



## PLANNING COMMISSION STAFF REPORT

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| <b>DATE:</b>           | July 14, 2021  |
| <b>APPLICATION NO:</b> | Valley Bros Trucking Site Plan Review No. SPR-20-132   |
| <b>LOCATION:</b>       | 1631 E. Louise Avenue<br>Lathrop, CA 95330<br>APN: 198-100-04  |
| <b>REQUEST:</b>        | Planning Commission to Consider Adoption of a Resolution Approving the Site Plan Review for the Valley Bros Trucking Project to Develop a 23 Commercial Truck Parking Facility on a 1.49-acre Site, Including Associated Site Improvements Such as Paving, Landscaping, Lighting, and Frontage Improvements. |

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| <b>APPLICANT:</b>    | MCR Engineering, Inc.<br>Attn: Mr. Shawn Samaniego<br>1242 Dupont Court<br>Manteca, CA 95336  |
| <b>OWNER:</b>        | Valley Bros Transportation, Inc.<br>Attn: Mr. Lakhwinder Singh<br>P.O. Box 314<br>Lathrop, CA 95330                                   |
| <b>GENERAL PLAN:</b> | SC, Service Commercial  |
| <b>ZONING:</b>       | CS, Service Commercial  |
| <b>CEQA STATUS:</b>  | Categorically Exempt according to the California Environmental Quality Act Article 19 §15332 Class 32 "In-Fill Development Projects". |

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### SUMMARY:

The applicant, Mr. Shawn Samaniego, is requesting a Site Plan Review (SPR) for the development of a 23 commercial truck parking facility on a 1.49-acre site. The proposed improvements to the site primarily consist of pavement, landscaping, lighting, and an on-site retention basin. The existing modular office building will remain and be improved to meet ADA requirements (i.e., path of travel, access, etc.). Associated site improvements include curb, gutter, and sidewalk along E. Louise Avenue frontage. The project will connect to City water for domestic and irrigation purposes and an on-site retention basin for storm water management.

The existing septic system will remain and the applicant is required as part of the Conditions of Approval to enter into a Deferred Frontage Improvement Agreement with the City, agreeing to connect to the City's system when the City sewer line is within 200 feet of the property.

Staff recommends that the Planning Commission review and consider all information provided and submitted and, if determined appropriate, consider adoption of Resolution No. 21-20, approving Site Plan Review No. SPR-20-132 for the Valley Bros Trucking Project.

### **BACKGROUND AND SITE DESCRIPTION:**

Historically, the site has been used for a transportation facility that was initially approved when the property was within San Joaquin County. Valley Bros Transportation, Inc. provides general freight services, including transportation of building materials, beverages, and paper products; however, they have been operating the business without a City business license for many years. Furthermore, the City cannot confirm their legal status with San Joaquin County to establish the use as Legal Non-Conforming (meaning that the use can continue to operate under existing conditions). Because the business is operating without a business license and existing the site does not meet City standards (i.e., landscaping, lighting, etc.), a Site Plan Review to establish the use and Condition the project to improve the site. As such, the City's Code Enforcement Officer issued a Notice of Violation on April 21, 2020 for illegally operating a business without a business license or land use approvals and permits. Since that time, the property owner submitted a Pre-Application Review in August 2020 which provided the City the opportunity to review and comment on the proposed Site Plan. The property owner submitted a Site Plan Review application on November 24, 2020 to improve the site to meet City Standards.

The project is surrounded by various service commercial and industrial uses. The project is bounded by Lathrop Woodworks to the north, FleetPride and Service Commercial uses to the east, Lathrop Self Storage to the south and Sam Gill Truck Parking and the Union Pacific Railroad (UPRR) to the west. As illustrated in the Vicinity Map (Attachment 3), the site includes an existing modular office and off-street parking for commercial vehicles.

The property has a General Plan land use designation of SC, Service Commercial, and is within the CS, Service Commercial Zoning District.

### **ANALYSIS:**

#### Site Plan

As illustrated on the Site Plan (Attachment 4), the project will include the development of twenty-three (23) commercial truck parking spaces, seven (7) automobile off-street parking spaces, an on-site retention basin, lighting, and landscaping on approximately 1.49-acres site. The dimension of the truck parking spaces to store commercial trucks are twelve (12) feet in width and sixty-five (65) feet in depth.

An existing six (6) foot tall chain link fence along the perimeter of the fence will be repaired and the project includes a Condition of Approval to provide privacy slats to screen the storage of commercial vehicles from the public right-of-way and adjacent properties, and to prohibit and remove barbed wire fencing as currently shown on the plans. The proposed gate is set-back from E. Louise Avenue by seventy-one (71) feet, providing adequate depth so that vehicles do not stack onto the roadway.

The project does not include the construction of a Trash Enclosure, as the use is not expected to produce enough solid waste to require an on-site dumpster. However, if the project uses a dumpster, a trash enclosure is required, as stated in Condition of Approval #5a (Public Works).

The project will be required to install frontage improvements along E. Louise Avenue. As illustrated on the Site Plan (Attachment 4), the project will include a seven (7) foot sidewalk and four (4) foot path-of-travel from the right-of-way to the existing modular office building. The sidewalk width and frontage improvements will be consistent with City Standards and connect to the future sidewalk to the west (frontage of Sam Gill Truck Parking).

#### Utilities

The project is connected to the City's water system through an existing connection on E. Louise Avenue. The project includes relocating the existing water meter to the public right-of-way and to install a separate meter for irrigation purposes. As stated above, an existing septic system will be utilized until such time the City's sewer system is within 200 feet of the property (the property is located 700 feet from the nearest available wastewater collection system). The City received a comment letter from the San Joaquin County Environmental Health Department (EHD) on January 14, 2021, requiring submittal of plans to the EHD prior to the City issuing a building permit for utilizing the existing septic system. The EHD letter and requirements are incorporated into the project Conditions of Approval (Attachment 4). This process will ensure that the septic system is appropriately sized for the proposed use and is consistent with EHD's requirements. If determined by EHD that the septic system needs to increase in size, the applicant will be required to connect to the City's sewer system.

The project will include the construction of an on-site stormwater retention basin, located along the northern portion of the project site. The project proponent is Conditioned to enter into a Deferred Frontage Improvement Agreement with the City agreeing to connection to the City system when the City storm drain line is within 200 feet of the property.

#### Circulation and Traffic

As stated above, access to the project is from E. Louise Avenue. The existing driveway will include a gate that is setback from the right-of-way of E. Louise Avenue by seventy-one (71) feet. Generally speaking, commercial trucks operated by Valley Bros Transportation, Inc. are stored on the site and utilized freight services as needed.

With regards to the roadway network in the project vicinity, it is important to note that E. Louise Avenue is designated as a Surface Transport Assistance Act (STAA) Route. The STAA designation permits commercial trucks to use Federal Highway Administration (FHA) designated network of roads, such as Lathrop Road and E. Louise Road.

As illustrated on the Site Plan (Attachment 4), commercial trucks accessing the site will be able to maneuver the site and parking spaces safely. Planning staff routed the project plans to Lathrop Manteca Fire District (LMFD) for review and the proposed layout was found to be adequate for emergency vehicle access. To ensure continued access for emergency vehicles, the project is conditioned to provide and maintain access roads to meet the requirements established by the San Joaquin County Fire Chief's Association (Condition of Approval #5 (LMFD)).

As stated above, the project will include dedication of right-of-way and installation of off-site improvements, including, but not limited to, curb and gutter, sidewalk, pavement, hydrants, street lighting, signing, striping and utilities. Pavement repairs are also required along the frontage of the site within the area extending either half the width of the street or fourteen (14) feet from the face of curb, whichever is less.

The existing driveway allows for full turn movements (left and right turns in-and-out); however, due to its close proximity to the Union Pacific Railroad (UPRR), the project is conditioned to be right-in and right-out. The driveway is located 1,048 feet from the E. Louise Avenue and 5<sup>th</sup> Street intersection to the west and 695 feet from the E. Louise Avenue and McKinley Avenue intersection. Planning staff routed the project plans to the Public Works Department and found that due to the proximity of the Union Pacific Railroad (UPRR), the driveway is required to be converted to right-in/right-out.

#### Landscaping and Lighting

The minimum area required to be landscaped per Section 17.92.030(A) of the LMC is 15% of the net site area. According to the Landscape Plan (Attachment 4), landscaping will occupy approximately 12,130 sq. ft. of the project site – approximately 18.6% of the total area, meeting the City's requirement. The project includes a five (5) foot landscape strip along the perimeter of the site, of which includes a variety of trees, shrubs and ground cover and more than ten (10) foot landscape strip along E. Louise Avenue. The on-site retention basin will also be bordered by landscaping, and the basin itself will contain low growing native grasses to reduce erosion and help filter the stormwater.

Light poles will be installed around the commercial truck parking spaces, the drive aisle, and driveway along E. Louise Avenue. The Project is conditioned to provide a Photometric Plan to confirm that lighting levels meet City Standards and to prevent lighting from spilling onto adjacent properties.

#### Findings

Pursuant to Chapter 17.100, in taking action on a proposed Site Plan, the Planning Commission shall make certain findings contained in Section 17.100.050 of the Lathrop Municipal Code (LMC). The findings are re-stated below and include:

1. That the site plan complies with all applicable provisions of this chapter;

2. That the site improvements listed (a. through i.) are so arranged that traffic congestion is avoided and that pedestrian and vehicular safety and welfare are protected, and there will not be adverse effect on surrounding property;
3. Proposed lighting is so arranged as to deflect the light away from adjoining properties;
4. The adequate provision is made to reduce adverse or potentially adverse environmental impacts to acceptable levels.

