



## PLANNING COMMISSION STAFF REPORT

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<b>DATE:</b>	February 18, 2026
<b>APPLICATION NO:</b>	Yosemite Avenue Truck/Trailer Parking Yard - Site Plan Review No. SPR-25-91
<b>LOCATION:</b>	3303 W. Yosemite Avenue Lathrop, CA 95330 APNs: 241-390-10
<b>REQUEST:</b>	Planning Commission to Consider Adoption of a Resolution to Approve a Site Plan Review to Authorize the Development of a Truck/Trailer Parking Yard on a 7.11-Acre Project Site.

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<b>APPLICANT:</b>	Mr. Rajwinder Singh SRP Manteca Swanson, LLC. 3633 Inland Empire Blvd. # 500 Ontario, CA 91764
<b>GENERAL PLAN:</b>	SC-LG, Service Commercial
<b>ZONING:</b>	CS-LG, Commercial Service
<b>CEQA STATUS:</b>	The Environmental Impacts of the Lathrop Gateway Business Park Specific Plan (LGBPSP) were Addressed in the Environmental Impact Report (EIR) (SCH No. 2009062106) Certified by the City Council on May 16, 2011. The City Has Determined that the Potential Environmental Effects of the Proposed Project have been Addressed in the Certified EIR.

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### SUMMARY:

The applicant is requesting approval of a Site Plan Review (SPR) for the development of a truck/trailer parking yard consisting of 84 truck/trailer spaces and 9 standard automobile parking stalls on a 7.11-acre site located at 3303 W. Yosemite Avenue. Associated site improvements include curb, gutter, sidewalk, landscaping, lighting, fencing, paving, etc. as well as various utility connections.

Staff recommends that the Planning Commission adopt a Resolution to approve the Site Plan Review entitlement request for the Yosemite Avenue Truck/Trailer Parking Yard Project, subject to the attached Conditions of Approval, dated February 18, 2026.

**BACKGROUND:**

The Lathrop Gateway Business Park Specific Plan (LGBPSP) was approved by the Lathrop City Council on May 16, 2011. The project included certification of the Environmental Impact Report (EIR) for the LGBPSP, the adoption of the specific plan document, the General Plan Land Use map amendments, the Zoning map and text amendments, and direction to file for annexation with the San Joaquin Local Agency Formation Commission (LAFCo). On April 20, 2012, the SJ LAFCo approved the annexation request for a portion of the original LGBPSP boundary, which also included the subject project site area (3303 W. Yosemite Avenue). All aspects of the proposed truck/trailer parking yard have been reviewed in relationship to the Lathrop Gateway Business Park Specific Plan design criteria illustrated in Section 5.0 “Design Guidelines” of the Specific Plan.

In April 2024, the applicant completed the City’s Pre-Application process in which the applicant met with City staff to discuss the viability of developing the site with a 50,000 square foot warehouse building and a truck parking yard to serve the warehouse use. The applicant was informed that approval of a Site Plan Review entitlement from the City Planning Commission was required prior to constructing the project. The applicant proceeded to submit the formal Site Plan Review application for the project in July 2025, deciding to forego the construction of a warehouse building.

**SITE DESCRIPTION:**

The project site, 3303 W. Yosemite Avenue (APN: 241-390-10), is a 7.11-acre site located within the LGBPSP area, and the site is currently vacant undeveloped land.

The project site has a General Plan Land Use Designation of “SC-LG, Service Commercial” and a Zoning Designation of “CS-LG, Commercial Service”. General Plan and Zoning designations of the adjacent properties surrounding the project site are characterized as being General Industrial with undeveloped property and Vierra Road to the north; Service Commercial designations with existing non-conforming residential structures, undeveloped commercial zoned sites, and D’Arcy Parkway to the west; Service Commercial designations with limited commercial service uses and non-conforming properties to the east; and Light Industrial designations with industrial warehouse buildings (Phelan Development), Yosemite Avenue, and Business Park Court to the south (see Attachment 3).

**ANALYSIS:**

Site Plan

The applicant is requesting the approval of a Site Plan Review entitlement to allow for the construction of a commercial truck and trailer parking yard located at 3303 W. Yosemite Avenue (see Attachment 5). The applicant’s intent for the proposed parking yard as currently designed is that it aims to achieve the following goals (see Attachment 4):

- Develop the site with a parking yard consisting of 84 truck and trailer spaces that would be utilized as a secure staging and parking area for trailers and trucks from the applicant's affiliated logistics company located in Irvine, California, which operates a large network of freight vehicles throughout the region.
- Maintain this operation as a private facility (not available for public use), and only to be used by the applicant's own fleet of vehicles and approved logistics partners.

As the site is intended to be only used for the storage of commercial trucks and trailers, other materials and products associated with outdoor storage would typically be prohibited, unless the applicant otherwise makes a separate request in the future to allow for additional storage of different materials, which would be subject to the review and approval by the Planning Division. Except for the nine (9) additional standard passenger vehicle parking spaces situated along Yosemite Avenue frontage area of the property (intended for use by the applicant's logistics team members), the site is not intended for the parking of personal automobiles.

As the project meets the intent of the development standards in the Lathrop Municipal Code (LMC) and the Lathrop Gateway Business Park Specific Plan (LGBPSP), staff is in support of this project as the design of the overall site layout is appropriate and the project will provide a significant amount of infrastructure improvements that will serve as a catalyst for the potential development of other future projects for the area.

#### Access and Circulation

The Site Plan illustrates the internal circulation for commercial trucks and trailers associated with the project. The site will be accessible from three public roads, including: Yosemite Avenue to the south, Vierra Road to the north, and a new roadway (Ringstrom Drive) to the east that the applicant will be responsible for constructing, and security gates will be provided at each entrance.

The applicant has been working with staff to provide an appropriate overall site layout for the subject site. As designed, it is the applicant's intent to utilize the Vierra Road entrance primarily as an exit onto Vierra Road. Primary access into the site area will come from the Yosemite Avenue and Ringstrom Drive entrances as both entrances are designed with 70 feet of spacing to allow trucks with attached trailers to fully turn into the site area while remaining completely out of these roadways to avoid obstructing through traffic flow within said roadways. When exiting the site, trucks will be able to utilize all three main entrances with a "Right-Out" only onto Yosemite Avenue, and "Left-Out" and "Right-Out" turning movements at the Vierra Road and Ringstrom Drive entrances.

The Site Plan was reviewed by Lathrop Manteca Fire District (LMFD) staff, and it was found to be adequate for both trucks to navigate the site and emergency vehicles to access the site.

#### Landscaping and Fencing

As illustrated on the Landscape Plan (Attachment 6), landscaping proposed for this project includes a variety of trees and shrubs provided throughout the site which includes street frontage landscaping provided along all three roadway frontages (Yosemite Avenue, Vierra Road, and

Ringstrom Drive) and the interior parking lot areas. Both the street frontage and interior parking yard areas for the site shall primarily be landscaped with a combination of the following tree species:

- “Blackwood Acacia”, “Coast Live Oak”, and “Valley Oak” tree species along Yosemite Avenue.
- “Carob” and “Valley Oak” tree species along Vierra Avenue.
- “Silk Oak” tree species along Ringstrom Drive.
- “California Sycamore” tree species along the west property line of the site.
- “Silver Dollar Gum” and “Chinese Pistache” tree species for the interior areas of the parking yard.

It is expected that these trees proposed throughout the site will provide adequate shade for the parking yard, as well as aesthetically enhance the site area.

Furthermore, the applicant is proposing to secure the parking yard with an 8-foot-tall black vinyl coated chain link fencing with black slats installed along the frontage and perimeter areas of the parking lot area. The three manual gated entrances associated with the parking yard will also be constructed with the same chain link fence material and color to match the remaining frontage and perimeter fencing for a consistent appearance, which is illustrated on the project Fencing Plan (see Attachments 7).

### Utilities

The proposed project will be connecting to the City of Lathrop’s municipal utility systems such as water, sewer, and storm drainage. The civil drawings illustrating these improvements for this project can be viewed in Attachment 5 of this staff report, and include the following:

- Water service for the project will be provided by way the installation of new 12-inch water main lines located in Vierra Road and Ringstrom Drive that would connect into the existing main line in Yosemite Avenue, and 6-inch line connections to allow for on-site fire hydrants.
- The project will construct 8-inch sewer lines within Vierra Road and Ringstrom Drive that would connect into the existing main line in Yosemite Avenue.
- The project is designed to accommodate stormwater by way of new 12-inch and 18-inch lines installed along the three roadways, the west property line, and within the parking yard that will connect to the City’s main line within Yosemite Avenue, and will be designed according to the City of Lathrop’s design and construction standards and consistent with the relevant multi-agency post-construction stormwater standards manual.

The applicant shall be required to pay all applicable City connection fees for water, sewer, and storm drainage related to this project.



Lighting

As illustrated on the Photometric Plan, light poles will be distributed throughout the parking lot facility to provide sufficient lighting coverage of the parking lot facility (see Attachment 8). It is anticipated that the proposed lighting levels for the parking lot facility will meet the City's minimum standard of 1-foot candle power (and an average) not to exceed 4 foot-candles of light during the hours of darkness. The applicant shall ensure that project's lighting levels beyond the property boundaries will be at 0 candle power.

**FINDINGS:**

In accordance with Chapter 17.100, *Site Plan Review*, of the Lathrop Municipal Code (LMC), the Planning Commission must make the following findings when approving a Site Plan:

1. That the site plan complies with all applicable provisions of this chapter;
2. That the site improvements listed (a. through i.) are so arranged that traffic congestion is avoided and that pedestrian and vehicular safety and welfare are protected, and there will not be adverse effect on surrounding properties;
3. Proposed lighting is so arranged as to deflect the light away from adjoining properties;
4. That adequate provision is made to reduce adverse or potentially adverse environmental impacts to acceptable levels.

Staff has reviewed each of the findings presented above and finds that the proposed project has been designed or is otherwise conditioned so that the use is compatible with surrounding land uses and will not be detrimental to the health, safety or general welfare of the City.

General Plan and Zoning Consistency

As currently designed and conditioned, the project is a reasonable request that is consistent with the goals and policies of the General Plan and will comply with the requirements of the Zoning Ordinance upon development.

Conditions of Approval

Planning staff routed the project plans on July 3, 2025, and subsequent revisions on August 29, 2025, October 8, 2025, and January 2, 2026, to the Building Division, Public Works Department, Lathrop-Manteca Fire District, Lathrop Police Services to ensure compliance with applicable codes and requirements. As a result, staff developed a consolidated list of Conditions of Approval which are listed as Attachment #2 of the staff report. Staff finds that the proposed project has been properly conditioned to meet the City's standards and requirements.

Public Notice

The Planning Commission agenda was posted at the Council Chamber bulletin board and three other locations accessible to the public, including posting on the City's website. As of writing of this report, no comments were received in favor or against the proposed project.

**CEQA REVIEW:**

The Environmental Impacts of the Lathrop Gateway Business Park Specific Plan (LGBPSP) were addressed in the Environmental Impact Report (EIR) (SCH No. 2009062106) certified by the City Council on May 16, 2011. The City has determined that the potential environmental effects of the proposed project have been addressed in the Certified EIR; therefore, no further environmental review is required as the proposed project is in compliance with the California Environmental Quality Act (CEQA).

**RECOMMENDATION:**

Staff recommends that the Planning Commission adopt Resolution No. 26-4, finding that the potential impact of the proposed project has been addressed in the certified Lathrop Gateway Business Park Specific Plan EIR and approve the Site Plan Review entitlement request to allow for the proposed Yosemite Avenue Truck/Trailer Parking Yard Project, subject to the attached Conditions of Approval (Attachment 2).

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**Approvals:**

  
James Michaels, Senior Planner

2/5/2026  
Date

  
Rick Cagulat, Community Development Director

2/5/2026  
Date

  
Salvador Navarrete, City Attorney

2-5-2026  
Date

**Attachments:**

1. PC Reso No. 26-4 for Yosemite Avenue Truck/Trailer Parking Yard (SPR-25-91)
2. Conditions of Approval for the Yosemite Avenue Truck/Trailer Parking Yard
3. Vicinity Map and Aerial Photo
4. Project Description
5. Site Plan w/Civil Drawings
6. Landscape Plan
7. Fencing Exhibit
8. Photometric (Lighting) Plan

**CITY OF LATHROP  
PLANNING COMMISSION RESOLUTION NO. 26-4**

**A RESOLUTION OF THE CITY OF LATHROP PLANNING COMMISSION FINDING  
THE POTENTIAL IMPACT OF THE PROPOSED PROJECT HAS BEEN ADDRESSED  
IN THE CERTIFIED LATHROP GATEWAY BUSINESS PARK SPECIFIC PLAN EIR  
AND APPROVE A SITE PLAN REVIEW ENTITLEMENT TO ALLOW FOR THE  
CONSTRUCTION OF A COMMERCIAL TRUCK/TRAILER PARKING YARD WITH  
VARIOUS SITE IMPROVEMENTS ON A 7.11-ACRE SITE.  
(SPR-25-91)**

**WHEREAS**, the City of Lathrop Planning Commission held a duly-noticed public hearing to consider the Site Plan Review entitlement request pursuant to the Lathrop Municipal Code; and

**WHEREAS**, the project site area has a general plan land use designation of “SC-LG, Service Commercial” and a zoning designation of “CS-LG, Commercial Service” per the Lathrop Gateway Business Park Specific Plan; and

**WHEREAS**, the applicant made an application to the City for approval of a Site Plan Review entitlement to allow for the construction of a commercial truck/trailer parking yard consisting of 84 truck/trailer spaces and 9 standard automobile parking stalls with the site being accessible from Vierra Road, Yosemite Avenue, and a new roadway (Ringstrom Drive) that the applicant will be responsible for constructing in addition to various site improvements; and

**WHEREAS**, the project site is located at 3303 W. Yosemite Avenue (APN: 241-390-10) for a total site area of 7.11 acres in size; and

**WHEREAS**, prior to the City’s approval of the Lathrop Gateway Business Park Specific Plan, the City prepared an Environmental Impact Report (EIR) which analyzed the environmental impacts of buildout of the Specific Plan area and the City of Lathrop City Council certified the Final EIR (SCH 2009062106) on May 16, 2011, by passage of Resolution No. 11-3200; and

**WHEREAS**, the proposed project is consistent with the Service Commercial land use goals and policies of both the Lathrop Gateway Business Park Specific Plan and the City of Lathrop General Plan and is also consistent with the development standards for the “CS-LG, Commercial Service” Zoning District; and

**WHEREAS**, the proposed project with all project related improvements has been reviewed by City staff and conditions of approval were prepared that will ensure that the proposed project is consistent with the Lathrop Gateway Business Park Specific Plan, the 2022 Lathrop General Plan, the Lathrop Municipal Code (LMC), and other applicable regulations and standards (conditions included and incorporated herein as Attachment "2"); and

**WHEREAS**, proper notice of this public meeting was given in all respects as required by law including posting the agenda at three (3) locations accessible to the public and the City website; and

**WHEREAS**, the Planning Commission has reviewed all written evidence and oral testimony presented to date.

**NOW, THEREFORE, BE IT RESOLVED**, the Planning Commission of the City of Lathrop does hereby make the following findings:

1. California Environmental Quality Act (CEQA): The environmental impacts of the Lathrop Gateway Business Park Specific Plan Project were addressed in a certified Environmental Impact Report (EIR) (SCH 2009062106) adopted by the Lathrop City Council on May 16, 2011 by passage of Resolution No. 11-3200. The proposed project has been addressed in the certified EIR as it falls within the scope analyzed in the EIR; therefore, no further environmental review is required as the proposed project is in compliance with the California Environmental Quality Act (CEQA).
2. Site Plan Review Findings. Pursuant to Section 17.100.050 of the Lathrop Municipal Code (LMC), the Planning Commission finds as follows:
  - a) The proposed Site Plan Review complies with all applicable provisions of Chapter 17.100, and the proposed project as conditioned, is consistent with Chapter 17 Zoning of the Lathrop Municipal Code (LMC), with the provisions of the “CS-LG Commercial Service” zoning district, and other applicable land use standards and regulations;
  - b) The proposed Site Plan Review is consistent with the site improvements listed in Chapter 17.100 (a. through i.) and improvements are such that: traffic congestion is avoided, pedestrian and vehicular safety and welfare are protect, and will not have adverse effects on surrounding properties.
  - c) The proposed lighting for the project is so arranged to deflect away from adjoining properties.
  - d) The proposed Site Plan Review is compatible with surrounding land uses and the conditions of approval made a part of the proposed project by this resolution (Attachment “2”) are reasonable to ensure the project will not be detrimental to the health, safety and general welfare of the City.

**BE IT FURTHER RESOLVED**, based on the findings set forth in this resolution, evidence in the staff report, evidence presented during the public meeting, and pursuant to its independent review and consideration, the Planning Commission hereby approves the proposed Site Plan Review (SPR-25-91) entitlement request subject to the Conditions of Approval listed as Attachment 2 of the February 18, 2026 Staff Report, incorporated by reference herein.

**PASSED AND ADOPTED** by the Planning Commission of the City of Lathrop at a special meeting on the 18<sup>th</sup> day of February, 2026 by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

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George Jackson, Chair

ATTEST:

APPROVED AS TO FORM:

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Rick Caguiat, Secretary



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Salvador Navarrete, City Attorney

## Community Development Department – Planning Division

## Consolidated Conditions of Approval

February 18, 2026

**Project Name:** Yosemite Avenue Truck/Trailer Parking Yard  
**File Number:** Site Plan Review No. SPR-25-91  
**Project Address:** 3303 W. Yosemite Avenue (APN: 241-390-10)

*The following list of conditions shall be incorporated into the final construction plans and development phases of the project. The list of conditions are not intended to be all-inclusive or a comprehensive listing of all City or district regulations. Please note that additional comments and/or conditions may be added pending the response to the comments noted below and/or changes to the proposed project. The following comments and conditions of approval are based on the application submittal and the diagrams submitted on July 7, 2025.*

Approval of this project authorizes the construction of a commercial truck/trailer parking yard consisting of 84 truck/trailer spaces and 9 standard automobile parking stalls on a 7.11-acre site located at 3303 W. Yosemite Avenue. The site will be accessible from Vierra Road, Yosemite Avenue, and a new roadway (Ringstrom Drive) that the applicant will be responsible for constructing. Associated site improvements include: curb, gutter, sidewalk, landscaping, lighting, fencing, paving, etc. as well as various utility connections.

**CEQA DETERMINATION**

The Environmental Impacts of the Lathrop Gateway Business Park Specific Plan (LGBPSP) were addressed in the Environmental Impact Report (EIR) (SCH No. 2009062106) certified by the Lathrop City Council on May 16, 2011, by passage of Resolution No. 11-3200. As the proposed project falls within the scope analyzed in the Certified EIR, the City has determined that the potential environmental effects of the proposed project have been addressed in the Certified EIR. Therefore, no further environmental review is required as the proposed project is in compliance with the California Environmental Quality Act (CEQA).

**PLANNING**

1. All of the mitigation measures set forth in the Mitigation Monitoring and Reporting Program (MMRP) for the Lathrop Gateway Business Park Specific Plan (LGBPSP) Project that are applicable to the project site, are incorporated herein by reference as part of these Conditions of Approval (attached).
2. Prior to any ground disturbance, the project shall consult with the San Joaquin County Multi-Species Habitat Conservation and Open Space Plan (SJMSCP) for biological coverage, mitigation and participation in the plan. Participation in the SJMSCP satisfies requirements of both the State and Federal endangered species acts and ensures that the impacts are mitigated below a level of significance in compliance with the California Environmental Quality Act (CEQA).

3. The applicant shall coordinate with the San Joaquin Valley Air Pollution Control District to comply with District rules and regulations including but not limited to Rule 8021, Dust Control Plan, and Rule 9510, Indirect Source Review. The applicant shall provide proof of compliance prior to permit issuance.
4. With the exception of parking and storage of commercial truck cabs and truck trailers, outdoor storage is prohibited, unless otherwise reviewed and approved by the Planning Division.
5. The perimeter of the project site shall be screened with an 8-foot tall black, powder-powder chain link fence with black vinyl privacy slats, as shown on the project plans.
6. The project shall comply with all applicable site development provisions contained in the Lathrop Municipal Code including but not limited to parking, lighting, landscaping, etc. Any future improvements to the site that is beyond the proposed project referenced above shall require separate City review and approval.
7. The applicant shall submit appropriate plans to the Public Works Department for plan check and Site Improvement Permit, (and as may be applicable, the Building Department for plan check and Building Permit). Final site plan, elevation, landscaping and irrigation, exterior lighting and site improvement plans and details, etc. shall be subject to the reviewed and approved by the Planning Division. Any significant change or modification to the approved plan is subject to review and approval by the Community Development Director.
8. Landscaping and irrigation must be consistent with the City's Water Conservation Requirements (LMC 17.92.060) and the State Water Efficient Landscape Ordinance (AB 1881). The applicant shall include with the landscape and irrigation plan a water efficient landscape worksheet with water budget calculations identifying the water allowance and estimated water use.
9. The applicant/property owner shall ensure the entire site including landscaping areas, shall be maintained in a healthy, weed free condition to the satisfaction of the City.
10. If any trash enclosure(s) are proposed in the future related to this project, said enclosure(s) shall include but not limited to a covered roof, metal gate and have three solid walls. Details and/or alternative designs shall be subject to review and approval of the Planning, Building and Public Works Department. The trash enclosure design, material and color shall match or compliment the main building.
11. It shall be the responsibility of the applicant/property owner to ensure that any building or parking area lighting, including security lighting associated with the project, shall be arranged so as not to cast light onto adjoining properties and adjacent public roadways.
12. A final site lighting photometric plan and information with detail specifications on fixtures, poles, and wall packs as well as a manufacture's catalogue containing photometric data, shall be submitted with the Building Permit for City review and approval. Parking lots, driveways, trash enclosure/areas shall be illuminated during the hours of darkness with a minimum maintained one foot-candle of light and an average not to exceed four foot-candles of light. The illumination shall not exceed ten (10) foot-candles in any one location.
13. No signs are approved with this Site Plan Review entitlement. For any exterior signs desired for this project, a separate Sign Permit application shall be submitted to the Planning Division for review and approval prior to installation. All signage must be in accordance with the applicable standards of the Lathrop Municipal Code.



