-000	SFR	0.137	1.000	112.52	112.52
196-400-270-000	SFR	0.124	1.000	112.52	112.52
196-400-280-000	SFR	0.105	1.000	112.52	112.52
196-400-290-000	SFR	0.193	1.000	112.52	112.52
196-400-300-000	SFR	0.144	1.000	112.52	112.52
196-400-310-000	SFR	0.130	1.000	112.52	112.52
196-400-320-000	SFR	0.137	1.000	112.52	112.52
196-400-330-000	SFR	0.140	1.000	112.52	112.52
196-410-010-000	SFR	0.144	1.000	112.52	112.52
196-410-020-000	SFR	0.137	1.000	112.52	112.52
196-410-030-000	SFR	0.137	1.000	112.52	112.52
196-410-040-000	SFR	0.137	1.000	112.52	112.52
196-410-050-000	SFR	0.137	1.000	112.52	112.52
196-410-060-000	SFR	0.137	1.000	112.52	112.52
196-410-070-000	SFR	0.137	1.000	112.52	112.52
196-410-080-000	SFR	0.137	1.000	112.52	112.52
196-410-090-000	SFR	0.149	1.000	112.52	112.52
196-410-100-000	SFR	0.151	1.000	112.52	112.52
196-410-110-000	SFR	0.149	1.000	112.52	112.52
196-410-120-000	SFR	0.149	1.000	112.52	112.52
196-410-130-000	SFR	0.149	1.000	112.52	112.52
196-410-140-000	SFR	0.149	1.000	112.52	112.52
196-410-150-000	SFR	0.151	1.000	112.52	112.52
196-410-160-000	SFR	0.149	1.000	112.52	112.52
196-410-170-000	SFR	0.149	1.000	112.52	112.52
196-410-180-000	SFR	0.137	1.000	112.52	112.52
196-410-190-000	SFR	0.137	1.000	112.52	112.52
196-410-200-000	SFR	0.137	1.000	112.52	112.52
196-410-210-000	SFR	0.137	1.000	112.52	112.52
196-410-220-000	SFR	0.137	1.000	112.52	112.52
196-410-230-000	SFR	0.137	1.000	112.52	112.52

**CITY OF LATHROP
CITY ZONE 1 - STORM DRAINAGE
FISCAL YEAR 2020/21
PARCEL LISTING**

APN	Land Use	Acreage	Units	Rate	Levy ⁽¹⁾
196-410-240-000	SFR	0.144	1.000	112.52	112.52
196-420-010-000	SFR	0.140	1.000	112.52	112.52
196-420-020-000	SFR	0.140	1.000	112.52	112.52
196-420-030-000	SFR	0.140	1.000	112.52	112.52
196-420-040-000	SFR	0.139	1.000	112.52	112.52
196-420-050-000	SFR	0.139	1.000	112.52	112.52
196-420-060-000	SFR	0.139	1.000	112.52	112.52
196-420-070-000	SFR	0.139	1.000	112.52	112.52
196-420-080-000	SFR	0.165	1.000	112.52	112.52
196-420-090-000	SFR	0.160	1.000	112.52	112.52
196-420-100-000	SFR	0.151	1.000	112.52	112.52
196-420-110-000	SFR	0.151	1.000	112.52	112.52
196-420-120-000	SFR	0.142	1.000	112.52	112.52
196-420-130-000	SFR	0.137	1.000	112.52	112.52
196-420-140-000	SFR	0.137	1.000	112.52	112.52
196-420-150-000	SFR	0.137	1.000	112.52	112.52
196-420-160-000	SFR	0.137	1.000	112.52	112.52
196-420-170-000	SFR	0.137	1.000	112.52	112.52
196-420-180-000	SFR	0.137	1.000	112.52	112.52
196-420-190-000	SFR	0.149	1.000	112.52	112.52
196-420-200-000	SFR	0.149	1.000	112.52	112.52
196-420-210-000	SFR	0.151	1.000	112.52	112.52
196-420-220-000	SFR	0.151	1.000	112.52	112.52
196-420-230-000	SFR	0.149	1.000	112.52	112.52
196-420-240-000	SFR	0.137	1.000	112.52	112.52
196-420-250-000	SFR	0.149	1.000	112.52	112.52
196-420-260-000	SFR	0.137	1.000	112.52	112.52
196-420-270-000	SFR	0.137	1.000	112.52	112.52
196-420-280-000	SFR	0.130	1.000	112.52	112.52
196-420-290-000	SFR	0.137	1.000	112.52	112.52
196-420-300-000	SFR	0.137	1.000	112.52	112.52
196-420-310-000	SFR	0.144	1.000	112.52	112.52
196-420-320-000	SFR	0.153	1.000	112.52	112.52
196-430-010-000	SFR	0.149	1.000	112.52	112.52
196-430-020-000	SFR	0.149	1.000	112.52	112.52
196-430-030-000	SFR	0.149	1.000	112.52	112.52
196-430-040-000	SFR	0.149	1.000	112.52	112.52
196-430-070-000	SFR	0.149	1.000	112.52	112.52
196-430-080-000	SFR	0.149	1.000	112.52	112.52
196-430-090-000	SFR	0.149	1.000	112.52	112.52
196-430-100-000	SFR	0.160	1.000	112.52	112.52
196-430-110-000	SFR	0.173	1.000	112.52	112.52
196-430-120-000	SFR	0.168	1.000	112.52	112.52
196-430-130-000	SFR	0.181	1.000	112.52	112.52
196-430-140-000	SFR	0.200	1.000	112.52	112.52
196-430-170-000	SFR	0.127	1.000	112.52	112.52
196-430-180-000	SFR	0.204	1.000	112.52	112.52
196-430-190-000	SFR	0.203	1.000	112.52	112.52
196-430-200-000	SFR	0.203	1.000	112.52	112.52
196-430-210-000	SFR	0.203	1.000	112.52	112.52
196-430-220-000	SFR	0.202	1.000	112.52	112.52
196-430-230-000	SFR	0.202	1.000	112.52	112.52
196-430-240-000	SFR	0.202	1.000	112.52	112.52

CITY OF LATHROP
CITY ZONE 1 - STORM DRAINAGE
FISCAL YEAR 2020/21
PARCEL LISTING

APN	Land Use	Acreage	Units	Rate	Levy ⁽¹⁾
196-430-250-000	SFR	0.201	1.000	112.52	112.52
196-430-260-000	SFR	0.201	1.000	112.52	112.52
196-430-270-000	SFR	0.200	1.000	112.52	112.52
196-430-280-000	SFR	0.200	1.000	112.52	112.52
196-430-290-000	SFR	0.200	1.000	112.52	112.52
196-430-300-000	SFR	0.199	1.000	112.52	112.52
196-430-310-000	SFR	0.185	1.000	112.52	112.52
196-430-320-000	COM	0.395	1.000	112.52	112.52
196-430-330-000	COM	0.745	1.000	112.52	112.52
196-440-010-000	SFR	0.140	1.000	112.52	112.52
196-440-020-000	SFR	0.137	1.000	112.52	112.52
196-440-030-000	SFR	0.137	1.000	112.52	112.52
196-440-040-000	SFR	0.137	1.000	112.52	112.52
196-440-050-000	SFR	0.137	1.000	112.52	112.52
196-440-060-000	SFR	0.137	1.000	112.52	112.52
196-440-070-000	SFR	0.137	1.000	112.52	112.52
196-440-080-000	SFR	0.149	1.000	112.52	112.52
196-440-090-000	SFR	0.149	1.000	112.52	112.52
196-440-100-000	SFR	0.151	1.000	112.52	112.52
196-440-110-000	SFR	0.149	1.000	112.52	112.52
196-440-120-000	SFR	0.149	1.000	112.52	112.52
196-440-130-000	SFR	0.149	1.000	112.52	112.52
196-440-140-000	SFR	0.160	1.000	112.52	112.52
196-440-150-000	SFR	0.151	1.000	112.52	112.52
196-440-160-000	SFR	0.149	1.000	112.52	112.52
196-440-170-000	SFR	0.149	1.000	112.52	112.52
196-440-180-000	SFR	0.137	1.000	112.52	112.52
196-440-190-000	SFR	0.137	1.000	112.52	112.52
196-440-200-000	SFR	0.137	1.000	112.52	112.52
196-440-210-000	SFR	0.137	1.000	112.52	112.52
196-440-220-000	SFR	0.130	1.000	112.52	112.52
196-440-230-000	SFR	0.137	1.000	112.52	112.52
196-440-240-000	SFR	0.142	1.000	112.52	112.52
196-440-250-000	SFR	0.162	1.000	112.52	112.52
196-440-260-000	SFR	0.134	1.000	112.52	112.52
196-440-270-000	SFR	0.136	1.000	112.52	112.52
196-440-280-000	SFR	0.137	1.000	112.52	112.52
196-440-290-000	SFR	0.137	1.000	112.52	112.52
196-440-300-000	SFR	0.137	1.000	112.52	112.52
196-440-310-000	SFR	0.137	1.000	112.52	112.52
196-440-320-000	SFR	0.149	1.000	112.52	112.52
196-440-330-000	SFR	0.151	1.000	112.52	112.52
196-440-340-000	SFR	0.181	1.000	112.52	112.52
196-440-350-000	SFR	0.199	1.000	112.52	112.52
196-450-010-000	SFR	0.149	1.000	112.52	112.52
196-450-020-000	SFR	0.138	1.000	112.52	112.52
196-450-030-000	SFR	0.137	1.000	112.52	112.52
196-450-040-000	SFR	0.137	1.000	112.52	112.52
196-450-050-000	SFR	0.137	1.000	112.52	112.52
196-450-060-000	SFR	0.137	1.000	112.52	112.52
196-450-070-000	SFR	0.137	1.000	112.52	112.52
196-450-080-000	SFR	0.137	1.000	112.52	112.52
196-450-090-000	SFR	0.137	1.000	112.52	112.52

CITY OF LATHROP
CITY ZONE 1 - STORM DRAINAGE
FISCAL YEAR 2020/21
PARCEL LISTING

APN	Land Use	Acreage	Units	Rate	Levy ⁽¹⁾
196-450-100-000	SFR	0.238	1.000	112.52	112.52
196-450-110-000	SFR	0.344	1.000	112.52	112.52
196-450-120-000	SFR	0.149	1.000	112.52	112.52
196-450-130-000	SFR	0.148	1.000	112.52	112.52
196-450-140-000	SFR	0.141	1.000	112.52	112.52
196-450-150-000	SFR	0.137	1.000	112.52	112.52
196-450-160-000	SFR	0.137	1.000	112.52	112.52
196-450-170-000	SFR	0.137	1.000	112.52	112.52
196-450-180-000	SFR	0.137	1.000	112.52	112.52
196-450-190-000	SFR	0.146	1.000	112.52	112.52
196-450-200-000	SFR	0.137	1.000	112.52	112.52
196-450-210-000	SFR	0.137	1.000	112.52	112.52
196-450-220-000	SFR	0.137	1.000	112.52	112.52
196-450-230-000	SFR	0.137	1.000	112.52	112.52
196-450-240-000	SFR	0.137	1.000	112.52	112.52
196-450-250-000	SFR	0.137	1.000	112.52	112.52
196-450-260-000	SFR	0.137	1.000	112.52	112.52
196-450-270-000	SFR	0.137	1.000	112.52	112.52
196-450-280-000	SFR	0.156	1.000	112.52	112.52
196-450-290-000	SFR	0.137	1.000	112.52	112.52
196-450-300-000	SFR	0.159	1.000	112.52	112.52
196-460-010-000	SFR	0.144	1.000	112.52	112.52
196-460-020-000	SFR	0.137	1.000	112.52	112.52
196-460-030-000	SFR	0.137	1.000	112.52	112.52
196-460-040-000	SFR	0.137	1.000	112.52	112.52
196-460-050-000	SFR	0.137	1.000	112.52	112.52
196-460-060-000	SFR	0.137	1.000	112.52	112.52
196-460-070-000	SFR	0.137	1.000	112.52	112.52
196-460-080-000	SFR	0.137	1.000	112.52	112.52
196-460-090-000	SFR	0.145	1.000	112.52	112.52
196-460-100-000	SFR	0.177	1.000	112.52	112.52
196-460-110-000	SFR	0.151	1.000	112.52	112.52
196-460-120-000	SFR	0.137	1.000	112.52	112.52
196-460-130-000	SFR	0.137	1.000	112.52	112.52
196-460-140-000	SFR	0.144	1.000	112.52	112.52
196-460-150-000	SFR	0.165	1.000	112.52	112.52
196-460-160-000	SFR	0.158	1.000	112.52	112.52
196-460-170-000	SFR	0.158	1.000	112.52	112.52
196-460-180-000	SFR	0.158	1.000	112.52	112.52
196-460-190-000	SFR	0.158	1.000	112.52	112.52
196-460-200-000	SFR	0.158	1.000	112.52	112.52
196-460-210-000	SFR	0.158	1.000	112.52	112.52
196-460-220-000	SFR	0.184	1.000	112.52	112.52
196-460-230-000	SFR	0.193	1.000	112.52	112.52
196-460-240-000	SFR	0.308	1.000	112.52	112.52
196-460-250-000	SFR	0.178	1.000	112.52	112.52
196-460-260-000	SFR	0.137	1.000	112.52	112.52
196-460-270-000	SFR	0.137	1.000	112.52	112.52
196-460-280-000	SFR	0.161	1.000	112.52	112.52
196-460-290-000	SFR	0.158	1.000	112.52	112.52
196-460-300-000	SFR	0.161	1.000	112.52	112.52
196-460-310-000	SFR	0.161	1.000	112.52	112.52
196-460-320-000	SFR	0.161	1.000	112.52	112.52

CITY OF LATHROP
CITY ZONE 1 - STORM DRAINAGE
FISCAL YEAR 2020/21
PARCEL LISTING

APN	Land Use	Acreage	Units	Rate	Levy ⁽¹⁾
196-460-330-000	SFR	0.161	1.000	112.52	112.52
196-460-340-000	SFR	0.139	1.000	112.52	112.52
196-460-350-000	SFR	0.159	1.000	112.52	112.52
196-460-360-000	SFR	0.161	1.000	112.52	112.52
196-460-370-000	SFR	0.161	1.000	112.52	112.52
196-460-380-000	SFR	0.161	1.000	112.52	112.52
196-460-390-000	SFR	0.161	1.000	112.52	112.52
196-460-400-000	SFR	0.156	1.000	112.52	112.52
196-470-010-000	MFR	0.256	1.000	112.52	112.52
196-470-050-000	SFR	0.186	1.000	112.52	112.52
196-470-060-000	SFR	0.145	1.000	112.52	112.52
196-470-070-000	SFR	0.141	1.000	112.52	112.52
196-470-080-000	SFR	0.138	1.000	112.52	112.52
196-470-090-000	SFR	0.162	1.000	112.52	112.52
196-470-100-000	SFR	0.175	1.000	112.52	112.52
196-470-110-000	SFR	0.172	1.000	112.52	112.52
196-470-120-000	SFR	0.148	1.000	112.52	112.52
196-470-130-000	SFR	0.191	1.000	112.52	112.52
196-470-140-000	SFR	0.227	1.000	112.52	112.52
196-470-150-000	SFR	0.230	1.000	112.52	112.52
196-470-160-000	SFR	0.177	1.000	112.52	112.52
196-470-170-000	SFR	0.144	1.000	112.52	112.52
196-470-180-000	SFR	0.148	1.000	112.52	112.52
196-470-190-000	SFR	0.161	1.000	112.52	112.52
196-470-210-000	COM	5.740	5.740	112.52	645.86
196-470-220-000	COM	0.055	1.000	112.52	112.52
196-470-230-000	SFR	0.199	1.000	112.52	112.52
196-470-240-000	SFR	0.315	1.000	112.52	112.52
196-470-250-000	MFR	0.283	1.000	112.52	112.52
196-470-260-000	MFR	0.308	1.000	112.52	112.52
196-470-270-000	MFR	0.323	1.000	112.52	112.52
196-470-280-000	MFR	0.327	1.000	112.52	112.52
196-470-290-000	MFR	0.327	1.000	112.52	112.52
196-470-300-000	MFR	0.326	1.000	112.52	112.52
196-480-010-000	SFR	0.144	1.000	112.52	112.52
196-480-020-000	SFR	0.140	1.000	112.52	112.52
196-480-030-000	SFR	0.140	1.000	112.52	112.52
196-480-040-000	SFR	0.144	1.000	112.52	112.52
196-480-050-000	SFR	0.137	1.000	112.52	112.52
196-480-060-000	SFR	0.137	1.000	112.52	112.52
196-480-070-000	SFR	0.137	1.000	112.52	112.52
196-480-080-000	SFR	0.156	1.000	112.52	112.52
196-480-090-000	SFR	0.142	1.000	112.52	112.52
196-480-100-000	SFR	0.156	1.000	112.52	112.52
196-480-110-000	SFR	0.137	1.000	112.52	112.52
196-480-120-000	SFR	0.137	1.000	112.52	112.52
196-480-130-000	SFR	0.137	1.000	112.52	112.52
196-480-140-000	SFR	0.143	1.000	112.52	112.52
196-480-150-000	SFR	0.138	1.000	112.52	112.52
196-480-160-000	SFR	0.186	1.000	112.52	112.52
196-480-170-000	SFR	0.198	1.000	112.52	112.52
196-480-180-000	SFR	0.236	1.000	112.52	112.52
196-480-190-000	SFR	0.164	1.000	112.52	112.52