Based on staff's review of the project, it was determined that the project complies with each of the findings presented above. As discussed in the Analysis Section, staff finds that the proposed project has been designed or is otherwise conditioned so that the use is compatible with surrounding land uses and will not be detrimental to the health, safety or general welfare of the City.

General Plan and Zoning Consistency

As currently designed and conditioned, the project is a reasonable request that is consistent with the goals and policies of the General Plan and will comply with the requirements of the Zoning Ordinance upon development.

Conditions of Approval

Planning staff routed the project plans on December 3, 2020 (1<sup>st</sup> Referral) and June 2, 2021 (2<sup>nd</sup> Referral) to the Building Division, Public Works, Lathrop-Manteca Fire District, and Lathrop Police Services to ensure compliance with applicable codes and requirements. In addition, the City routed an external referral to outside agencies and departments for review and comment on December 22, 2020. The City received comments from the following agencies:

- Comcast;
- San Joaquin Environmental Health Department;
- Pacific Gas & Electric; and
- San Joaquin Council of Governments (Habitat Plan).

As noted above, the EHD letter and requirements are incorporated by reference in the Conditions of Approval (Attachment 4). Staff developed a consolidated list of conditions (Attachment 2) and finds that the proposed project has been properly conditioned to meet the City's standards and requirements.

Public Notice

The Planning Commission agenda was posted at the Council Chambers bulletin board and three (3) other locations accessible to the public on July 9, 2021. The agenda is also posted on the City's website. As of writing this report, no comments were received in favor or against the proposed project.

**CEQA REVIEW:**

The City finds that the project is Categorically Exempt according to the California Environmental Quality Act Article 19 §15332 Class 32 “In-Fill Development Projects”. Class 32 consists of projects characterized as in-fill development meeting the following conditions:

- a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.
- b) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses.
- c) The project site has no value as habitat for endangered, rare or threatened species.
- d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.
- e) The site can be adequately served by all required utilities and public services.

In this regard, the property has a General Plan land use designation of SC, Service Commercial, and is within the CS, Service Commercial Zoning District.

The project site is 1.49 acres in size substantially surrounded by urban development. The project site has no value as habitat for endangered, rare or threatened species and is identified as “Urban (U) Habitat” by the San Joaquin Multi-Species Habitat Conservation and Open Space Plan. The project is not anticipated to result in any significant effects related to traffic, noise, air quality or water and can adequately be served by utilizes and public services.

**RECOMMENDATION:**


Staff recommends that the Planning Commission review and consider all information provided and submitted and, if determined appropriate, consider adoption of Resolution No. 21-20, approving Site Plan Review No. SPR-20-132 for the Valley Bros Trucking Project, subject to the attached Consolidated Conditions of Approval.

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**Approvals:**

  
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David Niskanen, Contract Planner


6/30/2021  
Date

  
\_\_\_\_\_  
Rick Caguiat, Principal Planner

6/30/2021  
Date

  
\_\_\_\_\_  
Mark Meissner, Community Development Director

6/20/2021  
Date

  
\_\_\_\_\_  
Salvador Navarrete, City Attorney

7-1-2021  
Date

**Attachments:**

1. PC Resolution No. 21-20 for Site Plan Review No. SPR-20-132
2. Conditions of Approval for Valley Bros Trucking
3. Vicinity Map
4. Project Plans

**CITY OF LATHROP  
PLANNING COMMISSION RESOLUTION NO. 21-20**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LATHROP  
APPROVING A SITE PLAN REVIEW FOR VALLEY BROS TRUCKING (SPR-20-132)**

**WHEREAS**, the City of Lathrop Planning Commission held a duly noticed special meeting to consider the Site Plan Review request pursuant to the Lathrop Municipal Code; and

**WHEREAS**, the request is for a Site Plan Review to develop a 23 commercial trucking parking facility, including associated site improvement such as paving, landscaping, lighting, and frontage improvements on a 1.40-acre site; and

**WHEREAS**, the project is located at 1631 E. Louise Avenue (APN: 198-100-04); and

**WHEREAS**, the subject parcel is located in the SC, Service Commercial General Plan designation and CS, Service Commercial Zoning District; and

**WHEREAS**, the proposed Site Plan Review is exempt according to California Environmental Quality Act (CEQA) Article 19 §15332 Class 32 “In-Fill Development Projects”. This exemption is for a project that is consistent with the applicable General Plan designation and applicable Zoning designation and regulations, occurs within City limits on a project site of five (5) acres or less substantially surrounded by urban uses, has no value as habitat for endangered, rare, or threatened species, not result in any significant effects relating to traffic, noise, air and water quality and can be adequately served by all required utilities and public services; and

**WHEREAS**, proper notice of this public meeting was given in all respects as required by law; and

**WHEREAS**, the Planning Commission has reviewed all written evidence and oral testimony presented to date.

**NOW, THEREFORE, BE IT RESOLVED** that the Planning Commission of the City of Lathrop does hereby make the following findings:

1. Site Plan Review Findings. Pursuant to Section 17.100.050 of the Lathrop Municipal Code (LMC), the Planning Commission finds as follows:
  - a. The proposed Site Plan Review complies with all applicable provisions of Chapter 17.100;
  - b. The proposed Site Plan Review is consistent with the site improvements listed in Chapter 17.100 (a. through i.) and improvements are such that traffic congestion is avoided and pedestrian and vehicular safety and welfare are protected and there will not be adverse effects on surrounding properties;
  - c. Proposed lighting for the project area is so arranged as to deflect away from adjoining properties; and

- d. The proposed Site Plan Review is compatible with surrounding land uses and will not be detrimental to the health, safety and general welfare of the City.
2. The Planning Commission finds that the proposed Valley Bros Trucking Project is consistent with the Service Commercial land use goals and policies in the City of Lathrop General Plan. The proposed project complies with all applicable provisions and standards for the CS, Service Commercial Zoning designation as conditioned.
3. The Planning Commission finds that the requirements and conditions of this resolution are reasonable in preserving, protecting, providing for, and fostering the health, safety, and welfare of the citizenry in general, and the persons who work in or visit the development in particular
4. The Planning Commission finds that the proposed Site Plan Review is exempt according to the California Environmental Quality Act (CEQA) Article 19 §15332 Class 2 “In-Fill Development Projects”. The project is consistent with the General Plan and Zoning and regulations of the parcel, and occurs within the City limits.

The project site is 1.49 acres in size and as illustrated on the Vicinity Map (Attachment 3), is substantially surrounded by urban development. The project site has no value as habitat for endangered, rare or threatened species and is identified as “Urban (U) Habitat” by the San Joaquin Multi-Species Habitat Conservation and Open Space Plan. The project is not anticipated to result in any significant effects related to traffic, noise, air quality or water and can adequately be served by utilizes and public services.

**BE IT FURTHER RESOLVED** that the Planning Commission of the City of Lathrop based on substantial evidence in the administrative record of proceedings and pursuant to its independent review and consideration, does hereby Approve Site Plan Review No. SPR-20-132 subject to the Conditions of Approval listed as Attachment #2 of the July 14, 2021 Staff Report, incorporated by reference herein.

**PASSED AND ADOPTED** by the Planning Commission of the City of Lathrop at a special meeting on the 14<sup>th</sup> day of July, 2021 by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

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Ash Ralmilay, Chair

ATTEST:

APPROVED AS TO FORM:

A handwritten signature in blue ink, appearing to read 'Salvador', is written over a horizontal line.

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Mark Meissner, Secretary

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Salvador Navarrete, City Attorney

## Community Development Department – Planning Division

## Consolidated Conditions of Approval

July 14, 2021

**Project Name:** Valley Bros Trucking  
**File Number:** Site Plan Review No. SPR-20-132  
**Project Address:** 1631 E. Louise Avenue (APN: 198-100-04)

*The following list of conditions shall be incorporated into the final construction plans and development phases of the project. The list of conditions are not intended to be all-inclusive or a comprehensive listing of all City or district regulations. Please note that additional comments and/or conditions may be added pending the response to the comments noted below and/or changes to the proposed project. The following comments and conditions of approval are based on the application and diagrams submitted on May 28, 2021 (received).*

Approval of this project authorizes the construction of a 23 Commercial Truck Parking Facility on a 1.49-acre site, including associated site improvements such as paving, landscaping, lighting, and frontage improvements.

**PLANNING*****CEQA Determination***

The City finds that the proposed Site Plan Review is exempt according to the California Environmental Quality Act (CEQA) Article 19 §15332 Class 32 “In-Fill Development Projects”. The project is consistent with the General Plan and Zoning and regulations of the parcel, and occurs within the City limits. The project site is substantially surrounded by urban uses; has no value as habitat for endangered, rare, or threatened species; does not result in any significant effects relating to traffic, noise, air and water quality; and can be adequately served by all required utilities and public services. No significant impacts are anticipated and no mitigation measures have been required.

1. The applicant shall comply with the following performances measures in good faith to develop the project site to meet City Standards:
  - a. Submit complete applications for onsite and offsite construction and improvement plans for building permit and engineering plan check to bring the property into compliance with the Conditions of Approval. Application shall be submitted to the City of Lathrop Building Division by **September 14, 2021**. Failure to submit the plans at the above listed date will result in further Code Compliance action.
  - b. Diligently pursue issuance of building permits with the intent to obtain them as soon as possible. Given the varying circumstances of building permit and plan check review, the time to address corrections can vary; however, failure to actively pursue issuance of building permits will result in further Code Compliance action.