14. Unless otherwise specified, all conditions of approval shall be complied with prior to the issuance of any Site Improvement Permits or Building Permits.
15. The Site Plan Review approval shall expire thirty-six (36) months from the date of approval unless a time extension is granted consistent with the policies and procedure of the Lathrop Municipal Code. Prior to the expiration date (February 19, 2029), a Site Improvement Permit and/or Building Permit (if applicable), must be issued and construction is commenced and diligently pursued toward completion of the site or structures.
16. In the event clarification is required for an interpretation of these Conditions of Approval, the Community Development Director and City Engineer shall have the authority either to administratively clarify the intent and wording of these Conditions of Approval without the requirement of a public hearing or to refer questions regarding the interpretation of these Conditions of Approval to the Planning Commission. If the applicant takes issue with the clarification provided administratively, the applicant shall have the right to appeal the administrative clarification to the Planning Commission. The Community Development Director and City Engineer shall also have the authority to make minor modifications to these conditions provided a request is made in writing by the applicant and it is determined such modifications are consistent with and in furtherance of the underlying intent of the condition being modified.
17. The City of Lathrop may conduct annual and or spot inspections to ensure that required site improvements and conditions are being complied with and maintained.

## **BUILDING**

The applicant shall be required to comply with the following conditions of approval as the Chief Building Official may deem to be applicable for this project:

1. All construction shall comply with the most recent adopted City and State building codes:

California Building Code	California Plumbing Code
California Residential Code	California Fire Code
California Electrical Code	California Green Code
California Mechanical Code	
2. Special Inspections – As indicated by California Building Code Section 1704, the owner shall employ one or more special inspectors who shall provide special inspections when required by CBC section 1704. Please contact the Building Division at time of plan submittal to obtain application for special inspections.
3. The Title Sheet of the plans shall include:

Occupancy Group	Type of Construction
Occupant Load	Height of Building
Description of Use	Floor area of building(s) and/or occupancy group
Allowable Area Analysis	Codes Used
4. The applicant shall submit the appropriate pad certification for the proposed building prior to issuance of a building permit.
5. If EV Charging Station parking stalls are required for the project, the required number of stalls shall be illustrated on the project Site Plan.

6. School impact fees shall be paid prior to permit issuance.
7. Dimensioned building setbacks and property lines, street centerlines and between buildings or other structures shall be designed on plot plan.
8. All property lines and easements must be shown on plot plan. A statement that such lines and easements are shown is required.
9. The project design will conform with energy conservation measures articulated in Title 24 of the California Code of Regulations and address measures to reduce energy consumption such as flow restrictors for toilets, low consumption light fixtures, and insulation and shall use to the extent feasible drought landscaping.
10. Public and private site improvements shall be designed in accordance with the Americans with Disabilities Act and Chapter 11B of the California Building Code. Site plan shall include a site accessibility plan identifying exterior routes of travel and detailing running slope, cross slope, width, pedestrian ramp, curb ramps, handrails, signage and truncated domes. Path of travel shall be provided from the public right of way and accessible parking to building. The design professional shall ensure that the site accessibility plan is compliance with the latest Federal and State regulations.
11. A design professional will be required at time of construction drawings, to prepare plans for proposed improvements per the Business and Professions' Code.
12. A site accessibility plan shall be required per the attached policy from the link below: [https://www.ci.lathrop.ca.us/sites/default/files/fileattachments/building\\_division/page/24708/site\\_accessibility\\_plan\\_requirements.pdf](https://www.ci.lathrop.ca.us/sites/default/files/fileattachments/building_division/page/24708/site_accessibility_plan_requirements.pdf).
13. Grading permits shall be stand-alone Public Works permits; no site improvements. Site improvements shall be subject to approval of a separate permit obtained through the Public Works Department.

## **PUBLIC WORKS**

### **1. Storm Water - Construction**

- a. As the project site is greater than one acre in size, the applicant shall complete a SWPPP, obtain a WDID number and list the number on the improvement plans, and submit the SWPPP to the City for review and approval.

### **2. Storm Drain**

- a. The Applicant shall connect to the City storm drain system prior to occupancy and pay all applicable connection fees and reimbursements.
- b. The Applicant shall retain all stormwater onsite in a retention pond sized per the City of Lathrop Design and Construction Standards until City approval is granted to discharge. Discharge of pre-development flow and the street storm water to the storm system drain system is approved.
- c. Hydrology and hydraulic calculations and plans for on-site storm water system shall be submitted to the City for review and approval.
- d. The Applicant shall be required to implement post-construction BMPs on-site. The applicant shall refer to City standards for design and calculation requirements. The BMP's must be in place prior to final occupancy.

- e. The Applicant shall submit a Project Stormwater Plan (PSP) that shows the post construction storm water treatment.
- f. The project shall comply with the Multi-Agency Post Construction Stormwater Manual.
- g. Extend the laterals from the storm drain inlets and stub the lines to the fog line to accommodate future connections by adjacent properties.

### **3. Potable Water**

- a. The Applicant shall be required to connect to the water utility for domestic and irrigation supply and pay all applicable fees and reimbursements prior to building permit issuance.
- b. The Applicant shall connect to the off-site irrigation.
- c. All groundwater wells on site shall be abandoned under a permit from San Joaquin County prior to connecting potable water to the site.
- d. The Applicant shall secure sufficient water capacity and pay all capacity and connection fees prior to building permit issuance.

### **4. Sewer**

- a. The Applicant shall abandon existing septic tank(s) per San Joaquin County Health Department requirements.
- b. The Applicant shall be required to connect to the City sewer system prior to certificate of occupancy and pay all connection fees and reimbursements prior to building permit issuance.
- c. Prior to building permit issuance, the Applicant shall secure sufficient sewer capacity for the project and pay all applicable fees and reimbursements.

### **5. Recycled Water**

- a. The City Engineer determined it was not necessary to extend the recycled water line through Ringstrom Drive and Vierra Road. Leave recycled water lines as is on Yosemite Avenue and connect to irrigate the public landscape improvements fronting Yosemite Avenue.

### **6. Traffic**

- a. The Applicant shall provide a 70-foot space from City Right-of-Way (ROW) to gated entrances.
- b. The Applicant shall provide a traffic study memo that analyzes all intersections impacted by the project. The Applicant shall construct any improvements that determined as necessary to maintain City Standard minimum traffic conditions.

### **7. Frontage Improvements**

- a. The Applicant shall underground all existing and new overhead utilities on both sides of the frontage street in compliance with the Lathrop Municipal Code. Overhead power lines in excess of 34.5 KVA are not required to be undergrounded.
- b. The Applicant shall be required to install full street frontage improvements on Vierra Road, Ringstrom Drive, and Yosemite Avenue including but not limited to curb, gutter, sidewalk, streetlights, hydrants, asphalt concrete paving, striping, commercial driveways, and landscaping. The extent of paving shall include one half ultimate street width. The Applicant shall submit the off-site plans for approval along with the applicable plan check and inspection fees.
- c. The Applicant shall obtain an encroachment permit and bond for all offsite work.

- d. The Applicant shall dedicate any necessary right-of-way (ROW) and public utility easement (PUE).
- e. The Applicant shall enter into a reimbursement agreement with the City for all improvements that may benefit neighboring properties. Determination of improvements that benefit neighboring properties shall be made by City Engineer.
- f. Submit a photometric plan to support the number and placement of the streetlight(s).

## **8. General Comments**

- a. The Applicant shall retain the services of a California licensed civil engineer to design the utility plans for sewer, water, storm drain lines and systems.
- b. The Applicant shall ensure that all off-site and on-site improvements comply with City Standards.
- c. The parking areas and drive isles on site shall be paved with asphalt concrete.
- d. Hydrology and hydraulic calculations and plans for on-site storm water system shall be submitted to the City for review and approval.
- e. The Applicant shall execute a maintenance agreement for all onsite storm water quality treatment devices, swales and/or ponds.
- f. A geotechnical report shall be submitted for the project, which includes groundwater elevations, percolation rates for retention basins, soil compaction requirements, and recommendations for asphalt paving.
- g. Grading and other construction activities that may cause dust shall be watered to control dust at the City Engineer's direction. A water vehicle shall be available for dust control operations at all times during grading operations. The adjacent public street shall be kept free and clean of any project dirt, mud, materials, and debris.
- h. The Applicant shall pay all appropriate fees including but not limited to Levee Impact Fee, Capital Facilities Fees, and Plan Check and Inspection Fees.
- i. The Applicant shall install a trash enclosure with three solid walls, the fourth wall with a gate, man door, a roof, and ADA access to the building.
- j. The Applicant shall provide striped ADA compliant path from building to trash enclosure.

## **LATHROP-MANTECA FIRE DISTRICT (LMFD)**

The applicant shall be required to comply with the following conditions of approval as the LMFD Fire Chief may deem to be applicable for this project:

- 1. The project shall conform to the most currently adopted edition of the California Fire Code and all related standards.
- 2. Permits shall be obtained from the fire code official. Permit(s) and fees, shall be paid prior to issuance of any and/or all permits. Issued permits shall be kept on the premises designated therein at all times and shall be readily available for inspection by the fire code official. (Permits are to be renewed on an annual basis).

3. Approved automatic sprinkler systems shall be provided in accordance with the current adopted California Fire Code §903.2. Tenant/Occupant/Owner shall have the responsibility to ensure that the correct fire suppression system is added/modified/tested and accepted by the (AHJ) Fire District. Fire suppression system plans shall be modified under separate fire permit and shall be submitted by a licensed contractor, to the (AHJ) Fire District for review and approval prior to modification. Deferred submittal accepted.
4. An approved fire alarm system shall be installed in accordance with the current adopted CFC §907.2 and the current NFPA 72.
5. Fire District Development Fees for all new buildings must be paid in accordance with the City of Lathrop's Ordinance and Resolutions adopting the fee schedule.
6. An approved Fire Flow test shall be conducted prior to ground breaking to determine the allowable Fire Fighting capabilities for the site.
7. An approved water supply for fire protection, either temporary or permanent, shall be made available prior to commencing construction beyond the foundation stage, or as soon as combustible material arrives on the site.
8. Deferred Plan Submittals for Fire Alarm, Fire Sprinklers and Fire Underground shall be submitted directly to the LMFD at [www.lmfire.org/prevention](http://www.lmfire.org/prevention).
9. Approved vehicle access for firefighting shall be provided to all construction or demolition sites. Vehicle access shall be provided to within 100 feet (30 480 mm) of temporary or permanent fire department connections. Vehicle access shall be provided by either temporary or permanent roads, capable of supporting vehicle loading under all weather conditions. Vehicle access shall be maintained until permanent fire apparatus access roads are available.
10. The Fire Department Fire Access Roads shall meet the requirements established by the San Joaquin County Fire Chief's Association.
11. Buildings exceeding 30 feet in height shall have a minimum unobstructed fire apparatus width of 26 feet.
12. Where access to or within a structure or an area is restricted because of secured openings or where immediate access is necessary for life-saving or fire-fighting purposes, a key box is required to be installed in an approved location. Please note that a separate key box will be required for each of the two access points. The key box shall be of an approved type and shall contain keys to gain necessary access as required by the fire code official. In addition to key box(es), any automatic gates shall have Opticom access ability to provide necessary access for emergency apparatus.
13. Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 400 feet (122 m) from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided where required by the fire code official.
14. Other fire & life safety requirements may be required at time of building plan review.
15. Final approval is subject to field inspections. Minimum 48-72-hour notice required prior to any life-safety fire inspections. Other conditions may apply at time of inspections and are subject to correction.

#### **LATHROP POLICE DEPARTMENT (LPD)**

1. If the applicant proposes a building in the future for the site, the applicant shall paint the address on

the roof top of said building. The numbers shall be at least 3 feet tall, 2 feet wide, 9 inches apart, with 6-inch brush stroke with a color that contrast the roof top, top of numbers/letters should point north.

2. The applicant/property owner shall install dedicated lights in the parking lot that are properly maintained and complies with the Crime Prevention Through Environmental Design (CPTED) standards.
3. The applicant shall install recording security camera systems on the property. The security camera systems shall be maintained by the property owner and accessible to the Lathrop Police Department for investigation purposes with camera views covering the parking areas and all ingress and egress entrances into the site.
4. The proposed landscaping for this project shall conform to the following standard CPTED measurements:
  - a. Maintain natural visible surveillance to building from parking lot and street.
  - b. Plants taller than 8 feet shall be trimmed up 4 feet from ground.
  - c. Plants under 8 feet shall be trimmed to allow ground level surveillance.

#### **ADMINISTRATIVE SERVICES**

1. By exercising this approval, the applicant hereby agrees to indemnify, hold harmless and defend the City, its officers, agents, elected and appointed officials, and employees, from any and all liability or claims that may be brought against the City arising out of its approval of this Site Plan Review and to the fullest extent permitted by law.

Lathrop Gateway Business Park Specific Plan  
Mitigation Monitoring and Reporting Program (MMRP)

## 5.0 MITIGATION MONITORING AND REPORTING PROGRAM

Pursuant to Section 21081.6 of the Public Resources Code and the *CEQA Guidelines* Section 15097, a lead agency is required to adopt a monitoring and reporting program for assessing and ensuring compliance with the required mitigation measures applied to a proposed project for which an EIR has been prepared. As stated in the Public Resources Code: “...the public agency shall adopt a program for monitoring or reporting on the revisions which it has required in the project and the measures it has imposed to mitigate or avoid significant environmental effects.”

Section 21081.6 provides general guidelines for implementing mitigation monitoring programs and indicates that specific reporting and/or monitoring requirements, to be enforced during project implementation, shall be defined prior to final certification of the EIR. The lead agency may delegate reporting or monitoring responsibilities to another public agency or a private entity, which accept delegations. The lead agency, however, remains responsible for ensuring that implementation of the mitigation measures occur in accordance with the program.

The mitigation monitoring table below lists mitigation measures that are required to reduce the significant effects of the Lathrop Gateway Business Project. These measures may also be included as conditions of approval for the project. These measures correspond to those outlined in Chapter 2, Executive Summary, and discussed in Sections 4.0 through 19.0 of the Draft EIR. To ensure that the mitigation measures are properly implemented, a monitoring program has been devised which identifies the timing and responsible entity for monitoring each measure. The project applicant will have the responsibility for implementing the measures, and various public agencies will have the primary responsibility for enforcing, monitoring, and reporting the implementation of the mitigation measures.

This Mitigation Monitoring and Reporting Program is set up as a Compliance Report, with space for confirming the correct mitigation measures have been implemented for the Lathrop Gateway Business Park Project. In order to sufficiently track and document the status of mitigation measures, the matrix below has been prepared with the following components:

- Mitigation measures
- Monitoring phase
- Enforcement agency
- Monitoring agency
- Action Indicating Compliance
- Verification of Compliance (for use during the reporting/monitoring)

Information pertaining to compliance with mitigation measures or any necessary modifications and refinements will be documented in the verification of compliance portion of the matrix. The mitigation measure matrix is provided in the following pages.



## Lathrop Gateway Business Park Specific Plan Final EIR - MITIGATION MONITORING/REPORTING PROGRAM

Mitigation Measure	Monitoring Phase	Enforcement Agency	Monitoring Agency	Action Indicating Compliance	Verification of Compliance		
					Initials	Date	Remarks
5.0 AGRICULTURE RESOURCES							
5-1: The Project Proponents/City would participate in the SJMSCP. Fees would be paid by the project applicant to the SJCOG on a per-acre basis for lost agricultural land during development of the proposed Lathrop Gateway Business Park. The SJCOG will use these funds to purchase conservation easements on agricultural and habitat lands in the project vicinity. The preservation in perpetuity of agricultural land throughout the SJMSCP, a portion of which would consist of Important Farmland, would ensure the continued protection of farmland in the project vicinity, partially offsetting project impacts. Written proof of such an agreement between the project proponent and SJCOG shall be provided to the City prior to the issuance of grading or other construction permits.	Pre-Construction of Individual Phases	City of Lathrop / Community Development Depart	City of Lathrop / Community Development Department	Issuance of Grading and/or Building Permits			
6.0 AIR QUALITY							
6-1: For construction projects in the Plan Area exceeding 40 acres in size or involving more 2,500 cubic yards per day of excavation, the owners, developers and/or successors-in-interest (ODS) shall prepare and submit a Dust Control Plan that meets all of the applicable requirements of APCD Rule 8021, Section 6.3, for the review and approval of the APCD Air Pollution Control Officer prior to start of construction activities.	Pre-Construction of Individual Phases	San Joaquin Valley Air Pollution Control District	City of Lathrop / Community Development Department	Issuance of Grading and/or Building Permits			
6-2: Visible Dust Emissions (VDE) from construction, demolition, excavation or other earthmoving activities related to the project shall be limited to 20% opacity or less, as defined in Rule 8011, Appendix A. The dust control measures specified in mitigations 3 through 9 shall be applied as required to maintain the VDE standard.	During demolition and construction activities	City of Lathrop / Public Works	City of Lathrop / Community Development Department	Compliance with Grading Permit			

# Lathrop Gateway Business Park Specific Plan Final EIR - MITIGATION MONITORING/REPORTING PROGRAM

Mitigation Measure	Monitoring Phase	Enforcement Agency	Monitoring Agency	Action Indicating Compliance	Verification of Compliance		
					Initials	Date	Remarks
<p>6-3: During construction activities in the Plan Area, the ODS shall implement the following dust control practices identified in Tables 6-2 and 6-3 of the GAMAQI (San Joaquin Valley APCD, 2002):</p> <ul style="list-style-type: none"> <li>a. All disturbed areas, including storage piles, which are not being actively utilized or construction purposes, shall be effectively stabilized of dust emissions using water, chemical stabilizer/suppressant, or vegetative ground cover.</li> <li>b. All on-site unpaved roads and off-site unpaved access roads shall be effectively stabilized of dust emissions using water or chemical stabilizer/suppressant.</li> <li>c. All land clearing, grubbing, scraping, excavation, land leveling, grading, cut and fill, and demolition activities shall control fugitive dust emissions by application of water or by presoaking.</li> <li>d. When materials are transported off-site, stabilize and cover all materials to be transported and maintain six inches of freeboard space from the top of the container.</li> <li>e. All operations shall limit or expeditiously remove the accumulation of mud or dirt from adjacent public streets at least once every 24 hours when operations are occurring. The use of dry rotary brushes is expressly prohibited except where preceded or accompanied by sufficient wetting to limit the visible dust emissions. Use of blower devices is expressly forbidden.</li> <li>f. Following the addition of materials to, or the removal of materials from, the surface of outdoor storage piles, said piles shall be effectively stabilized of fugitive dust emissions utilizing sufficient water or chemical stabilizer/suppressant.</li> <li>g. Limit traffic speeds on unpaved roads to 15 mph; and</li> <li>h. Install sandbags or other erosion control measures to prevent silt runoff to public roadways from sites with a slope greater than one percent.</li> </ul>	During Construction Activities	San Joaquin Valley Air Pollution Control District	City of Lathrop / Community Development Department	Issuance and Daily Compliance with Grading Permit			

## Lathrop Gateway Business Park Specific Plan Final EIR - MITIGATION MONITORING/REPORTING PROGRAM

Mitigation Measure	Monitoring Phase	Enforcement Agency	Monitoring Agency	Action Indicating Compliance	Verification of Compliance		
					Initials	Date	Remarks
6-4: Architectural coatings applied to all structures in the Plan Area shall meet or exceed volatile organic compound (VOC) standards set in APCD Rule 4601. The ODS shall submit to the APCD a list of architectural coatings to be used and shall indicate how the coatings meet or exceed VOC standards. If the APCD determines that any architectural coatings do not meet VOC standards, the ODS shall replace the identified coatings with those that meet standards.	Pre-Construction of Structures	San Joaquin Valley Air Pollution Control District	City of Lathrop / Community Development Department	Issuance of Building Permits			
6-5: The ODS shall make application to the APCD for a permit under APCD Rule 9510, Indirect Source Rule (ISR) prior to issuance of the first building permit for construction in the Specific Plan area, if required. The ODS shall incorporate mitigation measures into project construction and/or pay ISR fees as required to comply with Rule 9510 emission reduction requirements for construction NOx and PM emissions.	Pre-Construction of Structures	San Joaquin Valley Air Pollution Control District	City of Lathrop / Community Development Department	Payment of ISR Fees			
6-6: The ODS shall use emission-controlled construction equipment during demolition and construction activities in the Plan Area. The developers shall select construction contractors based in part on the age, condition and emission control status of their construction equipment fleets, recognizing that ISR permit fees will be reduced for project elements that can be constructed with cleaner equipment fleets.	Pre-Grading	City of Lathrop / Public Works Department	City of Lathrop / Public Works Department	Issuance of Grading Permits			
6-7: The ODS shall receive a permit under APCD Rule 9510, Indirect Source Rule (ISR) prior to issuance of the first building permit for construction in the Plan Area. The ODS shall incorporate mitigation measures into the project and/or pay the required ISR fees to the APCD as required to comply with Rule 9510 emission reduction requirements for NOx and PM emissions associated with project operations.	Pre-Construction of Structures	San Joaquin Valley Air Pollution Control District	City of Lathrop / Community Development Department	Payment of ISR Fees			