**CITY OF LATHROP
CITY ZONE 1 - STORM DRAINAGE
FISCAL YEAR 2020/21
PARCEL LISTING**

APN	Land Use	Acreage	Units	Rate	Levy ⁽¹⁾
196-480-200-000	SFR	0.138	1.000	112.52	112.52
196-480-210-000	SFR	0.142	1.000	112.52	112.52
196-480-220-000	SFR	0.142	1.000	112.52	112.52
196-480-230-000	SFR	0.142	1.000	112.52	112.52
196-480-240-000	SFR	0.142	1.000	112.52	112.52
196-480-250-000	SFR	0.160	1.000	112.52	112.52
196-480-260-000	SFR	0.158	1.000	112.52	112.52
196-480-270-000	SFR	0.153	1.000	112.52	112.52
196-480-280-000	SFR	0.142	1.000	112.52	112.52
196-480-290-000	SFR	0.146	1.000	112.52	112.52
196-480-300-000	SFR	0.151	1.000	112.52	112.52
196-480-310-000	SFR	0.138	1.000	112.52	112.52
196-480-320-000	SFR	0.169	1.000	112.52	112.52
196-480-330-000	SFR	0.193	1.000	112.52	112.52
196-480-340-000	SFR	0.232	1.000	112.52	112.52
196-480-350-000	SFR	0.174	1.000	112.52	112.52
196-480-360-000	SFR	0.149	1.000	112.52	112.52
196-480-370-000	SFR	0.143	1.000	112.52	112.52
196-480-380-000	SFR	0.174	1.000	112.52	112.52
196-480-390-000	SFR	0.196	1.000	112.52	112.52
196-480-400-000	SFR	0.140	1.000	112.52	112.52
196-480-410-000	SFR	0.153	1.000	112.52	112.52
196-480-420-000	SFR	0.148	1.000	112.52	112.52
196-480-430-000	SFR	0.148	1.000	112.52	112.52
196-480-440-000	SFR	0.147	1.000	112.52	112.52
196-480-450-000	SFR	0.149	1.000	112.52	112.52
196-480-460-000	SFR	0.151	1.000	112.52	112.52
196-480-470-000	SFR	0.139	1.000	112.52	112.52
196-480-480-000	SFR	0.139	1.000	112.52	112.52
196-480-490-000	SFR	0.152	1.000	112.52	112.52
196-480-500-000	SFR	0.178	1.000	112.52	112.52
196-480-510-000	SFR	0.188	1.000	112.52	112.52
196-480-520-000	SFR	0.207	1.000	112.52	112.52
196-480-530-000	SFR	0.311	1.000	112.52	112.52
196-480-540-000	SFR	0.177	1.000	112.52	112.52
196-480-550-000	SFR	0.154	1.000	112.52	112.52
196-480-560-000	SFR	0.190	1.000	112.52	112.52
196-480-570-000	SFR	0.158	1.000	112.52	112.52
196-480-580-000	SFR	0.147	1.000	112.52	112.52
196-480-590-000	SFR	0.144	1.000	112.52	112.52
196-480-600-000	SFR	0.146	1.000	112.52	112.52
196-480-610-000	SFR	0.141	1.000	112.52	112.52
196-480-620-000	SFR	0.196	1.000	112.52	112.52
196-480-630-000	SFR	0.214	1.000	112.52	112.52
196-480-640-000	SFR	0.137	1.000	112.52	112.52
196-480-650-000	SFR	0.142	1.000	112.52	112.52
196-480-660-000	SFR	0.138	1.000	112.52	112.52
196-480-670-000	SFR	0.158	1.000	112.52	112.52
196-480-680-000	SFR	0.137	1.000	112.52	112.52
196-480-690-000	SFR	0.159	1.000	112.52	112.52
196-480-700-000	SFR	0.138	1.000	112.52	112.52
196-480-710-000	SFR	0.137	1.000	112.52	112.52
196-480-720-000	SFR	0.137	1.000	112.52	112.52

CITY OF LATHROP
CITY ZONE 1 - STORM DRAINAGE
FISCAL YEAR 2020/21
PARCEL LISTING

APN	Land Use	Acreage	Units	Rate	Levy ⁽¹⁾
196-480-730-000	SFR	0.138	1.000	112.52	112.52
196-480-740-000	SFR	0.138	1.000	112.52	112.52
196-480-750-000	SFR	0.138	1.000	112.52	112.52
196-480-760-000	SFR	0.150	1.000	112.52	112.52
196-480-770-000	SFR	0.137	1.000	112.52	112.52
196-480-780-000	SFR	0.139	1.000	112.52	112.52
196-480-790-000	SFR	0.150	1.000	112.52	112.52
196-480-800-000	SFR	0.160	1.000	112.52	112.52
196-480-810-000	SFR	0.138	1.000	112.52	112.52
196-480-820-000	SFR	0.173	1.000	112.52	112.52
196-480-830-000	SFR	0.157	1.000	112.52	112.52
196-480-840-000	SFR	0.137	1.000	112.52	112.52
196-490-010-000	SFR	0.158	1.000	112.52	112.52
196-490-020-000	SFR	0.168	1.000	112.52	112.52
196-490-030-000	SFR	0.151	1.000	112.52	112.52
196-490-040-000	SFR	0.151	1.000	112.52	112.52
196-490-050-000	SFR	0.150	1.000	112.52	112.52
196-490-060-000	SFR	0.142	1.000	112.52	112.52
196-490-070-000	SFR	0.159	1.000	112.52	112.52
196-490-080-000	SFR	0.140	1.000	112.52	112.52
196-490-090-000	SFR	0.156	1.000	112.52	112.52
196-490-100-000	SFR	0.172	1.000	112.52	112.52
196-490-110-000	SFR	0.165	1.000	112.52	112.52
196-490-120-000	SFR	0.178	1.000	112.52	112.52
196-490-130-000	SFR	0.193	1.000	112.52	112.52
196-490-140-000	SFR	0.253	1.000	112.52	112.52
196-490-150-000	SFR	0.305	1.000	112.52	112.52
196-490-160-000	SFR	0.132	1.000	112.52	112.52
196-490-170-000	SFR	0.145	1.000	112.52	112.52
196-490-180-000	SFR	0.148	1.000	112.52	112.52
196-490-190-000	SFR	0.168	1.000	112.52	112.52
196-490-200-000	SFR	0.137	1.000	112.52	112.52
196-490-210-000	SFR	0.164	1.000	112.52	112.52
196-490-220-000	SFR	0.140	1.000	112.52	112.52
196-490-230-000	SFR	0.137	1.000	112.52	112.52
196-490-240-000	SFR	0.137	1.000	112.52	112.52
196-490-250-000	SFR	0.137	1.000	112.52	112.52
196-490-260-000	SFR	0.137	1.000	112.52	112.52
196-490-270-000	SFR	0.137	1.000	112.52	112.52
196-490-280-000	SFR	0.138	1.000	112.52	112.52
196-490-290-000	SFR	0.151	1.000	112.52	112.52
196-490-320-000	SFR	0.150	1.000	112.52	112.52
196-490-330-000	SFR	0.149	1.000	112.52	112.52
196-490-340-000	SFR	0.149	1.000	112.52	112.52
196-490-350-000	SFR	0.139	1.000	112.52	112.52
196-490-360-000	SFR	0.154	1.000	112.52	112.52
196-490-370-000	SFR	0.214	1.000	112.52	112.52
196-490-380-000	SFR	0.164	1.000	112.52	112.52
196-490-390-000	SFR	0.233	1.000	112.52	112.52
196-490-400-000	SFR	0.209	1.000	112.52	112.52
196-490-410-000	SFR	0.211	1.000	112.52	112.52
196-490-420-000	SFR	0.150	1.000	112.52	112.52
196-490-430-000	SFR	0.150	1.000	112.52	112.52

CITY OF LATHROP
CITY ZONE 1 - STORM DRAINAGE
FISCAL YEAR 2020/21
PARCEL LISTING

APN	Land Use	Acreage	Units	Rate	Levy⁽¹⁾
196-490-440-000	SFR	0.151	1.000	112.52	112.52
196-490-450-000	SFR	0.202	1.000	112.52	112.52
196-490-460-000	SFR	0.151	1.000	112.52	112.52
196-490-470-000	SFR	0.151	1.000	112.52	112.52
196-490-480-000	SFR	0.151	1.000	112.52	112.52
196-490-490-000	SFR	0.151	1.000	112.52	112.52
196-490-500-000	SFR	0.151	1.000	112.52	112.52
196-490-510-000	SFR	0.151	1.000	112.52	112.52
196-490-520-000	SFR	0.151	1.000	112.52	112.52
196-490-530-000	SFR	0.151	1.000	112.52	112.52
196-490-540-000	SFR	0.152	1.000	112.52	112.52
196-490-550-000	SFR	0.160	1.000	112.52	112.52
196-490-560-000	SFR	0.151	1.000	112.52	112.52
196-490-570-000	SFR	0.153	1.000	112.52	112.52
196-500-090-000	SFR	0.598	1.000	112.52	112.52
196-510-080-000	COM	3.130	3.130	112.52	352.18
196-510-090-000	COM	4.570	4.570	112.52	514.20
196-510-100-000	COM	0.482	1.000	112.52	112.52
196-510-110-000	COM	1.353	1.353	112.52	152.22
196-520-010-000	SFR	0.140	1.000	112.52	112.52
196-520-020-000	SFR	0.145	1.000	112.52	112.52
196-520-030-000	SFR	0.152	1.000	112.52	112.52
196-520-040-000	SFR	0.152	1.000	112.52	112.52
196-520-050-000	SFR	0.152	1.000	112.52	112.52
196-520-060-000	SFR	0.160	1.000	112.52	112.52
196-520-070-000	SFR	0.138	1.000	112.52	112.52
196-520-080-000	SFR	0.137	1.000	112.52	112.52
196-520-090-000	SFR	0.137	1.000	112.52	112.52
196-520-100-000	SFR	0.137	1.000	112.52	112.52
196-520-110-000	SFR	0.137	1.000	112.52	112.52
196-520-120-000	SFR	0.137	1.000	112.52	112.52
196-520-130-000	SFR	0.137	1.000	112.52	112.52
196-520-140-000	SFR	0.137	1.000	112.52	112.52
196-520-150-000	SFR	0.165	1.000	112.52	112.52
196-520-160-000	SFR	0.160	1.000	112.52	112.52
196-520-170-000	SFR	0.138	1.000	112.52	112.52
196-520-180-000	SFR	0.138	1.000	112.52	112.52
196-520-190-000	SFR	0.138	1.000	112.52	112.52
196-520-200-000	SFR	0.138	1.000	112.52	112.52
196-520-210-000	SFR	0.138	1.000	112.52	112.52
196-520-220-000	SFR	0.138	1.000	112.52	112.52
196-520-230-000	SFR	0.236	1.000	112.52	112.52
196-520-240-000	SFR	0.186	1.000	112.52	112.52
196-520-250-000	SFR	0.141	1.000	112.52	112.52
196-520-260-000	SFR	0.137	1.000	112.52	112.52
196-520-270-000	SFR	0.137	1.000	112.52	112.52
196-520-280-000	SFR	0.137	1.000	112.52	112.52
196-520-290-000	SFR	0.137	1.000	112.52	112.52
196-520-300-000	SFR	0.137	1.000	112.52	112.52
196-520-310-000	SFR	0.137	1.000	112.52	112.52
196-520-320-000	SFR	0.137	1.000	112.52	112.52
196-520-330-000	SFR	0.144	1.000	112.52	112.52
196-520-340-000	SFR	0.137	1.000	112.52	112.52

CITY OF LATHROP
CITY ZONE 1 - STORM DRAINAGE
FISCAL YEAR 2020/21
PARCEL LISTING

APN	Land Use	Acreage	Units	Rate	Levy ⁽¹⁾
196-520-350-000	SFR	0.137	1.000	112.52	112.52
196-520-360-000	SFR	0.137	1.000	112.52	112.52
196-520-370-000	SFR	0.137	1.000	112.52	112.52
196-520-380-000	SFR	0.142	1.000	112.52	112.52
196-520-390-000	SFR	0.148	1.000	112.52	112.52
196-520-400-000	SFR	0.137	1.000	112.52	112.52
196-520-410-000	SFR	0.137	1.000	112.52	112.52
196-520-420-000	SFR	0.137	1.000	112.52	112.52
196-520-430-000	SFR	0.137	1.000	112.52	112.52
196-520-440-000	SFR	0.141	1.000	112.52	112.52
196-520-450-000	SFR	0.160	1.000	112.52	112.52
196-520-460-000	SFR	0.147	1.000	112.52	112.52
196-520-470-000	SFR	0.147	1.000	112.52	112.52
196-520-480-000	SFR	0.147	1.000	112.52	112.52
196-520-490-000	SFR	0.140	1.000	112.52	112.52
196-520-510-000	SFR	0.182	1.000	112.52	112.52
196-520-520-000	SFR	0.247	1.000	112.52	112.52
196-520-530-000	SFR	0.140	1.000	112.52	112.52
196-520-540-000	SFR	0.143	1.000	112.52	112.52
196-520-550-000	SFR	0.146	1.000	112.52	112.52
196-520-560-000	SFR	0.154	1.000	112.52	112.52
196-520-570-000	SFR	0.218	1.000	112.52	112.52
196-530-010-000	SFR	0.137	1.000	112.52	112.52
196-530-020-000	SFR	0.137	1.000	112.52	112.52
196-530-030-000	SFR	0.137	1.000	112.52	112.52
196-530-040-000	SFR	0.137	1.000	112.52	112.52
196-530-050-000	SFR	0.137	1.000	112.52	112.52
196-530-060-000	SFR	0.137	1.000	112.52	112.52
196-530-070-000	SFR	0.169	1.000	112.52	112.52
196-530-080-000	SFR	0.144	1.000	112.52	112.52
196-530-090-000	SFR	0.137	1.000	112.52	112.52
196-530-100-000	SFR	0.139	1.000	112.52	112.52
196-530-110-000	SFR	0.138	1.000	112.52	112.52
196-530-120-000	SFR	0.223	1.000	112.52	112.52
196-530-130-000	SFR	0.180	1.000	112.52	112.52
196-530-140-000	SFR	0.220	1.000	112.52	112.52
196-530-150-000	SFR	0.138	1.000	112.52	112.52
196-530-160-000	SFR	0.139	1.000	112.52	112.52
196-530-170-000	SFR	0.137	1.000	112.52	112.52
196-530-180-000	SFR	0.144	1.000	112.52	112.52
196-530-190-000	SFR	0.137	1.000	112.52	112.52
196-530-200-000	SFR	0.138	1.000	112.52	112.52
196-530-210-000	SFR	0.138	1.000	112.52	112.52
196-530-220-000	SFR	0.138	1.000	112.52	112.52
196-530-230-000	SFR	0.159	1.000	112.52	112.52
196-530-240-000	SFR	0.161	1.000	112.52	112.52
196-530-250-000	SFR	0.181	1.000	112.52	112.52
196-530-260-000	SFR	0.141	1.000	112.52	112.52
196-530-270-000	SFR	0.139	1.000	112.52	112.52
196-530-280-000	SFR	0.143	1.000	112.52	112.52
196-530-290-000	SFR	0.194	1.000	112.52	112.52
196-530-300-000	SFR	0.181	1.000	112.52	112.52
196-530-310-000	SFR	0.208	1.000	112.52	112.52

CITY OF LATHROP
CITY ZONE 1 - STORM DRAINAGE
FISCAL YEAR 2020/21
PARCEL LISTING

APN	Land Use	Acreage	Units	Rate	Levy⁽¹⁾
196-530-320-000	SFR	0.160	1.000	112.52	112.52
196-530-330-000	SFR	0.138	1.000	112.52	112.52
196-530-340-000	SFR	0.146	1.000	112.52	112.52
196-530-350-000	SFR	0.145	1.000	112.52	112.52
196-530-360-000	SFR	0.158	1.000	112.52	112.52
196-530-370-000	SFR	0.182	1.000	112.52	112.52
196-530-380-000	SFR	0.236	1.000	112.52	112.52
196-530-390-000	SFR	0.205	1.000	112.52	112.52
196-530-400-000	SFR	0.192	1.000	112.52	112.52
196-530-410-000	SFR	0.143	1.000	112.52	112.52
196-530-420-000	SFR	0.139	1.000	112.52	112.52
196-530-430-000	SFR	0.139	1.000	112.52	112.52
196-530-440-000	SFR	0.142	1.000	112.52	112.52
196-530-450-000	SFR	0.153	1.000	112.52	112.52
196-530-460-000	SFR	0.138	1.000	112.52	112.52
196-530-470-000	SFR	0.137	1.000	112.52	112.52
196-530-480-000	SFR	0.137	1.000	112.52	112.52
196-530-490-000	SFR	0.137	1.000	112.52	112.52
196-530-500-000	SFR	0.144	1.000	112.52	112.52
196-530-510-000	SFR	0.154	1.000	112.52	112.52
196-530-520-000	SFR	0.146	1.000	112.52	112.52
196-530-530-000	SFR	0.142	1.000	112.52	112.52
196-530-540-000	SFR	0.210	1.000	112.52	112.52
196-530-550-000	SFR	0.173	1.000	112.52	112.52
196-530-560-000	SFR	0.239	1.000	112.52	112.52
196-530-570-000	SFR	0.155	1.000	112.52	112.52
196-530-580-000	SFR	0.145	1.000	112.52	112.52
196-530-590-000	SFR	0.147	1.000	112.52	112.52
196-530-600-000	SFR	0.147	1.000	112.52	112.52
196-540-010-000	SFR	0.189	1.000	112.52	112.52
196-540-020-000	SFR	0.232	1.000	112.52	112.52
196-540-030-000	SFR	0.200	1.000	112.52	112.52
196-540-040-000	SFR	0.232	1.000	112.52	112.52
196-540-050-000	SFR	0.207	1.000	112.52	112.52
196-540-060-000	SFR	0.157	1.000	112.52	112.52
196-540-070-000	SFR	0.143	1.000	112.52	112.52
196-540-080-000	SFR	0.138	1.000	112.52	112.52
196-540-090-000	SFR	0.138	1.000	112.52	112.52
196-540-100-000	SFR	0.138	1.000	112.52	112.52
196-540-110-000	SFR	0.138	1.000	112.52	112.52
196-540-120-000	SFR	0.138	1.000	112.52	112.52
196-540-130-000	SFR	0.142	1.000	112.52	112.52
196-540-140-000	SFR	0.158	1.000	112.52	112.52
196-540-150-000	SFR	0.159	1.000	112.52	112.52
196-540-160-000	SFR	0.145	1.000	112.52	112.52
196-540-180-000	SFR	0.148	1.000	112.52	112.52
196-540-190-000	SFR	0.137	1.000	112.52	112.52
196-540-200-000	SFR	0.137	1.000	112.52	112.52
196-540-210-000	SFR	0.130	1.000	112.52	112.52
196-540-220-000	SFR	0.137	1.000	112.52	112.52
196-540-230-000	SFR	0.137	1.000	112.52	112.52
196-540-240-000	SFR	0.137	1.000	112.52	112.52
196-540-250-000	SFR	0.137	1.000	112.52	112.52