- c. Upon issuance of building permits, construction shall take place immediately with the intent to complete improvements as soon as possible. Given the varying circumstances of construction, the time to construct the improvements may be delayed; however, failure to continue construction of improvements beyond reasonable or unforeseeable delays will result in further Code Compliance action.
  - d. All plans, permits and fees required to satisfy the Conditions of Approval must be completed, paid, submitted, reviewed and approved by the City.
  - e. Obtain a City Business License.
- 2. Prior to any ground disturbance, the project shall consult with the San Joaquin County Multi-Species Habitat Conservation and Open Space Plan (SJMSCP) for biological coverage, mitigation and participation in the plan. Participation in the SJMSCP satisfies requirements of both the State and Federal endangered species acts, and ensures that the impacts are mitigated below a level of significance in compliance with the California Environmental Quality Act (CEQA).
- 3. The applicant shall coordinate with the San Joaquin Valley Air Pollution Control District to comply with District rules and regulations including but not limited to Rule 9510, Indirect Source Review. The applicant shall provide proof of compliance prior to permit issuance.
- 4. With the exception of parking and storage of truck cabs and truck trailers, outdoor storage is prohibited, unless otherwise reviewed and approved by the Planning Division.
- 5. The perimeter of the project site shall be screened with a minimum 6-foot high chain link fence with privacy slats. No barbed wire fencing is allowed.
- 6. The project shall comply with all applicable site development provisions contained in the Lathrop Municipal Code including but not limited to parking, lighting, landscaping, etc.
- 7. The applicant shall submit appropriate plans to the Building Department for plan check and building permit. Final site plan, floor plan, elevation, landscaping and irrigation, exterior lighting and site improvement plans and details, etc. shall be reviewed and approved by the Planning Division. Any significant change or modification to the approved plan is subject to review and approval by the Community Development Director.
- 8. Landscaping and irrigation must be consistent with the City's Water Conservation Requirements (LMC 17.92.060) and the State Water Efficient Landscape Ordinance (AB 1881). Provide a water efficient landscape worksheet with water budget calculations identifying the water allowance and estimated water use.
- 9. The entire site including landscaping areas shall be maintained in a healthy, weed free condition.
- 10. If provided, the trash enclosures shall have three solid walls, a metal gate and covered roof. Details and/or alternative designs shall be subject to review and approval of the Planning, Building and Public Works Department. The trash enclosure design, material and color shall match or compliment the main building.
- 11. Any building or parking area illumination including security lighting, shall be arranged to reflect away from adjoining properties.
- 12. A final site lighting photometric plan with detailed specifications of all lighting fixtures, poles, and wall packs as well as a manufacture's catalogue sheet containing photometric data, shall be submitted with Building Permits for City review and approval.

Parking lots, driveways, trash enclosure/areas shall be illuminated during the hours of darkness with a minimum maintained one foot-candle of light and an average not to exceed four foot-candles of light. The illumination shall not exceed ten (10) foot-candles in any one location.

13. Sign Design Permit for any exterior signs shall be submitted to the Planning Division for review and approval prior to installation. All signage must be in accordance with the applicable standards of the Lathrop Municipal Code.
14. Bicycle parking shall be installed consistent with Chapter 17.76.120 of the LMC if passenger vehicle parking is provided.
15. Unless otherwise specified, all conditions of approval shall be reflected in project construction drawings / improvement plans prior to the issuance of any Building Permits.
16. The City of Lathrop may conduct annual and or spot inspections to ensure that required site improvements and conditions are being complied with and maintained.

## **BUILDING**

1. All construction shall comply with the most recent adopted City and State building codes, currently:

|                                  |                               |
|----------------------------------|-------------------------------|
| 2019 California Building Code    | 2019 California Plumbing Code |
| 2019 California Residential Code | 2019 California Fire Code     |
| 2019 California electrical Code  | 2019 California Green Code    |
| 2019 California Mechanical Code  |                               |
2. Special Inspections – As indicated by California Building Code Section 1704, the owner shall employ one or more special inspectors who shall provide special inspections when required by CBC section 1704. Please contact the Building Division at time of plan submittal to obtain application for special inspections.
3. The Title Sheet of the plans shall include:

|                      |   |
|----------------------|---|
| Occupancy Group      | Height of Building                                  |
| Occupant Load        | Floor area of building(s) and/or occupancy group(s) |
| Description of use   |   |
| Type of Construction |   |
4. School impact fees shall be paid prior to permit issuance.
5. Dimensioned building setbacks and property lines, street centerlines and between buildings or other structures shall be designed on plot plan.
6. All property lines and easements must be shown on plot plan. A statement that such lines and easements are shown is required.
7. The project design will conform with energy conservation measures articulated in Title 24 of the California Code of Regulations and address measures to reduce energy consumption such as flow restrictors for toilets, low consumptions light fixtures, and insulation and shall use to the extent feasible draught landscaping.
8. A design professional will be required at time of construction drawings, to prepare plans for proposed improvements per the Business and Professions' Code.

9. Public and private site improvements shall be designed in accordance with the Americans with Disabilities Act and Chapter 11B of the California Building Code. Site plan shall include a site accessibility plan identifying exterior routes of travel and detailing running slope, cross slope, width, pedestrian ramp, curb ramps, handrails, signage and truncated domes. Path of travel shall be provided from the public right of way and accessible parking to building. The design professional shall ensure that the site accessibility plan is compliance with the latest Federal and State regulations.
10. A site accessibility plan shall be required as the attached policy from the link below.  
[https://www.ci.lathrop.ca.us/sites/default/files/fileattachments/building\\_division/page/1651/site\\_accessibility\\_plan\\_requirements\\_3-17-20.pdf](https://www.ci.lathrop.ca.us/sites/default/files/fileattachments/building_division/page/1651/site_accessibility_plan_requirements_3-17-20.pdf)

## **PUBLIC WORKS**

1. Sewer
  - a. Applicant can continue to use existing septic system with no changes as long as demand does not increase and use does not change.
  - b. Applicant shall identify location of leach field on the site plan and verify that it meets county health department standards.
  - c. Applicant shall provide copy of permit for septic system from county.
  - d. Applicant shall enter into a Deferred Frontage Improvement Agreement with the City agreeing to connect to the City system when the City sewer line is within 200 feet of the property.
2. Potable Water
  - a. Applicant shall be required to connect to the water supply and install separate water meters for domestic and irrigation uses. Any existing groundwater wells on site shall be abandoned under a permit from San Joaquin County.
  - b. Applicant shall provide the irrigation plan for the site. A 1.5" meter is required for irrigation.
3. Storm Drain
  - a. There is no storm drain utility available at this time. All storm water shall be retained onsite in a retention pond sized per the City of Lathrop Design and Construction Standards.
  - b. Applicant shall enter into a Deferred Frontage Improvement Agreement with the City agreeing to connect to the City system when the City storm drain line is within 200 feet of the property.
4. Storm Water – Construction
  - a. Project is greater than one acre, applicant shall complete a SWPPP, obtain a WDID number and list the number on the improvement plans, and submit the SWPPP to the City for review and approval.
5. Solid Waste
  - a. No trash enclosure is required unless the project is expected to produce enough trash to require an on-site dumpster. If a dumpster is to be utilized, a trash enclosure shall be constructed and consist of three solid walls, the fourth wall with a gate and a roof.
  - b. Trash enclosure shall be located in an area with easy access for solid waste collection services. Applicant shall contact Republic Services to determine best location.

- c. ADA path from the building to the trash enclosure will be required if trash enclosure is constructed.

#### 6. Off-site Improvements

- a. Applicant shall provide the City with an encroachment permit, separate plan submittal, and engineers estimate for all off-site improvements.
- b. Applicant shall install offsite improvements including, but not limited to, curb and gutter, sidewalk, pavement, hydrants, street lighting, signing, striping and utilities.
- c. Pavement repairs are required along the frontage of the site and extend either half the width of the street or 14 feet from the face of curb, whichever is less.

#### 7. Traffic

- a. Applicant shall provide a truck turning template for a fire-truck.

#### 8. General Comments

- a. Applicant shall retain the services of a California licensed civil engineer to design the utility plans for sewer, water, storm drain lines and systems.
- b. Applicant shall insure that all off-site and on-site improvements comply with City Standards.
- c. The parking areas and drive isles on site shall be paved with asphalt concrete or concrete as determined by a California licensed civil engineer.
- d. Hydrology and hydraulic calculations and plans for on-site storm water system shall be submitted to the City for review and approval.
- e. Applicant shall underground all existing and new overhead utilities on both sides of the frontage street in compliance with the Lathrop Municipal Code. Overhead power lines in excess of 34.5 KVA are not required to be undergrounded.
- f. Any driveway access to E. Louise Avenue shall be right-in right-out only.
- g. The Applicant shall obtain an encroachment permit and bond for all offsite work.
- h. The Applicant shall dedicate all right-of-way (ROW) necessary for the ultimate ROW width of E. Louise Avenue. A 10-foot public utility easement (PUE) shall also be dedicated along all ROW frontages.
- i. Applicant shall pay all appropriate fees including but not limited to Levee Impact Fee, Capital Facilities Fees, and Plan Check and Inspection Fees.
- j. A geotechnical report shall be submitted for the project, which includes groundwater elevations, percolation rates for retention basins, soil compaction requirements, and recommendations for asphalt paving.
- k. Grading and other construction activities that may cause dust shall be watered to control dust at the City Engineer's direction. A water vehicle shall be available for dust control operations at all times during grading operations. The adjacent public street shall be kept free and clean of any project dirt, mud, materials, and debris.