## Lathrop Gateway Business Park Specific Plan Final EIR - MITIGATION MONITORING/REPORTING PROGRAM

Mitigation Measure	Monitoring Phase	Enforcement Agency	Monitoring Agency	Action Indicating Compliance	Verification of Compliance		
					Initials	Date	Remarks
<p>6-8: The ODS of development projects in the Plan Area shall prepare improvement plans that incorporate the following features, consistent with adopted City improvement standards and to be installed by the developer:</p> <ul style="list-style-type: none"> <li>• Bus turnouts and transit improvements where requested by the San Joaquin RTD.</li> <li>• Continuous public sidewalks adjacent to all proposed public streets.</li> <li>• Pavement and striping for bike lanes/paths.</li> <li>• Street lighting.</li> <li>• Pedestrian signalization, signage and safety designs at signalized intersections.</li> <li>• Shade trees to shade sidewalks in street-side landscaping areas.</li> </ul>	Pre-Construction	City of Lathrop / Community Development Department and Public Works	City of Lathrop / Community Development Department	Issuance of Grading and Building Permits			
<p>6-9: The ODS of development projects in the Plan Area shall prepare and implement a transportation demand management (TDM) plan that incorporates the measures listed below, though the TDM plan shall not be limited to those measures. The plan shall be subject to City review and approval prior to issuance of the first building permit for construction in the Plan Area.</p> <ul style="list-style-type: none"> <li>• Provide secure bicycle parking in conjunction with commercial and office development.</li> <li>• Provide designated vanpool parking spaces close to the employment center entry locations.</li> <li>• Provide preferential carpool parking spaces close to the employment center entry locations.</li> <li>• Provide on-site amenities that encourage alternative transportation modes such as locker, shower, and secure bike storage facilities.</li> <li>• Provide on-site services such as personal mail boxes and day care that reduce mid-day trip generation.</li> <li>• Provide telecommuting options.</li> <li>• Provide transit vouchers.</li> <li>• Provide information to employees on carpooling, ride sharing and other available programs.</li> <li>• Participate in the Commute Connection program sponsored by SJCOG.</li> </ul>	Pre-Construction	City of Lathrop / Community Development Department and Public Works	City of Lathrop / Community Development Department	Issuance of Grading and Building Permits			

# Lathrop Gateway Business Park Specific Plan Final EIR - MITIGATION MONITORING/REPORTING PROGRAM

Mitigation Measure	Monitoring Phase	Enforcement Agency	Monitoring Agency	Action Indicating Compliance	Verification of Compliance		
					Initials	Date	Remarks
<p>6-10: A health risk assessment shall be conducted by the ODS for the following future development projects that meet the following criteria:</p> <ul style="list-style-type: none"> <li>• A distribution center that accommodates more than 100 trucks per day, more than 40 trucks with operating transport refrigeration units per day, or where transport refrigeration unit operations exceed 300 hours per week, placed within 1,000 feet of a residence in or adjacent to the Plan Area.</li> <li>• A dry cleaning operation placed within 300 feet of a residence in or adjacent to the Plan Area.</li> <li>• A gas station placed within 50 feet of a residence in or adjacent to the Plan Area</li> <li>• Projects whose land uses are not specifically identified in the ARB's <i>Air Quality and Land Use Handbook</i>, but there is sufficient information to reasonably conclude that sensitive receptors would be exposed to significant sources of toxic air contaminants</li> <li>• Projects that would otherwise appear to be exempt from CEQA requirements, but there is sufficient information to reasonably conclude that sensitive receptors would be exposed to significant sources of toxic air contaminants.</li> </ul> <p>If the health risk assessment identifies a significant risk as defined by GAMAQI, a more detailed health risk assessment shall be performed that will identify measures to reduce the health risk to levels that are less than significant, which the project shall incorporate in its design and construction.</p>	Pre-Construction of Individual Phases	City of Lathrop / Community Development Department	City of Lathrop / Community Development Department	Issuance of Grading and Building Permits			

*Lathrop Gateway Business Park Specific Plan Final EIR -* **MITIGATION MONITORING/REPORTING PROGRAM**

Mitigation Measure	Monitoring Phase	Enforcement Agency	Monitoring Agency	Action Indicating Compliance	Verification of Compliance		
					Initials	Date	Remarks
7.0 BIOLOGICAL RESOURCES							
<p>7-1: The ODS shall, where feasible, preserve the maximum amount of the seasonal pond, the fire suppression pond and the seasonal wetlands along the storm drain alignment and establish minimum 25 to 50 foot buffers around all sides of these areas. In addition, the final project design shall not cause significant changes to the pre-project hydrology, water quality or water quantity in any wetland that is to be retained on site.</p> <p>Where avoidance of existing wetlands and drainages is not feasible, and fill material is to be placed within the ponds and wetlands, then the ODS shall prepare a wetland delineation with the assistance of a qualified wetland specialist, and submit the delineation to ACOE for verification. If any of the ponds and wetlands are deemed jurisdictional wetland by ACOE, then the ODS shall acquire all appropriate wetland permits prior to the issuance of grading permits by the City. These permits may include, but are not limited to, a Section 404 Wetlands Fill Permit from the U.S. Army Corps of Engineers and a Section 401 Water Quality Certification from the Regional Water Quality Control Board. The ODS shall comply with all conditions and mitigation requirements attached to the granted wetland permits.</p>	Pre-Construction	City of Lathrop / Community Development Department	City of Lathrop / Community Development Department	Issuance of Grading Permits			

## Lathrop Gateway Business Park Specific Plan Final EIR - MITIGATION MONITORING/REPORTING PROGRAM

Mitigation Measure	Monitoring Phase	Enforcement Agency	Monitoring Agency	Action Indicating Compliance	Verification of Compliance		
					Initials	Date	Remarks
8.0 CULTURAL RESOURCES							
8-1: If any subsurface cultural resources, including either prehistoric or historic resources, are encountered during construction, all construction activities in the vicinity of the encounter shall be halted until a qualified archaeologist can examine these materials and make a determination of their significance. The City of Lathrop Community Development Department shall be notified, and the ODS shall be responsible for mitigation and associated costs of any significant cultural resources pursuant to the CEQA Guidelines.	During Grading Operations	City of Lathrop / Community Development Department	City of Lathrop / Community Development Department	Observations by General Contractor During Grading Activities			
8-2: If human remains are encountered at any time during the development of the project, all work in the vicinity of the find shall halt and the County Coroner and the Community Development Department shall be notified immediately. If it is determined that the remains are those of a Native American, the Coroner must contact the Native American Heritage Commission. At the same time, a qualified archaeologist must be contacted to evaluate the archaeological implications of the finds. The CEQA Guidelines detail steps to be taken when human remains are found to be of Native American origin. The ODS shall be responsible for all mitigation costs.	During Grading Operations	City of Lathrop / Community Development Department	City of Lathrop / Community Development Department	Observations by General Contractor During Grading Activities			

## Lathrop Gateway Business Park Specific Plan Final EIR - MITIGATION MONITORING/REPORTING PROGRAM

Mitigation Measure	Monitoring Phase	Enforcement Agency	Monitoring Agency	Action Indicating Compliance	Verification of Compliance		
					Initials	Date	Remarks
<p>8-3: Prior to the initiation of demolition activities within a development phase, any buildings and/or structures within that phase shall be evaluated by an individual who meets the Secretary of the Interior's Professional Qualifications Standards for Architectural History to determine if any of the buildings or structures qualify as historical resources as defined in §21083.2 of CEQA and §15064.5 of the State CEQA Guidelines. The City of Lathrop Community Development Department shall be notified of the findings, and the ODS shall be responsible for all mitigation costs. The following procedures shall be followed unless specified differently by the qualified individual:</p> <p>a. <u>Documentation and Recordation of Significant Historical Resources</u> – For any buildings or structures that qualify as historical resources under CEQA, written and photograph documentation shall be prepared to record the property. The written documentation for the property shall be prepared based on the National Park Services' (NPS) Historic American Building Survey (HABS) Historical Report Guidelines. Photograph documentation standards shall meet the intent of the NPS – Advisory Council on Historic Preservation (ACHP) revised policy for developing alternate forms of documentation for properties meeting a criterion of less than nationally significant. The alternative documentation shall not be reviewed by the NPS or transmitted to the Library of Congress and therefore will not be a full-definition HABS dataset. This type of documentation is based on a combination of both HABS standards (Levels II and III) and NPS new policy for NR-NHL photographic documentation as outlined in the National Register of Historic Places and National Historic Landmarks Survey Photo Policy Expansion (March 2005).</p> <p>Either HABS standard large format or digital photography may be used. If digital photography is used, the ink and paper combinations for printing photographs must be in compliance with NR-NHL photo expansion policy and have a permanency rating of approximately 115 years. Digital photographs will be taken as uncompressed .TIF file format. The size of each image will be 1600x1200</p>	Pre-Demolition of Existing Structures	City of Lathrop / Community Development Department	City of Lathrop / Community Development Department	Issuance of Demolition Permits			



## Lathrop Gateway Business Park Specific Plan Final EIR - MITIGATION MONITORING/REPORTING PROGRAM

Mitigation Measure	Monitoring Phase	Enforcement Agency	Monitoring Agency	Action Indicating Compliance	Verification of Compliance		
					Initials	Date	Remarks
<p>pixels at 300 ppi (pixels per inch) or larger, color format, and printed in black and white. The file name for each electronic image will correspond with the Index to Photographs and photograph label.</p> <p>b. <u>Dissemination of Documentation</u> –The written and photograph documentation of historical resources shall be disseminated on archival quality paper to appropriate repositories and interested parties. The distribution of the documentation shall include the State Historic Preservation Officer in the California Office of Historic Preservation; the California Historical Resources Information System Central California Information Center at California State University, Stanislaus; the San Joaquin County Historical Society &amp; Museum; and other local repositories identified by the City of Lathrop Community Development Department</p>							
<p>8-4: Should paleontological or unique geological resources be identified at any project construction sites during any phase of construction, the project manager shall cease operation at the site of the discovery and immediately notify the City of Lathrop Community Development Department. The project applicant shall retain a qualified paleontologist to provide an evaluation of the find and the significance of the materials and mitigation measures if needed, and to prescribe mitigation measures to reduce impacts to a less-than-significant level. In considering any suggested mitigation proposed by the consulting paleontologist, the City of Lathrop Community Development Department shall determine whether avoidance is necessary and feasible in light of factors such as the nature of the find, project design, costs, specific plan policies and land use assumptions, and other considerations. If avoidance is unnecessary or infeasible, other appropriate measures (e.g., data recovery) shall be instituted. Work may proceed on other parts of the project site while mitigation for paleontological resources is carried out.</p>	During Grading Operations	City of Lathrop / Community Development Department	City of Lathrop / Community Development Department	Observations by General Contractor During Grading Activities			

## Lathrop Gateway Business Park Specific Plan Final EIR - MITIGATION MONITORING/REPORTING PROGRAM

Mitigation Measure	Monitoring Phase	Enforcement Agency	Monitoring Agency	Action Indicating Compliance	Verification of Compliance		
					Initials	Date	Remarks
9.0 GEOLOGY AND SOILS							
9-1: A site-specific, design-level geotechnical study shall be completed for each project development component in the Specific Plan area (i.e., light industrial areas, commercial areas, office areas, and infrastructure) before a grading permit is issued. The studies shall include an evaluation of liquefaction potential in the development area and identify appropriate means to minimize or avoid damage from liquefaction. Geotechnical design recommendations included in each study shall be implemented during project design and construction. Potential recommendations include over-excavating and recompacting the area with engineered fill or in-place soil densification. In-place densification measures may include deep dynamic compaction, compaction grouting, vibro-compaction, and the use of non-liquefiable caps. Special design features may need to be utilized for foundations. Other foundation types may be considered if further geotechnical study shows the liquefaction potential to be less than significant or if the effects of liquefaction-induced settlement can be mitigated with earthwork.	Pre-Construction of Individual Phases	City of Lathrop / Public Works Department	City of Lathrop / Community Development Department	Issuance of Grading Permits			
9-2: A site-specific, design-level geotechnical study shall be completed for the stormwater drainage pipeline from the Specific Plan area to the San Joaquin River before appropriate construction permits are issued. The studies shall include an evaluation of shrink-swell potential in the pipeline construction area and identify appropriate means to minimize or avoid damage from expansive soils. Geotechnical design recommendations included in the study shall be implemented during project design and construction. Potential recommendations may include, but are not limited to, removing expansive soils and replacing them with engineered fill.	Pre-Construction of Individual Phases	City of Lathrop / Public Works Department	City of Lathrop / Community Development Department	Issuance of Grading Permits			

## Lathrop Gateway Business Park Specific Plan Final EIR - MITIGATION MONITORING/REPORTING PROGRAM

Mitigation Measure	Monitoring Phase	Enforcement Agency	Monitoring Agency	Action Indicating Compliance	Verification of Compliance		
					Initials	Date	Remarks
10.0 GLOBAL CLIMATE CHANGE							
10-1: Applicant(s) shall employ green building techniques in the design of proposed buildings within the Lathrop Gateway Business Park Plan Area. Specifically, projects shall conform at a minimum to the California Green Building Code or equivalent green building standards.	Pre-Construction of Individual Phases	City of Lathrop / Community Development Department	City of Lathrop / Community Development Department	Issuance of Building Permits			
10-2: The ODS shall implement a Transportation Demand Management program applicable to businesses with 25 or more employees to reduce potential vehicle trips. The Transportation Demand Management program shall contain at least five of the following components, although other components not listed may be included: <ul style="list-style-type: none"><li>• Free transit passes.</li><li>• Telecommuting.</li><li>• Secure bicycle parking (at least one space per 20 vehicle parking spaces).</li><li>• Showers/changing facilities.</li><li>• Car-sharing services.</li><li>• Information on transportation alternatives, such as bus schedules and bike maps.</li><li>• Dedicated employee transportation coordinator.</li><li>• Carpool matching programs.</li><li>• Preferential carpool/vanpool parking.</li></ul> The ODS shall provide a funding mechanism to maintain the Transportation Demand Management program, which may include but is not limited to creation of a special assessment district. The Transportation Demand Management program shall be submitted to the Community Development Department for its review and approval.	Pre-Construction of Individual Phases	City of Lathrop / Community Development Department	City of Lathrop / Community Development Department	Issuance of Building Permits			

## Lathrop Gateway Business Park Specific Plan Final EIR - MITIGATION MONITORING/REPORTING PROGRAM

Mitigation Measure	Monitoring Phase	Enforcement Agency	Monitoring Agency	Action Indicating Compliance	Verification of Compliance		
					Initials	Date	Remarks
<p>10-3: The following mitigation measures shall be implemented during future development in the Plan Area:</p> <ul style="list-style-type: none"> <li>Parking in the Specific Plan area shall be provided at the minimum level required by the Lathrop Municipal Code. Shared parking shall be implemented when determined to be feasible.</li> <li>Parking lot designs shall include clearly marked and shaded pedestrian pathways between transit facilities and building entrances, for projects adjacent to or containing transit facilities.</li> <li>Buildings shall use Energy Star roofs, or equivalent, and shall be designed so that their orientation to take advantage of the winter sun and to shade building from the summer sun.</li> </ul>	Pre-Construction of Individual Phases	City of Lathrop / Community Development Department	City of Lathrop / Community Development Department	Issuance of Building Permits			
<b>11.0 HAZARDS AND HAZARDOUS MATERIAL</b>							
<p>11-1: The SJCEHD shall be notified by the ODS if evidence of previously undiscovered soil or groundwater contamination (e.g., stained soil, odorous groundwater) is encountered during excavation and dewatering activities. Any contaminated areas shall be remediated by the ODS in accordance with recommendations made by SJCEHD; RWQCB; DTSC; or other appropriate federal, state, or local regulatory agencies.</p>	During Grading Activities	San Joaquin County Environmental Health Department	City of Lathrop / Community Development Department	Issuance of Building Permits			
<p>11-2: Before demolition of any onsite buildings built prior to 1980, the ODS shall hire a qualified consultant to investigate whether any of these buildings contain asbestos-containing materials and lead that could become friable or mobile during demolition activities. If found, the asbestos-containing materials and lead shall be removed by an accredited inspector in accordance with EPA and California Occupational Safety and Health Administration (Cal/OSHA) standards. In addition, all activities (construction or demolition) in the vicinity of these materials shall comply with Cal/OSHA asbestos and lead worker construction standards. The asbestos-containing materials and lead shall be disposed of properly at an appropriate offsite disposal facility.</p>	Pre-Demolition of Existing Structures	City of Lathrop / Community Development Department	City of Lathrop / Community Development Department	Issuance of Demolition Permits			

## Lathrop Gateway Business Park Specific Plan Final EIR - MITIGATION MONITORING/REPORTING PROGRAM

Mitigation Measure	Monitoring Phase	Enforcement Agency	Monitoring Agency	Action Indicating Compliance	Verification of Compliance		
					Initials	Date	Remarks
13.0 HYDROLOGY AND WATER QUALITY							
13-1: Any proposed improvements within the San Joaquin River floodway shall be subject to the approval of the City Engineer and the Community Development Director as well as federal, state and local permit agencies with jurisdiction, including the US Army Corps of Engineers, the Central Valley Flood Protection, the Regional Water Quality Control Board, the San Joaquin County Flood Control and Water Conservation District, and the California Department of Fish and Game.	Pre-Construction	City of Lathrop / Community Development Department and Public Works	City of Lathrop / Community Development Department	Issuance of Building Permits			
13-2: The ODS shall prepare and implement a Storm Water Pollution Prevention Plan (SWPPP) for Lathrop Gateway Business Park construction activities and file a Notice of Intent (NOI) with the State Water Resources Control Board prior to commencement of construction activity. The SWPPPs shall be available on the construction site at all times.	Pre-Construction	City of Lathrop / Community Development Department and Public Works	City of Lathrop / Community Development Department	Issuance of Grading Permits			
13-3: Site development (i.e. construction) plans shall incorporate all applicable provisions of the SWPPP. The SWPPP shall be submitted to Public Works Department for approval.	Pre-Construction	City of Lathrop / Public Works	City of Lathrop / Community Development Department	Issuance of Building Permits			
14.0 NOISE							
14-1: Rubberized asphalt shall be installed on the segments of Yosemite Avenue (between Swanson Road and Airport Way) and McKinley Avenue (between the south border of the Plan Area and just south of Bronzan Road). Because these segments are located within the jurisdiction of the City of Manteca, the City of Lathrop shall prepare and negotiate an inter-agency agreement on the apportionment of costs and responsibilities related to the installation of the rubberized asphalt. The ODS shall be responsible for all costs related to the agreement and installation of material.	Pre-Construction	City of Lathrop / Community Development Department	City of Lathrop / Community Development Department	Issuance of Building Permits			

## Lathrop Gateway Business Park Specific Plan Final EIR - MITIGATION MONITORING/REPORTING PROGRAM

Mitigation Measure	Monitoring Phase	Enforcement Agency	Monitoring Agency	Action Indicating Compliance	Verification of Compliance		
					Initials	Date	Remarks
14-2: Acoustically rated exterior doors and windows shall be installed at facades with line-of-sight to State Route 120. These upgraded windows and doors shall provide a minimum STC performance of 35.	Pre-Construction of Individual Phases	City of Lathrop / Community Development Department	City of Lathrop / Community Development Department	Issuance of Building Permits			
14-3: Contractors performing grading and construction work in the Plan Area shall fit all internal combustion engines with factory-specified mufflers.	Pre-Construction of Individual Phases	City of Lathrop / Public Works Department	City of Lathrop / Community Development Department	Issuance of Grading and Building Permits			
14-4: Contractors performing grading and construction work in the Plan Area shall not place construction staging and heavy equipment storage areas within 500 feet of residential receivers to the south-southeast of the Plan Area.	Pre-Construction of Individual Phases	City of Lathrop / Public Works Department	City of Lathrop / Community Development Department	Issuance of Grading and Building Permits			