CITY OF LATHROP
CITY ZONE 1 - STORM DRAINAGE
FISCAL YEAR 2020/21
PARCEL LISTING

APN	Land Use	Acreage	Units	Rate	Levy⁽¹⁾
196-540-260-000	SFR	0.142	1.000	112.52	112.52
196-540-270-000	SFR	0.146	1.000	112.52	112.52
196-540-280-000	SFR	0.145	1.000	112.52	112.52
196-540-290-000	SFR	0.170	1.000	112.52	112.52
196-540-300-000	SFR	0.146	1.000	112.52	112.52
196-540-310-000	SFR	0.158	1.000	112.52	112.52
196-540-320-000	SFR	0.150	1.000	112.52	112.52
196-540-330-000	SFR	0.144	1.000	112.52	112.52
196-540-340-000	SFR	0.137	1.000	112.52	112.52
196-540-350-000	SFR	0.137	1.000	112.52	112.52
196-540-360-000	SFR	0.137	1.000	112.52	112.52
196-540-370-000	SFR	0.137	1.000	112.52	112.52
196-540-380-000	SFR	0.137	1.000	112.52	112.52
196-540-390-000	SFR	0.137	1.000	112.52	112.52
196-540-400-000	SFR	0.138	1.000	112.52	112.52
196-540-410-000	SFR	0.138	1.000	112.52	112.52
196-540-420-000	SFR	0.139	1.000	112.52	112.52
196-540-430-000	SFR	0.139	1.000	112.52	112.52
196-540-440-000	SFR	0.140	1.000	112.52	112.52
196-540-450-000	SFR	0.139	1.000	112.52	112.52
196-540-460-000	SFR	0.139	1.000	112.52	112.52
196-540-470-000	SFR	0.140	1.000	112.52	112.52
196-540-480-000	SFR	0.139	1.000	112.52	112.52
196-540-490-000	SFR	0.138	1.000	112.52	112.52
196-540-500-000	SFR	0.159	1.000	112.52	112.52
196-550-010-000	SFR	0.160	1.000	112.52	112.52
196-550-020-000	SFR	0.263	1.000	112.52	112.52
196-550-030-000	SFR	0.215	1.000	112.52	112.52
196-550-040-000	SFR	0.178	1.000	112.52	112.52
196-550-050-000	SFR	0.156	1.000	112.52	112.52
196-550-060-000	SFR	0.145	1.000	112.52	112.52
196-550-070-000	SFR	0.137	1.000	112.52	112.52
196-550-080-000	SFR	0.137	1.000	112.52	112.52
196-550-090-000	SFR	0.137	1.000	112.52	112.52
196-550-100-000	SFR	0.137	1.000	112.52	112.52
196-550-110-000	SFR	0.137	1.000	112.52	112.52
196-550-120-000	SFR	0.137	1.000	112.52	112.52
196-550-130-000	SFR	0.144	1.000	112.52	112.52
196-550-140-000	SFR	0.144	1.000	112.52	112.52
196-550-150-000	SFR	0.137	1.000	112.52	112.52
196-550-160-000	SFR	0.137	1.000	112.52	112.52
196-550-170-000	SFR	0.137	1.000	112.52	112.52
196-550-180-000	SFR	0.137	1.000	112.52	112.52
196-550-190-000	SFR	0.137	1.000	112.52	112.52
196-550-200-000	SFR	0.137	1.000	112.52	112.52
196-550-210-000	SFR	0.154	1.000	112.52	112.52
196-550-220-000	SFR	0.143	1.000	112.52	112.52
196-550-230-000	SFR	0.143	1.000	112.52	112.52
196-550-240-000	SFR	0.144	1.000	112.52	112.52
196-550-250-000	SFR	0.142	1.000	112.52	112.52
196-550-260-000	SFR	0.143	1.000	112.52	112.52
196-550-270-000	SFR	0.143	1.000	112.52	112.52
196-550-280-000	SFR	0.143	1.000	112.52	112.52

CITY OF LATHROP
CITY ZONE 1 - STORM DRAINAGE
FISCAL YEAR 2020/21
PARCEL LISTING

APN	Land Use	Acreage	Units	Rate	Levy⁽¹⁾
196-550-290-000	SFR	0.143	1.000	112.52	112.52
196-550-300-000	SFR	0.143	1.000	112.52	112.52
196-550-310-000	SFR	0.167	1.000	112.52	112.52
196-560-010-000	SFR	0.147	1.000	112.52	112.52
196-560-020-000	SFR	0.154	1.000	112.52	112.52
196-560-030-000	SFR	0.154	1.000	112.52	112.52
196-560-040-000	SFR	0.154	1.000	112.52	112.52
196-560-050-000	SFR	0.154	1.000	112.52	112.52
196-560-060-000	SFR	0.154	1.000	112.52	112.52
196-560-070-000	SFR	0.154	1.000	112.52	112.52
196-560-080-000	SFR	0.163	1.000	112.52	112.52
196-560-090-000	SFR	0.196	1.000	112.52	112.52
196-560-100-000	SFR	0.228	1.000	112.52	112.52
196-560-110-000	SFR	0.247	1.000	112.52	112.52
196-560-120-000	SFR	0.246	1.000	112.52	112.52
196-560-130-000	SFR	0.281	1.000	112.52	112.52
196-560-140-000	SFR	0.163	1.000	112.52	112.52
196-560-150-000	SFR	0.175	1.000	112.52	112.52
196-560-160-000	SFR	0.200	1.000	112.52	112.52
196-560-170-000	SFR	0.174	1.000	112.52	112.52
196-560-180-000	SFR	0.154	1.000	112.52	112.52
196-560-190-000	SFR	0.150	1.000	112.52	112.52
196-570-010-000	SFR	0.171	1.000	112.52	112.52
196-570-020-000	SFR	0.144	1.000	112.52	112.52
196-570-030-000	SFR	0.137	1.000	112.52	112.52
196-570-040-000	SFR	0.137	1.000	112.52	112.52
196-570-050-000	SFR	0.137	1.000	112.52	112.52
196-570-060-000	SFR	0.137	1.000	112.52	112.52
196-570-070-000	SFR	0.137	1.000	112.52	112.52
196-570-080-000	SFR	0.156	1.000	112.52	112.52
196-570-090-000	SFR	0.162	1.000	112.52	112.52
196-570-100-000	SFR	0.158	1.000	112.52	112.52
196-570-110-000	SFR	0.160	1.000	112.52	112.52
196-570-120-000	SFR	0.160	1.000	112.52	112.52
196-570-130-000	SFR	0.160	1.000	112.52	112.52
196-570-140-000	SFR	0.161	1.000	112.52	112.52
196-570-150-000	SFR	0.149	1.000	112.52	112.52
196-570-160-000	SFR	0.146	1.000	112.52	112.52
196-570-170-000	SFR	0.143	1.000	112.52	112.52
196-570-180-000	SFR	0.149	1.000	112.52	112.52
196-570-190-000	SFR	0.145	1.000	112.52	112.52
196-570-200-000	SFR	0.137	1.000	112.52	112.52
196-570-210-000	SFR	0.144	1.000	112.52	112.52
196-570-220-000	SFR	0.144	1.000	112.52	112.52
196-570-230-000	SFR	0.137	1.000	112.52	112.52
196-570-240-000	SFR	0.137	1.000	112.52	112.52
196-570-250-000	SFR	0.138	1.000	112.52	112.52
196-570-270-000	SFR	0.139	1.000	112.52	112.52
196-570-280-000	SFR	0.153	1.000	112.52	112.52
196-570-290-000	SFR	0.149	1.000	112.52	112.52
196-570-300-000	SFR	0.137	1.000	112.52	112.52
196-570-310-000	SFR	0.138	1.000	112.52	112.52
196-570-320-000	SFR	0.139	1.000	112.52	112.52

CITY OF LATHROP
CITY ZONE 1 - STORM DRAINAGE
FISCAL YEAR 2020/21
PARCEL LISTING

APN	Land Use	Acreage	Units	Rate	Levy⁽¹⁾
196-570-330-000	SFR	0.137	1.000	112.52	112.52
196-570-340-000	SFR	0.137	1.000	112.52	112.52
196-570-350-000	SFR	0.147	1.000	112.52	112.52
196-570-360-000	SFR	0.149	1.000	112.52	112.52
196-570-370-000	SFR	0.149	1.000	112.52	112.52
196-570-380-000	SFR	0.149	1.000	112.52	112.52
196-570-390-000	SFR	0.149	1.000	112.52	112.52
196-570-400-000	SFR	0.149	1.000	112.52	112.52
196-570-410-000	SFR	0.149	1.000	112.52	112.52
196-570-420-000	SFR	0.152	1.000	112.52	112.52
196-570-430-000	SFR	0.144	1.000	112.52	112.52
196-570-440-000	SFR	0.147	1.000	112.52	112.52
196-570-450-000	SFR	0.145	1.000	112.52	112.52
196-570-460-000	SFR	0.167	1.000	112.52	112.52
196-570-470-000	SFR	0.201	1.000	112.52	112.52
196-570-480-000	SFR	0.170	1.000	112.52	112.52
196-570-490-000	SFR	0.142	1.000	112.52	112.52
196-570-500-000	SFR	0.144	1.000	112.52	112.52
196-570-510-000	SFR	0.144	1.000	112.52	112.52
196-570-520-000	SFR	0.144	1.000	112.52	112.52
196-570-530-000	SFR	0.144	1.000	112.52	112.52
196-570-540-000	SFR	0.143	1.000	112.52	112.52
196-570-550-000	SFR	0.138	1.000	112.52	112.52
196-570-560-000	SFR	0.210	1.000	112.52	112.52
196-570-570-000	SFR	0.176	1.000	112.52	112.52
196-570-580-000	SFR	0.160	1.000	112.52	112.52
196-570-590-000	SFR	0.138	1.000	112.52	112.52
196-570-600-000	SFR	0.143	1.000	112.52	112.52
196-570-610-000	SFR	0.152	1.000	112.52	112.52
196-740-010-000	SFR	0.000	1.000	112.52	112.52
196-740-020-000	SFR	0.000	1.000	112.52	112.52
196-740-030-000	SFR	0.000	1.000	112.52	112.52
196-740-040-000	SFR	0.000	1.000	112.52	112.52
196-740-050-000	SFR	0.000	1.000	112.52	112.52
196-740-060-000	SFR	0.000	1.000	112.52	112.52
196-740-070-000	SFR	0.000	1.000	112.52	112.52
196-740-080-000	SFR	0.000	1.000	112.52	112.52
196-740-090-000	SFR	0.000	1.000	112.52	112.52
196-760-010-000	SFR	0.119	1.000	112.52	112.52
196-760-020-000	SFR	0.116	1.000	112.52	112.52
196-760-030-000	SFR	0.116	1.000	112.52	112.52
196-760-040-000	SFR	0.115	1.000	112.52	112.52
196-760-050-000	SFR	0.116	1.000	112.52	112.52
196-760-060-000	SFR	0.116	1.000	112.52	112.52
196-760-070-000	SFR	0.116	1.000	112.52	112.52
196-760-080-000	SFR	0.152	1.000	112.52	112.52
196-760-090-000	SFR	0.168	1.000	112.52	112.52
196-760-100-000	SFR	0.118	1.000	112.52	112.52
196-760-110-000	SFR	0.115	1.000	112.52	112.52
196-760-120-000	SFR	0.120	1.000	112.52	112.52
196-760-130-000	SFR	0.123	1.000	112.52	112.52
196-760-140-000	SFR	0.140	1.000	112.52	112.52
196-760-150-000	SFR	0.115	1.000	112.52	112.52

**CITY OF LATHROP
CITY ZONE 1 - STORM DRAINAGE
FISCAL YEAR 2020/21
PARCEL LISTING**

APN	Land Use	Acreage	Units	Rate	Levy⁽¹⁾
196-760-160-000	SFR	0.114	1.000	112.52	112.52
196-760-170-000	SFR	0.114	1.000	112.52	112.52
196-760-180-000	SFR	0.114	1.000	112.52	112.52
196-760-190-000	SFR	0.120	1.000	112.52	112.52
196-760-200-000	SFR	0.130	1.000	112.52	112.52
196-760-210-000	SFR	0.114	1.000	112.52	112.52
196-760-220-000	SFR	0.114	1.000	112.52	112.52
196-760-230-000	SFR	0.114	1.000	112.52	112.52
196-760-240-000	SFR	0.114	1.000	112.52	112.52
196-760-250-000	SFR	0.142	1.000	112.52	112.52
196-760-260-000	SFR	0.148	1.000	112.52	112.52
196-760-300-000	SFR	0.167	1.000	112.52	112.52
196-760-310-000	SFR	0.147	1.000	112.52	112.52
196-760-320-000	SFR	0.260	1.000	112.52	112.52
Totals:	2,081	Parcels	2,125.322		\$239,140.96

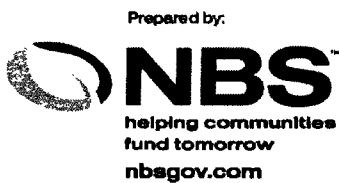
(1) Where applicable, the actual levy will be rounded down to an even cent for County tax roll purposes.

(2) Per City instruction, APN 196-070-270-000 is assessable.

CITY OF LATHROP

City Zone 1A Storm Drainage Annual Engineer's Report

Fiscal Year 2020/21



Corporate Headquarters
32605 Temecula Parkway, Suite 100
Temecula, CA 92592
Toll free: 800.676.7516

**CITY OF LATHROP
CITY ZONE 1A STORM DRAINAGE**

**390 Towne Centre Drive
Lathrop, California 95330
Phone - (209) 941-7320
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CITY COUNCIL

Sonny Dhaliwal, Mayor

Martha Salcedo, Vice Mayor

Paul Akinjo, Councilmember

Diane Lazard, Councilmember

Jennifer Torres-O'Callaghan, Councilmember

CITY STAFF

Stephen Salvatore, City Manager

Salvador Navarrete, City Attorney

Cari James, Finance Director

Glenn Gebhardt, City Engineer

NBS

Tim Seufert, Client Services Director

Kristin Harvey, Senior Consultant

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1. ENGINEER'S LETTER

WHEREAS, the City Council of the City of Lathrop (the "City"), State of California, directed NBS Government Finance Group, DBA NBS ("NBS") to prepare and file a report presenting plans and specifications describing the general nature, location, and extent of the improvements to be maintained, and an estimate of the costs of the maintenance, operations, and servicing of the improvements for the City Zone 1A Storm Drainage ("City Zone 1A" or the "District") for Fiscal Year 2020/21. The report includes a diagram for the District showing the area and properties proposed to be assessed, an assessment of the estimated costs of the maintenance, operations and servicing of the improvements, and the net amount to be assessed upon all assessable parcels within the District in proportion to the special benefit received;

WHEREAS, the assessment for City Zone 1A for Fiscal Year 1996/97 and thereafter, of \$84.72 per Maintenance Unit and \$115.20 per Availability Unit meets the requirements of an existing assessment that is not subject to the assessment ballot procedures under Section 5(a) of Article XIII D of the California Constitution which reads: *"the following assessments existing on the effective date of this article shall be exempt from the procedures and approval process...any assessment imposed exclusively to finance the capital costs or maintenance and operation expenses for sidewalks, streets, sewers, water, flood control, drainage systems or vector control."* The City may continue to levy the assessment for City Zone 1A as long as the rate does not exceed \$84.72 per Maintenance Unit and \$115.20 per Availability Unit;

NOW THEREFORE, only parcels that receive direct special benefit are assessed, and each parcel is assessed in proportion to the estimated benefit received. The following assessment is made to fund the portion of the estimated costs of maintenance, operation, and servicing of said improvements to be paid by the assessable real property within City Zone 1A in proportion to the special benefit received.

SUMMARY OF ASSESSMENT

Description	Amount
Total Costs to be Assessed	\$133,943.00
Contribution to (from) Operational Reserves	0.00
Contribution to (from) Capital Reserves	0.00
Other Revenue Sources ⁽¹⁾	<u>(20,579.00)</u>
Balance to Levy	\$113,364.00
Total Maintenance Costs to be Assessed ⁽²⁾	\$48,040.20
Total Maintenance Units to be Assessed	567.047
Total Maintenance Assessment per Unit	\$84.72
Total Availability Costs to be Assessed ⁽²⁾	\$65,323.80
Total Availability Units to be Assessed	567.047
Total Availability Assessment per Unit	\$115.20
Total Parcels to be Assessed	153

I, the undersigned, respectfully submit the enclosed Engineer's Report and, to the best of my knowledge, information, and belief, the Engineer's Report, Assessments, and the District Diagram herein have been prepared and computed in accordance with the order and historical practices of the City Council of the City.

NBS Government Finance Group, DBA NBS



2. OVERVIEW

2.1 Introduction

The City Council of the City of Lathrop (the “City”), previously accepted responsibility for portions of County Service Area (the “CSA”) No. 4, within the Crossroads Development, known as City Zone 1A Storm Drainage. City acceptance was made at the time of incorporation of the City and approved at an election on June 6, 1989. The City was authorized by the Local Agency Formation Commission (“LAFCO”) to continue to collect assessments and service charges as were previously authorized by the County of San Joaquin (the “County”).