### **LATHROP-MANTECA FIRE DISTRICT (LMFD)**

1. The project must conform to the appropriate edition of the California Fire Code (currently the 2019 edition) and all related standards.
2. Permits shall be obtained from the fire code official. Permit(s) and fees, shall be paid prior to issuance of any and/or all permits. Issued permits shall be kept on the premises designated therein at all times and shall be readily available for inspection by the fire code official. (Permits are to be renewed on an annual basis)
3. An approved fire alarm system shall be installed in accordance with 2019 CFC §907.2 and 2019 NFPA 72.
4. Fire Department Development Fees for all new buildings must be paid in accordance with the City of Lathrop's Ordinance and Resolutions adopting the fee schedule.
5. An approved water supply for fire protection, either temporary or permanent, shall be made available prior to commencing construction beyond the foundation stage, or as soon as combustible material arrives on the site.
6. Approved vehicle access for firefighting shall be provided to all construction or demolition sites. Vehicle access shall be provided to within 100 feet (30 480 mm) of temporary or permanent fire department connections. Vehicle access shall be provided by either temporary or permanent roads, capable of supporting vehicle loading under all weather conditions. Vehicle access shall be maintained until permanent fire apparatus access roads are available.
7. The Fire Department Fire Access Roads shall meet the requirements established by the San Joaquin County Fire Chief's Association.
8. Where access to or within a structure or an area is restricted because of secured openings or where immediate access is necessary for life-saving or fire-fighting purposes, a key box is required to be installed in an approved location. Please note that a separate key box will be required for each of the two access points. The key box shall be of an approved type and shall contain keys to gain necessary access as required by the fire code official. In addition to key box(es), any automatic gates shall have Opticom access ability to provide necessary access for emergency apparatus.
9. Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 400 feet (122 m) from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided where required by the fire code official.
10. Other fire & life safety requirements may be required at time of building plan review.
11. Final approval is subject to field inspections. Minimum 48-72-hour notice required prior to any life-safety fire inspections. Other conditions may apply at time of inspections and are subject to correction.

### **LATHROP POLICE SERVICES (LPS)**

1. All conditions are subject to approval by both the Police Chief and Fire Chief collaboratively.
2. Applicant shall install recording security camera system that is maintained and accessible to LPS.
3. EVA may be required to allow adequate space for emergency vehicles.

4. All landscaping shall comply with standard Crime Prevention Through Environmental Design (CPTED) recommendations:
  - a. Maintain natural visible surveillance to building from parking lot and street.
  - b. Plants taller than 8 feet in height shall be trimmed up 4 feet from ground.
  - c. Plants lower than 8 feet in height shall be trimmed to allow ground level surveillance.

#### **ADMINISTRATIVE SERVICES**

1. By exercising this approval, the applicant hereby agrees to indemnify, hold harmless and defend the City, its officers, agents, elected and appointed officials, and employees, from any and all liability or claims that may be brought against the City arising out of its approval of this Site Plan Review, to the fullest extent permitted by law.

#### **SAN JOAQUIN COUNTY ENVIRONMENTAL HEALTH DEPARTMENT**

See attached memo dated January 14, 2021.



## Environmental Health Department

**Jasjit Kang, REHS, Interim Director**

**Muniappa Naidu, REHS, Assistant Director**

**PROGRAM COORDINATORS**

**Robert McClellon, REHS**

**Jeff Carruesco, REHS, RDI**


**Willy Ng, REHS**

**Michael Kith, REHS**

**Melissa Nissim, REHS**

January 14, 2021

To: City of Lathrop Community Development Department Planning Division  
Attention: David Niskanen

From: Naseem Ahmed; (209) 468-3436   
Senior Registered Environmental Health Specialist

RE: **Valley Bros Transportation (SPR-20-70), SU0013835**  
**1631 E. Louise Avenue, Lathrop**

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The following requirements have been identified as pertinent to this project. Other requirements may also apply. These requirements cannot be modified.

1. A soil suitability and nitrate loading study incorporating proposed staff and customer use shall be submitted to the Environmental Health Department, indicating that the area is suitable for septic system usage. The studies must be approved by the Environmental Health Department prior to issuance of building permit(s). (San Joaquin County Development Title, Section 9-1105.2(d)). The fee will be based on the current schedule at the time of payment.

The sewage disposal system shall comply with the onsite wastewater treatment systems standards of San Joaquin County prior to approval. A percolation test conducted in accordance with the E.P.A. Design Manual - Onsite Wastewater and Disposal Systems is required for each parcel. The fee will be based on the current schedule at the time of payment.

2. Prior to issuance of building permit, submit to the Environmental Health Department revised site plans showing the location and configuration of any existing and proposed sewage disposal systems, along with the area required to be reserved for future sewage disposal repair/replacement (area for 100% sewage disposal replacement). The plans shall include the design calculations, including the maximum number of persons the sewage disposal system is proposed to serve.

In addition, show on revised plans that the disposal field area will be barricaded so it cannot be driven over, parked on, or used as a storage area. This disposal field area must be used for that specific purpose only, and it cannot contain any underground utility lines (San Joaquin County Development Title, Section 9-1110.4(c)(5)).

3. Construction of an individual sewage disposal system(s) under permit and inspection by the Environmental Health Department is required at the time of development based on the Soil Suitability/ Nitrate Loading Study findings (San Joaquin County Development Title, Section 9-1110.3 & 9-1110.4).
4. Before any hazardous materials/waste can be stored or used onsite, the owner/operator must report the use or storage of these hazardous materials to the California Environmental Reporting System (CERS) at [cers.calepa.ca.gov/](http://cers.calepa.ca.gov/) and comply with the laws and regulations for the programs listed below (based on quantity of hazardous material in some cases). The applicant may contact

the Program Coordinator of the CUPA program, Melissa Nissim (209) 468-3168, with any questions.

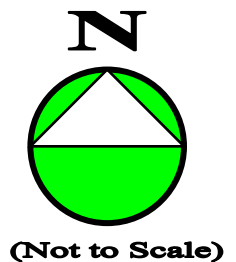
- a. Any amount but not limited to the following hazardous waste; hazardous material spills, used oil, used oil filters, used oil-contaminated absorbent/debris, waste antifreeze, used batteries or other universal waste, etc. – **Hazardous Waste Program** (Health & Safety Code (HSC) Sections 25404 & 25180 et sec.)
- b. Onsite treatment of hazardous waste – **Hazardous Waste Treatment Tiered Permitting Program** (HSC Sections 25404 & 25200 et sec. & California Code of Regulations (CCR), Title 22, Section 67450.1 et sec.)
- c. Reportable quantities of hazardous materials-reportable quantities are 55 gallons or more of liquids, 500 pounds for solids, or 200 cubic feet for compressed gases, with some exceptions. Carbon dioxide is a regulated substance and is required to be reported as a hazardous material if storing 1,200 cubic feet (137 pounds) or more onsite in San Joaquin County – **Hazardous Materials Business Plan Program** (HSC Sections 25508 & 25500 et sec.)
- d. Any amount of hazardous material stored in an Underground Storage Tank – **Underground Storage Tank Program** (HSC Sections 25286 & 25280 et sec.)
  - i. If an underground storage tank (UST) system will be installed, a permit is required to be submitted to, and approved by, the San Joaquin County Environmental Health Department (EHD) before any UST installation work can begin.
  - ii. Additionally, an EHD UST permit to operate is required once the approved UST system is installed.
- e. Storage of at least 1,320 gallons of petroleum aboveground or any amount of petroleum stored below grade in a vault – **Aboveground Petroleum Storage Program** (HSC Sections 25270.6 & 25270 et sec.)
  - i. **Spill Prevention, Countermeasures and Control (SPCC) Plan requirement**
- f. Threshold quantities of regulated substances stored onsite - **California Accidental Release Prevention (CalARP) Program** (Title 19, Section 2735.4 & HSC Section 25531 et sec.)
  - i. **Risk Management Plan requirement for covered processes**