### 16.0 PUBLIC SERVICES/FACILITIES

16-1: The ODS shall pay, prior to issuance of building permits, the appropriate City of Lathrop Capital Facility Fees for police and fire protection services. Also, prior to issuance of the first building permit for a project in the Specific Plan area, the ODS shall form a special assessment district that covers the Plan Area and provides adequate funding for the annual cost to provide City services specific to and directly benefiting the Plan Area. The City and the ODS shall determine the level of funding the special assessment district shall provide.	Pre-Issuance of First Building Permit	City of Lathrop / Community Development Department	City of Lathrop / Community Development Department	Issuance of Building Permits			
16-2: The ODS shall incorporate access, water supply and other fire suppression and emergency access/response needs in the proposed project designs. Said designs shall be developed in consultation with the Fire, Police and Public Works Departments, and shall address such items as the mapping and measures deemed necessary to permit access of emergency vehicles and firefighting equipment, minimize response times and provide adequate evacuation routes.	Pre-Construction of Individual Phases	City of Lathrop / Fire, Police and Public Works Departments	City of Lathrop / Community Development Department	Issuance of Building Permits			

## Lathrop Gateway Business Park Specific Plan Final EIR - MITIGATION MONITORING/REPORTING PROGRAM

Mitigation Measure	Monitoring Phase	Enforcement Agency	Monitoring Agency	Action Indicating Compliance	Verification of Compliance		
					Initials	Date	Remarks
16-3: The ODS shall fence and monitor contractors' storage yards during the construction phases of the project to prevent theft and vandalism, and to reduce calls for assistance from the Police Department.	Initiation of Construction Activities	City of Lathrop / Site Inspectors	City of Lathrop / Community Development Department	Issuance of Certificate of Occupancy			
16-4: As development proceeds within the Plan Area, the City shall authorize occupancy of new structures only if confirmation of three to four-minute average emergency response times to the structures can be provided using Fire District methodologies. . If the required response time cannot be satisfied, the ODS shall coordinate with the Fire District to identify temporary fire prevention measures to allow development to proceed to the satisfaction of the Fire District. In addition, the ODS shall coordinate with the Fire District and identify potential alternative locations along Yosemite Avenue near D'Arcy Parkway, within the Plan Area, for a possible new fire station site.	Pre-Construction of Individual Phases	City of Lathrop / Fire Department and Public Works	City of Lathrop / Community Development Department	Issuance of Certificate of Occupancy			
16-5: The ODS shall pay all applicable fire service fees and assessments required to fund its fair share of fire district facilities and services required to serve the Plan Area.	Pre-Construction of Individual Phases	City of Lathrop / Building Division	City of Lathrop / Community Development Department	Issuance of Building Permits			
16-6: The ODS shall install fire hydrants and water distribution facilities that will provide fire flows that are adequate to support the City's existing ISO rating and that conform to adopted Building Code Fire Safety Standards for all of the uses proposed within the Plan Area.	Pre-Construction of Individual Phases	City of Lathrop / Fire Department and Public Works	City of Lathrop / Community Development Department	Issuance of Certificate of Occupancy			
16-7: The City shall not approve any structures in the Plan Area greater than 50 feet in height until the Fire District possesses appropriate equipment that can serve such heights. If site plans includes structures greater than 50 feet, the ODS shall pay fees toward its fair share of this equipment.	Pre-Construction of Individual Phases	City of Lathrop / Fire Department and Public Works	City of Lathrop / Community Development Department	Issuance of Building Permits			

## Lathrop Gateway Business Park Specific Plan Final EIR - MITIGATION MONITORING/REPORTING PROGRAM

Mitigation Measure	Monitoring Phase	Enforcement Agency	Monitoring Agency	Action Indicating Compliance	Verification of Compliance		
					Initials	Date	Remarks
16-8: As identified in Mitigation Measure 16-1, prior to issuance of the first building permit for a project in the Specific Plan area, the ODS shall form a special assessment district that covers the Plan Area and provides adequate funding for the annual cost to provide City services specific to and directly benefiting the Plan Area. Animal Control Services shall be included in this community facilities district or an equivalent funding mechanism. The City and the ODS shall determine the level of funding the special assessment district shall provide.	Pre-Issuance of First Building Permit	City of Lathrop / Community Development Department and Animal Control Services	City of Lathrop / Community Development Department	Issuance of Building Permits			
16-9: The ODS shall pay capital facilities fees to defray capital facility costs associated with an animal control facility.	Pre-Construction of Individual Phases	City of Lathrop / Community Development Department	City of Lathrop / Community Development Department	Issuance of Building Permits			

### 17.0 PUBLIC UTILITIES

17-1: No element of the proposed project shall be occupied until both adequate treatment capacity at WRP-1, WRP-2, Lathrop-Manteca WQCF or another comparable wastewater treatment facility is available and wastewater infrastructure (e.g., pipelines) is in place to serve that portion of the Plan Area.	Pre-Construction of Individual Phases	City of Lathrop / Public Works Department	City of Lathrop / Community Development Department	Issuance of Building Permits			
17-2: The ODS shall remove existing septic systems prior to development of the parcel in which the septic system is located. Removal shall be in accordance with the rules and regulations of the San Joaquin County Environmental Health Department.	Pre-Construction of Individual Phases	City of Lathrop / Public Works Department	City of Lathrop / Community Development Department	Issuance of Building Permits			



## Lathrop Gateway Business Park Specific Plan Final EIR - MITIGATION MONITORING/REPORTING PROGRAM

Mitigation Measure	Monitoring Phase	Enforcement Agency	Monitoring Agency	Action Indicating Compliance	Verification of Compliance		
					Initials	Date	Remarks
18.0 TRANSPORTATION/CIRCULATION							
18-1: The ODS of properties within the Plan Area shall pay their “fair share” costs of the improvements identified below, or the costs of the following improvements shall be subject to reimbursement in conjunction with other development projects that contribute vehicle trips to these locations. If improvements have not been initiated or installed by others at the time of approval of the first development within the Lathrop Gateway Business Park Specific Plan, the ODS processing the initial project will be conditioned to complete the following improvements prior to issuance of occupancy permits and be reimbursed by other development projects that contribute vehicle trips to these locations:  • Install a traffic signal at the I-5 SB Ramps/Lathrop Road intersection under existing conditions and in coordination with ramp signalization at the NB ramps intersection. <i>Projected LOS with mitigation: “C” or better.</i> • Install a traffic signal at the I-5 NB Ramps/Lathrop Road intersection under existing conditions. <i>Projected LOS with mitigation: “C” or better.</i> • Provide exclusive right-turn lanes/pockets for the eastbound and westbound approaches at the McKinley Avenue/Lathrop Road intersection under Existing Plus Project conditions. <i>Projected LOS with mitigation: “D” or better.</i> • Install a traffic signal at the McKinley Avenue/Yosemite Avenue intersection under Existing Plus Project conditions. <i>Projected LOS with mitigation: “D” or better.</i>	Pre-Construction of Individual Phases	City of Lathrop / Community Development Department	City of Lathrop / Community Development Department	Issuance of Building Permits			

## Lathrop Gateway Business Park Specific Plan Final EIR - MITIGATION MONITORING/REPORTING PROGRAM

Mitigation Measure	Monitoring Phase	Enforcement Agency	Monitoring Agency	Action Indicating Compliance	Verification of Compliance		
					Initials	Date	Remarks
<p>18-2: The ODS shall pay their "fair share" costs towards a Joint Traffic Impact Fee established by the Cities of Lathrop and Manteca, or if not adopted, pay a "fair share" of costs towards the City of Manteca's traffic impact fee program to cover project responsibilities towards the following improvement (under either scenario, fair share costs shall be paid to the City of Lathrop for appropriate distribution):</p> <ul style="list-style-type: none"> <li>• Provide exclusive right-turn lanes/pockets for the eastbound and westbound approaches at the Main Street/Louise Avenue intersection under existing conditions. <i>Projected LOS with mitigation: "D" or better</i></li> </ul>	Pre-Construction of Individual Phases	City of Lathrop / Community Development Department	City of Lathrop / Community Development Department	Issuance of Building Permits			
<p>18-3: The City of Lathrop shall ensure that the ODS pay their applicable Transportation Impact Fees for their "fair share" costs for the following freeway improvements.</p> <ul style="list-style-type: none"> <li>• Add northbound lanes on Interstate 5 from I-205 to the SR 120 interchange, and widen Interstate 5 from the SR 120 interchange to the Lathrop Road interchange, as identified in the San Joaquin Regional Transportation Plan 2007. Project contribution towards regional traffic impact fees covers project responsibility for this freeway segment.</li> <li>• Widen the segment of SR 120 from I-5 to Yosemite Avenue from four to six lanes, as identified in the San Joaquin Regional Transportation Plan 2007. Project contribution towards regional traffic impact fees covers project responsibility for this freeway segment.</li> <li>• Widen the segment of SR 99 from SR 120 to Arch Road from four to six lanes along with interchange modifications, as identified in the San Joaquin Regional Transportation Plan 2007. Project contribution towards regional traffic impact fees covers project responsibility for this freeway segment.</li> </ul>	Pre-Construction of Individual Phases	City of Lathrop / Community Development Department	City of Lathrop / Community Development Department	Issuance of Building Permits			

## Lathrop Gateway Business Park Specific Plan Final EIR - MITIGATION MONITORING/REPORTING PROGRAM

Mitigation Measure	Monitoring Phase	Enforcement Agency	Monitoring Agency	Action Indicating Compliance	Verification of Compliance		
					Initials	Date	Remarks
18-4: The ODS responsible for the first proposed project within the Lathrop Gateway Business Park Specific Plan area that introduces the use of semi-trailers with a length of 48-feet as part of long-term operations will be required to identify STAA design deficiencies at the existing ramps at the SR 120/Yosemite Avenue interchange; engineer necessary improvements; obtain necessary approvals and permits from responsible agencies (i.e., City of Lathrop and Caltrans); and install necessary improvements prior to issuance of Certificate of Occupancy.	Pre-Construction of Individual Phases	City of Lathrop / Community Development Department	City of Lathrop / Community Development Department	Issuance of Certificate of Occupancy			
18-5: In coordination with the SJRTD, the ODS shall provide for the extension of a bus route to the project site, either the existing Route 95 or another route, and shall provide at least one on-site bus stop for this route.	Pre-Construction of Individual Phases	City of Lathrop / Community Development Department	City of Lathrop / Community Development Department	Issuance of Building Permits			
<p>18-6: The owner, developer or successors-in-interest (ODS) within the Lathrop Gateway Business Park Specific Plan area that will alter railroad crossings as a result of a proposed project within the plan area, shall include within engineered improvement plans railroad crossing safety measures. Improvements at crossings should include but are not limited to the following:</p> <ul style="list-style-type: none"> <li>• Improve and/or install warning devices/signage</li> <li>• Improve traffic signaling at intersections near crossings</li> <li>• Install medians to prevent vehicles from driving around crossing gate</li> <li>• Prohibit on-street parking within 100 feet of a crossing</li> <li>• Install pedestrian-specific warning devices</li> <li>• Install sidewalks and barriers to channelize pedestrians to specific crossings</li> <li>• Consider the feasibility of pull out lanes for buses and vehicles carrying hazardous materials</li> </ul> <p>The ODS shall seek the Public Utilities Commission's approval for any modifications to existing railroad crossings.</p>	Pre-Construction of Individual Phases	<p>City of Lathrop / Community Development Department and Public Works</p> <p>Public Utilities Commission</p>	City of Lathrop / Community Development Department	Issuance of Building Permits			

## Lathrop Gateway Business Park Specific Plan Final EIR - MITIGATION MONITORING/REPORTING PROGRAM

Mitigation Measure	Monitoring Phase	Enforcement Agency	Monitoring Agency	Action Indicating Compliance	Verification of Compliance		
					Initials	Date	Remarks
19.0 CUMULATIVE							
19.1: If the necessary intersection improvements identified under the Cumulative Base (Current Project Site Condition) scenario (as identified on pages 19-24 through 19-27 of the Draft EIR) have not been constructed by the time development in the Specific Plan is ready to commence with the issuance of the first building permit, the ODS of properties proposed for development within the Plan Area shall identify and pay their “fair share” costs of these improvements. If these improvements are not included in a City fee program at the time of project approvals (either a Joint Traffic Impact Fee or Cities of Lathrop and Manteca fee programs), the project applicant(s) shall pay its fair share towards the cost of these improvements into a road improvement trust fund to be administered by the City of Lathrop prior to the issuance of building permits. This trust fund shall fund improvements to intersections identified as operating unacceptably under cumulative conditions and not identified in a fee program.	Pre-Construction of Individual Phases	City of Lathrop / Community Development Department	City of Lathrop / Community Development Department	Issuance of Building Permits			
19-2: The ODS shall construct the following intersection improvements:  The initial development(s) within the Commercial Office designation or Limited Industrial designation to the west of Guthmiller Road (Yosemite Avenue) shall install a traffic signal at the Gutmiller Road (Yosemite Avenue)/Project Access 1 intersection (intersection #36) and construct the intersection with the following lane geometrics:  Northbound Approach – One left-turn lane, two through lanes, and one shared through-right lane.  Southbound Approach – One left-turn lane, two through lanes, and one shared through-right lane.  Eastbound Approach – One left-turn lane, on through lane, and one right lane  Westbound Approach – Two left turn lanes, and one shared through-right lane.	Pre-Construction of Individual Phases	City of Lathrop / Community Development Department and Public Works	City of Lathrop / Community Development Department	Issuance of Building Permits			

# Lathrop Gateway Business Park Specific Plan Final EIR - MITIGATION MONITORING/REPORTING PROGRAM

Mitigation Measure	Monitoring Phase	Enforcement Agency	Monitoring Agency	Action Indicating Compliance	Verification of Compliance		
					Initials	Date	Remarks
Due to this intersection's close proximity to the Yosemite Avenue/SR 120 interchange ramp intersections, appropriate signal interconnect/coordination between the two intersections shall be implemented. <i>Projected LOS after mitigation: "D" or better.</i>							
<p>The initial development(s) within the Service Commercial designation north of Yosemite Avenue, between D'Arcy Parkway and McKinley Avenue; and the Limited Industrial designation south of Yosemite Avenue, between D'Arcy Parkway and McKinley Avenue shall install a traffic signal at the Yosemite Avenue/Project Access 2 intersection (intersection #37) and construct the intersection with the following lane geometrics:</p> <p><i>Northbound Approach</i> – One left-turn lane, and one shared through-right lane.</p> <p><i>Southbound Approach</i> – One left-turn lane, and one shared through-right lane.</p> <p><i>Eastbound Approach</i>- One left-turn lane, two through lanes, and one shared through-right lane.</p> <p><i>Westbound Approach</i> – One left-turn lane, two through lanes, and one shared through-right lane.</p> <p><i>Project LOS after mitigation: "D" or better.</i></p>	See Note Above.	See Note Above.	See Note Above.	See Note Above.			
<p>The initial development(s) within the Service Commercial designation east of McKinley Avenue and the Limited Industrial designation west of McKinley Avenue, between D'Arcy Parkway and McKinley Avenue shall install a traffic signal at the McKinley Avenue/Project Access 3 intersection (intersection #38) and construct the intersection with the following lane geometrics:</p> <p><i>Northbound Approach</i> – One left-turn lane, two through lanes and one right lane.</p> <p><i>Southbound Approach</i> – One left-turn lane, two through lanes and one right lane.</p> <p><i>Eastbound Approach</i> – One left-turn lane, and one</p>	See Note Above.	See Note Above.	See Note Above.	See Note Above.			

# Lathrop Gateway Business Park Specific Plan Final EIR - MITIGATION MONITORING/REPORTING PROGRAM

Mitigation Measure	Monitoring Phase	Enforcement Agency	Monitoring Agency	Action Indicating Compliance	Verification of Compliance		
					Initials	Date	Remarks
<p>shared through-right lane.</p> <p><i>Westbound Approach</i> – One left-turn lane, and one shared through-right lane.</p> <p><i>Projected LOS after mitigation: "C" or better.</i></p>							
<p>The initial development(s) within the Service Commercial designation south of Yosemite Avenue and east of McKinley Avenue shall install a traffic signal at the Yosemite Avenue/Project Access 4 intersection (intersection #39) and construct the intersection with the following lane geometrics:</p> <p><i>Northbound Approach</i> - One left-turn lane, and one right-turn lane.</p> <p><i>Eastbound Approach</i> – One left-turn lane, two through lanes, and one shared through-right lane.</p> <p><i>Westbound Approach</i> – One left-turn lane, and three through lanes.</p> <p><i>Projected LOS after mitigation: "C" or better.</i></p>	See Note Above.	See Note Above.	See Note Above.	See Note Above.			
<p>The initial development(s) within the Limited Industrial designation south of Yosemite Avenue, not accessed by improvements at intersections #37 and #38 shall construct the D'Arcy Parkway/Yosemite Avenue/Project Access 5 intersection with the following lane geometrics:</p> <p><i>Northbound Approach</i> – One left-turn lane, one through lane, and one right-turn lane.</p> <p><i>Southbound Approach</i> – Two left-turn lanes, and one shared through-right lane.</p> <p><i>Eastbound Approach</i> – Two left-turn lanes, two through lanes, and one shared through-right lane.</p> <p><i>Westbound Approach</i> – One left-turn lane, three through lanes, and one right-turn lane.</p> <p><i>Projected LOS after mitigation: "D" or better.</i></p>	See Note Above.	See Note Above.	See Note Above.	See Note Above.			

## Lathrop Gateway Business Park Specific Plan Final EIR - MITIGATION MONITORING/REPORTING PROGRAM

Mitigation Measure	Monitoring Phase	Enforcement Agency	Monitoring Agency	Action Indicating Compliance	Verification of Compliance		
					Initials	Date	Remarks
<p>The initial development within the Specific Plan area shall install a traffic signal at the McKinley Avenue/Yosemite Avenue intersection. The initial development within either the Service Commercial or Limited Industrial designations located adjacent to this intersection shall construct the intersection with these additions to the geometrics required under Cumulative Base conditions:</p> <p><i>Northbound Approach</i> – Add one left-turn lane and one right-turn lane.</p> <p><i>Southbound Approach</i> – Add one right-turn lane.</p> <p><i>Eastbound Approach</i> – Add one through lane and one right-turn lane.</p> <p><i>Westbound Approach</i> – Add one through lane and one right-turn lane.</p> <p><i>Projected LOS after mitigation: "D" or better.</i></p>	See Note Above.	See Note Above.	See Note Above.	See Note Above.			
<p>19-3: The ODS shall widen Guthmiller Road/Yosemite Avenue from two to six lanes from the SR 120 interchange to the eastern boundary of the Specific Plan area, prior to buildout of 80% of the Lathrop Gateway Business Park Specific Plan (equivalent to 34,300 average annual daily trips (AADT) on this roadway segment.</p>	Pre-Construction of Phase 2 as defined by the Traffic Impact Study	City of Lathrop / Community Development Department and Public Works	City of Lathrop / Community Development Department	Issuance of Building Permits			
<p>19-4: The ODS shall pay "fair share" costs towards both the preparation and completion of a Project Study Report (PSR) in order to identify the long-range improvements necessary at the SR 120/Yosemite Avenue interchange, as well as their "fair share" towards the reconstruction of the SR 120/Yosemite Avenue interchange. Preparation of the PSR shall commence with development of Phase 1 of the specific plan and shall be prepared pursuant to Caltrans requirements. Reconstruction of the SR 120/Yosemite Avenue interchange shall commence once 40% of the Lathrop Gateway Business Park Specific Plan is built out.</p>	Pre-Construction of Phase 1 as defined by the Specific Plan	City of Lathrop / Community Development Department and Public Works	City of Lathrop / Community Development Department	Issuance of Building Permits			

*Lathrop Gateway Business Park Specific Plan Final EIR* - **MITIGATION MONITORING/REPORTING PROGRAM**

Mitigation Measure	Monitoring Phase	Enforcement Agency	Monitoring Agency	Action Indicating Compliance	Verification of Compliance		
					Initials	Date	Remarks
<p>19-5: The ODS shall pay "fair share" costs towards a Joint Traffic Impact Fee established by the Cities of Lathrop and Manteca, or if not adopted, pay a "fair share" of costs towards the City of Manteca's traffic impact fee to cover project responsibilities towards the following improvement (under either scenario, fair share costs shall be paid to the City of Lathrop for appropriate distribution):</p> <ul style="list-style-type: none"> <li>The Main Street/Yosemite Avenue intersection shall have the following lane geometrics:</li> </ul> <p><i>Northbound Approach</i> – Two left-turn lanes, and one shared through-right lane.</p> <p><i>Southbound Approach</i> – One left-turn lane, one through lane, and one shared through-right lane.</p> <p><i>Eastbound Approach</i> – One left-turn lane, two through lanes, and one right-turn lane.</p> <p><i>Westbound Approach</i> – One left-turn lane, one through lane, and one shared through-right lane.</p>	Pre-Construction of Individual Phases	City of Lathrop / Community Development Department	City of Lathrop / Community Development Department	Issuance of Building Permits			

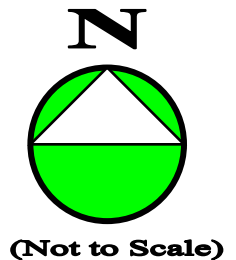




**PLANNING DIVISION  
Vicinity Map**



**Site Plan Review  
SPR-25-91  
Yosemite Avenue Truck/Trailer Parking  
Yard  
3303 W Yosemite Avenue  
APNs: 241-390-10**

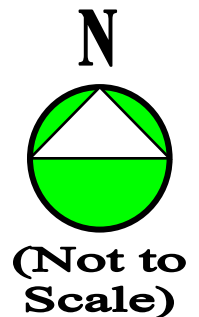




**PLANNING DIVISION  
Aerial Photo**



**Site Plan Review  
SPR-25-91  
Yosemite Avenue Truck/Trailer Parking  
Yard  
3303 W Yosemite Avenue  
APNs: 241-390-10**





8/21/2025

**City of Lathrop**  
James Michaels  
390 Towne Centre Drive  
Lathrop CA 95330

**Re: Project Description for SRP Manteca Swanson LLC – Trailer Parking Facility**

Hello James,

We are writing to provide an overview of our intended use for the site under SRP Manteca Swanson LLC.