This Annual Engineer’s Report (the “Report”) describes the District and the charge per parcel for Fiscal Year 2020/21 based on the historical and estimated cost to maintain the improvements and provide the services that benefit parcels within the District. The parcels contained within City Zone 1A receive a special benefit from the improvements and will pay only their fair share of the costs of the operations, servicing, and maintenance of the improvements within the District.

The word “parcel,” for the purposes of this Report, refers to an individual property assigned its own Assessor’s Parcel Number by the County Assessor’s Office. The County Auditor-Controller uses Assessor’s Parcel Numbers and specific fund numbers to identify, on the tax roll, properties assessed for special district benefit assessments.

Following consideration of public comments and written protests at a noticed public hearing, and following review of the Report, the City Council may confirm the Report. Following final approval of the Report and confirmation of the assessments, the City Council may order the levy and collection of assessments for Fiscal Year 2020/21. The assessment information will be submitted to the County Auditor-Controller and included on the property tax roll for each benefiting parcel for Fiscal Year 2020/21.

2.2 Effect of Proposition 218

On November 5, 1996, California voters approved Proposition 218 by a vote of 56.5% to 43.5%. The provisions of the Proposition, now California Constitutional Articles XIII C and XIII D, added substantive and procedural requirements for assessments which affect City Zone 1A.

- The assessments for City Zone 1A for Fiscal Year 1996/97 and thereafter of \$84.72 per Maintenance Unit and \$115.20 per Availability Unit meet the requirements of existing assessments that are not subject to the assessment ballot procedures under Section 5(a) of Article XIII D which reads: *“the following assessments existing on the effective date of this article shall be exempt from the procedures and approval process...any assessment imposed exclusively to finance the capital costs or maintenance and operation expenses for sidewalks, streets, sewers, water, flood control, **drainage systems** or vector control.”*
- The City may continue to levy the assessments for City Zone 1A as long as the rates do not exceed \$84.72 per Maintenance Unit and \$115.20 per Availability Unit.

- Section 5 of Article XIII D reads: *“Beginning July 1, 1997, all existing, new, or increased assessments shall comply with this article.”* This requires that all proposed increases in the assessments for City Zone 1A are required to be approved by property owners following the assessment balloting procedures set forth in Section 4 of Article XIII D.

2.3 Plans and Specifications for the Improvements

City Zone 1A provides services necessary to maintain existing storm drain facilities in addition to long term repair and renovation of the facilities. The District encompasses the area south of Louise Avenue, east of Interstate 5, and northwest of the Southern Pacific Railroad.

Due to the existence of storm drain inlets on streets within and adjacent to the Crossroads project, ingress and egress to and from the properties is enhanced. In addition, all storm drain facilities currently installed in the District are projected to be of sufficient capacity to accept storm runoff from all District properties at ultimate project build-out. Therefore all District properties will be charged for the costs related to the availability of the current system and the enhanced access to the properties afforded by that system.

Those properties that contribute runoff (and therefore, debris) into the storm drain system will be assessed their proportionate share of the incremental costs of maintaining the storm drain system, based upon their relative size and amount of run off contributed. Parcels currently contributing runoff into the system are those in the “Phase I” area as well as all those in the northern section of the District. Parcels that do not contribute to the system do not receive this charge.

All improvements within the District are maintained and serviced on a regular basis. The frequency and specific maintenance operations required within the District will be determined by City staff, but are generally scheduled weekly. It should be noted that extraordinary maintenance and capital asset replacement has not occurred for several years due to the lack of funding beyond that which provides for the District’s ordinary, baseline maintenance. The District has been limited to the same assessment rate since District formation because of the absence of an annual cost escalation factor.

Only parcels that receive direct special benefit are assessed, and each parcel is assessed in proportion to the estimated benefit received. As properties within the District develop and contribute runoff into the system, they will be assessed for their proportionate share of the maintenance costs.

3. ESTIMATE OF COSTS

3.1 Description of Budget Items

Personnel Services - Includes employee salaries, salary related costs, and employee benefits including retirement, medical benefits, and workers compensation costs, etc.

Maintenance & Operations - Includes the following:

Advertising/Legal Notices - Includes the cost of publishing the required legal notices necessary to complete the required procedures for levying the assessments.

Auto & Heavy Equipment Maintenance Parts - Includes replacement parts for City vehicles used for storm drain maintenance.

Auto & Heavy Equipment Maintenance & Repair - Includes maintenance of City vehicles used for storm drain maintenance.

Chemicals - Includes insect repellent, weed killer, and rodent control.

Communication Equipment Repair - Includes repair of mobile and portable radios.

Contract Services - Includes professional services necessary for District maintenance, including computer technical support, the preparation of the Report, and administration.

Contracts - Other - Includes uniform service, calibration services, Sheriff's Community Corp., alarm service, and annual engine service.

Contracts - Building and Ground Maintenance - Includes professional services necessary for District maintenance, including building and ground maintenance.

Gas, Diesel, Oil & Lubricants - Includes fuel, oil, and lubricants for vehicles, and miscellaneous small equipment used for storm drain maintenance and lift station.

Insurance - Includes insurance costs on property associated with storm drain maintenance.

Miscellaneous Supplies - Includes office equipment and supplies, tools, reference materials, and additional administrative costs. Includes items related to non-contracted maintenance and repair such as barricade batteries, paint, collection line repair, cones, signs, etc.

Other Maintenance & Repair - Includes contracted maintenance and repair services such as annual fire extinguisher service and emergency repairs.

Printing & Typesetting - Includes the cost of preparing the required legal notices necessary to complete the required procedures for levying the assessments.

Training, Membership, Travel & Dues - Includes continuing training for maintenance staff.

Uniforms/Protective Clothing - Includes employee uniforms including safety boots, jackets, gloves, etc.

Utilities - Gas & Electric - Includes electrical power for the storm drain pump station.

Fixed Charges & Special Fees - Includes the charges per parcel to collect the assessments on the County Secured Property Tax Roll.

Capital Costs - Includes depreciation costs of City owned equipment.

Indirect Costs - Includes overhead costs of the City related to maintenance, operation, and administration of the District.

3.2 City Zone 1A Budget

The budget for Fiscal Year 2020/21 is as follows.

Description	2020/21 Budget
Personnel Services	\$20,906.00
Maintenance & Operations Total	90,460.00
Capital Costs	<u>0.00</u>
Subtotal	\$111,366.00
Indirect Costs	22,577.00
Equipment Replacement	0.00
Capital Replacement	<u>0.00</u>
Total District Costs	\$133,943.00
Contribution to (from) Operational Reserves	0.00
Contribution to (from) Capital Reserves	0.00
Other Revenue Sources ⁽¹⁾	<u>(20,579.00)</u>
Total Balance to Levy	\$113,364.00
Maintenance Portion of Balance to Levy ⁽²⁾	\$48,040.20
Availability Portion of Balance to Levy ⁽²⁾	\$65,323.80

3.3 Balance to Levy

Total District Costs - Includes the personnel services, maintenance, and operations, capital (including capital replacement costs), indirect costs and equipment, and capital replacement costs.

Contribution to (from) Operational Reserves - The Operational Reserves item provides funds to operate the District from the time period of July 1 (beginning of the fiscal year) through December when the County provides the City with the first installment of assessments collected from the property tax bills. This eliminates the need for the City to transfer funds from non-District accounts to pay for District charges during the first half of the fiscal year. Negative amounts shown here are transfers that are used to reduce the Balance to Levy. Using reserve amounts in this way allows the levy per unit to remain at prior period rates, despite increases in District costs.

Contribution to (from) Capital Reserves - The Capital Reserve Account item provides funds to maintain reserves for extraordinary maintenance items and unexpected capital expenditures that may occur as a result of natural occurrences or other unforeseen circumstances.

Other Revenue Sources - This is the amount of additional funds designated for use by the District that are not from District assessments. These funds are added to the District account to reduce assessments and may be from either non-District sources including City General Fund contributions or District sources including interest earnings.

Balance to Levy - This is the total amount to be levied and collected through assessments for the current fiscal year. The Balance to Levy represents the sum of the total direct and administration costs, reserves, contributions, and other revenue sources.

The following table shows the total costs, additional revenues, and the Balance to Levy for Fiscal Year 2020/21.

Description	Amount
Total District Costs	\$133,943.00
Contribution to (from) Operational Reserves	0.00
Contribution to (from) Capital Reserves	0.00
Other Revenue Sources ⁽¹⁾	<u>(20,579.00)</u>
Balance to Levy	\$113,364.00

3.4 Operational & Maintenance Reserve Information

The following table shows the estimated balance of the Operational and Maintenance Reserves.

Description	Amount
Estimated Beginning Balance - July 1, 2020	\$0.00
Contribution to (from) Operational and Maintenance Reserves	<u>0.00</u>
Estimated Ending Balance - June 30, 2021	\$0.00

4. METHOD OF APPORTIONMENT

4.1 Method of Apportionment

The costs of the District are apportioned by a formula or method which fairly distributes the net amount to be assessed, among all assessable parcels in proportion to the estimated special benefits to be received by each such parcel from the operations, servicing, and maintenance of the improvements. The formula reflects the composition of the parcels and the improvements and services provided, to fairly apportion the costs based on estimated special benefit to each parcel. The assessment has been levied in accordance with the assessment methodology adopted and approved by the City Council at the time of District formation.

The method used to calculate the assessments is as follows:

Maintenance Budget	/	Maintenance Benefiting Units	=	Assessment Rate Per Maintenance Unit
Assessment Rate Per Maintenance Unit	x	Parcel Maintenance Units	=	Parcel Maintenance Assessment
Availability Budget	/	Availability Benefiting Units	=	Assessment Rate Per Availability Unit
Assessment Rate Per Availability Unit	x	Parcel Availability Units	=	Parcel Availability Assessment
Parcel Maintenance Assessment	+	Parcel Availability Assessment	=	Parcel Assessment

The Maintenance Units and Availability Units are equivalent to the parcel's specific acreage. Parcels that are less than one acre are assessed for one acre. Parcels that are larger than or equal to one acre are assessed based on actual acreage.

4.2 Maintenance Assessment Per Unit

The following table shows the maintenance assessment per unit for the Fiscal Year 2020/21 levy.

Description	Amount
Maintenance Portion of Balance to Levy ⁽¹⁾	\$48,040.20
Maintenance Units	567.047
Maintenance Assessment Per Unit	\$84.72

4.3 Availability Assessment Per Unit

The following table shows the availability assessment per unit for the Fiscal Year 2020/21 levy.

Description	Amount
Availability Portion of Balance to Levy ⁽¹⁾	\$65,323.80
Availability Units	567.047
Availability Assessment Per Unit	\$115.20

4.4 Total Assessment Per Unit

The following table shows the total assessment per unit for the Fiscal Year 2020/21 levy.

Description	Amount
Maintenance Assessment Per Unit	\$84.72
Availability Assessment Per Unit	115.20
Total Assessment Per Unit	\$199.92

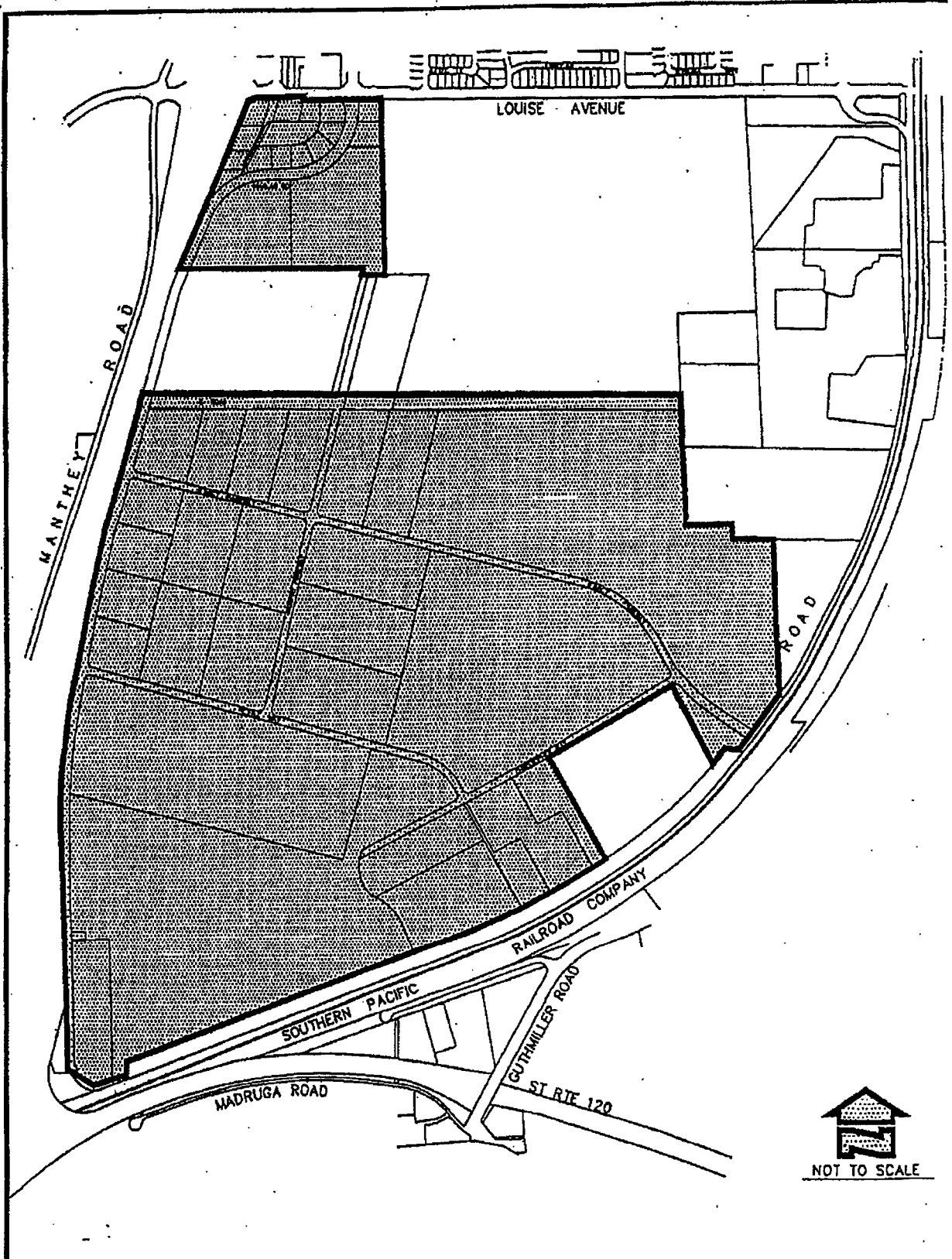
4.5 Historical Assessment Information

The following table shows the historical assessment rates for the District for the past ten years.

Fiscal Year	Maintenance Assessment Per Unit	Availability Assessment Per Unit	Total Amount
Fiscal Year 2019/20	\$84.72	\$115.20	\$199.92
Fiscal Year 2018/19	84.72	115.20	199.92
Fiscal Year 2017/18	84.72	115.20	199.92
Fiscal Year 2016/17	84.72	115.20	199.92
Fiscal Year 2015/16	84.72	115.20	199.92
Fiscal Year 2014/15	84.72	115.20	199.92
Fiscal Year 2013/14	84.72	115.20	199.92
Fiscal Year 2012/13	84.72	115.20	199.92
Fiscal Year 2011/12	84.72	115.20	199.92
Fiscal Year 2010/11	84.72	115.20	199.92

5. DISTRICT DIAGRAM

Reference is made to the District Diagram on file with the City Clerk. The following page provides the boundaries of the District. The lines and dimensions shown on maps of the County Assessor for the current year are incorporated by reference and made part of this Report.




 NOT TO SCALE

City of Lathrop
 Storm Drain Zone 1A



Date: February 15

6. PARCEL LISTING

The parcel listing of assessments is provided on the following pages. The description of each lot or parcel is a part of the records of the County Assessor and is incorporated by reference and made part of this Report.