**PLANNING DIVISION  
Vicinity Map**



**Site Plan Review No. SPR-20-132  
Valley Bros Truck Parking  
1631 E. Louise Avenue  
APN: 198-100-04**



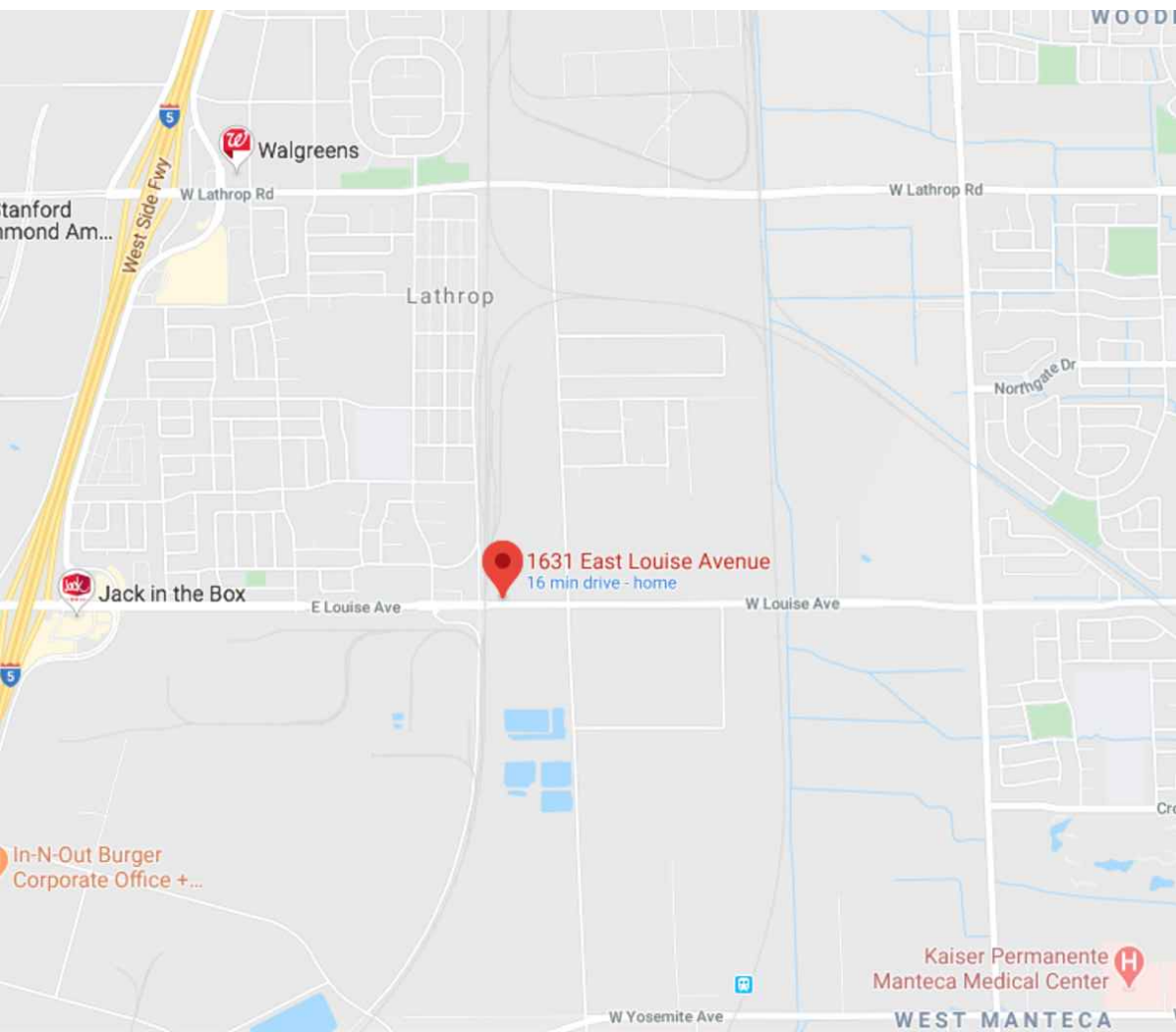
GENERAL NOTES:

1. SCOPE:

- 1.1 THE PROJECT DOCUMENTS MAY NOT BE USED IN A LOCATION OTHER THAN THAT DESIGNATED ON THE DRAWINGS WITHOUT PRIOR WRITTEN APPROVAL.
- 1.2 THIS IS A "BUILDER'S SET" PRODUCED SOLELY FOR USE BY A KNOWLEDGEABLE AND EXPERIENCED CONTRACTOR.
- 1.3 THESE PLANS CONTAIN INFORMATION FOR GENERAL CONSTRUCTION AND BUILDING PERMIT PURPOSES ONLY. THEY ARE NOT EXTENSIVELY DETAILED NOR ARE COMPLETE SPECIFICATIONS PROVIDED. DETAILS OF CONSTRUCTION NOT FULLY SHOWN, SHALL BE OF THE SAME NATURE AS SHOWN FOR SAME OR SIMILAR CONSTRUCTION SHOWN ELSEWHERE WITHIN THE PLAN SET. FOR ITEMS METHODS AND/OR MATERIALS NOT SPECIFIED WITHIN THE SET, THE MINIMUM REQUIREMENT OF THE APPLICABLE CODE SHALL GOVERN.
- 1.4 THE PLAN MAKER PROVIDES NO WARRANTY OR GUARANTEE ON THE FINAL PROJECT, NOR DUTY TO ANY PERSON OR ENTITY BEYOND THE AFOREMENTIONED LIMITED INFORMATION OF THESE PLANS.
- 1.5 FLASHING AND WATERPROOFING SHALL BE SPECIFIED.

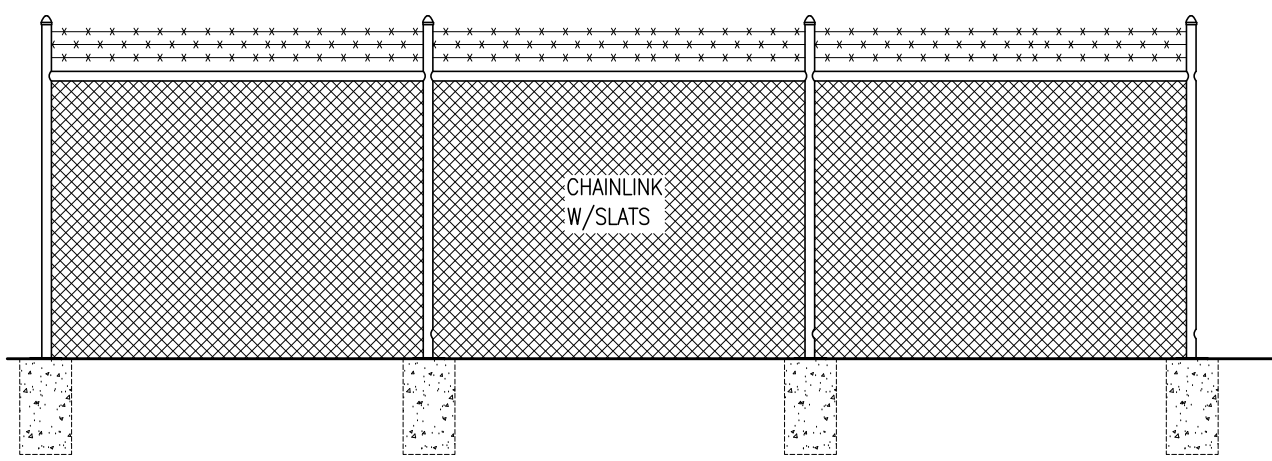
2. CONTRACTOR REQUIREMENTS:

- 2.1 THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE QUALITY AND CONSTRUCTION STANDARD FOR THIS PROJECT. CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE CODES AND REGULATIONS.
- 2.2 CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, ELEVATIONS, PROPERTY LINES, ETC.
- 2.3 ANY OR PART OF ALL SYSTEMS, MATERIALS, CONNECTIONS AND DETAILS NOT SPECIFICALLY PROVIDED IN THESE PLANS ARE THE SOLE AND COMPLETE RESPONSIBILITY OF THE CONTRACTOR TO PROPERLY VERIFY AND INSTALL.
- 2.4 CONTRACTOR SHALL NOTIFY LINE 2 DESIGN WHERE A CONFLICT OCCURS AT ANY OF THE CONTRACT, DRAWINGS OR DOCUMENTS. CONTRACTOR IS NOT TO ORDER MATERIAL OR CONSTRUCT ANY PORTION OF THE BUILDING THAT IS IN CONFLICT, UNTIL CONFLICT IS RESOLVED BY THE AFFECTED PARTIES.
- 2.5 THE DESIGN ADEQUACY, AND SAFETY OF ERECTION BRACING, SHORING, TEMPORARY SUPPORTS, ETC IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND HAS NOT BEEN CONSIDERED BY THE PLAN MAKERS. THE CONTRACTOR IS RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE PRIOR TO THE APPLICATIONS OF ALL SHEAR WALLS, ROOF DIAGRAM, AND FINISH MATERIALS. CONTRACTOR SHALL PROVIDE THE NECESSARY BRACING TO PROVIDE STABILITY PRIOR TO THE APPLICATION OF THE AFOREMENTIONED MATERIALS. OBSERVATION VISITS TO THE SITE BY THE PLAN MAKER SHALL NOT INCLUDE INSPECTION OF THE ABOVE ITEMS.
- 2.6 IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT PLAN MAKERS FOR ANY REQUIRED DIMENSIONS NOT SHOWN. DRAWINGS AND DETAILS WITHIN THIS SET SHALL NOT BE SCALED FOR ANY PURPOSES.
- 2.7 THE GENERAL CONTRACTOR AND HIS SUB-CONTRACTOR MUST SUBMIT IN WRITING ANY REQUEST FOR MODIFICATIONS TO THE PLANS AND SPECIFICATIONS. SHOP DRAWINGS THAT ARE SUBMITTED TO THE DESIGN PROFESSIONALS FOR HIS REVIEW DO NOT CONSTITUTE "IN WRITING". CHANGES ON THE PLAN AND SPECIFICATIONS BY MEANS OF SHOP DRAWINGS BECOME THE RESPONSIBILITY OF THE PERSON INITIATING SUCH CHANGES.



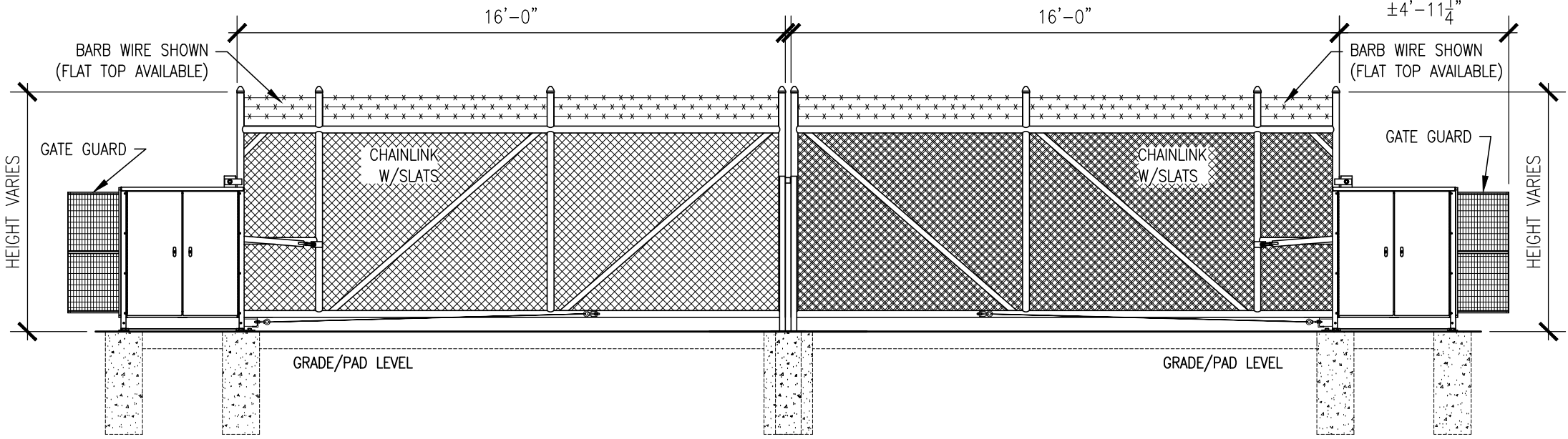
VICINITY MAP

NTS



TYP. CHAIN-LINK FENCE SECTION

SCALE 1/4"=1'-0"



GATE ELEVATION VIEW

SCALE 1/4"=1'-0"

NOTES:

- 1) ALL OF OUR GATES ARE TYPICALLY DRAWN FROM THE PRIVATE SIDE LOOKING OUT.
- 2) LENGTH AND HEIGHT VARIES, CONSULT WITH AUTOGATE SALES FOR MORE INFORMATION.
- 3) SHOWN WITH STANDARD 5" STYLE "E" YOKE. SEE DRAWING #105 FOR YOKE STYLES.