We plan to utilize this property as a truck and trailer parking lot. The yard will serve as a secure staging and parking area for trailers and trucks from our affiliated logistics company, which operates a large network of freight vehicles throughout the region. This will be a private facility, not open to the public, and used only by our own fleet and approved logistics partners.

If permitted by the City, we would also consider placing storage containers on-site, provided they meet all applicable municipal requirements. However, this element is not essential to our operations and would only be pursued if fully compliant with city guidelines.

Operations at this site will be managed by our logistics team, consistent with how we oversee all of our other yards. The property will be regularly maintained, secured, and operated in full compliance with City standards.

We appreciate the City's time and consideration in reviewing this proposed use. We are happy to provide further details as needed.

Best,

Khushpreet Kour



# NEW TRUCK/TRAILER LOT SITE DEVELOPMENT

3303 YOSEMITE AVE.  
LATHROP, CALIFORNIA 95330

## PROJECT DIRECTORY

OWNER  
CONTACT: MICHELLE MAGALLON  
PHONE: 909.657.4326  
EMAIL: MICHELLE@CB-EMPIRE.COM

CIVIL ENGINEER  
RIDGELINE ENGINEERING  
2769 BOEING WAY  
STOCKTON, CA 95206  
CONTACT: JORDAN BALDWIN  
PHONE: 209.955.0110  
EMAIL: JORDAN@RLE.US

## SCOPE OF WORK

- SITE WORK:
1. ROUGH AND FINISH GRADING
  2. DRAINAGE MANAGEMENT
  3. UTILITY LAYOUT
  4. PARKING LOT PAVING

## PROJECT DATA

SITE ADDRESS: 3303 YOSEMITE AVE.  
LATHROP, CA 95330  
ASSESSOR'S PARCEL NUMBER (APN): 241-390-100-000  
PARCEL AREA: 7.11 ACRES  
ZONING: CS-LG (COMMERCIAL SERVICE)

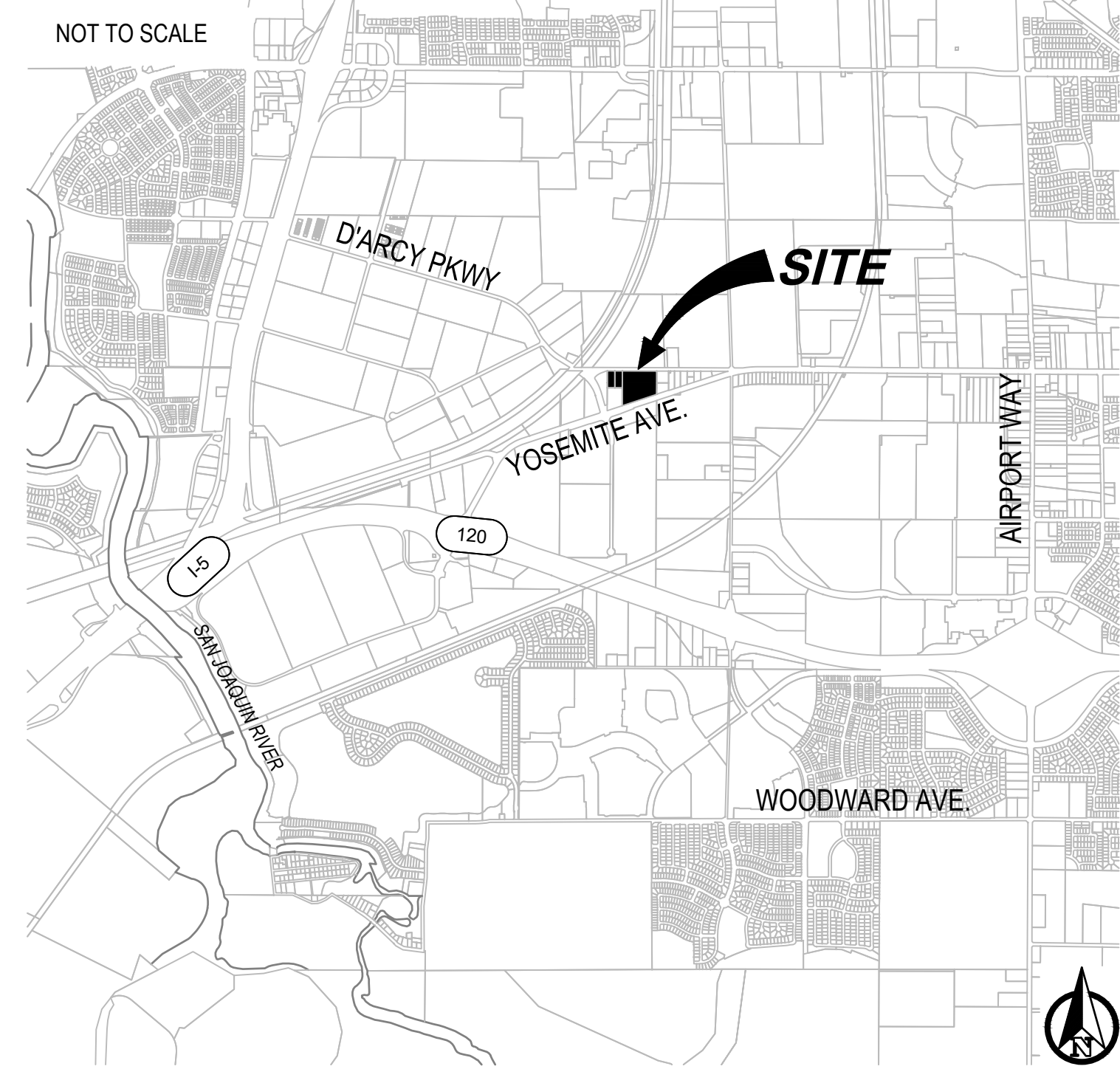
WATER: CITY OF LATHROP - PUBLIC SERVICES  
FIRE: LATHROP FIRE DEPARTMENT  
SEWER: CITY OF LATHROP - PUBLIC WORKS  
STORM: CITY OF LATHROP - PUBLIC WORKS  
ELECTRICITY: PACIFIC GAS & ELECTRIC  
TELEPHONE: AT&T  
GAS: PACIFIC GAS & ELECTRIC

**BUILDING CODES:**  
2024 CALIFORNIA BUILDING CODE  
2024 CALIFORNIA BUILDING STANDARDS ADMINISTRATION CODE  
2024 CALIFORNIA MECHANICAL CODE  
2024 CALIFORNIA PLUMBING CODE  
2024 CALIFORNIA ELECTRICAL CODE  
2024 CALIFORNIA ENERGY CODE  
2024 CALIFORNIA FIRE CODE  
2024 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN CODE)  
2024 CALIFORNIA REFERENCE STANDARDS CODE

## GENERAL NOTES

1. ALL DIMENSIONS SHALL BE VERIFIED BY THE CONTRACTOR AND ANY DISCREPANCIES SHOULD BE BROUGHT, IN WRITING, TO THE ATTENTION OF THE ENGINEER FOR REVIEW PRIOR TO CONSTRUCTION.
2. WORK IS TO BE PERFORMED IN ACCORDANCE TO ALL APPLICABLE LAWS, CODES AND REGULATIONS OF AUTHORITIES HAVING JURISDICTION OVER WORK DESCRIBED IN THESE PLANS.
3. ALL PERMITS WILL BE SECURED BY THE GENERAL CONTRACTOR AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH THE CONDITIONS AND REQUIREMENTS OF THE PERMITS.
4. FINISH MATERIALS INCLUDING BUT NOT LIMITED TO: ADHESIVES, SEALANTS, PAINTS, COATINGS, FLOORING SYSTEMS, COMPOSITE WOOD PRODUCTS, ETC. SHALL COMPLY WITH 2022 CALIFORNIA GREEN CODE POLLUTION CONTROLS (SECTIONS 5.504).
5. CONTRACTOR SHALL INSTALL ALL MATERIALS AND EQUIPMENT IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS. IN THE EVENT THAT MANUFACTURERS SPECIFICATIONS CONFLICT WITH THE DRAWINGS, MANUFACTURERS SPECIFICATIONS PREVAIL.
6. CONTRACTOR SHALL NOT SCALE THE DRAWINGS BUT SHALL RELY ON THE WRITTEN DIMENSIONS GIVEN. IF A DISCREPANCY OCCURS OR DIMENSIONS ARE NOT GIVEN WHERE NEEDED, THE CONTRACTOR SHALL NOTIFY THE DESIGN FOR WRITTEN CLARIFICATION BEFORE PROCEEDING.
7. ALL DIMENSIONS ARE TO FACE OF FINISH, UNO.
8. PRIOR TO DEMOLITION, VERIFY THAT ALL ACTIVE MECHANICAL, ELECTRICAL AND TELEPHONE SERVICES CAN BE TURNED OFF WITHOUT DISRUPTING OTHER ADJACENT AREAS OF THE BUILDING.
9. ALL PATCHING, REPAIRING AND REPLACING OF MATERIALS AND SURFACES CUT OR DAMAGED IN EXECUTION OF WORK SHALL BE DONE WITH APPLICABLE MATERIALS SO THAT SURFACES REPLACED WILL MATCH SURROUNDING SIMILAR SURFACES UPON COMPLETION.

## VICINITY MAP



## SHEET INDEX

PG #	DESC	SHEET TITLE
1	C0.0	COVER SHEET
2	C0.1	EXISTING CONDITIONS AND DEMOLITION PLAN
3	C1.0	SITE PLAN
4	C2.0	GRADING AND DRAINAGE PLAN
5	C3.0	UTILITY PLAN
6	C3.1	DETAILS
7	C4.0	EROSION CONTROL PLAN

## ABBREVIATIONS

@	AT	GAL	GAUGE	RE	REFERENCE
AB	ANCHOR BOLT	GAL	GALLON	REQ'D	REQUIRED
ADA	AMERICANS WITH DISABILITIES ACT	GALV	GALVANIZED	R/W	RIGHT OF WAY
AFF	ABOVE FINISH FLOOR	GC	GENERAL CONTRACTOR	RM	ROOM
AFG	ABOVE FINISH GRADE	GI	GALVANIZED IRON (STEEL)	SCHED	SCHEDULE
ALT	ALTERNATE	GLB	GLULAM BEAM	SD	STORM DRAIN
APPROX	APPROXIMATELY	GYPBRD	GYPSUM BOARD	SF	SQUARE FOOT(FEET)
ARCH	ARCHITECTURAL	HB	HOSE BIB	SIM	SIMILAR
BC	BACK OF CURB	HORIZ	HORIZONTAL	SPECS	SPECIFICATIONS
BRD	BOARD	HR	HOSE	SQ	SQUARE
BLDG	BUILDING	HT	HEIGHT	STD	STANDARD
BOT	BOTTOM	IN	INCH	STL	STEEL
CIP	CAST IN PLACE	INSUL	INSULATION	T&G	TONGUE & GROOVE
CJ	CONTROL JOINT	INT	INTERIOR	TEL	TELEPHONE
CLG	CEILING	INV	INVERT	THK	THICKNESS
CLR	CLEAR	LAV	LAVATORY	TYP	TYPICAL
CMU	CONCRETE MASONRY UNIT	LBS	POUNDS	UNO	UNLESS NOTED OTHERWISE
CO	CLEAN-OUT	LF	LINEAR FEET	VERT	VERTICAL
COL	COLUMN	MAX	MAXIMUM	VIF	VERIFY IN FIELD
CONT	CONTINUOUS	MECH	MECHANICAL	W/	WITH
DBL	DOUBLE	MTL	METAL	W/O	WITHOUT
DET	DETAIL	MFR	MANUFACTURER	WD	WOOD
DIA	DIAMETER	MH	MANHOLE	WWF	WELDED WIRE FABRIC
DIM	DIMENSION	MIN	MINIMUM		
DWG	DRAWING	MISC	MISCELLANEOUS		
EA	EACH	NO OR #	NUMBER		
EJ	EXPANSION JOINT	NTS	NOT TO SCALE		
EL	ELEVATION	OC	ON CENTER(S)		
EQ	EQUAL	OCC	OCCUPANT(S)		
EQP	EQUIPMENT	O/H	OVER HEAD		
EW	EACH WAY	OH	OVERHANG		
EXH	EXHAUST	OL	OCCUPANT LOAD		
(E)	EXISTING	OPP	OPPOSITE		
EXP	EXPANSION	PL	PROPERTY LINE		
EXT	EXTERIOR	PLYWD	PLYWOOD		
FD	FLOOR DRAIN	PSF	POUNDS PER SQUARE FOOT		
FE	FIRE EXTINGUISHER	PSI	POUNDS PER SQUARE INCH		
FF	FINISHED FLOOR	PT	PRESSURE TREATED		
FH	FIRE HYDRANT	PVC	POLYVINYL CHLORIDE		
FLR	FLOOR	PVMT	PAVEMENT		
FT	FOOT OR FEET	R	RADIUS		
FTG	FOOTING	RD	ROOF DRAIN		

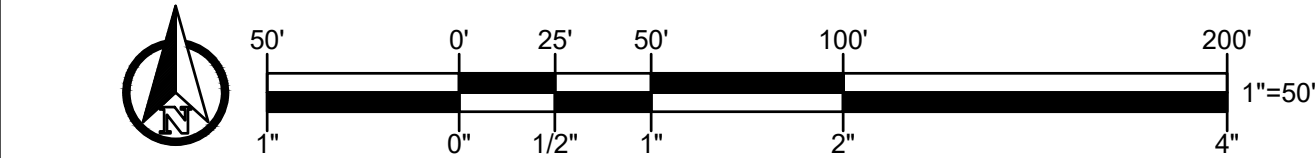


PRELIMINARY  
NOT FOR  
CONSTRUCTION

NEW TRUCK/TRAILER LOT  
SITE DEVELOPMENT  
COVER SHEET  
3303 YOSEMITE AVE  
LATHROP, CALIFORNIA 95330

REVISIONS		DESCRIPTION	
NO.	DATE		
PROJECT NO.: 23E-045			
DRAWN BY: MA			
CHECKED BY: JB/RW			
DATE: 12/15/2025			
SHEET NO.:			
C0.0			
SHEET: 1 OF 8			





LEGEND

- BUILDING
- ASPHALT
- CONCRETE
- DIRT/UNPAVED
- VEGETATION/LANDSCAPING
- PROPERTY LINE
- RIGHT OF WAY
- EASEMENT
- CONTOUR, 10'
- CONTOUR, 2'
- FENCE
- FENCE- CHAIN LINK
- STORM
- SEWER
- WATER
- DEMOLISH/REMOVE

SIGN

ELECTRICAL BOX

POWER POLE

STUB

SANITARY SEWER MANHOLE

STORM INLET

BACKFLOW PREVENTER

DCDA

WATER METER

GATE VALVE

FIRE HYDRANT

WELL

TREE

REMOVE EXISTING TREE

SURVEY NOTES

BENCHMARK:

BENCHMARK BASED OFF AN ASSUMED DATUM

SURVEYOR'S NOTES:

THIS TOPOGRAPHIC SURVEY WAS PREPARED TO DOCUMENT SURFACE FEATURES AND ELEVATIONS. THEREFORE, THE FOCUS OF THE SURVEY WAS ON EXISTING SURFACE FEATURES AND SURFACE IMPROVEMENTS.

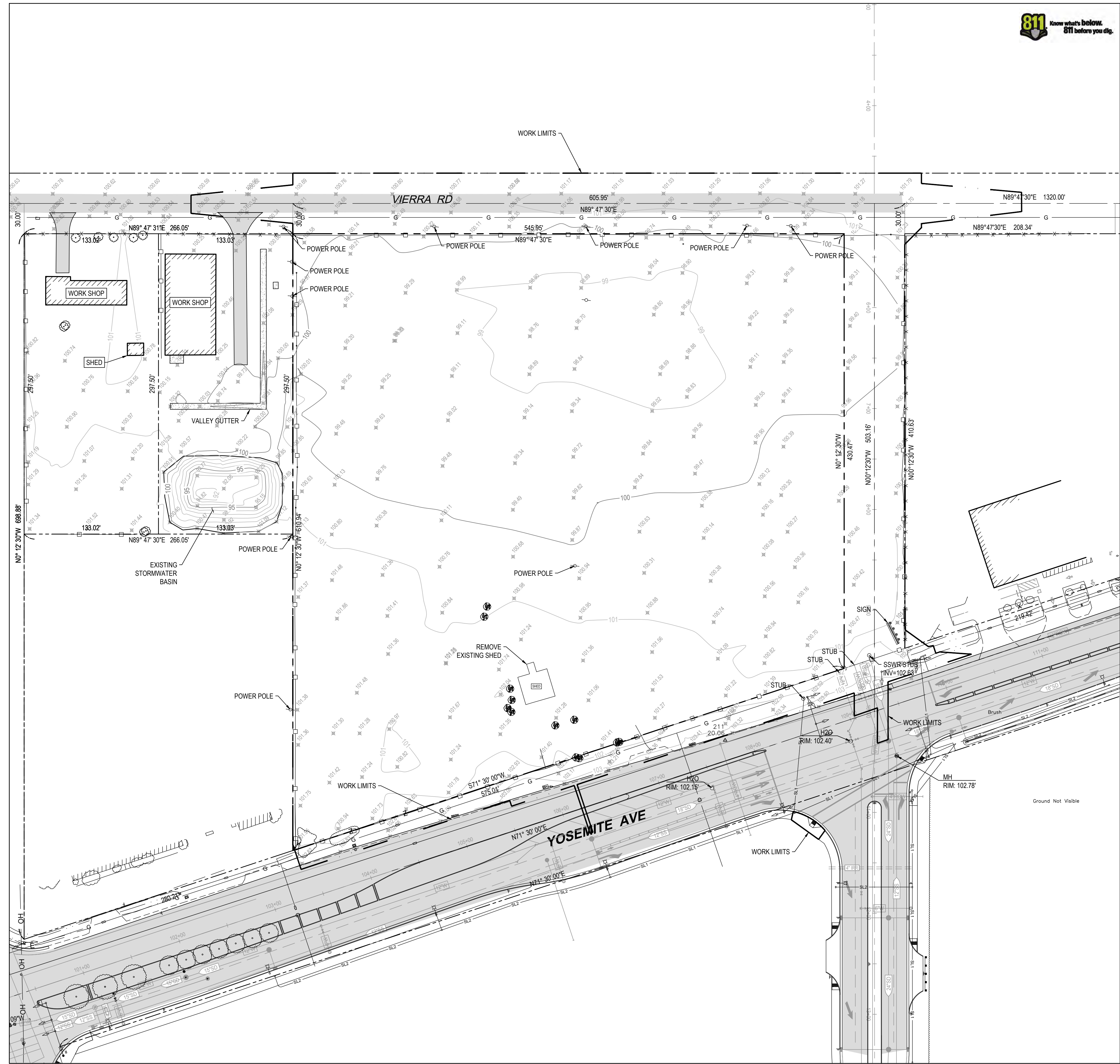
THE TOPOGRAPHIC DATA SHOWN HEREON IS BASED UPON A CONVENTIONAL FIELD SURVEY COMPLETED IN JUNE 2022 AND COMPLIES WITH NATIONAL MAP ACCURACY STANDARDS.

EASEMENT RIGHTS ARE UNKNOWN AND A PRELIMINARY TITLE REPORT WAS NOT REVIEWED AS PART OF THIS SURVEY.

THE USER OF THIS INFORMATION SHALL REVIEW ALL RESULTS FOR CONSISTENCY AND ACCURACY. DISCREPANCIES OR CONCERNS SHALL BE BROUGHT TO THE ATTENTION OF RIDGELINE ENGINEERING IMMEDIATELY. THE USER OF THIS INFORMATION ASSUMES ALL LIABILITY AND RESPONSIBILITY FOR ITS PROPER USE, EVALUATION AND ANY SUBSEQUENT ACTIONS RESULTING FROM THE USE THEREOF.

DEMOLITION NOTES

- CONTRACTOR TO FIELD LOCATE EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY SIGNIFICANT DISCREPANCIES.
- EXISTING UTILITIES WITHIN CONSTRUCTION LIMITS TO BE PROTECTED-IN-PLACE UNLESS OTHERWISE NOTED. UTILITIES TO BE REMOVED: IF REMOVAL IS NOT FEASIBLE UTILITIES MAY BE CAPPED AND ABANDONED IN PLACE. CONTRACTOR TO COORDINATE WITH ENGINEER AND OWNER ON REMOVAL/ABANDONMENT OF ANY EXISTING UTILITIES FOUND IN FIELD/NOT SHOWN ON THESE PLANS.
- EXCAVATE AND REMOVE TREE STUMPS AND ORGANICS WITHIN PROPOSED PAD AND ROAD AREAS.
- ALL MATERIAL DEMOLISHED AND UNSUITABLE CLEARED OR GRUBBED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE THEIR SOLE RESPONSIBILITY FOR REMOVAL AND OFF-SITE DISPOSAL.