CITY OF LATHROP
CITY ZONE 1A - STORM DRAINAGE
FISCAL YEAR 2020/21
PARCEL LISTING

APN	Land Use	Acreage	Maintenance Assessment			Availability Assessment			Total Levy
			Units	Rate	Levy*	Units	Rate	Levy*	
198-130-300-000	COM	8.6300	8.6300	\$84.72	\$731.13	8.6300	\$115.20	\$994.18	\$1,725.30
198-130-390-000	INV	27.9300	27.9300	84.72	2,366.23	27.9300	115.20	3217.54	5,583.76
198-130-420-000	IND	47.1600	47.1600	84.72	3,995.40	47.1600	115.20	5432.83	9,428.22
198-130-540-000	INV	5.0200	5.0200	84.72	425.29	5.0200	115.20	578.30	1,003.58
198-130-550-000	INV	7.2100	7.2100	84.72	610.83	7.2100	115.20	830.59	1,441.42
198-130-560-000	INV	6.0400	6.0400	84.72	511.71	6.0400	115.20	695.81	1,207.52
198-130-570-000	INV	4.8800	4.8800	84.72	413.43	4.8800	115.20	562.18	975.60
198-130-580-000	INV	1.8300	1.8300	84.72	155.04	1.8300	115.20	210.82	365.86
198-130-610-000	INV	9.7600	9.7600	84.72	826.87	9.7600	115.20	1124.35	1,951.22
198-130-620-000	IND	18.6700	18.6700	84.72	1,581.72	18.6700	115.20	2150.78	3,732.50
198-130-630-000	INV	7.1900	7.1900	84.72	609.14	7.1900	115.20	828.29	1,437.42
198-130-640-000	IND	49.6400	49.6400	84.72	4,205.50	49.6400	115.20	5718.53	9,924.02
198-190-040-000	IND	6.3100	6.3100	84.72	534.58	6.3100	115.20	726.91	1,261.48
198-190-060-000	COM	8.9900	8.9900	84.72	761.63	8.9900	115.20	1035.65	1,797.28
198-190-190-000	IND	12.4900	12.4900	84.72	1,058.15	12.4900	115.20	1438.85	2,497.00
198-190-200-000	IND	12.5000	12.5000	84.72	1,059.00	12.5000	115.20	1440.00	2,499.00
198-190-210-000	IND	13.2000	13.2000	84.72	1,118.30	13.2000	115.20	1520.64	2,638.94
198-190-300-000	IND	11.0000	11.0000	84.72	931.92	11.0000	115.20	1267.20	2,199.12
198-190-310-000	IND	14.7200	14.7200	84.72	1,247.08	14.7200	115.20	1695.74	2,942.82
198-190-320-000	IND	29.1100	29.1100	84.72	2,466.20	29.1100	115.20	3353.47	5,819.66
198-190-330-000	IND	7.2800	7.2800	84.72	616.76	7.2800	115.20	838.66	1,455.42
198-210-020-000	COM	1.1690	1.1690	84.72	99.04	1.1690	115.20	134.67	233.70
198-210-030-000	COM	0.8390	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-210-040-000	COM	0.6390	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-210-050-000	COM	0.8500	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-210-060-000	COM	0.6890	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-210-070-000	COM	0.7600	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-210-080-000	COM	0.7390	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-210-090-000	COM	0.8500	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-210-100-000	COM	0.8300	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-210-140-000	COM	0.7390	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-210-160-000	COM	0.9930	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-210-170-000	COM	0.9160	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-210-180-000	COM	14.2800	14.2800	84.72	1,209.80	14.2800	115.20	1645.06	2,854.86
198-210-190-000	COM	18.7000	18.7000	84.72	1,584.26	18.7000	115.20	2154.24	3,738.50
198-210-200-000	COM	0.7740	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-210-210-000	COM	0.3850	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-210-220-000	COM	1.3390	1.3390	84.72	113.44	1.3390	115.20	154.25	267.68
198-210-230-000	COM	1.0690	1.0690	84.72	90.57	1.0690	115.20	123.15	213.72
198-220-020-000	IND	19.3900	19.3900	84.72	1,642.72	19.3900	115.20	2233.73	3,876.44

CITY OF LATHROP
CITY ZONE 1A - STORM DRAINAGE
FISCAL YEAR 2020/21
PARCEL LISTING

APN	Land Use	Acreage	Maintenance Assessment			Availability Assessment			Total Levy
			Units	Rate	Levy*	Units	Rate	Levy*	
198-220-030-000	IND	10.0100	10.0100	84.72	848.05	10.0100	115.20	1153.15	2,001.20
198-220-090-000	COM	27.7900	27.7900	84.72	2,354.37	27.7900	115.20	3201.41	5,555.78
198-220-100-000	IND	11.4900	11.4900	84.72	973.43	11.4900	115.20	1323.65	2,297.08
198-220-110-000	INV	0.7440	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-220-120-000	IND	23.0700	23.0700	84.72	1,954.49	23.0700	115.20	2657.66	4,612.14
198-240-010-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-020-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-030-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-040-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-050-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-060-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-070-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-080-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-090-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-100-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-110-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-120-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-130-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-140-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-150-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-160-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-170-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-180-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-190-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-200-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-210-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-220-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-230-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-240-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-250-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-260-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-270-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-280-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-290-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-300-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-310-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-320-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-330-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-340-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-350-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92

CITY OF LATHROP
CITY ZONE 1A - STORM DRAINAGE
FISCAL YEAR 2020/21
PARCEL LISTING

APN	Land Use	Acreage	Maintenance Assessment			Availability Assessment			Total Levy
			Units	Rate	Levy*	Units	Rate	Levy*	
198-240-360-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-370-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-380-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-390-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-400-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-410-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-420-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-430-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-440-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-450-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-460-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-470-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-240-480-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-010-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-020-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-030-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-040-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-050-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-060-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-070-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-080-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-090-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-100-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-110-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-120-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-130-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-140-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-150-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-160-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-170-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-180-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-190-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-200-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-210-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-220-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-230-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-240-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-250-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-260-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-270-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92

CITY OF LATHROP
CITY ZONE 1A - STORM DRAINAGE
FISCAL YEAR 2020/21
PARCEL LISTING

APN	Land Use	Acreage	Maintenance Assessment			Availability Assessment			Total Levy
			Units	Rate	Levy*	Units	Rate	Levy*	
198-250-280-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-290-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-300-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-310-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-320-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-330-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-340-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-350-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-360-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-370-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-380-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-390-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-400-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-410-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-420-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-430-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-440-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-450-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-460-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-470-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-480-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-490-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-500-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-510-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-520-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-530-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-540-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-550-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-560-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-570-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-580-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-590-000	IND	0.1302	1.00	84.72	84.72	1.0000	115.20	115.20	199.92
198-250-600-000	INV	8.1800	8.1800	84.72	693.0096	8.18	115.2	942.336	1,635.34
Totals:	153 Parcels		567.0470		\$48,040.22	567.0470		\$65,323.81	\$113,363.90

* Where applicable, the actual levy will be rounded down to an even amount for County tax roll purposes.

ITEM: PUBLIC HEARING (PUBLISHED NOTICE) TO CONSIDER FISCAL YEAR 2020/21 ASSESSMENTS FOR THE LANDSCAPE AND LIGHTING MAINTENANCE DISTRICT NO. 93-1 WOODFIELD PARK MAINTENANCE ZONE

RECOMMENDATION: Council to Consider the Following:

- 1. Hold a Public Hearing; and**
- 2. Adopt a Resolution Approving the Final Engineer’s Report and Ordering the Levy and Collection of Assessments for the Landscape and Lighting Maintenance District No. 93-1 Woodfield Park Maintenance Zone for Fiscal Year 2020/21**

SUMMARY:

At the May 11, 2020 City Council Meeting, Staff presented the preliminary Engineer’s Report and Intent to Levy for the Landscape and Lighting Maintenance District No. 93-1 Woodfield Park Maintenance Zone (“Woodfield Park”) or (LLMD 93-1”) to Council for approval, and requested to set a public hearing date to initiate the final approval process.

The City Council approved the preliminary Engineer’s Report and Intent to Levy for the LLMD 93-1, and set the public hearing date for June 8, 2020. The public hearing was published in the Manteca Bulletin on May 23 & 29 of 2020.

The assessment of LLMD 93-1 for Fiscal Year 2020/21 shows that the revenues for Woodfield Park do not meet the expenditures, resulting in a shortfall of \$29,342. Consequently, the use of the District’s reserves will be required to maintain current service levels for Woodfield Park. Staff estimates the beginning Fiscal Year 2020/21 District reserves to be \$5,045.

Woodfield Park is proposed to be levied at a rate of \$123.90 per Equivalent Dwelling Unit (EDU). The assessment rate of \$123.90 per EDU has been in effect since Fiscal Year 1998/99 and is not proposed to increase.

Table 1 below displays the current and proposed assessment rates.

Table 1

District	FY 19/20	FY 20/21		Notes
	Actual Rates	Proposed Rates	% Change	
Woodfield Park	\$123.90	\$123.90	0.00%	Rate unchanged since FY 1998/99

**CITY MANAGER’S REPORT
JUNE 8, 2020 CITY COUNCIL MEETING REGULAR MEETING
FISCAL YEAR 2020/21 WOODFIELD PARK BUDGET**

Please note that the assessment and budget amounts shown in the final Engineer’s Report have not been modified from the approved preliminary Engineer’s Report on May 11th.

Tonight, the City Council is being asked to approve the final Engineer’s Report for the Landscape and Lightning Maintenance District No. 93-1 Woodfield Park Maintenance Zone and order the levy and collection of annual assessments for Fiscal Year 2020/21.

City Council may order amendments to the Engineer’s Report or confirm it as submitted. If approved, the assessment information will be submitted to the County Auditor-Controller, and included on the property tax roll for each benefiting parcel for Fiscal Year 2020/21. The collected monies will fund Woodfield Park operation and maintenance costs.

BACKGROUND:

Maintenance Districts are formed to fund services and improvements that provide special benefit to the properties within the District’s boundaries. Improvements may include landscaping, park sites, street lightning and storm drainage. The Districts levies are made pursuant to the Landscaping and Lighting Act of 1972, Part 2 of Division 15 of the California Streets and Highways Code (the “Act”), applicable to the provisions of Proposition 218 (California Constitutional Articles XIII C and XIII D).

Each parcel within a District is assessed in accordance to assessment methodology adopted and approved by the City Council at the time of District formation. The assessments are paid by the property owner as a part of each parcel’s secured property tax bill.

NBS Government Finance Group performs an annual assessment of the Districts, evaluating costs of the maintenance, operations, and servicing of the improvements to be maintained. The assessment process is generally initiated in March. Upon the completion of the assessment, NBS submits a Preliminary Engineer’s Report (the “Report”) to City staff which includes a district overview, estimate of costs, method of apportionment, district diagrams, and parcel listing. City staff utilizes the Report findings to produce the District’s annual budget.

The City of Lathrop has eight (8) Maintenance Assessment Districts (MAD): five (5) Landscaping and Lighting Districts (LLMD), including Woodfield Park; three (3) Benefit Assessment Districts (BAD). Woodfield Park was created to fund the cost of the operation and maintenance of specific park improvements within Tract 2051. This includes costs for personnel to maintain buildings and equipment and the cost for contracted park maintenance.

Woodfield Park reporting is submitted on a stand-alone basis due to the size of the district. (Legal guidelines generally prohibit legislative body members from voting on

**CITY MANAGER'S REPORT
 JUNE 8, 2020 CITY COUNCIL MEETING REGULAR MEETING
 FISCAL YEAR 2020/21 WOODFIELD PARK BUDGET**

matters involving districts where they reside if the district(s) in question comprise less than 10% of the agency's total residential parcels as defined by the County Assessor.)

In Fiscal Year 2020/21 Woodfield Park will receive \$54,764 in revenue from assessments. The total expenditures for this District are \$89,251, which creates a shortfall of \$34,487. The District is anticipated to begin Fiscal Year 2020/21 with a reserve fund balance of \$5,045, which will be used to partially offset the shortfall. A General Fund subsidy, in the amount of \$29,342, is required for Fiscal Year 2020/21.

Table 2 below displays the current and proposed assessment rates.

Table 2

District	FY 19/20	FY 20/21		Notes
	Actual Rates	Proposed Rates	% Change	
Woodfield Park	\$123.90	\$123.90	0.00%	Rate unchanged since FY 1998/99

Woodfield Park is proposed to be levied at a rate of \$123.90 per Equivalent Dwelling Unit (EDU). The assessment rate of \$123.90 per EDU has been in effect since Fiscal Year 1998/99 and is not proposed to increase.

The Woodfield Park District was created several years ago, without a revenue inflation factor. This means, Woodfield Park has a maximum assessment rate that does not escalate to mirror increases in district expenses. The imbalance of Woodfield Park's expenditures will continue due to the lack of the revenue inflation factor. In order to remedy this imbalance, a Proposition 218 balloting of Woodfield Park's property owners would have to be initiated and successfully completed.

By law, assessments may only increase to the maximum approved amount set by property owners at the time of district formation or annexation. Any proposed increase which exceeds the approved amount requires the approval of the then current property owners via a Proposition 218 ballot process. Each of the City's Districts has a maximum assessment amount. The City Council may authorize any level of assessment up to the maximum amount. If it is determined that the maximum amount is not needed, City Council may lower the actual annual assessment without jeopardizing the ongoing maximum assessment.

The final Engineer Report for Woodfield Park is available for review at the City Clerk's office and the Public Works Department. Copies will be available at the City Council meeting per request.

REASON FOR RECOMMENDATION:

Maintain quality maintenance and service of Woodfield Park.

FISCAL IMPACT:

The Woodfield Park Landscaping and Lighting District has expenditures that exceed revenues. In order to maintain the current service levels in the district, utilization of \$5,045 in district fund reserves and a General Fund subsidy, in the amount of \$29,342, is required to cover the shortfall.


ATTACHMENTS:

- A. A Resolution Amending and/or Approving the Final Engineer's Report and Ordering the Levy and Collection of Assessments for the Landscape and Lighting Maintenance District No 93-1 (Woodfield Park) Maintenance Zone For Fiscal Year 2020/21
- B. Landscape and Lighting Maintenance District No. 93-1 (Woodfield Park) Boundary Map

*** Note – The Final Engineer Report is available for review upon request in the City Clerk's Office.**

**CITY MANAGER'S REPORT
JUNE 8, 2020 CITY COUNCIL MEETING REGULAR MEETING
FISCAL YEAR 2020/21 WOODFIELD PARK BUDGET**

APPROVALS:



Sandra Frias
Sr. Management Analyst

5/27/2020

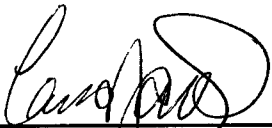
Date



Thomas Hedegard
Accounting Manager

5/27/20

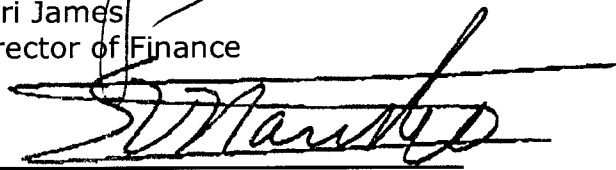
Date



Cari James
Director of Finance

5/28/2020

Date



Salvador Navarrete
City Attorney

5/28/2020

Date



Stephen Salvatore
City Manager

6.3.2020

Date

RESOLUTION NO. 20-_____

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LATHROP
AMENDING AND/OR APPROVING THE FINAL ENGINEER'S REPORT
AND ORDERING THE LEVY AND COLLECTION OF ASSESSMENTS FOR
THE LANDSCAPE AND LIGHTING MAINTENANCE DISTRICT NO 93-1
WOODFIELD PARK MAINTENANCE ZONE FOR FISCAL YEAR 2020/21**

WHEREAS, on May 11, 2020 the City Council initiated proceedings for Fiscal Year 2020/21 and declared its intention to levy and collect annual assessments in a special maintenance district created pursuant to the provisions of the *Landscaping and Lighting Act of 1972, Division 15, Part 2 of the Streets and Highways Code of the State of California* (the "Act") said special maintenance district known and designated as the City of Lathrop, Landscape and Lighting Maintenance District No. 93-1 Woodfield Park Maintenance Zone (hereinafter referred to as the "District"); and

WHEREAS, on June 8, 2020, the City Council held a public hearing for the approval of the final Engineer's report and ordering of the levy and collection of assessments; and

WHEREAS, a notice of the public hearing was mailed to each property owner within the District, and the public hearing was published in the Manteca Bulletin on May 23 & 29 of 2020; and

WHEREAS, at this time all notice and public hearing requirements as required by the Act have been met relating to the levy of the annual assessments; and

WHEREAS, the City Council has received a final Engineer's Report (the "Report") from the Assessment Engineer (NBS Government Finance Group) for consideration and final approval which details the method of assessment including the proposed annual assessment of \$123.90. The Report is available for the public review; and

WHEREAS, the assessments are in compliance with all laws pertaining to the levy of the landscape maintenance district assessments, and the assessments are levied without regard to property valuation, and the assessments are in compliance with the provisions of Proposition 218;

WHEREAS, the City Council is satisfied with the assessment, diagram and all other matters as contained in the Report; and

WHEREAS, the City Council approves the Report and ordering of the levy and collection of assessment in the amount of \$123.90;

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF LATHROP AS FOLLOWS:

RECITALS

- Section 1. The above recitals are all true and correct.
- Section 2. This City Council hereby finds and determines that the procedures for the consideration of the levy of the annual assessments have been undertaken in accordance with the Act inasmuch as, the proposed assessments for Fiscal Year 2020/21 are not proposed to be increased over the assessments previously authorized to be levied.

DETERMINATION AND CONFIRMATION

- Section 3. The final assessments and diagram for the proceedings, as contained in the Engineer's Report, is hereby approved and confirmed.

Based upon the Engineer's Report and the testimony and other evidence presented at the Public Hearing, the City Council hereby makes the following determinations regarding the assessments proposed to be imposed:

- a. The proportionate special benefit derived by each individual parcel assessed has been determined in relationship to the entity of the cost of the operations and maintenance expenses.
- b. The assessments do not exceed the reasonable cost of the proportional special benefit conferred on each parcel.
- c. Only the special benefits have been assessed.

The assessments for the District contained in the Engineer's Report for Fiscal Year 2020/21 are hereby confirmed and levied upon the respective lots or parcels within the District in the amounts set forth in the Engineer's Report.

ORDERING OF MAINTENANCE

- Section 4. The public interest and convenience requires, and this legislative body does hereby order the maintenance work to be made and performed as said maintenance work is set forth in the Engineer's Report and as previously declared and set forth in the Resolution of Intention.

FILING WITH CITY CLERK

Section 5. The above-referenced Engineer's Report shall be filed in the Office of the City Clerk and shall remain open for public inspection.

ENTRY UPON THE ASSESSMENT ROLL

Section 6. The County Auditor shall enter onto the County Assessment roll opposite each lot or parcel of land the amount assessed thereupon, as shown in the Engineer's Report.

COLLECTION AND PAYMENT

Section 7. The assessments shall be collected at the same time and in the same manner as County taxes are collected, and all laws providing for the collection and enforcement of County taxes shall apply to the collection and enforcement of the assessments.

FISCAL YEAR

Section 8. The assessments as above authorized and levied for these proceedings will provide revenue and relate to the fiscal year commencing July 1, 2020 and ending June 30, 2021.