PROJECT DATA

PROJECT LOCATION: 1631 E. LOUISE AV.  
LATHROP, CA. 95330

PROJECT DESCRIPTION: SEE SCOPE OF WORK

OWNER'S INFO: LUCKY SINGH  
MAILING ADDRESS: 1631 E. LOUISE AV.  
LATHROP, CA.

CONTACT #:

JURISDICTION: CITY OF LATHROP  
COMMUNITY DEVELOPMENT DEPT.  
1390 TOWNE CENTRE DR. LATHROP, CA 95330

ASSESSOR'S PARCEL #: 198-100-04

ZONING: B

AREA: (E)MANUFACTURE MOBILE OFFICE = 434 SQFT

LAND TOTAL SQFT= 65337 SQFT

LAND TOTAL ACRE= 1.5 AC

FIRE SPRINKLER: NO

APPLICABLE CODES I. CALIFORNIA CODE OF REGULATION (CCR), TITLE 24:

PART 2. 2019 CALIFORNIA BUILDING CODE

PART 3. 2019 CALIFORNIA ELECTRICAL CODE

PART 4. 2019 CALIFORNIA MECHANICAL CODE

PART 5. 2019 CALIFORNIA PLUMBING CODE

PART 6. 2019 CALIFORNIA ENERGY CODE

PART 9. 2019 CALIFORNIA FIRE CODE

PART 11. 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE

PART 12. 2019 CALIFORNIA REFERENCE STANDARDS CODE

REFERENCE STANDARD CODE:

SCOPE OF WORK

PROPOSED IMPROVEMENT TO SITE FOR TRUCK PARKING & OFFICE OPERATION.

| No. | REVISION/ISSUE | DATE |
|-----|----------------|------|
|     |                |      |
|     |                |      |
|     |                |      |
|     |                |      |
|     |                |      |
|     |                |      |

FIRM NAME AND ADDRESS

**LINE 2 DESIGN**

COMMERCIAL & RESIDENTIAL  
DESIGN SPECIALIST  
DAVID MIRAFLOR C.C.I.  
P.O.BOX 690218  
STOCKTON CA, 95269  
CELL (209) 470-0318  
FAX (209) 473-3223  
LINE2DESIGN@YAHOO.COM

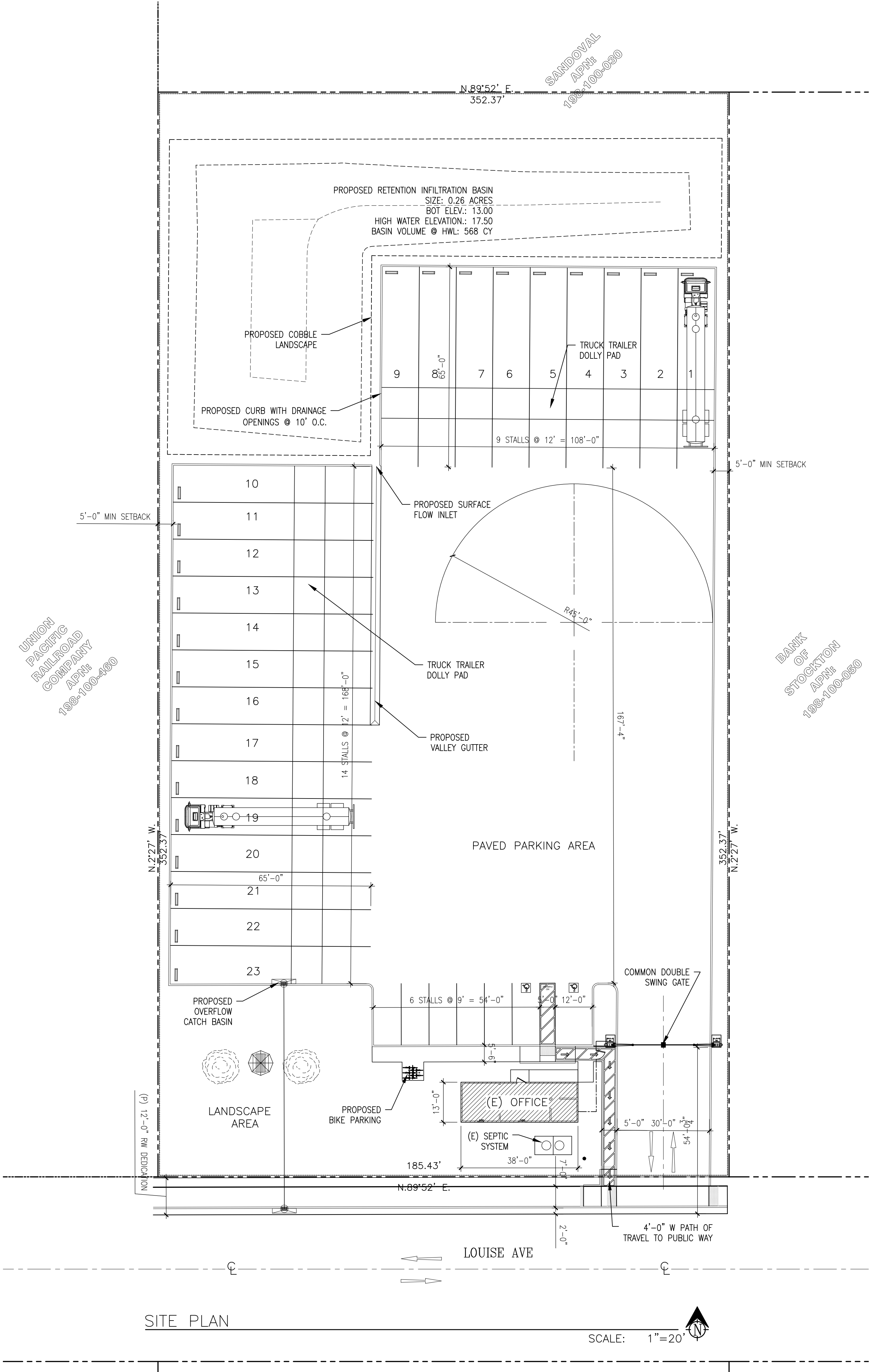
THIS DOCUMENT, THE IDEAS AND DESIGNS INCORPORATED HEREIN, ARE SOLELY THE PROPERTY OF L2D AND IS NOT TO BE USED, IN WHOLE OR IN PART FOR ANY PROJECT, OR DUPLICATION, WITHOUT WRITTEN AUTHORIZATION.

PROJECT NAME AND ADDRESS

PROPOSED IMPROVEMENT TO  
SITE FOR TRUCK PARKING &  
OFFICE OPERATION FOR LUCKY  
SINGH

1631 E. LOUISE AV.  
LATHROP, CA. 95330

|                          |         |
|--------------------------|---------|
| REVISED BY<br>D.MIRAFLOR | SHEET # |
| DRAW BY<br>T.PASCUAL     | 1       |
| DATE<br>05/26/2021       |         |
| SCALE<br>AS NOTED        | OF: 1   |