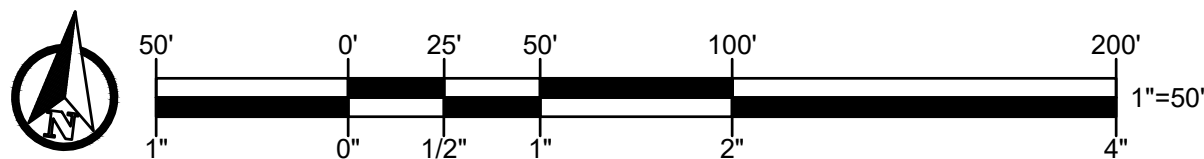


PRELIMINARY  
NOT FOR  
CONSTRUCTION

NEW TRUCK/TRAILER LOT  
SITE DEVELOPMENT  
EXISTING CONDITIONS AND  
DEMOLITION PLAN  
3303 YOSEMITE AVE  
LATHROP, CALIFORNIA 95330

REVISIONS	
NO.	DESCRIPTION
PROJECT NO.: 23E-045	
DRAWN BY: MA	
CHECKED BY: JB/RW	
DATE: 12/15/2025	
SHEET NO.:	
C0.1	
SHEET: 2 OF 8	





LEGEND

- BUILDING

ASPHALT

CONCRETE

LANDSCAPING

BIORETENTION

PROPERTY LINE

RIGHT OF WAY

EASEMENT

BUILDING SETBACK LINE

FENCE

FENCE - CHAIN LINK

GRADE BREAK

CMU WALL

E

ELECTRICAL

SD

STORM, 2% MIN SLOPE

SS

SEWER, 2% MIN SLOPE

W

WATER
- TRAFFIC FLOW DIRECTION

STORM WATER FLOW ARROW

SITE LIGHT, SINGLE

SITE LIGHT, DOUBLE

STUB

SANITARY SEWER MANHOLE

STORM INLET

STORM MANHOLE

OUTFALL AND HEADWALL

OVERFLOW RISER

BACKFLOW PREVENTER

DCDA

WATER METER

GATE VALVE

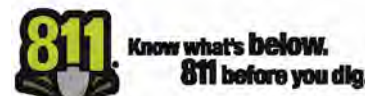
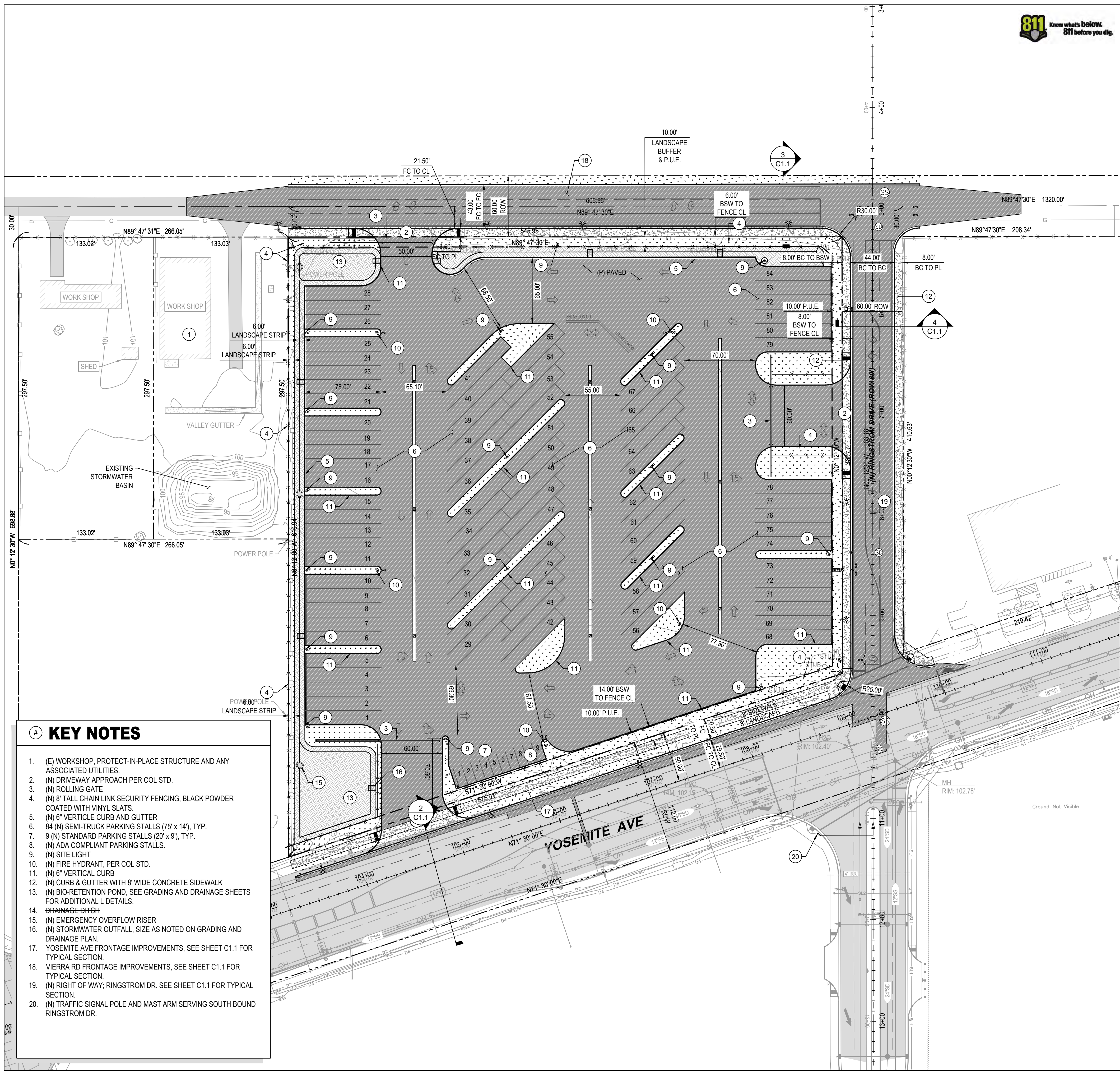
FIRE HYDRANT

GENERAL NOTES

- THESE PLANS SHOW EXISTING FEATURES INCLUDING BUT NOT LIMITED TO TREES, UTILITIES, AND STRUCTURES THAT MAY BE AFFECTED BY THE CONSTRUCTION OR PLACEMENT OF THE PROPOSED ENGINEERED IMPROVEMENTS. THE CONTRACTOR WILL IMMEDIATELY NOTIFY THE ENGINEER IF THERE ARE ANY EXISTING FEATURES, WHETHER SHOWN OR NOT SHOWN ON THESE PLANS, THAT COULD IN ANY WAY BE IN POTENTIAL CONFLICT WITH THE DESIGN OF THESE PLANS. ALL WORK WITHIN THE VICINITY OF A POTENTIAL CONFLICT SHALL CEASE UNTIL AN ADEQUATE AND APPROPRIATE SOLUTION IS DETERMINED BY THE ENGINEER AND APPROVED BY THE PUBLIC WORKS DEPARTMENT.
- SHOULD IT APPEAR THAT THE WORK TO BE DONE, OR ANY MATTER RELATIVE THERETO, IS NOT SUFFICIENTLY DETAILED OR EXPLAINED ON THESE PLANS, THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER, FOR SUCH FURTHER EXPLANATIONS AS MAY BE NECESSARY.
- QUALITY CONTROL PLAN: THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTROLLING THE QUALITY OF MATERIAL ENTERING THE WORK AND THE WORK PERFORMED, AND SHALL PERFORM TESTING TO ENSURE CONTROL. PRIOR TO THE START OF WORK THE CONTRACTOR SHALL SUBMIT A QUALITY CONTROL PLAN THAT MUST DESCRIBE THE METHODS AND FREQUENCY OF TESTING, IMPLEMENTATION OF CORRECTIVE ACTIONS AS NECESSARY, AND REPORTING OF TEST RESULTS, SPECIFIC TO EACH MATERIAL TO BE USED.
- ALL REVISIONS TO THIS PLAN MUST BE REVIEWED BY THE PUBLIC WORKS DEPARTMENT PRIOR TO CONSTRUCTION AND SHALL BE ACCURATELY SHOWN ON REVISED PLANS, STAMPED AND DISTRIBUTED BY THE ENGINEERING SERVICES DIVISION, PRIOR TO ACCEPTANCE OF THE WORK AS COMPLETE.
- NO TREES SHALL BE REMOVED UNLESS THEY ARE SHOWN AND NOTED TO BE REMOVED ON THE IMPROVEMENT PLANS. IF ANY TREES ARE TO BE REMOVED, THE IMPROVEMENT PLANS MUST BE REVIEWED AND ACKNOWLEDGED BY THE COMMUNITY DEVELOPMENT DEPARTMENT. ALL TREES CONFLICTING WITH GRADING, UTILITIES, OR OTHER IMPROVEMENTS, OR OVERHANGING THE SIDEWALK OR PAVEMENT SO AS TO FORM A NUISANCE OR HAZARD, SHALL BE TRIMMED, PROPERLY TREATED AND SEALED. A TREE PERMIT MAY BE NECESSARY AND CAN BE OBTAINED FROM THE COMMUNITY DEVELOPMENT DEPARTMENT.
- COMPACTION REQUIREMENTS (RELATIVE DENSITY PER ASTM D-1557):
  - EXISTING SUBGRADE: 90% IN THE TOP 12" FROM NATIVE OR CUT SURFACE
  - TRENCH BACKFILL:
    - IN PUBLIC RIGHT-OF-WAY: PER CITY STANDARDS
    - IN LANDSCAPED AREAS: 85% IN THE TOP 12" FROM FINISHED GRADE, 90% BELOW 12" FROM FINISHED GRADE.
    - IN BUILDING PADS: 90% FULL DEPT
  - ROAD RIGHT-OF-WAYS:
    - PER CITY STANDARDS
    - IN PARKWAYS: 90% MIN. IN THE TOP 6" FROM FINISH GRADE, 85% BELOW 6" FROM FINISH GRADE.
- APPLICABLE FEES TO BE PAID AND PERMITS REQUIRED SHALL BE OBTAINED BY THE CONTRACTOR BEFORE THE COMMENCEMENT OF CONSTRUCTION.
- CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACT WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD THE DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.
- PRIOR TO ANY CORRECTIVE ACTION BY THE CONTRACTOR WHICH IS NECESSARY TO ALLEGED STAKING ERROR, THE CONTRACTOR SHALL NOTIFY RIDGELINE ENGINEERING FOR RE-STAKING AND VERIFICATION OF PREVIOUS STAKING. SHOULD ANY CORRECTIVE WORK BE DONE PRIOR TO NOTIFICATION, OR IF THE ORIGINAL STAKING IS DONE BY OTHERS, RIDGELINE ENGINEERING ASSUMES NO LIABILITIES FOR THE COSTS INCURRED FOR THIS WORK. WHERE IT HAS BEEN DETERMINED THAT ANY CORRECTIVE ACTION WILL REQUIRE FINANCIAL PARTICIPATION BY RIDGELINE ENGINEERING, THAT AMOUNT SHALL BE AGREED TO BY RIDGELINE ENGINEERING IN WRITING PRIOR TO TAKING CORRECTIVE ACTION. FAILURE TO OBTAIN WRITTEN ACCEPTANCE BY RIDGELINE ENGINEERING WILL NEGATE ALL REQUIREMENTS OF OUR FINANCIAL ASSISTANCE.
- RIDGELINE ENGINEERING HAS EXERCISED A REASONABLE AND ACCEPTABLE STANDARD OF CARE IN THE PREPARATION OF THESE PLANS. HOWEVER, THE DESIGN PROCESS INCLUDES ACTIVITIES OCCURRING AFTER PLAN SIGNATURE. THESE ACTIVITIES INCLUDE CALCULATION, PLAN CHECK AND VERIFICATIONS DURING CONSTRUCTION. SHOULD PERSONS OTHER THAN RIDGELINE ENGINEERING PERFORM THE CONSTRUCTION STAKING OPERATIONS, THEY SHALL INDEMNIFY RIDGELINE ENGINEERING FROM ANY DAMAGES RESULTING FROM FAILURE TO PERFORM THESE TASKS OR ANY EXPENSE OR DAMAGE RESULTING FROM OMISSION OR ERROR CONTAINED IN THE PLANS WHICH WOULD REASONABLY HAVE BEEN DISCOVERED AND CORRECTED BY RIDGELINE ENGINEERING.
- ALL APPLICABLE, CLEANOUTS, VALVE BOXES, PULL BOXES AND RELATED APPURTENANCE SUBJECTED TO VEHICULAR WHEEL LOADING SHALL BE CONSTRUCTED WITH A TRAFFIC (H20) LOAD RATING.
- THE CONTRACTOR SHALL IMPLEMENT B.M.P. TO CONTROL ALL SOIL AND DUST FROM LEAVING THE SITE.

# KEY NOTES

- (E) WORKSHOP, PROTECT-IN-PLACE STRUCTURE AND ANY ASSOCIATED UTILITIES.
- (N) DRIVEWAY APPROACH PER COL STD.
- (N) ROLLING GATE
- (N) 8' TALL CHAIN LINK SECURITY FENCING, BLACK POWDER COATED WITH VINYL SLATS.
- (N) 6" VERTICLE CURB AND GUTTER
- 84 (N) SEMI-TRUCK PARKING STALLS (75' x 14'), TYP.
- 9 (N) STANDARD PARKING STALLS (20' x 9'), TYP.
- (N) ADA COMPLIANT PARKING STALLS.
- (N) SITE LIGHT
- (N) FIRE HYDRANT, PER COL STD.
- (N) 6" VERTICAL CURB
- (N) CURB & GUTTER WITH 8' WIDE CONCRETE SIDEWALK
- (N) BIO-RETENTION POND, SEE GRADING AND DRAINAGE SHEETS FOR ADDITIONAL L DETAILS.
- DRAINAGE BITCH
- (N) EMERGENCY OVERFLOW RISER
- (N) STORMWATER OUTFALL, SIZE AS NOTED ON GRADING AND DRAINAGE PLAN.
- YOSEMITE AVE FRONTAGE IMPROVEMENTS, SEE SHEET C1.1 FOR TYPICAL SECTION.
- VIERRA RD FRONTAGE IMPROVEMENTS, SEE SHEET C1.1 FOR TYPICAL SECTION.
- (N) RIGHT OF WAY; RINGSTROM DR. SEE SHEET C1.1 FOR TYPICAL SECTION.
- (N) TRAFFIC SIGNAL POLE AND MAST ARM SERVING SOUTH BOUND RINGSTROM DR.



PRELIMINARY  
NOT FOR  
CONSTRUCTION

NEW TRUCK/TRAILER LOT  
SITE DEVELOPMENT

SITE PLAN

3303 YOSEMITE AVE  
LATHROP, CALIFORNIA 95330

NO.	DATE	DESCRIPTION			

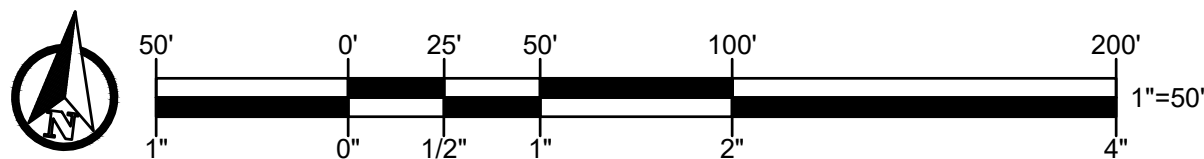
PROJECT NO.: 23E-045  
DRAWN BY: MA  
CHECKED BY: JB/RW  
DATE: 12/15/2025

SHEET NO.:

C1.0

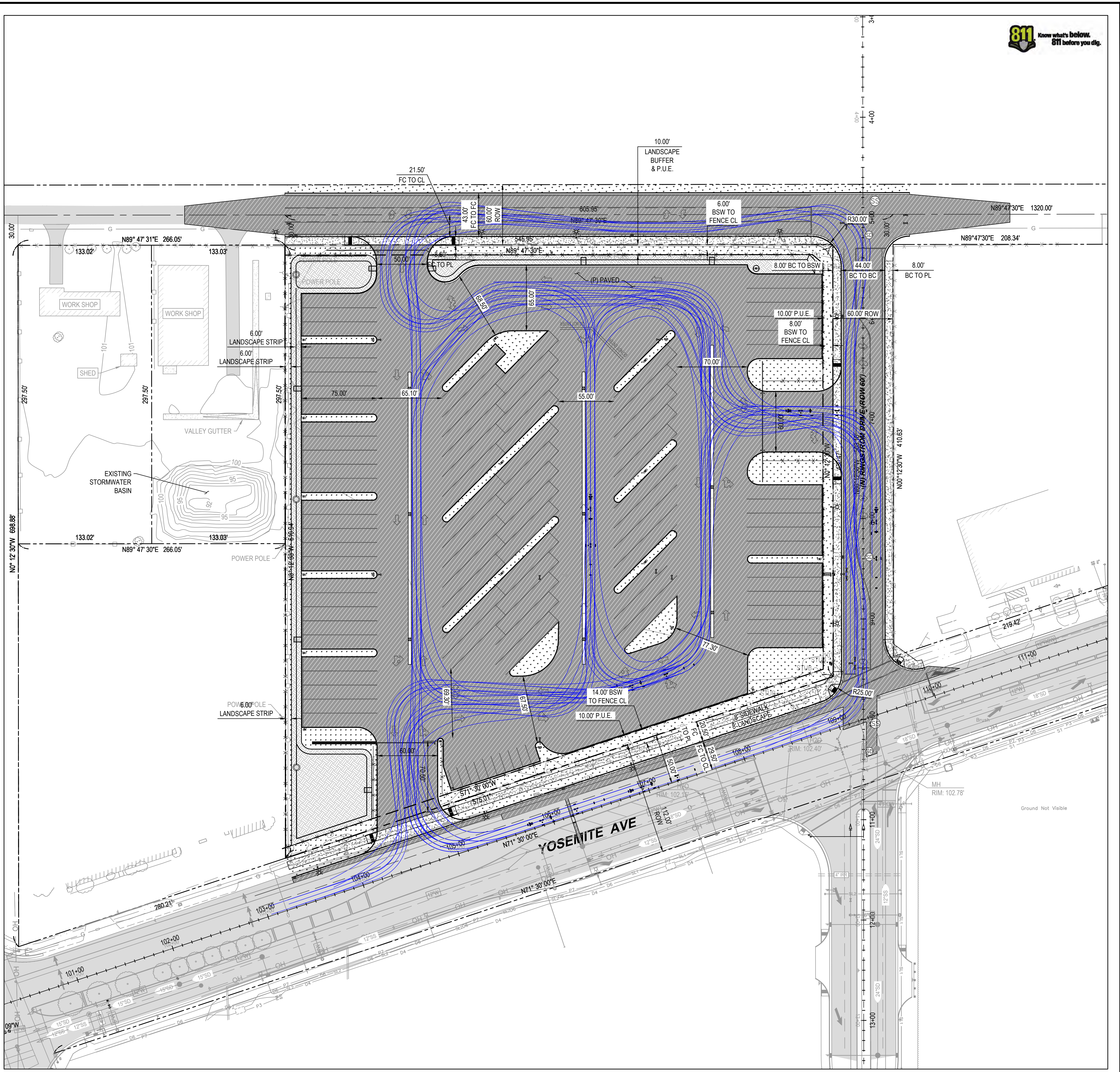
SHEET: 3 OF 8





LEGEND

- BUILDING
- ASPHALT
- CONCRETE
- LANDSCAPING
- BIORETENTION
- PROPERTY LINE
- RIGHT OF WAY
- EASEMENT
- BUILDING SETBACK LINE
- FENCE
- FENCE - CHAIN LINK
- GRADE BREAK
- CMU WALL
- ELECTRICAL
- STORM, 2% MIN SLOPE
- SEWER, 2% MIN SLOPE
- WATER