The foregoing resolution was passed and adopted this 8th day of June 2020, by the following vote of the City Council, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

Sonny Dhaliwal, Mayor

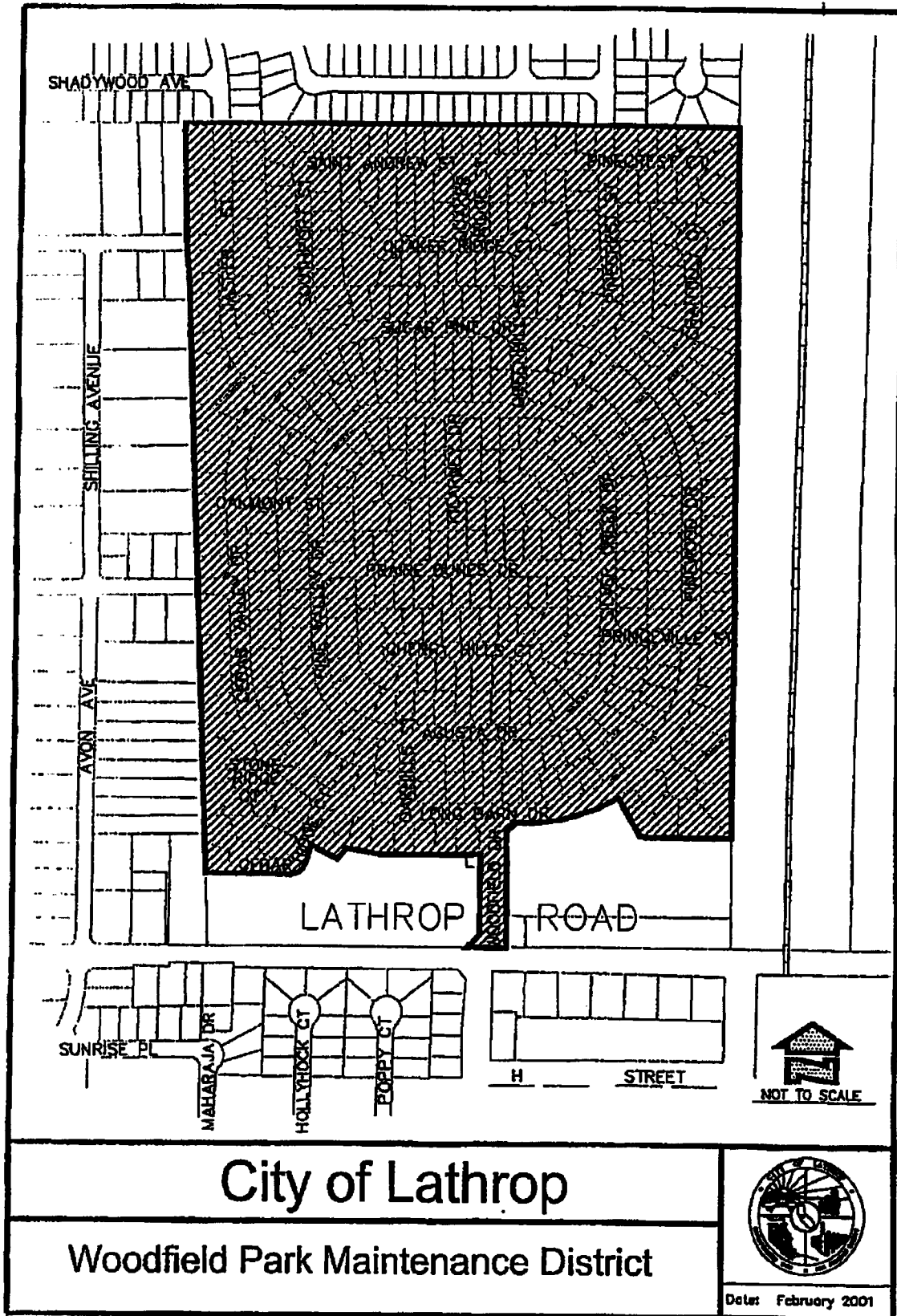
ATTEST:

APPROVED AS TO FORM:

Teresa Vargas, City Clerk



Salvador Navarrete, City Attorney



City of Lathrop

Woodfield Park Maintenance District



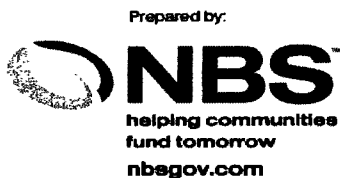
Date: February 2001

CITY OF LATHROP

**Landscape and Lighting Maintenance District No. 93-1
Woodfield Park Maintenance Zone**

Annual Engineer's Report

Fiscal Year 2020/21



Corporate Headquarters
32605 Temecula Parkway, Suite 100
Temecula, CA 92592
Toll free: 800.676.7516

**CITY OF LATHROP
LANDSCAPE AND LIGHTING MAINTENANCE DISTRICT NO. 93-1
WOODFIELD PARK MAINTENANCE ZONE**

**390 Towne Centre Drive
Lathrop, California 95330
Phone - (209) 941-7320
Fax - (209) 941-7339**

CITY COUNCIL

Sonny Dhaliwal, Mayor

Martha Salcedo, Vice Mayor

Paul Akinjo, Councilmember

Diane Lazard, Councilmember

Jennifer Torres-O'Callaghan, Councilmember

CITY STAFF

Stephen Salvatore, City Manager

Salvador Navarrete, City Attorney

Cari James, Finance Director

Glenn Gebhardt, City Engineer

NBS

Tim Seufert, Client Services Director

Kristin Harvey, Senior Consultant

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1. ENGINEER’S LETTER

WHEREAS, the City Council of the City of Lathrop (the “City”), State of California, directed NBS Government Finance Group, DBA NBS (“NBS”) to prepare and file a report presenting plans and specifications describing the general nature, location, and extent of the improvements to be maintained, and an estimate of the costs of the maintenance, operations, and servicing of the improvements for the City of Lathrop Landscape and Lighting Maintenance District No. 93-1 (the “District”) for Fiscal Year 2020/21 including only the Woodfield Park Maintenance Zone. The report includes a diagram for the District showing the area and properties proposed to be assessed, an assessment of the estimated costs of the maintenance, operations and servicing the improvements, and the net amount to be assessed upon all assessable parcels within the District in proportion to the special benefit received;

WHEREAS, the proposed assessment rate of \$123.90 per Equivalent Dwelling Unit (“EDU”) has not increased from the previous year. The District is in compliance with the assessment balloting procedures set forth in Section 4 of Article XIII D of the California Constitution and the District was formed by consent of 100% of the land owners;

NOW THEREFORE, only parcels that receive direct special benefit are assessed, and each parcel is assessed in proportion to the estimated benefit received. The following assessment is made to fund the portion of the estimated costs of maintenance, operation, and servicing of the improvements to be paid by the assessable real property within the District in proportion to the special benefit received:

SUMMARY OF ASSESSMENT

Description	Amount
Balance to Levy	\$54,763.80
Total Equivalent Dwelling Units	442.00
Total Assessment Per Equivalent Dwelling Unit	\$123.90
Total Parcels to be Assessed	442

I, the undersigned, respectfully submit the enclosed Engineer’s Report and, to the best of my knowledge, information, and belief, the Engineer’s Report, Assessments, and the District Diagram herein have been prepared and computed in accordance with the order and historical practices of the City Council of the City.

NBS Government Finance Group, DBA NBS



2. OVERVIEW

2.1 Introduction

The City previously formed several maintenance assessment districts for the purpose of providing maintenance services to benefit certain parcels in the City. Over several years, these districts have levied and collected special assessments. In 1993, the districts were consolidated, and now represent distinct zones in the District. The District was formed and the levies made pursuant to the Landscaping and Lighting Act of 1972, Part 2 of Division 15 of the California Streets and Highways Code (the “Act”). Since Fiscal Year 1998/99, only the Woodfield Park Maintenance Zone has been included in the annual assessment of the District.

This Annual Engineer’s Report (the “Report”) describes the District and the proposed charge per EDU for Fiscal Year 2020/21 based on the historical and estimated cost to maintain the improvements and provide the services that benefit parcels within the District. Maintenance and operation of the facilities provides a healthy alternative for youth and adult activities while protecting the capital investments that have been made within the District.

The word “parcel,” for the purposes of this Report, refers to an individual property assigned its own Assessor’s Parcel Number by the San Joaquin County (the “County”) Assessor’s Office. The County Auditor-Controller uses Assessor’s Parcel Numbers and specific fund numbers to identify, on the tax roll, properties assessed for special district benefit assessments.

Following consideration of public comments at a noticed public hearing and following review of the Report, the City Council may confirm the submittal of the Report and may order the levy and collection of assessments for Fiscal Year 2020/21. If approved, the assessment information will be submitted to the County Auditor-Controller, and included on the property tax roll for each benefiting parcel for Fiscal Year 2020/21.

2.2 Effect of Proposition 218

On November 5, 1996, California voters approved Proposition 218 by a vote of 56.5% to 43.5%. The provisions of the Proposition, now California Constitutional Articles XIII C and XIII D, added substantive and procedural requirements for assessments which affect the City’s landscaping and lighting maintenance assessments.

The assessment rate of \$123.90 per EDU has been in effect since Fiscal Year 1996/97 and is not proposed to increase. The District is in compliance with the assessment balloting procedures set forth in Section 4 of Article XIII D and the District was formed by consent of 100% of the land owners.

2.3 Plans and Specifications for the Improvements

The City operates, services, and maintains Woodfield Park (5.49 acres).

The District includes parcels within Tract 2051 and consists of a residential area generally located east of I-5, west of the Union Pacific Railroad, and north of Lathrop Road. Parcels within this zone receive special benefit from the Woodfield Park improvements. Specific improvements within this zone include planting materials, irrigation systems, drainage systems, natural drainage areas, fencing, restroom facilities, playground equipment, picnic facilities, and hardscape.

3. ESTIMATE OF COSTS

3.1 Description of Budget Items

Personnel Services – Includes employee salaries, salary related costs, and employee benefits including retirement, medical benefits, and workers compensation costs, etc.

Maintenance & Operations – Includes the following:

Advertising/Legal Notices – Includes the cost of publishing the required legal notices necessary to complete the required procedures for levying the assessments.

Auto & Heavy Equipment Maintenance Parts – Includes replacement parts for City vehicles used for storm drain maintenance.

Auto & Heavy Equipment Maintenance & Repair – Includes maintenance of City vehicles used for storm drain maintenance.

Building Maintenance Materials & Supplies – Includes materials and supplies necessary for maintenance of restrooms, first aid kits, flashlights, fire extinguishers, employee uniforms (e.g. safety boots, jackets, and gloves), and pest control application training.

Contracts – Park Maintenance – Includes professional services necessary for District maintenance, including park maintenance, computer technical support, and alarm service.

Contract Services – Includes professional services necessary for District maintenance, including the Report and administration.

Gas, Diesel, Oil & Lubricants – Includes fuel, oil and lubricants for vehicles, and miscellaneous small equipment used for park maintenance.

Materials & Supplies – Includes materials and supplies necessary for park maintenance (e.g. sprinkler parts, pipe, sand for playgrounds, replacement plants, and trees).

Miscellaneous Equipment – Includes small equipment (e.g. blowers, roto-tiller, and hedge trimmer) and miscellaneous small tools (e.g. shovels, rakes, and hand tools) necessary for park maintenance.

Miscellaneous Supplies – Includes reference materials and additional administrative costs.

Other Maintenance & Repair – Includes contracted maintenance and repair services such as annual fire extinguisher service and emergency repairs.

Shop Tools – Includes miscellaneous small tools necessary for park maintenance such as shovels, weed eaters, and shop vacuums.

Uniforms/Protective Clothing – Includes employee uniforms including safety boots, jackets, gloves, etc.

Utility – Gas & Electric – Includes electrical power for sprinkler controllers, pumps, and park lights.

Water – Includes water for irrigation, water fountains, and restrooms.

Training, Membership, Travel & Dues – Includes continuing training for maintenance staff.

Fixed Charges & Special Fees – Includes the charges per parcel to collect the assessments on the County Secured Property Tax Roll.

Capital – Includes principal payment for lease purchase of park vehicles plus miscellaneous equipment purchased over a five year lease.

Indirect Costs – Includes overhead costs of the City related to maintenance, operation, and administration of the District.

3.2 District Budget

The budget for Fiscal Year 2020/21 is as follows.

Description	2020/21 Budget
Personnel Services	\$6,365.00
Maintenance & Operations	67,760.00
Capital Costs / Fixed Charges	<u>1,641.00</u>
Subtotal	\$75,766.00
Indirect Costs	<u>13,385.00</u>
Total District Costs	\$89,151.00

3.3 Balance to Levy

Total District Costs – Includes personnel services, maintenance and operations, capital, and indirect costs determined above.

Contribution to (from) Operational Reserves – The Operational Reserves item provides funds to operate the District from the time period of July 1 (beginning of the Fiscal Year) through December when the County provides the City with the first installment of assessments collected from the property tax bills. This eliminates the need for the City to transfer funds from non-District accounts to pay for District charges during the first half of the fiscal year. Negative amounts shown here are transfers that are used to reduce the Balance to Levy. Using reserve amounts in this way allows the Levy per EDU to remain at prior period rates, despite increases in District costs.

Contribution to (from) Capital Reserves – The Capital Reserve Account item provides funds to maintain reserves for extraordinary maintenance items and unexpected capital expenditures that may occur as a result of natural occurrences or other unforeseen circumstances.

Balance to Levy – This is the total amount to be levied and collected through assessments for the current fiscal year. The Balance to Levy represents the sum of the total direct and administration costs, reserves, contributions, and other revenue sources.

The following table shows the total costs, additional revenues, and the Balance to Levy for Fiscal Year 2020/21.

Description	Amount
Total District Costs	\$89,151.00
Other Revenue Sources ⁽¹⁾	(29,342.00)
Contribution to (from) Operational Reserves	<u>(5,045.20)</u>
Balance to Levy	\$54,763.80

3.4 Operational & Maintenance Reserve Information

The following table shows the estimated balance of the Operational and Maintenance Reserves.

Description	Amount
Estimated Beginning Balance – July 1, 2020	\$5,045.20
Contribution to (from) Operational and Maintenance Reserves	<u>(5,045.20)</u>
Estimated Ending Balance - June 30, 2021	\$0.00

4. METHOD OF APPORTIONMENT

4.1 Method of Apportionment

Pursuant to the Act, the costs of the District are apportioned by a formula or method which fairly distributes the net amount to be assessed among all assessable parcels in proportion to the estimated special benefit to be received by each such parcel from the maintenance, servicing, and operation of the improvements. The formula used for the Woodfield Park Maintenance Zone reflects the homogenous composition of the parcels, as well as the improvements and services provided to fairly proportion the costs based on the estimated benefits to each parcel. The assessment has been levied in accordance with the assessment methodology adopted and approved by the City Council at the time of District formation.

The basis of benefit for the District was determined to be equal for all EDUs within the Woodfield Park Maintenance Zone.

The method used to calculate the assessments within the Woodfield Park Maintenance Zone is as follows:

$$\text{Total Balance to Levy} / \text{Total EDU} = \text{Levy per EDU}$$

To determine the EDU for single-family residential parcels, the Benefit Unit Factor (BUF) is multiplied by the number of developed residential units on the parcel.

To determine the EDU for vacant (no buildings) residential parcels, the BUF is multiplied by the number of residential units that can be built on the parcel.

To determine the EDU for unimproved residential parcels, the number of potential parcels is calculated per the approved tentative map and the BUF is multiplied by that number of parcels.

All parcels in the District have been developed as single-family residential and there are currently no vacant or unimproved residential parcels.

4.2 Benefit Unit Factors

The following table shows the Benefit Unit Factors.

Property Type / Land Use	BUF per Unit or Acre
Single-Family Residential	1.0
Vacant Residential Parcels	1.0
Unimproved Residential Parcels	1.0

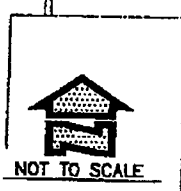
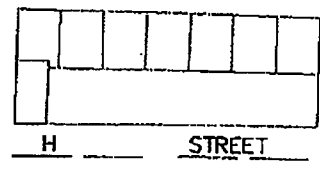
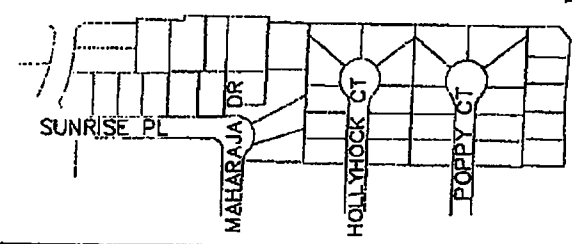
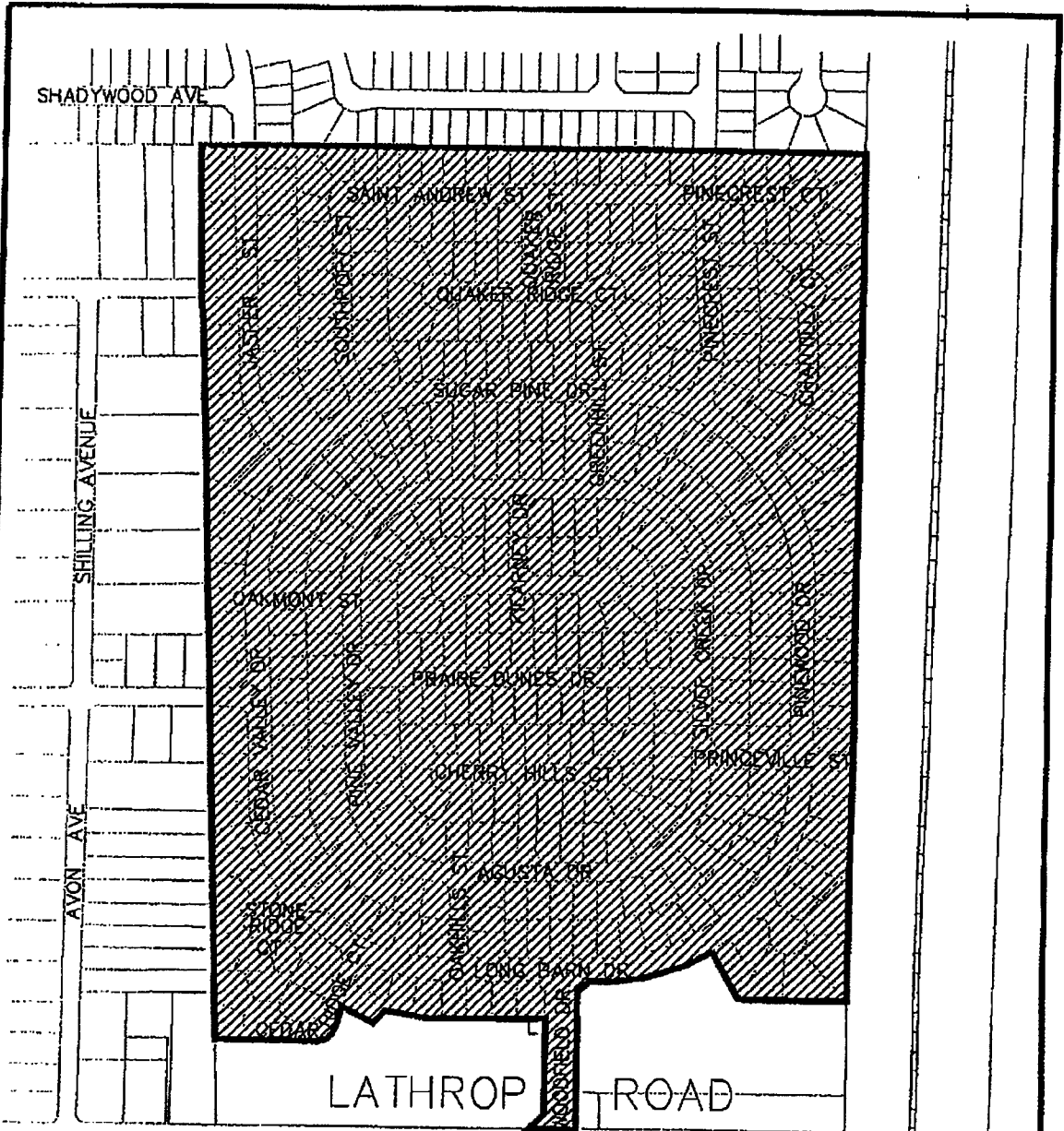
4.3 Assessment Per EDU

The following table shows the total assessment per EDU for the Fiscal Year 2020/21 levy.