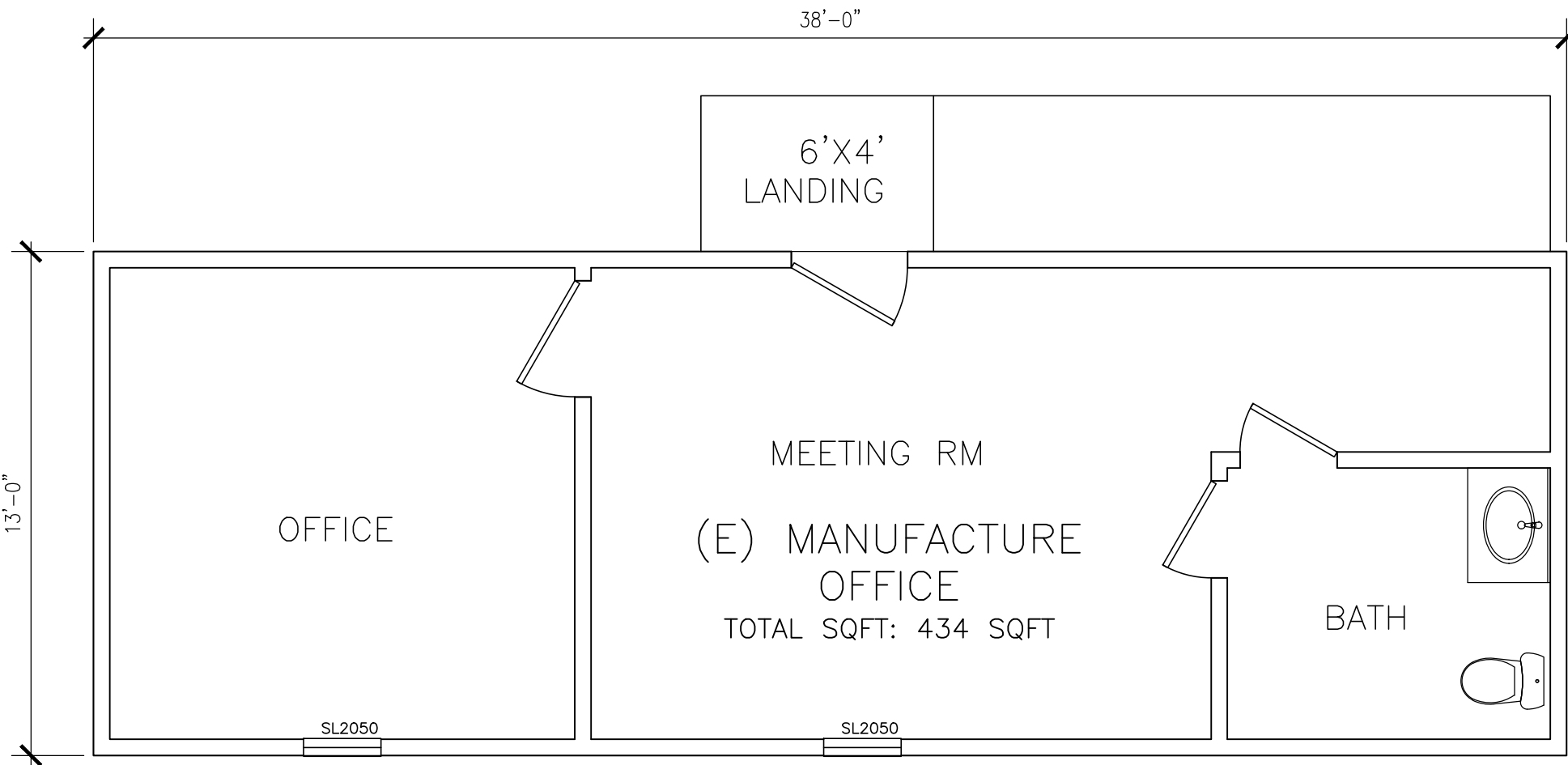
(E)MANUFACTURED MOBILE OFFICE

SCALE 1/4"=1'-0"



EXISTING OFFICE ELEVATION

NTS

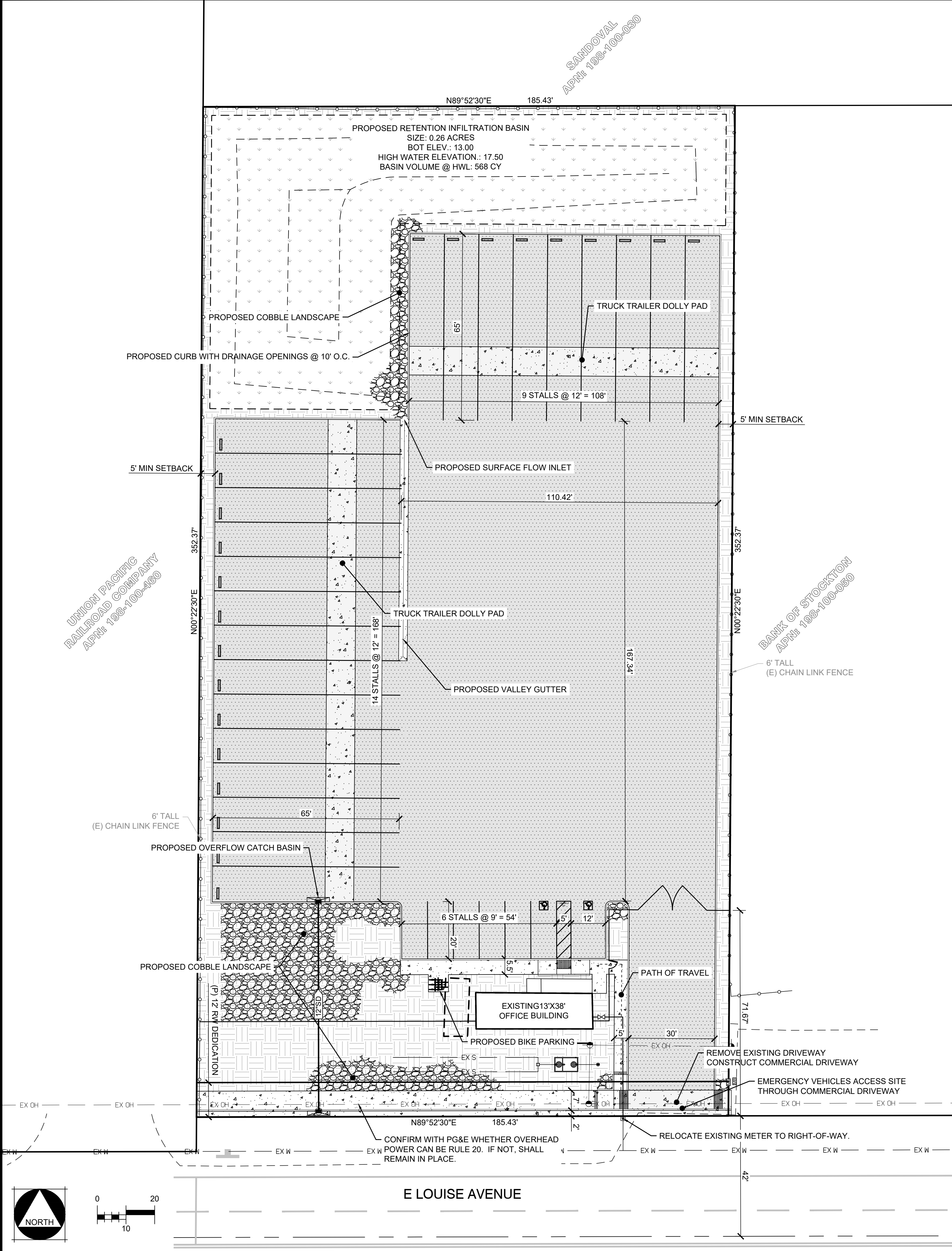


(E)MANUFACTURED MOBILE OFFICE

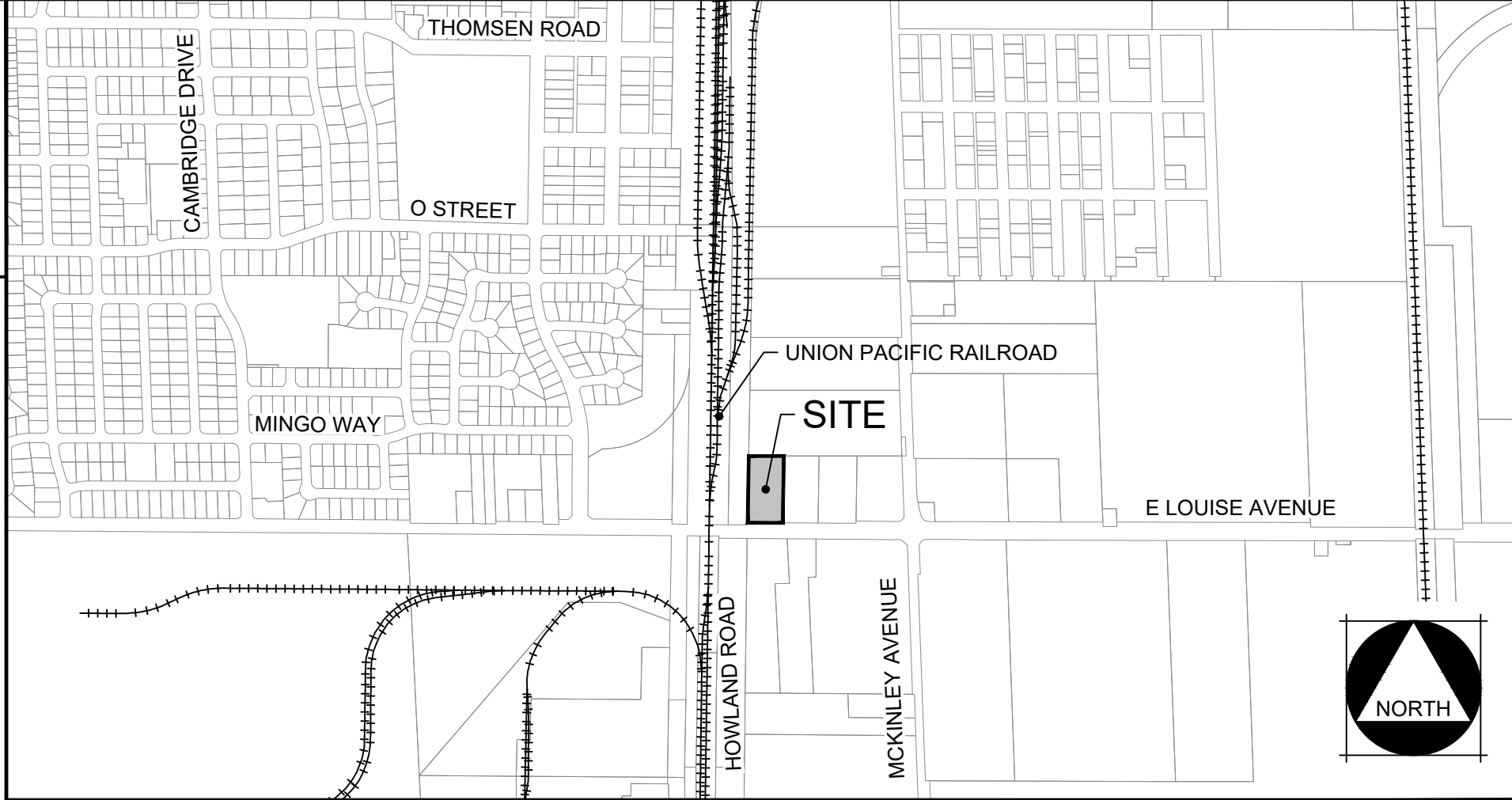
SCALE 1/4"=1'-0"