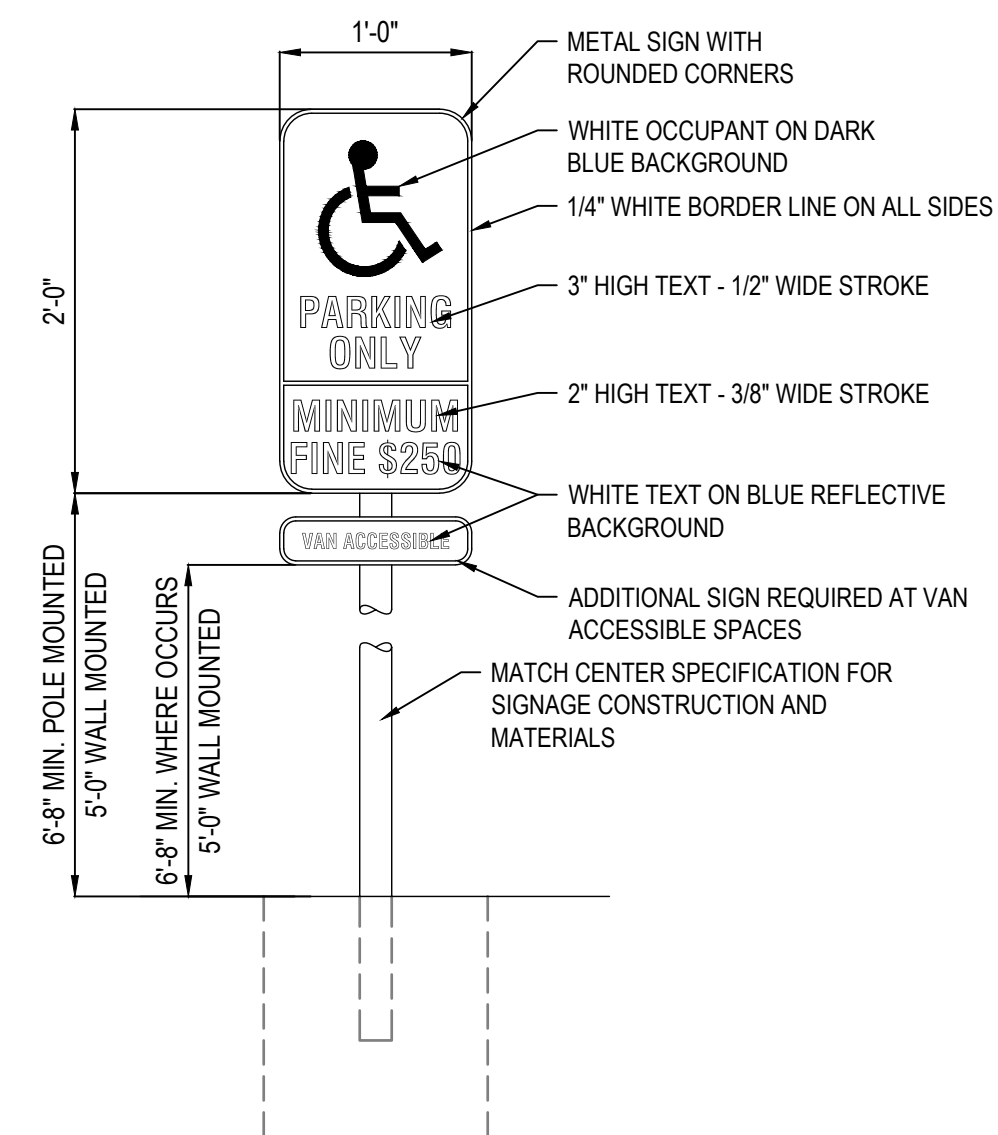
TRAFFIC FLOW DIRECTIONSTORM WATER FLOW ARROWSITE LIGHT, SINGLESITE LIGHT, DOUBLESTUBSANITARY SEWER MANHOLESTORM INLETSTORM MANHOLEOUTFALL AND HEADWALLOVERFLOW RISERBACKFLOW PREVENTERDCDAWATER METERGATE VALVEFIRE HYDRANT

PRELIMINARY  
NOT FOR  
CONSTRUCTION

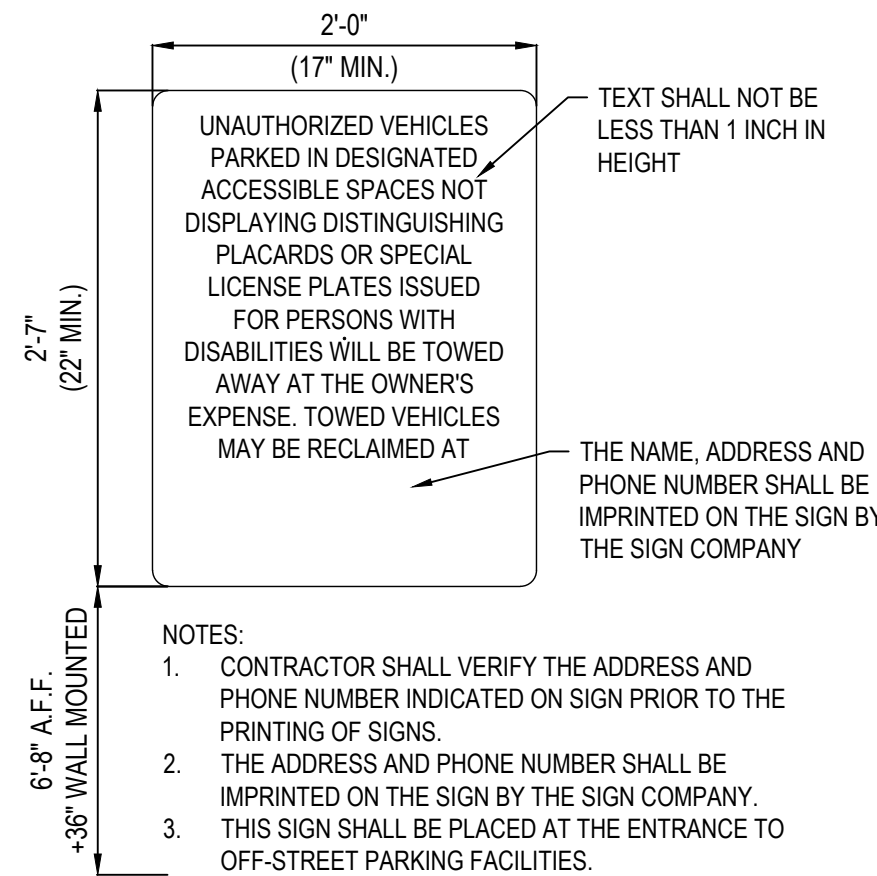
NEW TRUCK/TRAILER LOT  
SITE DEVELOPMENT  
  
TRUCK TURNING PLAN  
  
3303 YOSEMITE AVE  
LATHROP, CALIFORNIA 95330

REVISIONS		DESCRIPTION
NO.	DATE	
PROJECT NO.: 23E-045		
DRAWN BY: MA		
CHECKED BY: JB/RW		
DATE: 12/15/2025		
SHEET NO.:		
C1.1		
SHEET: 4 OF 8		



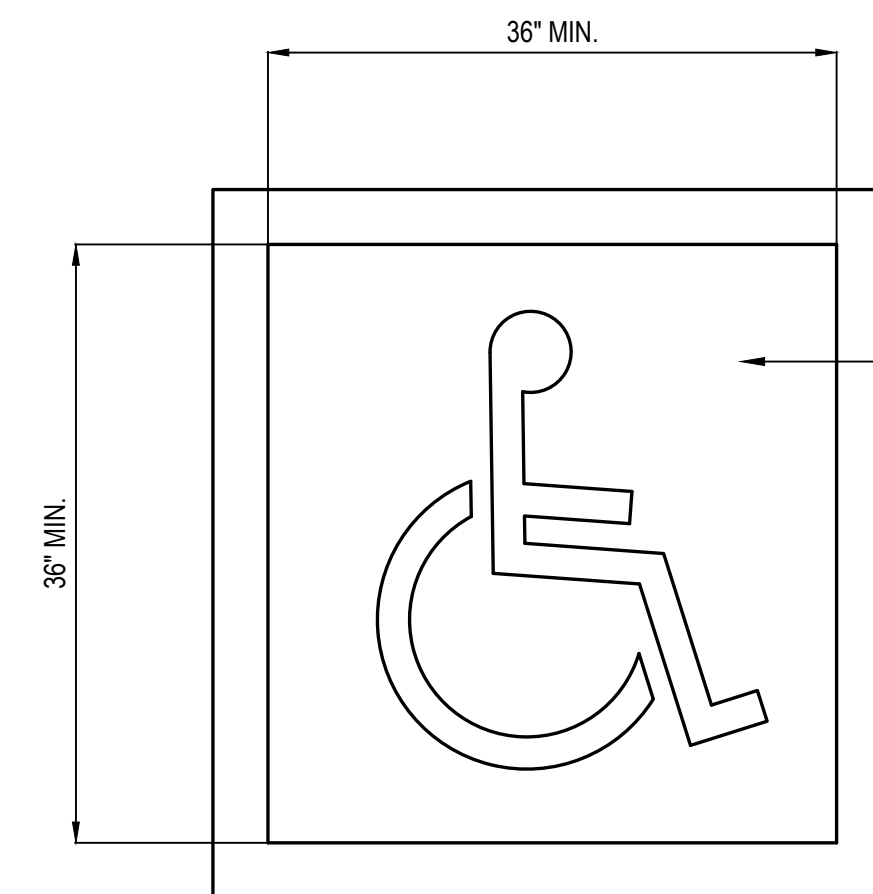


- NOTES:
1. ALL PARKING SPACE SIGNS, IN CA, CONSTRUCTED ON OR AFTER JULY 1, 2008, SHALL INCLUDE THE VERBAGE "\$250 MINIMUM FINE". CA VEHICLE CODE SECTION 22511.8 (AB1511), CBC 11B-502.6.2
  2. 70 SQ. INCH MINIMUM ACCESSIBLE SIGN PER CBC 11B-502.6



SCALE: NTS

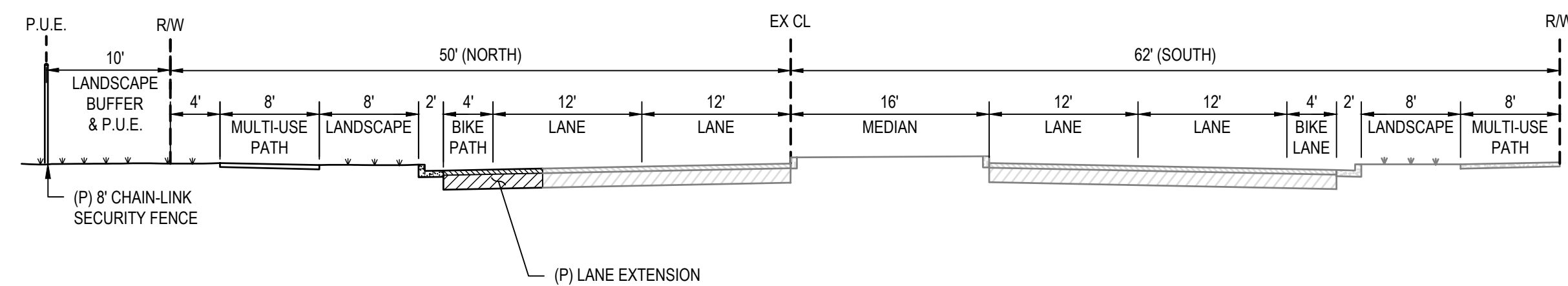
## INTERNATIONAL SYMBOL OF ACCESSIBILITY SIGNAGE



PARKING SPACE SHALL BE OUTLINED OR PAINTED BLUE, AND SHALL BE MARKED WITH THE "INTERNATIONAL SYMBOL OF ACCESSIBILITY" IN WHITE OR A SUITABLE CONTRASTING COLOR. THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE 36 INCHES WIDE BY 36 INCHES HIGH MINIMUM, WITH THE CENTERLINE 6 INCHES MAXIMUM FROM THE CENTERLINE OF THE PARKING SPACE. [CBC 1109A.8.8.2]

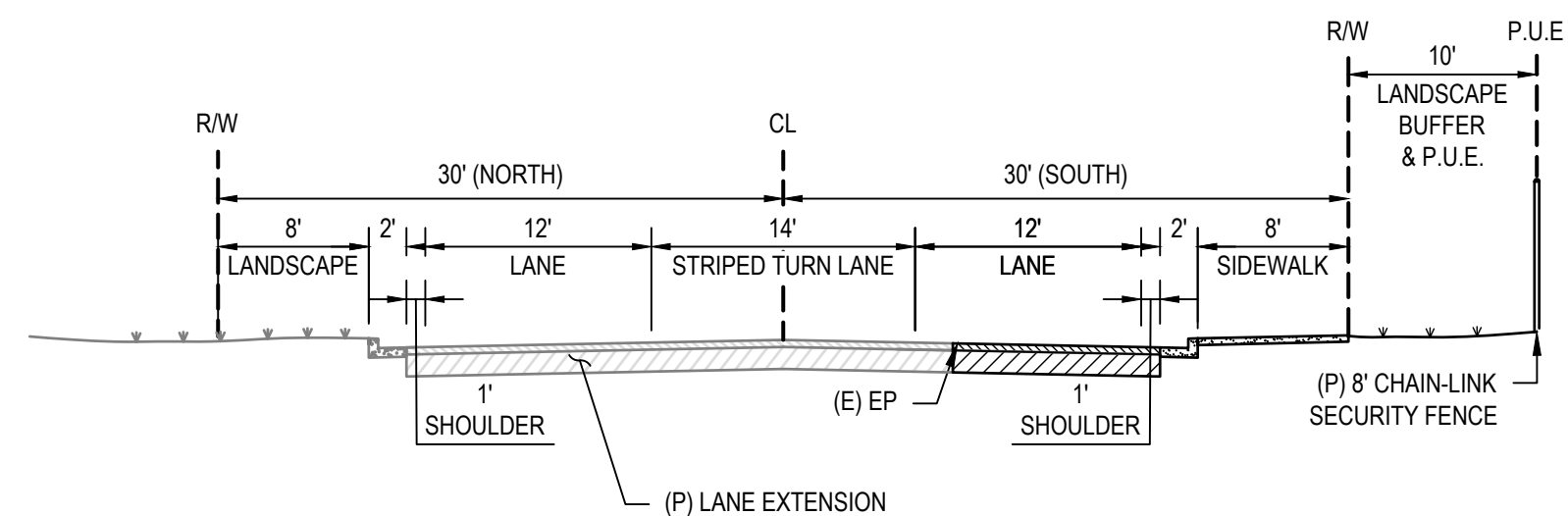
SCALE: NTS

## INTERNATIONAL SYMBOL OF ACCESSIBILITY DETAIL



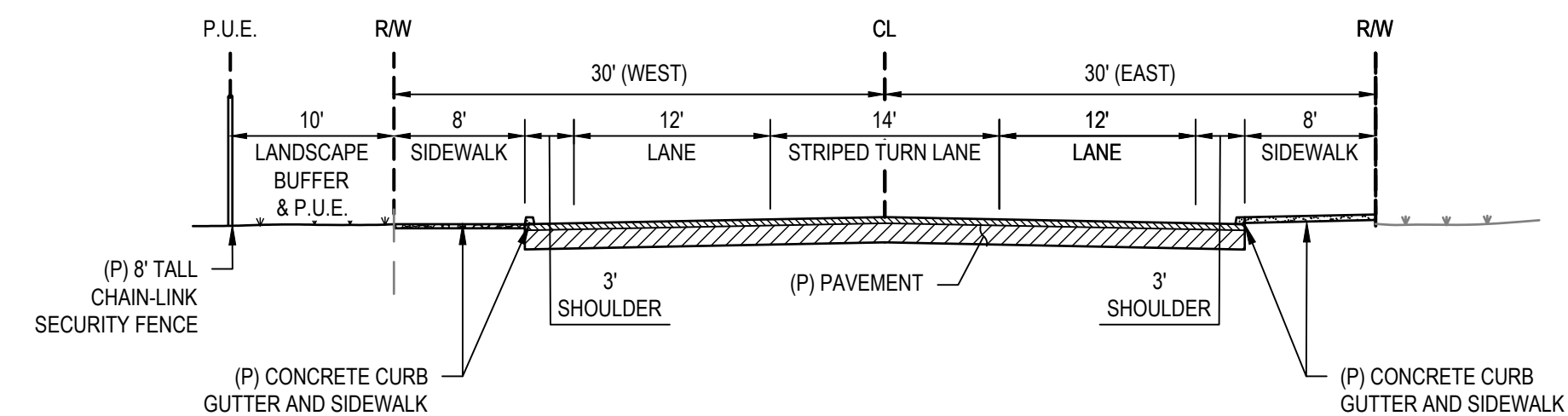
SCALE: NTS

## YOSEMITE AVENUE TYPICAL SECTION



SCALE: NTS

## VIERRA ROAD TYPICAL SECTION



SCALE: NTS

### RINGSTROM DRIVE TYPICAL SECTION

SCALE: NTS

**NOT IN USE**

1

SCALE: NTS

**NOT IN USE**

6

**NOT IN USE**

SCALE: NTS

7

**PRELIMINARY**

---

**NOT FOR  
CONSTRUCTION**

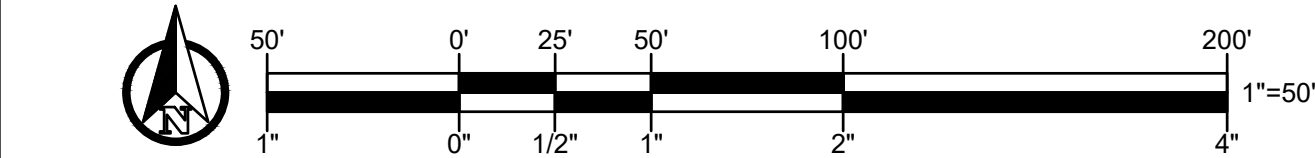
## NEW TRUCK/TRAILER LOT

### SITE DEVELOPMENT

**SITE DETAILS**

REVISIONS															
DATE		DESCRIPTION													
NO.															
PROJECT NO.: 23E-045															
DRAWN BY: MA															
CHECKED BY: JB/RW															
DATE: 12/15/2025															
SHEET NO.:															
<b>C1.2</b>															
SHEET: 5 OF 8															





LEGEND

- BUILDING

ASPHALT

CONCRETE

LANDSCAPING

BIORETENTION

PROPERTY LINE

RIGHT OF WAY

EASEMENT

BUILDING SETBACK LINE

10

PROPOSED CONTOUR, 10'

2

PROPOSED CONTOUR, 2'

GB

GRADE BREAK

FENCE

FENCE - CHAIN LINK

CMU WALL

E

ELECTRICAL

SD

STORM, 2% MIN SLOPE

SS

SEWER, 2% MIN SLOPE

W

WATER
- ↑

TRAFFIC FLOW DIRECTION

→

STORM WATER FLOW ARROW

○

SITE LIGHT, SINGLE

○

SITE LIGHT, DOUBLE

┌┐

STUB

○

SANITARY SEWER MANHOLE

○

STORM INLET

○

STORM MANHOLE

○

OUTFALL AND HEADWALL

○

OVERFLOW RISER

○

BACKFLOW PREVENTER

○

DCDA

○

WATER METER

○

GATE VALVE

○

FIRE HYDRANT

NOTES

- CONTRACTOR TO CALL CALL BEFORE YOU DIG @ 811 AT LEAST TWO WORKING DAYS PRIOR TO THE START OF EXCAVATION/CONSTRUCTION TO MARK THE LOCATIONS OF EXISTING UTILITY LINES.
- THE LOCATIONS OF EXISTING UTILITIES AND UNDERGROUND PIPELINES SHOWN ON THESE PLANS ARE APPROXIMATE ONLY. CONTRACTOR TO FIELD VERIFY THE LOCATIONS AND ELEVATIONS OR EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO THE START OF SITE GRADING. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES OR VARIATIONS.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE GOVERNING JURISDICTIONS, SPECIFICATIONS AND BUILDING PERMIT REQUIREMENTS.
- CUT SLOPES SHALL BE NO STEEPER THAN 2:1 (HORIZONTAL TO VERTICAL); FILL SLOPES SHALL BE NO STEEPER THAN 2: 1 (HORIZONTAL TO VERTICAL).
- CONTRACTOR SHALL KEEP ADJOINING PUBLIC STREETS FREE OF DIRT, MUD, AND OTHER PROJECT RELATED DEBRIS THROUGHOUT CONSTRUCTION. ANY DAMAGE TO PUBLIC STREETS OR ROADWAYS SHALL BE REPAIRED BY THE CONTRACTOR AT THE CONTRACTORS EXPENSE.
- SURVEY MONUMENTS SHALL BE RE-ESTABLISHED BY A LICENSED SURVEYOR IF DISTURBED DURING CONSTRUCTION.
- THIS GRADING PLAN IS TO BE USED IN CONJUNCTION WITH THE FOLLOWING:
  - THE SOILS REPORTS PREPARED BY -----
  - THE SOILS ENGINEER TO TEST AND OBSERVE GRADING FOR THIS PROJECT IS -----
  - (GOVERNING JURISDICTION STANDARDS AND SPECIFICATIONS, LATEST EDITION)
- ALL QUANTITIES SHOWN ON THIS PLAN ARE APPROXIMATE: CALCULATED EXCESS AND SHORTAGE ARE TO FINISHED GRADE AND EXISTING GROUND. THE ACTUAL AMOUNT OF EARTH MOVED IS VARIABLE DEPENDENT ON COMPACTION, CONSOLIDATION, STRIPPING REQUIREMENTS, AND THE CONTRACTOR'S METHOD APPROVED BY THE ENGINEER.
- NO TREES SHALL BE REMOVED UNLESS THEY ARE SHOWN AND NOTED TO BE REMOVED ON THE IMPROVEMENT PLANS. ALL TREES CONFLICTING WITH GRADING, UTILITIES, OR OTHER IMPROVEMENTS, OR OVERHANGING THE SIDEWALK OR PAVEMENT SO AS TO FORM A NUISANCE OR HAZARD, SHALL BE TRIMMED AND PROPERLY GRADED AND SEALED. THE DRIP LINE OF TREES TO BE SAVED WILL BE FENCED, AND NO GRADING SHALL TAKE PLACE WITHIN THIS FENCED AREA.
- ALL EXCESS MATERIAL FROM DEMOLITION, CLEARING & GRUBBING, AND GRADING INCLUDING ANY ABANDONED UTILITY ITEMS, AND OTHER UNSTABLE MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF THE CONSTRUCTION SITE.
- GRADING FOR ALL SIDEWALKS AND ACCESSIBLE ROUTES INCLUDING CROSSING DRIVEWAYS SHALL CONFORM TO CURRENT ADA STATE/NATIONAL STANDARDS. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ADA CRITERIA CANNOT BE MET IN ANY LOCATION PRIOR TO PAVING. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR ADA COMPLIANCE ISSUES.
- ALL EXISTING IMPROVEMENTS THAT ARE REMOVED, DAMAGED, OR UNDERCUT SHALL BE REPAIRED OR REPLACED AS DIRECTED BY THE CITY ENGINEER, AT THE CONTRACTOR'S EXPENSE.
- GRADING WORK SHALL BE DONE IN A MANNER TO PREVENT STORM DAMAGE TO PUBLIC OR PRIVATE PROPERTY OF OTHERS BY FLOWING, EROSION, DEPOSITION, DEBRIS, OR ANY OTHER DAMAGE RESULTING FROM THE GRADING WORK.
- CONTRACTOR TO COORDINATE WITH THE INSPECTOR AND DEVELOPER, THE LOCATION OF THE BORROW OR SPOILS PRIOR TO CONSTRUCTION.