Description	Amount
Balance to Levy	\$54,763.80
Total District EDU	442.00
Total Assessment Per EDU	\$123.90

5. DISTRICT DIAGRAM

Reference is made to the District Diagram on file with the City Clerk. The following page provides the boundaries of the Woodfield Park Maintenance Zone of the District. The lines and dimensions shown on maps of the County Assessor for the current year are incorporated by reference and made part of this Report.



City of Lathrop

Woodfield Park Maintenance District



Date: February 2001

6. PARCEL LISTING

The parcel listing of assessments is provided on the following pages. The description of each lot or parcel is a part of the records of the County Assessor and is incorporated by reference and made part of this Report.

**CITY OF LATHROP
 LANDSCAPE AND LIGHTING MAINTENANCE
 DISTRICT NO. 93-1, WOODFIELD PARK ZONE
 FISCAL YEAR 2020/21
 PARCEL LISTING**

APN	Land Use	EDU	Rate	Levy
196-090-010-000	SFR	1.00	\$123.90	\$123.90
196-090-020-000	SFR	1.00	123.90	123.90
196-090-030-000	SFR	1.00	123.90	123.90
196-090-040-000	SFR	1.00	123.90	123.90
196-090-050-000	SFR	1.00	123.90	123.90
196-090-060-000	SFR	1.00	123.90	123.90
196-090-070-000	SFR	1.00	123.90	123.90
196-090-080-000	SFR	1.00	123.90	123.90
196-090-090-000	SFR	1.00	123.90	123.90
196-090-100-000	SFR	1.00	123.90	123.90
196-090-110-000	SFR	1.00	123.90	123.90
196-090-120-000	SFR	1.00	123.90	123.90
196-090-130-000	SFR	1.00	123.90	123.90
196-090-140-000	SFR	1.00	123.90	123.90
196-090-150-000	SFR	1.00	123.90	123.90
196-090-160-000	SFR	1.00	123.90	123.90
196-090-170-000	SFR	1.00	123.90	123.90
196-090-180-000	SFR	1.00	123.90	123.90
196-090-190-000	SFR	1.00	123.90	123.90
196-090-200-000	SFR	1.00	123.90	123.90
196-090-210-000	SFR	1.00	123.90	123.90
196-090-220-000	SFR	1.00	123.90	123.90
196-090-230-000	SFR	1.00	123.90	123.90
196-090-240-000	SFR	1.00	123.90	123.90
196-090-250-000	SFR	1.00	123.90	123.90
196-090-260-000	SFR	1.00	123.90	123.90
196-090-270-000	SFR	1.00	123.90	123.90
196-090-280-000	SFR	1.00	123.90	123.90
196-090-290-000	SFR	1.00	123.90	123.90
196-090-300-000	SFR	1.00	123.90	123.90
196-090-310-000	SFR	1.00	123.90	123.90
196-090-320-000	SFR	1.00	123.90	123.90
196-090-330-000	SFR	1.00	123.90	123.90
196-090-340-000	SFR	1.00	123.90	123.90
196-090-350-000	SFR	1.00	123.90	123.90

**CITY OF LATHROP
 LANDSCAPE AND LIGHTING MAINTENANCE
 DISTRICT NO. 93-1, WOODFIELD PARK ZONE
 FISCAL YEAR 2020/21
 PARCEL LISTING**

APN	Land Use	EDU	Rate	Levy
196-090-360-000	SFR	1.00	123.90	123.90
196-090-370-000	SFR	1.00	123.90	123.90
196-090-380-000	SFR	1.00	123.90	123.90
196-090-390-000	SFR	1.00	123.90	123.90
196-090-400-000	SFR	1.00	123.90	123.90
196-090-410-000	SFR	1.00	123.90	123.90
196-090-420-000	SFR	1.00	123.90	123.90
196-090-430-000	SFR	1.00	123.90	123.90
196-090-440-000	SFR	1.00	123.90	123.90
196-090-450-000	SFR	1.00	123.90	123.90
196-090-460-000	SFR	1.00	123.90	123.90
196-090-470-000	SFR	1.00	123.90	123.90
196-090-480-000	SFR	1.00	123.90	123.90
196-090-490-000	SFR	1.00	123.90	123.90
196-090-500-000	SFR	1.00	123.90	123.90
196-090-510-000	SFR	1.00	123.90	123.90
196-090-520-000	SFR	1.00	123.90	123.90
196-090-530-000	SFR	1.00	123.90	123.90
196-090-540-000	SFR	1.00	123.90	123.90
196-090-550-000	SFR	1.00	123.90	123.90
196-090-560-000	SFR	1.00	123.90	123.90
196-090-570-000	SFR	1.00	123.90	123.90
196-090-580-000	SFR	1.00	123.90	123.90
196-090-590-000	SFR	1.00	123.90	123.90
196-090-600-000	SFR	1.00	123.90	123.90
196-090-610-000	SFR	1.00	123.90	123.90
196-090-620-000	SFR	1.00	123.90	123.90
196-090-630-000	SFR	1.00	123.90	123.90
196-090-640-000	SFR	1.00	123.90	123.90
196-090-650-000	SFR	1.00	123.90	123.90
196-090-660-000	SFR	1.00	123.90	123.90
196-090-670-000	SFR	1.00	123.90	123.90
196-090-680-000	SFR	1.00	123.90	123.90
196-090-690-000	SFR	1.00	123.90	123.90
196-090-700-000	SFR	1.00	123.90	123.90

CITY OF LATHROP
LANDSCAPE AND LIGHTING MAINTENANCE
DISTRICT NO. 93-1, WOODFIELD PARK ZONE
FISCAL YEAR 2020/21
PARCEL LISTING

APN	Land Use	EDU	Rate	Levy
196-090-710-000	SFR	1.00	123.90	123.90
196-090-720-000	SFR	1.00	123.90	123.90
196-090-730-000	SFR	1.00	123.90	123.90
196-090-740-000	SFR	1.00	123.90	123.90
196-090-750-000	SFR	1.00	123.90	123.90
196-090-760-000	SFR	1.00	123.90	123.90
196-090-770-000	SFR	1.00	123.90	123.90
196-090-780-000	SFR	1.00	123.90	123.90
196-090-790-000	SFR	1.00	123.90	123.90
196-090-800-000	SFR	1.00	123.90	123.90
196-090-810-000	SFR	1.00	123.90	123.90
196-090-820-000	SFR	1.00	123.90	123.90
196-090-830-000	SFR	1.00	123.90	123.90
196-090-840-000	SFR	1.00	123.90	123.90
196-090-850-000	SFR	1.00	123.90	123.90
196-090-860-000	SFR	1.00	123.90	123.90
196-090-870-000	SFR	1.00	123.90	123.90
196-090-880-000	SFR	1.00	123.90	123.90
196-090-890-000	SFR	1.00	123.90	123.90
196-100-010-000	SFR	1.00	123.90	123.90
196-100-020-000	SFR	1.00	123.90	123.90
196-100-030-000	SFR	1.00	123.90	123.90
196-100-040-000	SFR	1.00	123.90	123.90
196-100-050-000	SFR	1.00	123.90	123.90
196-100-060-000	SFR	1.00	123.90	123.90
196-100-070-000	SFR	1.00	123.90	123.90
196-100-080-000	SFR	1.00	123.90	123.90
196-100-090-000	SFR	1.00	123.90	123.90
196-100-100-000	SFR	1.00	123.90	123.90
196-100-110-000	SFR	1.00	123.90	123.90
196-100-120-000	SFR	1.00	123.90	123.90
196-100-130-000	SFR	1.00	123.90	123.90
196-100-140-000	SFR	1.00	123.90	123.90
196-100-150-000	SFR	1.00	123.90	123.90
196-100-160-000	SFR	1.00	123.90	123.90

**CITY OF LATHROP
 LANDSCAPE AND LIGHTING MAINTENANCE
 DISTRICT NO. 93-1, WOODFIELD PARK ZONE
 FISCAL YEAR 2020/21
 PARCEL LISTING**

APN	Land Use	EDU	Rate	Levy
196-100-170-000	SFR	1.00	123.90	123.90
196-100-180-000	SFR	1.00	123.90	123.90
196-100-190-000	SFR	1.00	123.90	123.90
196-100-200-000	SFR	1.00	123.90	123.90
196-100-210-000	SFR	1.00	123.90	123.90
196-100-220-000	SFR	1.00	123.90	123.90
196-100-230-000	SFR	1.00	123.90	123.90
196-100-240-000	SFR	1.00	123.90	123.90
196-100-250-000	SFR	1.00	123.90	123.90
196-100-260-000	SFR	1.00	123.90	123.90
196-100-270-000	SFR	1.00	123.90	123.90
196-100-280-000	SFR	1.00	123.90	123.90
196-100-290-000	SFR	1.00	123.90	123.90
196-100-300-000	SFR	1.00	123.90	123.90
196-100-310-000	SFR	1.00	123.90	123.90
196-100-320-000	SFR	1.00	123.90	123.90
196-100-330-000	SFR	1.00	123.90	123.90
196-100-340-000	SFR	1.00	123.90	123.90
196-100-350-000	SFR	1.00	123.90	123.90
196-100-360-000	SFR	1.00	123.90	123.90
196-100-370-000	SFR	1.00	123.90	123.90
196-100-380-000	SFR	1.00	123.90	123.90
196-100-390-000	SFR	1.00	123.90	123.90
196-100-400-000	SFR	1.00	123.90	123.90
196-100-410-000	SFR	1.00	123.90	123.90
196-100-420-000	SFR	1.00	123.90	123.90
196-100-430-000	SFR	1.00	123.90	123.90
196-100-440-000	SFR	1.00	123.90	123.90
196-100-450-000	SFR	1.00	123.90	123.90
196-100-460-000	SFR	1.00	123.90	123.90
196-100-470-000	SFR	1.00	123.90	123.90
196-100-480-000	SFR	1.00	123.90	123.90
196-100-490-000	SFR	1.00	123.90	123.90
196-100-500-000	SFR	1.00	123.90	123.90
196-100-510-000	SFR	1.00	123.90	123.90

**CITY OF LATHROP
 LANDSCAPE AND LIGHTING MAINTENANCE
 DISTRICT NO. 93-1, WOODFIELD PARK ZONE
 FISCAL YEAR 2020/21
 PARCEL LISTING**

APN	Land Use	EDU	Rate	Levy
196-100-520-000	SFR	1.00	123.90	123.90
196-100-530-000	SFR	1.00	123.90	123.90
196-100-540-000	SFR	1.00	123.90	123.90
196-100-550-000	SFR	1.00	123.90	123.90
196-100-560-000	SFR	1.00	123.90	123.90
196-100-570-000	SFR	1.00	123.90	123.90
196-100-580-000	SFR	1.00	123.90	123.90
196-100-590-000	SFR	1.00	123.90	123.90
196-100-600-000	SFR	1.00	123.90	123.90
196-100-610-000	SFR	1.00	123.90	123.90
196-100-620-000	SFR	1.00	123.90	123.90
196-100-630-000	SFR	1.00	123.90	123.90
196-100-640-000	SFR	1.00	123.90	123.90
196-100-650-000	SFR	1.00	123.90	123.90
196-100-660-000	SFR	1.00	123.90	123.90
196-100-670-000	SFR	1.00	123.90	123.90
196-100-680-000	SFR	1.00	123.90	123.90
196-100-690-000	SFR	1.00	123.90	123.90
196-100-700-000	SFR	1.00	123.90	123.90
196-100-710-000	SFR	1.00	123.90	123.90
196-100-720-000	SFR	1.00	123.90	123.90
196-100-730-000	SFR	1.00	123.90	123.90
196-100-740-000	SFR	1.00	123.90	123.90
196-100-750-000	SFR	1.00	123.90	123.90
196-100-760-000	SFR	1.00	123.90	123.90
196-100-770-000	SFR	1.00	123.90	123.90
196-100-780-000	SFR	1.00	123.90	123.90
196-520-010-000	SFR	1.00	123.90	123.90
196-520-020-000	SFR	1.00	123.90	123.90
196-520-030-000	SFR	1.00	123.90	123.90
196-520-040-000	SFR	1.00	123.90	123.90
196-520-050-000	SFR	1.00	123.90	123.90
196-520-060-000	SFR	1.00	123.90	123.90
196-520-070-000	SFR	1.00	123.90	123.90
196-520-080-000	SFR	1.00	123.90	123.90

**CITY OF LATHROP
 LANDSCAPE AND LIGHTING MAINTENANCE
 DISTRICT NO. 93-1, WOODFIELD PARK ZONE
 FISCAL YEAR 2020/21
 PARCEL LISTING**

APN	Land Use	EDU	Rate	Levy
196-520-090-000	SFR	1.00	123.90	123.90
196-520-100-000	SFR	1.00	123.90	123.90
196-520-110-000	SFR	1.00	123.90	123.90
196-520-120-000	SFR	1.00	123.90	123.90
196-520-130-000	SFR	1.00	123.90	123.90
196-520-140-000	SFR	1.00	123.90	123.90
196-520-150-000	SFR	1.00	123.90	123.90
196-520-160-000	SFR	1.00	123.90	123.90
196-520-170-000	SFR	1.00	123.90	123.90
196-520-180-000	SFR	1.00	123.90	123.90
196-520-190-000	SFR	1.00	123.90	123.90
196-520-200-000	SFR	1.00	123.90	123.90
196-520-210-000	SFR	1.00	123.90	123.90
196-520-220-000	SFR	1.00	123.90	123.90
196-520-230-000	SFR	1.00	123.90	123.90
196-520-240-000	SFR	1.00	123.90	123.90
196-520-250-000	SFR	1.00	123.90	123.90
196-520-260-000	SFR	1.00	123.90	123.90
196-520-270-000	SFR	1.00	123.90	123.90
196-520-280-000	SFR	1.00	123.90	123.90
196-520-290-000	SFR	1.00	123.90	123.90
196-520-300-000	SFR	1.00	123.90	123.90
196-520-310-000	SFR	1.00	123.90	123.90
196-520-320-000	SFR	1.00	123.90	123.90
196-520-330-000	SFR	1.00	123.90	123.90
196-520-340-000	SFR	1.00	123.90	123.90
196-520-350-000	SFR	1.00	123.90	123.90
196-520-360-000	SFR	1.00	123.90	123.90
196-520-370-000	SFR	1.00	123.90	123.90
196-520-380-000	SFR	1.00	123.90	123.90
196-520-390-000	SFR	1.00	123.90	123.90
196-520-400-000	SFR	1.00	123.90	123.90
196-520-410-000	SFR	1.00	123.90	123.90
196-520-420-000	SFR	1.00	123.90	123.90
196-520-430-000	SFR	1.00	123.90	123.90

**CITY OF LATHROP
 LANDSCAPE AND LIGHTING MAINTENANCE
 DISTRICT NO. 93-1, WOODFIELD PARK ZONE
 FISCAL YEAR 2020/21
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APN	Land Use	EDU	Rate	Levy
196-520-440-000	SFR	1.00	123.90	123.90
196-520-450-000	SFR	1.00	123.90	123.90
196-520-460-000	SFR	1.00	123.90	123.90
196-520-470-000	SFR	1.00	123.90	123.90
196-520-480-000	SFR	1.00	123.90	123.90
196-520-490-000	SFR	1.00	123.90	123.90
196-520-510-000	SFR	1.00	123.90	123.90
196-520-520-000	SFR	1.00	123.90	123.90
196-520-530-000	SFR	1.00	123.90	123.90
196-520-540-000	SFR	1.00	123.90	123.90
196-520-550-000	SFR	1.00	123.90	123.90
196-520-560-000	SFR	1.00	123.90	123.90
196-520-570-000	SFR	1.00	123.90	123.90
196-530-010-000	SFR	1.00	123.90	123.90
196-530-020-000	SFR	1.00	123.90	123.90
196-530-030-000	SFR	1.00	123.90	123.90
196-530-040-000	SFR	1.00	123.90	123.90
196-530-050-000	SFR	1.00	123.90	123.90
196-530-060-000	SFR	1.00	123.90	123.90
196-530-070-000	SFR	1.00	123.90	123.90
196-530-080-000	SFR	1.00	123.90	123.90
196-530-090-000	SFR	1.00	123.90	123.90
196-530-100-000	SFR	1.00	123.90	123.90
196-530-110-000	SFR	1.00	123.90	123.90
196-530-120-000	SFR	1.00	123.90	123.90
196-530-130-000	SFR	1.00	123.90	123.90
196-530-140-000	SFR	1.00	123.90	123.90
196-530-150-000	SFR	1.00	123.90	123.90
196-530-160-000	SFR	1.00	123.90	123.90
196-530-170-000	SFR	1.00	123.90	123.90
196-530-180-000	SFR	1.00	123.90	123.90
196-530-190-000	SFR	1.00	123.90	123.90
196-530-200-000	SFR	1.00	123.90	123.90
196-530-210-000	SFR	1.00	123.90	123.90
196-530-220-000	SFR	1.00	123.90	123.90