SITE PLAN



VICINITY MAP



SITE PLAN DATA

|                                       |   |
|---------------------------------------|---|
| PROJECT LOCATION:                     | 1631 E LOUISE AVENUE.<br>LATHROP, CA 95330                            |
| EXISTING USE:                         | TRAILER STORAGE   |
| GENERAL PLAN LAND<br>USE DESIGNATION: | SC (SERVICE COMMERCIAL)   |
| PROJECT DESCRIPTION:                  | PROPOSED IMPROVEMENTS TO SITE FOR<br>TRUCK PARKING & OFFICE OPERATION |
| OWNER'S INFO:                         | VALLEY BROS TRANSPORTATION INC.                                       |
| MAILING ADDRESS:                      | P.O. BOX 314<br>LATHROP, CA 95330                                     |
| ASSESSOR'S PARCEL #:                  | 198-100-040   |
| ZONING:                               | CS (SERVICE COMMERCIAL)   |
| AREA:                                 | 1.499 AC/65,296 SQ. FT.   |
| PROPOSED PARKING:                     | 23 TRAILER STALLS / 7 PARKING SPACES                                  |
| FLOOR AREA RATIO:                     | 0.008   |
| PERCENTAGE OF<br>LANDSCAPING:         | 18.6%   |
| OFF-STREET PARKING<br>REQUIREMENTS:   | 1   |
| OFF-STREET PARKING<br>PROVIDED:       | 7   |

PROJECT BENCHMARK

|              |   |
|--------------|---|
| BENCHMARK:   | CITY OF LATHROP BM#1026   |
| ELEVATION:   | 19.84   |
| DATUM:       | NATIONAL GEODETIC VERTICAL DATUM OF<br>1929 (NGVD)  |
| DESCRIPTION: | 2" BRASS DISC SET IN TOP OF CURB AT THE<br>SOUTHWEST CORNER OF INTERSECTION OF<br>LOUISE AVENUE AND 5TH STREET/HOWLAND<br>ROAD 4 FEET EAST OF TRAFFIC SIGNAL POLE |

SITE PLAN LEGEND

- PROPOSED LANDSCAPING
- PROPOSED INFILTRATION BASIN
- PROPOSED COBBLE LANDSCAPE
- PROPOSED PAVEMENT
- PROPOSED CONCRETE (HEAVY)
- PROPOSED CONCRETE (LIGHT)

**mcr ENGINEERING**  
www.mcreng.com  
1242 DUPONT COURT  
MANTECA, CA 95336  
TEL: (209) 239-6229  
FAX: (209) 239-8839



| PLAN REVISIONS |              |      |
|----------------|--------------|------|
| NO.            | DESCRIPTIONS | DATE |
| 1              |              |      |
| 2              |              |      |
| 3              |              |      |
| 4              |              |      |
| 5              |              |      |
| 6              |              |      |

SITE PLAN FOR:  
**VALLEY BROS TRANSPORTATION**

**COVER SHEET**

LATHROP, CA

1631 E LOUISE AVENUE



Know what's below.  
Call before you dig.  
811 / 800-227-2600

JOB NO.: 20-079  
DATE: 10/2/2020  
SCALE: AS SHOWN  
DR. BY: RP/DB  
CK. BY: SLS

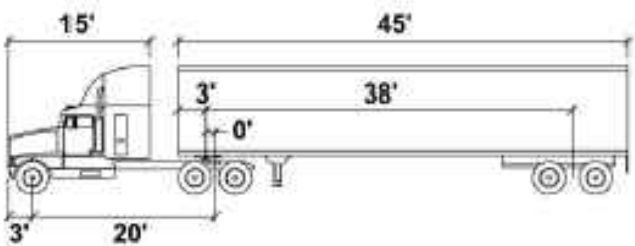
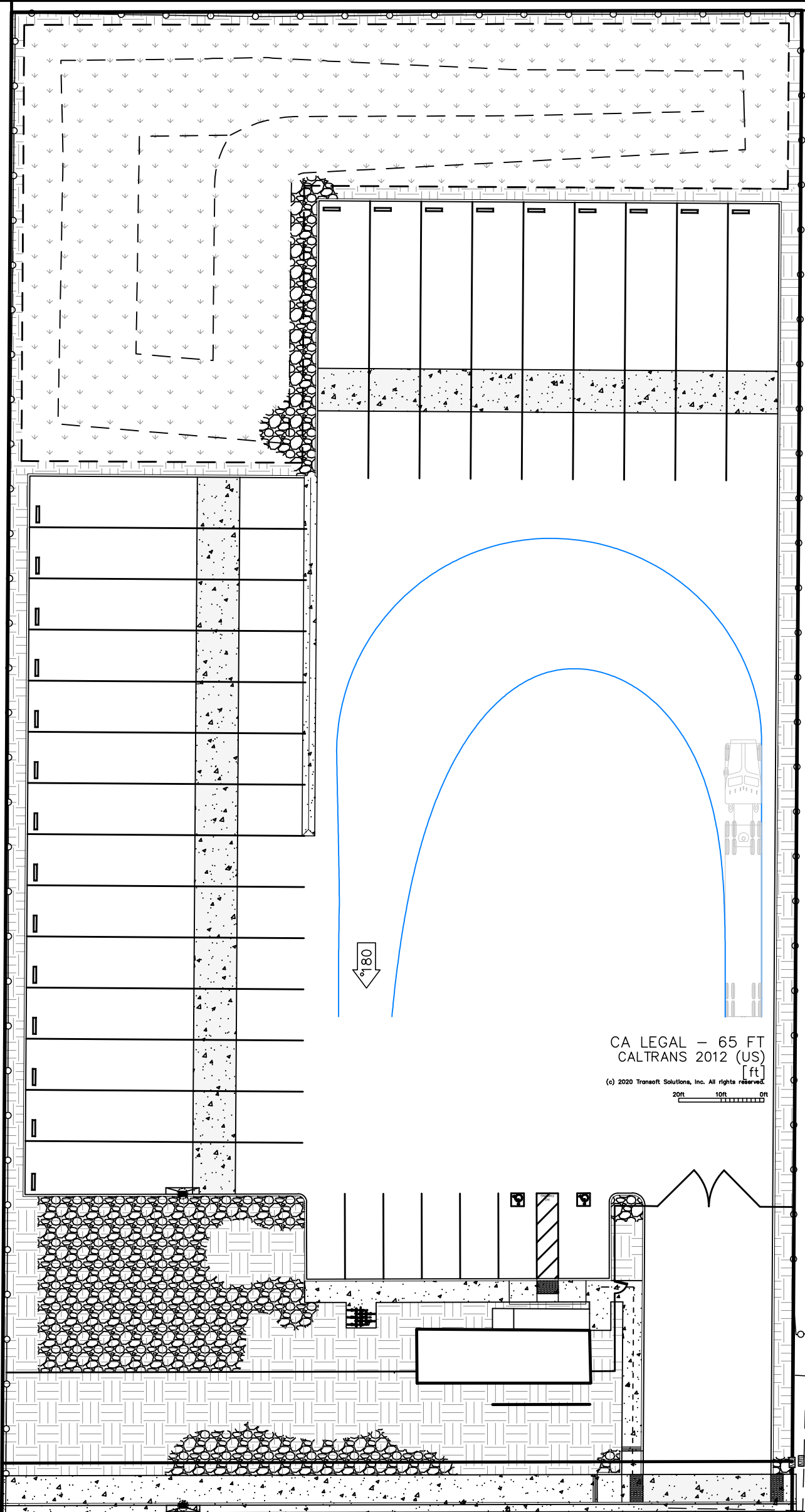
SHEET NO.

**1**

OF 1 SHEET

UNION PACIFIC  
RAILROAD COMPANY  
APN: 198-100-460

BANK OF STOCKTON  
APN: 198-100-050



CA LEGAL - 65 FT

Tractor Width : 8.5'  
Trailer Width : 8.5'  
Tractor Track : 8.5'  
Trailer Track : 8.5'

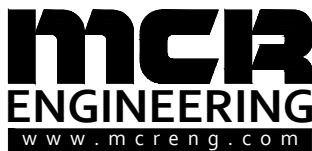
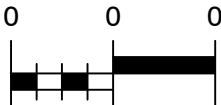
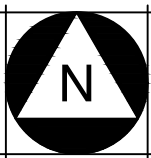
Lock to Lock Time : 6 seconds  
Steering Lock Angle : 26.3 degrees  
Articulating Angle : 70 degrees

## TRUCK TURNING TEMPLATE

DATE: MAY, 2021

### VALLEY BROS TRANSPORTATION

1631 E LOUISE AVENUE  
LAPTHROP, CA 95330



MCR ENGINEERING, INC.  
1242 DUPONT COURT  
MANTECA, CA 95336  
TEL : ( 209 ) 239 - 6229  
FAX : ( 209 ) 239 - 8839