**CITY OF LATHROP
 LANDSCAPE AND LIGHTING MAINTENANCE
 DISTRICT NO. 93-1, WOODFIELD PARK ZONE
 FISCAL YEAR 2020/21
 PARCEL LISTING**

APN	Land Use	EDU	Rate	Levy
196-530-230-000	SFR	1.00	123.90	123.90
196-530-240-000	SFR	1.00	123.90	123.90
196-530-250-000	SFR	1.00	123.90	123.90
196-530-260-000	SFR	1.00	123.90	123.90
196-530-270-000	SFR	1.00	123.90	123.90
196-530-280-000	SFR	1.00	123.90	123.90
196-530-290-000	SFR	1.00	123.90	123.90
196-530-300-000	SFR	1.00	123.90	123.90
196-530-310-000	SFR	1.00	123.90	123.90
196-530-320-000	SFR	1.00	123.90	123.90
196-530-330-000	SFR	1.00	123.90	123.90
196-530-340-000	SFR	1.00	123.90	123.90
196-530-350-000	SFR	1.00	123.90	123.90
196-530-360-000	SFR	1.00	123.90	123.90
196-530-370-000	SFR	1.00	123.90	123.90
196-530-380-000	SFR	1.00	123.90	123.90
196-530-390-000	SFR	1.00	123.90	123.90
196-530-400-000	SFR	1.00	123.90	123.90
196-530-410-000	SFR	1.00	123.90	123.90
196-530-420-000	SFR	1.00	123.90	123.90
196-530-430-000	SFR	1.00	123.90	123.90
196-530-440-000	SFR	1.00	123.90	123.90
196-530-450-000	SFR	1.00	123.90	123.90
196-530-460-000	SFR	1.00	123.90	123.90
196-530-470-000	SFR	1.00	123.90	123.90
196-530-480-000	SFR	1.00	123.90	123.90
196-530-490-000	SFR	1.00	123.90	123.90
196-530-500-000	SFR	1.00	123.90	123.90
196-530-510-000	SFR	1.00	123.90	123.90
196-530-520-000	SFR	1.00	123.90	123.90
196-530-530-000	SFR	1.00	123.90	123.90
196-530-540-000	SFR	1.00	123.90	123.90
196-530-550-000	SFR	1.00	123.90	123.90
196-530-560-000	SFR	1.00	123.90	123.90
196-530-570-000	SFR	1.00	123.90	123.90

**CITY OF LATHROP
 LANDSCAPE AND LIGHTING MAINTENANCE
 DISTRICT NO. 93-1, WOODFIELD PARK ZONE
 FISCAL YEAR 2020/21
 PARCEL LISTING**

APN	Land Use	EDU	Rate	Levy
196-530-580-000	SFR	1.00	123.90	123.90
196-530-590-000	SFR	1.00	123.90	123.90
196-530-600-000	SFR	1.00	123.90	123.90
196-540-010-000	SFR	1.00	123.90	123.90
196-540-020-000	SFR	1.00	123.90	123.90
196-540-030-000	SFR	1.00	123.90	123.90
196-540-040-000	SFR	1.00	123.90	123.90
196-540-050-000	SFR	1.00	123.90	123.90
196-540-060-000	SFR	1.00	123.90	123.90
196-540-070-000	SFR	1.00	123.90	123.90
196-540-080-000	SFR	1.00	123.90	123.90
196-540-090-000	SFR	1.00	123.90	123.90
196-540-100-000	SFR	1.00	123.90	123.90
196-540-110-000	SFR	1.00	123.90	123.90
196-540-120-000	SFR	1.00	123.90	123.90
196-540-130-000	SFR	1.00	123.90	123.90
196-540-140-000	SFR	1.00	123.90	123.90
196-540-150-000	SFR	1.00	123.90	123.90
196-540-160-000	SFR	1.00	123.90	123.90
196-540-180-000	SFR	1.00	123.90	123.90
196-540-190-000	SFR	1.00	123.90	123.90
196-540-200-000	SFR	1.00	123.90	123.90
196-540-210-000	SFR	1.00	123.90	123.90
196-540-220-000	SFR	1.00	123.90	123.90
196-540-230-000	SFR	1.00	123.90	123.90
196-540-240-000	SFR	1.00	123.90	123.90
196-540-250-000	SFR	1.00	123.90	123.90
196-540-260-000	SFR	1.00	123.90	123.90
196-540-270-000	SFR	1.00	123.90	123.90
196-540-280-000	SFR	1.00	123.90	123.90
196-540-290-000	SFR	1.00	123.90	123.90
196-540-300-000	SFR	1.00	123.90	123.90
196-540-310-000	SFR	1.00	123.90	123.90
196-540-320-000	SFR	1.00	123.90	123.90
196-540-330-000	SFR	1.00	123.90	123.90

**CITY OF LATHROP
 LANDSCAPE AND LIGHTING MAINTENANCE
 DISTRICT NO. 93-1, WOODFIELD PARK ZONE
 FISCAL YEAR 2020/21
 PARCEL LISTING**

APN	Land Use	EDU	Rate	Levy
196-540-340-000	SFR	1.00	123.90	123.90
196-540-350-000	SFR	1.00	123.90	123.90
196-540-360-000	SFR	1.00	123.90	123.90
196-540-370-000	SFR	1.00	123.90	123.90
196-540-380-000	SFR	1.00	123.90	123.90
196-540-390-000	SFR	1.00	123.90	123.90
196-540-400-000	SFR	1.00	123.90	123.90
196-540-410-000	SFR	1.00	123.90	123.90
196-540-420-000	SFR	1.00	123.90	123.90
196-540-430-000	SFR	1.00	123.90	123.90
196-540-440-000	SFR	1.00	123.90	123.90
196-540-450-000	SFR	1.00	123.90	123.90
196-540-460-000	SFR	1.00	123.90	123.90
196-540-470-000	SFR	1.00	123.90	123.90
196-540-480-000	SFR	1.00	123.90	123.90
196-540-490-000	SFR	1.00	123.90	123.90
196-540-500-000	SFR	1.00	123.90	123.90
196-550-010-000	SFR	1.00	123.90	123.90
196-550-020-000	SFR	1.00	123.90	123.90
196-550-030-000	SFR	1.00	123.90	123.90
196-550-040-000	SFR	1.00	123.90	123.90
196-550-050-000	SFR	1.00	123.90	123.90
196-550-060-000	SFR	1.00	123.90	123.90
196-550-070-000	SFR	1.00	123.90	123.90
196-550-080-000	SFR	1.00	123.90	123.90
196-550-090-000	SFR	1.00	123.90	123.90
196-550-100-000	SFR	1.00	123.90	123.90
196-550-110-000	SFR	1.00	123.90	123.90
196-550-120-000	SFR	1.00	123.90	123.90
196-550-130-000	SFR	1.00	123.90	123.90
196-550-140-000	SFR	1.00	123.90	123.90
196-550-150-000	SFR	1.00	123.90	123.90
196-550-160-000	SFR	1.00	123.90	123.90
196-550-170-000	SFR	1.00	123.90	123.90
196-550-180-000	SFR	1.00	123.90	123.90

**CITY OF LATHROP
 LANDSCAPE AND LIGHTING MAINTENANCE
 DISTRICT NO. 93-1, WOODFIELD PARK ZONE
 FISCAL YEAR 2020/21
 PARCEL LISTING**

APN	Land Use	EDU	Rate	Levy
196-550-190-000	SFR	1.00	123.90	123.90
196-550-200-000	SFR	1.00	123.90	123.90
196-550-210-000	SFR	1.00	123.90	123.90
196-550-220-000	SFR	1.00	123.90	123.90
196-550-230-000	SFR	1.00	123.90	123.90
196-550-240-000	SFR	1.00	123.90	123.90
196-550-250-000	SFR	1.00	123.90	123.90
196-550-260-000	SFR	1.00	123.90	123.90
196-550-270-000	SFR	1.00	123.90	123.90
196-550-280-000	SFR	1.00	123.90	123.90
196-550-290-000	SFR	1.00	123.90	123.90
196-550-300-000	SFR	1.00	123.90	123.90
196-550-310-000	SFR	1.00	123.90	123.90
196-560-010-000	SFR	1.00	123.90	123.90
196-560-020-000	SFR	1.00	123.90	123.90
196-560-030-000	SFR	1.00	123.90	123.90
196-560-040-000	SFR	1.00	123.90	123.90
196-560-050-000	SFR	1.00	123.90	123.90
196-560-060-000	SFR	1.00	123.90	123.90
196-560-070-000	SFR	1.00	123.90	123.90
196-560-080-000	SFR	1.00	123.90	123.90
196-560-090-000	SFR	1.00	123.90	123.90
196-560-100-000	SFR	1.00	123.90	123.90
196-560-110-000	SFR	1.00	123.90	123.90
196-560-120-000	SFR	1.00	123.90	123.90
196-560-130-000	SFR	1.00	123.90	123.90
196-560-140-000	SFR	1.00	123.90	123.90
196-560-150-000	SFR	1.00	123.90	123.90
196-560-160-000	SFR	1.00	123.90	123.90
196-560-170-000	SFR	1.00	123.90	123.90
196-560-180-000	SFR	1.00	123.90	123.90
196-560-190-000	SFR	1.00	123.90	123.90
196-570-010-000	SFR	1.00	123.90	123.90
196-570-020-000	SFR	1.00	123.90	123.90
196-570-030-000	SFR	1.00	123.90	123.90

CITY OF LATHROP
LANDSCAPE AND LIGHTING MAINTENANCE
DISTRICT NO. 93-1, WOODFIELD PARK ZONE
FISCAL YEAR 2020/21
PARCEL LISTING

APN	Land Use	EDU	Rate	Levy
196-570-040-000	SFR	1.00	123.90	123.90
196-570-050-000	SFR	1.00	123.90	123.90
196-570-060-000	SFR	1.00	123.90	123.90
196-570-070-000	SFR	1.00	123.90	123.90
196-570-080-000	SFR	1.00	123.90	123.90
196-570-090-000	SFR	1.00	123.90	123.90
196-570-100-000	SFR	1.00	123.90	123.90
196-570-110-000	SFR	1.00	123.90	123.90
196-570-120-000	SFR	1.00	123.90	123.90
196-570-130-000	SFR	1.00	123.90	123.90
196-570-140-000	SFR	1.00	123.90	123.90
196-570-150-000	SFR	1.00	123.90	123.90
196-570-160-000	SFR	1.00	123.90	123.90
196-570-170-000	SFR	1.00	123.90	123.90
196-570-180-000	SFR	1.00	123.90	123.90
196-570-190-000	SFR	1.00	123.90	123.90
196-570-200-000	SFR	1.00	123.90	123.90
196-570-210-000	SFR	1.00	123.90	123.90
196-570-220-000	SFR	1.00	123.90	123.90
196-570-230-000	SFR	1.00	123.90	123.90
196-570-240-000	SFR	1.00	123.90	123.90
196-570-250-000	SFR	1.00	123.90	123.90
196-570-270-000	SFR	1.00	123.90	123.90
196-570-280-000	SFR	1.00	123.90	123.90
196-570-290-000	SFR	1.00	123.90	123.90
196-570-300-000	SFR	1.00	123.90	123.90
196-570-310-000	SFR	1.00	123.90	123.90
196-570-320-000	SFR	1.00	123.90	123.90
196-570-330-000	SFR	1.00	123.90	123.90
196-570-340-000	SFR	1.00	123.90	123.90
196-570-350-000	SFR	1.00	123.90	123.90
196-570-360-000	SFR	1.00	123.90	123.90
196-570-370-000	SFR	1.00	123.90	123.90
196-570-380-000	SFR	1.00	123.90	123.90
196-570-390-000	SFR	1.00	123.90	123.90

**CITY OF LATHROP
 LANDSCAPE AND LIGHTING MAINTENANCE
 DISTRICT NO. 93-1, WOODFIELD PARK ZONE
 FISCAL YEAR 2020/21
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APN	Land Use	EDU	Rate	Levy
196-570-400-000	SFR	1.00	123.90	123.90
196-570-410-000	SFR	1.00	123.90	123.90
196-570-420-000	SFR	1.00	123.90	123.90
196-570-430-000	SFR	1.00	123.90	123.90
196-570-440-000	SFR	1.00	123.90	123.90
196-570-450-000	SFR	1.00	123.90	123.90
196-570-460-000	SFR	1.00	123.90	123.90
196-570-470-000	SFR	1.00	123.90	123.90
196-570-480-000	SFR	1.00	123.90	123.90
196-570-490-000	SFR	1.00	123.90	123.90
196-570-500-000	SFR	1.00	123.90	123.90
196-570-510-000	SFR	1.00	123.90	123.90
196-570-520-000	SFR	1.00	123.90	123.90
196-570-530-000	SFR	1.00	123.90	123.90
196-570-540-000	SFR	1.00	123.90	123.90
196-570-550-000	SFR	1.00	123.90	123.90
196-570-560-000	SFR	1.00	123.90	123.90
196-570-570-000	SFR	1.00	123.90	123.90
196-570-580-000	SFR	1.00	123.90	123.90
196-570-590-000	SFR	1.00	123.90	123.90
196-570-600-000	SFR	1.00	123.90	123.90
196-570-610-000	SFR	1.00	123.90	123.90
Totals:		442.00		\$54,763.80

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ITEM 6.1

**CITY MANAGER'S REPORT
JUNE 8, 2020 CITY COUNCIL REGULAR MEETING**

ITEM: MAYOR'S REFERRAL

RECOMMENDATION: Appointment of One (1) Member to the Planning Commission with Term Expiring June 30, 2024

PLANNING COMMISSION – LMC CHAPTER 2.12

The commission currently has one (1) available vacancy with term of July 1, 2020 through June 30, 2024; one (1) application was received.

Existing Commissioner(s)	Date of Appointment	Reappointment Date	Term Expiration Date
Tosh Ishihara	7/18/16		6/30/20

APPLICANTS FOR CONSIDERATION:

1. Tosh Ishihara



COMMISSION/COMMITTEE APPLICATION

Applying for: Planning Commission

RECEIVED
MAR 12 2020
CITY OF LATHROP
CITY MANAGER'S OFFICE

Special Requirements:

Youth Advisory Commission: Must be a Lathrop resident between 13 to 18 years of age to serve on this commission.
Senior Advisory Commission: Must be 50 years of age or over and a registered voter to serve on this commission.
Planning and Parks & Recreation Commissions: Must be a Lathrop resident and a registered voter to serve on this commission.

PLEASE PRINT OR TYPE THE FOLLOWING INFORMATION:

Name: Tosh Ishihara

Address: [Redacted] City: Lathrop Zip: 95330

Telephone (home) [Redacted] Telephone (work) _____

Telephone (cell) [Redacted] Telephone (other) _____

Email: [Redacted] Resident of the City of Lathrop: 56 years

Do you have Transportation to attend the Commission meetings and Functions? Yes No

Background Information:

Are you related to a current City Employee? No

If yes, give name and relationship _____

Employment/Volunteer Information:

Retired Teacher 32 year (1972-2004), Retired Air Force 28 years
Organization _____ Date _____

Stanislaus Union School Dist. Modesto, Travis AFB, CA
Location _____ Position(s) _____

Responsibilities accomplishments: Lathrop Water Board (1984-1989)

Board Member Air Disabled American Veteran of San Joaquin County (2009-2018)

Lathrop/Manteca Special Fire District 2019 - 2022
Organization _____ Date _____

Lathrop Vice-Chair Board Director
Location _____ Position(s) _____

Responsibilities accomplishments: Teach-in-charge when I was teaching.

Section Chief Air Force Reserve.

Community Activities that you have been involved with (feel free to attach additional pages)

Lathrop/Manteca Fire Dept CERT (Citizen Emergency Response Team) 2018 - Present
Name of Organization Position/Responsibilities Dates

Lathrop High School Chain-Gang Football Team Capt 2008 - Present
Name of Organization Position/Responsibilities/Accomplishments Dates

Special Awards or Recognitions you have received: Stanislaus Union School District
Awarded Outstanding Teacher; Received Air Force Commendation
Medal from 49th Aerial Port Squadron.

Educational Information:

Stanislaus State College B.S. Education 1972
Educational Institution Degree/Diploma Field Year

San Joaquin Delta College A.A. General 1962
Educational Institution Degree/Diploma Field Year

Additional Information (Please provide any other information which you feel would be useful to the City Council in reviewing your application.)

I am presently serving on the Planning Commission. I would like to be considered to be appointed to another term to oversee the continuation of our city growth. I am presently serving as Vice-Chair on the Lathrop/Manteca Fire Board of Directors. I feel that I have a great deal to contribute to our great city of Lathrop the growth present and the future.

Please sign and date your application and submit to the Office of the City Clerk at the address below.

Josh Lohkara
Signature

March 12, 2020
Date

Parent/Guardian Signature (Required for Youth Advisory Candidates only)

City Clerk
City of Lathrop
390 Towne Centre Drive
Lathrop, CA 95330

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