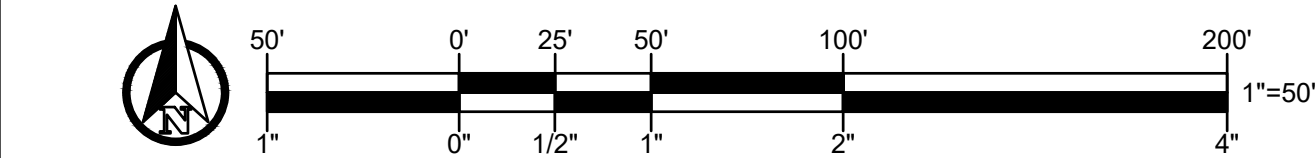
PRELIMINARY  
NOT FOR  
CONSTRUCTION

NEW TRUCK/TRAILER LOT  
SITE DEVELOPMENT  
  
GRADING AND DRAINAGE PLAN

3303 YOSEMITE AVE  
LATHROP, CALIFORNIA 95330

REVISIONS		NO.	DATE	DESCRIPTION
PROJECT NO.:				23E-045
DRAWN BY:				MA
CHECKED BY:				JB/RW
DATE:				12/15/2025
SHEET NO.:				C2.0
SHEET:		5	OF	8





LEGEND

- BUILDING

ASPHALT

CONCRETE

LANDSCAPING

BIORETENTION

PROPERTY LINE

RIGHT OF WAY

EASEMENT

BUILDING SETBACK LINE

FENCE

FENCE - CHAIN LINK

CMU WALL

ELECTRICAL

STORM, 2% MIN SLOPE

SEWER, 2% MIN SLOPE

WATER
- TRAFFIC FLOW DIRECTION

STORM WATER FLOW ARROW

SITE LIGHT, SINGLE

SITE LIGHT, DOUBLE

STUB

SANITARY SEWER MANHOLE

STORM INLET

STORM MANHOLE

OUTFALL AND HEADWALL

OVERFLOW RISER

BACKFLOW PREVENTER

DCDA

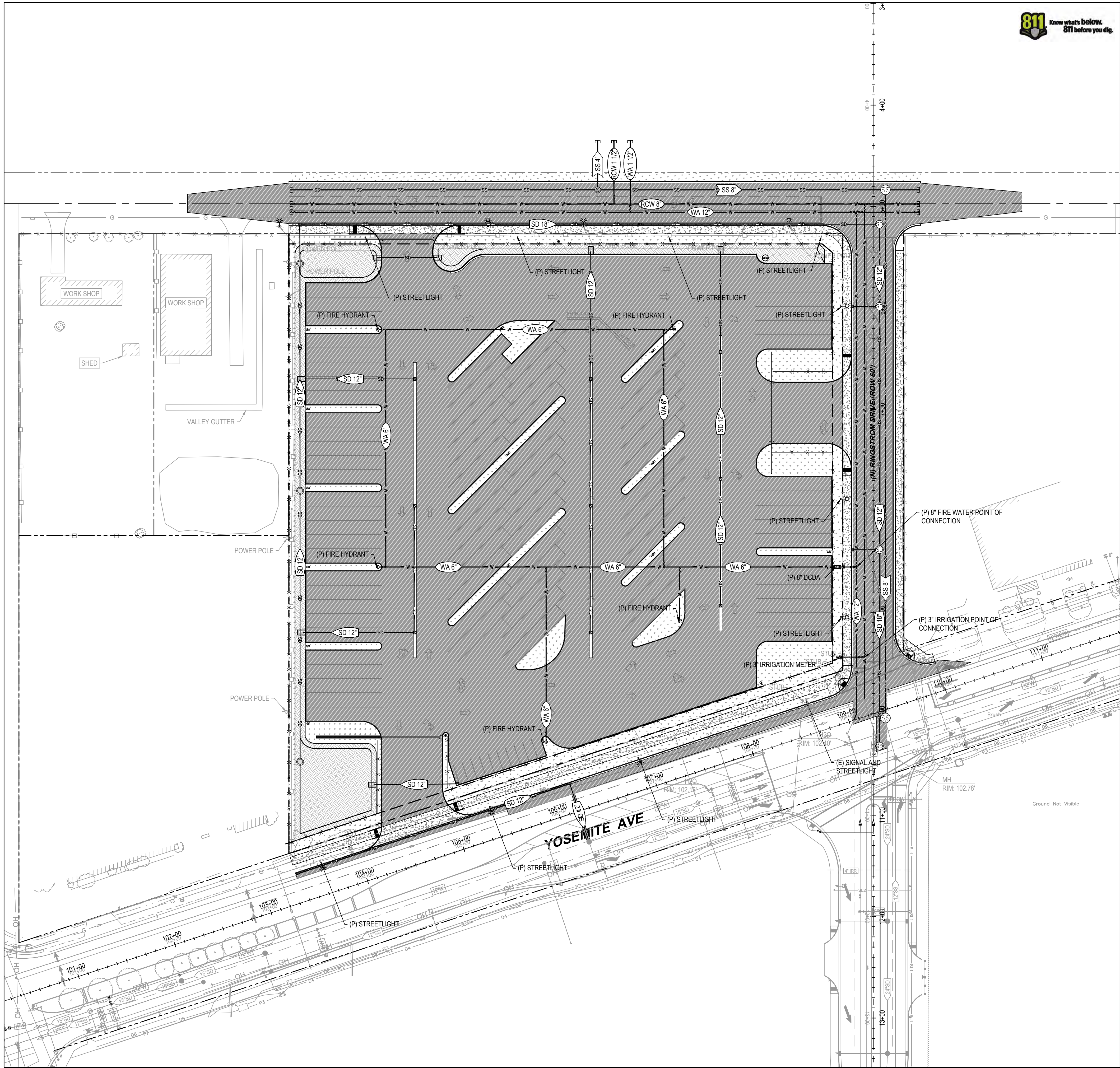
WATER METER

GATE VALVE

FIRE HYDRANT

UTILITY NOTES

- ALL UTILITIES SHALL BE CONSTRUCTED PER CITY OF LATHROP AND SHALL BE DONE IN COORDINATION WITH ALL REGULATIONS OF THE FOLLOWING:
  - PG&E (ELECTRICITY)
  - CITY OF LATHROP ENVIRONMENTAL HEALTH (SEWER AND WATER)
  - CALIFORNIA BUILDING STANDARDS CODE (LATEST ED.)
  - CALIFORNIA PLUMBING CODE (LATEST ED.)
  - CALIFORNIA ELECTRICAL CODE (LATEST ED.)
- PRIOR TO ANY DIGGING, CONTRACTORS ARE TO CALL UNDERGROUND SERVICE ALERT OF NORTHERN CALIFORNIA (1-800-642-2444) EXCAVATORS MUST NOTIFY ALL PERTINENT COMPANIES OR AGENCIES WITH UNDERGROUND UTILITIES IN THE PROJECT AREA AT LEAST 48 BUSINESS-DAY HOURS, BUT NOT MORE THAN 10 BUSINESS DAYS PRIOR TO COMMENCING EXCAVATION, SO UTILITIES MAY BE ACCURATELY LOCATED.
- THE LOCATION OF (E) UNDERGROUND UTILITIES SHOWN ON THE PLANS ARE FOR INFORMATION ONLY AND ARE NOT GUARANTEED TO BE COMPLETE OR ACCURATE. CONTRACTOR SHALL VERIFY ELEVATIONS, PIPE SIZE AND MATERIAL TYPES OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING WITH CONSTRUCTION AND SHALL BRING ANY DISCREPANCIES TO THE ATTENTION OF RIDGELINE ENGINEERING (ENGINEERS) 72 HOURS PRIOR TO STARTING CONSTRUCTION TO PREVENT GREAT ALIGNMENT CONFLICTS.
- BEFORE BACKFILLING ANY SUBGRADE UTILITY IMPROVEMENTS CONTRACTED TO SURVEY AND RECORD MEASUREMENTS OF EXACT LOCATION AND DEPTH.
- CONTRACTOR SHALL ADJUST ALL (E) OR NEW FLEXIBLE UTILITIES (WATER, GAS, TV, TELEPHONE, ELECTRIC, ETC.) TO CLEAR ANY (E) OR NEW GRAVITY DRAIN UTILITIES IF CONFLICT EXISTS OR OCCURS.
- ALL PRIVATE WATER AND PRESSURE FITTINGS SHALL BE PROPERLY RESTRAINED WITH THRUST BLOCKING OR OTHER APPROVED METHODS.
- WHERE CONNECTING TO AN (E) PIPE, THE CONTRACTOR SHALL EXPOSE THE END OF THE (E) PIPE AND ALLOW THE ENGINEER TO VERIFY EXACT LOCATION AND ELEVATION BEFORE LAYING ANY NEW PIPE ON THAT SYSTEM.
- WATER MAINS SHALL CROSS OVER SANITARY SEWERS WITH AN 18 INCH MINIMUM CLEARANCE BETWEEN THE OUTSIDE DIAMETERS OF THE PIPES WITH ALL PIPE JOINTS EQUIDISTANT FROM CROSSING. HORIZONTAL SEPARATION BETWEEN WATER MAINS AND SANITARY SEWERS IN PARALLEL INSTALLATIONS SHALL BE 10 FEET.
- ALL WATER SYSTEM IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE THE AMERICAN PUBLIC WORKS ASSOCIATION'S STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION).
- WATER MAINS AND SERVICE LINES SHALL BE DISINFECTED AND PRESSURE TESTED FOR A MINIMUM OF ONE HOUR AND PER AWWA STANDARDS PRIOR TO ACCEPTANCE. THE LINES SHALL BE FLUSHED UNTIL AN ACCEPTABLE BACTERIOLOGICAL TEST IS ACHIEVED BY A LICENSED LABORATORY PER AWWA C 601. THE
- CONTRACTOR SHALL FURNISH A REPORT DETAILING TEST LOCATIONS, LINE SECTIONS TESTED, AND READINGS.
- THRUST BLOCKS ARE REQUIRED ALONG WATER LINE FOR ALL CONNECTIONS 3" OR LARGER
- FIRE LINE SHALL BE INSPECTED BY FIRE DEPARTMENT.
- ALL ON-SITE UNDERGROUND FIRE MAINS SHALL BE INSTALLED AND TESTED PER NFPA 24, PRIVATE FIRE SERVICE MAINS AND THEIR APPURTENANCES
- FIRE HYDRANT VALVES SHALL BE INSTALLED WITHIN 20 FEET OF THE HYDRANT
- FIRE MAIN PIPE
  - CPVC PIPE WITH A MINIMUM RATING OF A.W.W.A. C900 CLASS 150
  - DEPTH TO TOP OF ALL FIRE MAINS SHALL BE A MINIMUM OF 36 INCHES IN DRIVEWAYS AND A MINIMUM OF 30 INCHES IN LANDSCAPE AREAS
- THE UNDERGROUND CONTRACTOR SHALL SUBMIT TO THE FIRE INSPECTOR A RECORD-OF-COMPLETION FORM IN ACCORDANCE WITH NFPA 24, AFTER THE ENTIRE FIRE UNDERGROUND SYSTEM HAS BEEN INSPECTED AND TESTED TO MEET THE MINIMUM SITE REQUIREMENTS.
- ALL CONTROL VALVES ON THE FIRE UNDERGROUND SYSTEM (INCLUDING THE BACKFLOW PREVENTERS) SHALL HAVE TAMPER SWITCHES THAT ARE MONITORED BY AN APPROVED FIRE ALARM CENTRAL STATION. PROVIDE THE NECESSARY UNDERGROUND CONDUIT, AND COORDINATE THE INSTALLATION WITH THE LOCATIONS OF THE FIRE ALARM PANEL.



**PRELIMINARY**  
**NOT FOR CONSTRUCTION**

**NEW TRUCK/TRAILER LOT**  
SITE DEVELOPMENT

**UTILITY PLAN**

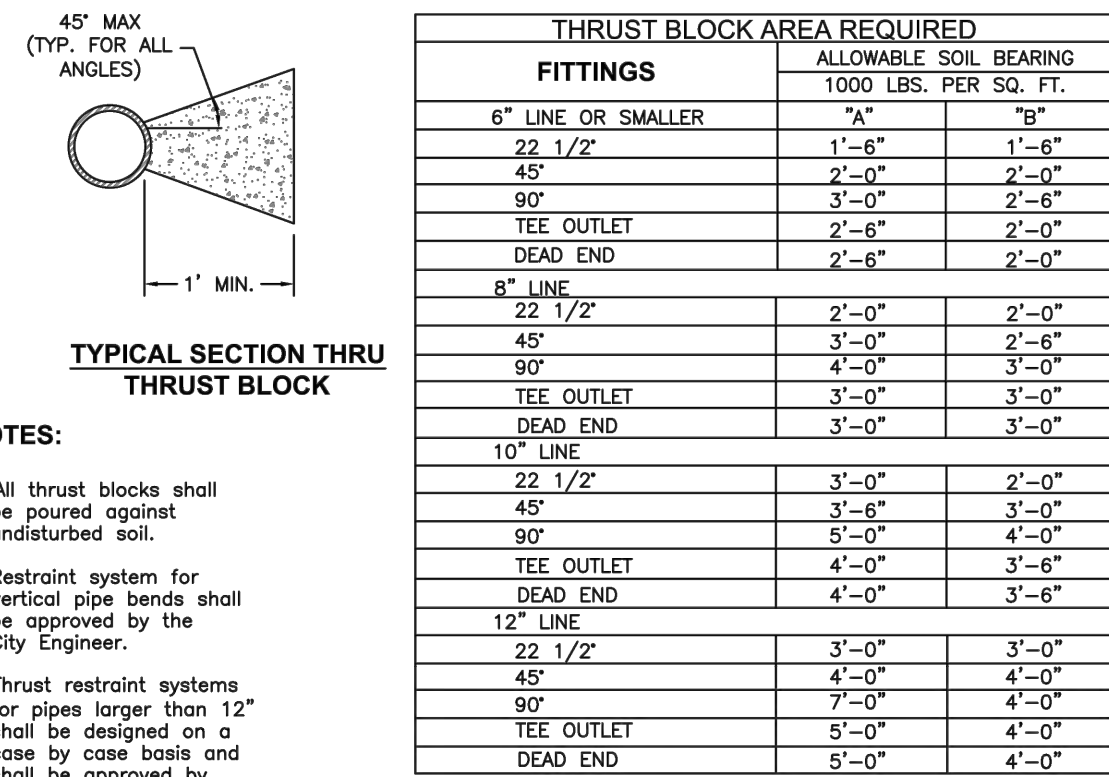
3303 YOSEMITE AVE  
LATHROP, CALIFORNIA 95330

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PROJECT NO.:		23E-045		
DRAWN BY:		MA		
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DATE:		12/15/2025		
SHEET NO.:		<b>C3.0</b>		
SHEET:		6	OF	8









City of Lathrop  
City Engineer

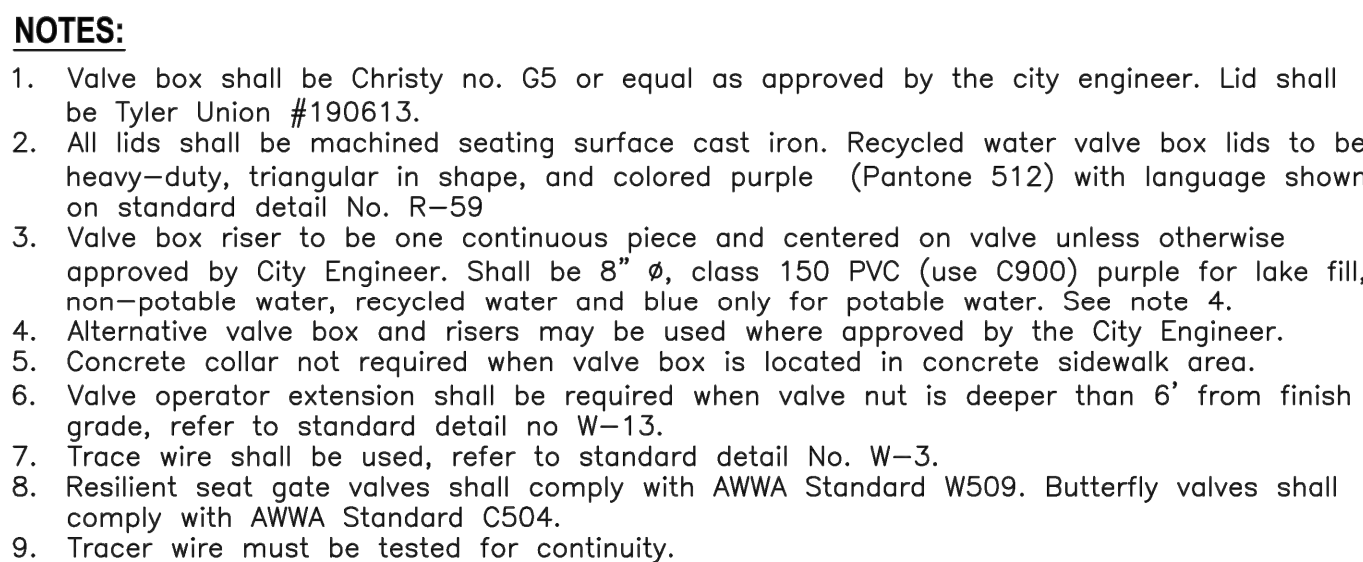
## THRUST BLOCK CHART



## STANDARD DETAIL

Date: JULY 2024

Drawing No: **W-2**



  
City of Lathrop  
City Engineer

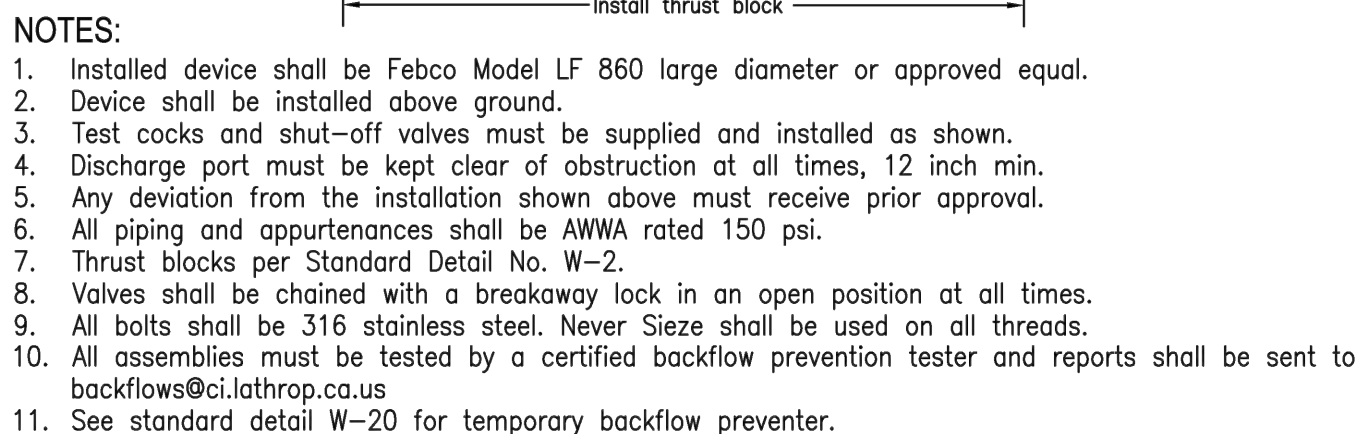
## VALVE BOX



## STANDARD DETAIL

Date: **JULY 2024**

Drawing No: **W-12**



  
City of Lathrop  
City Engineer

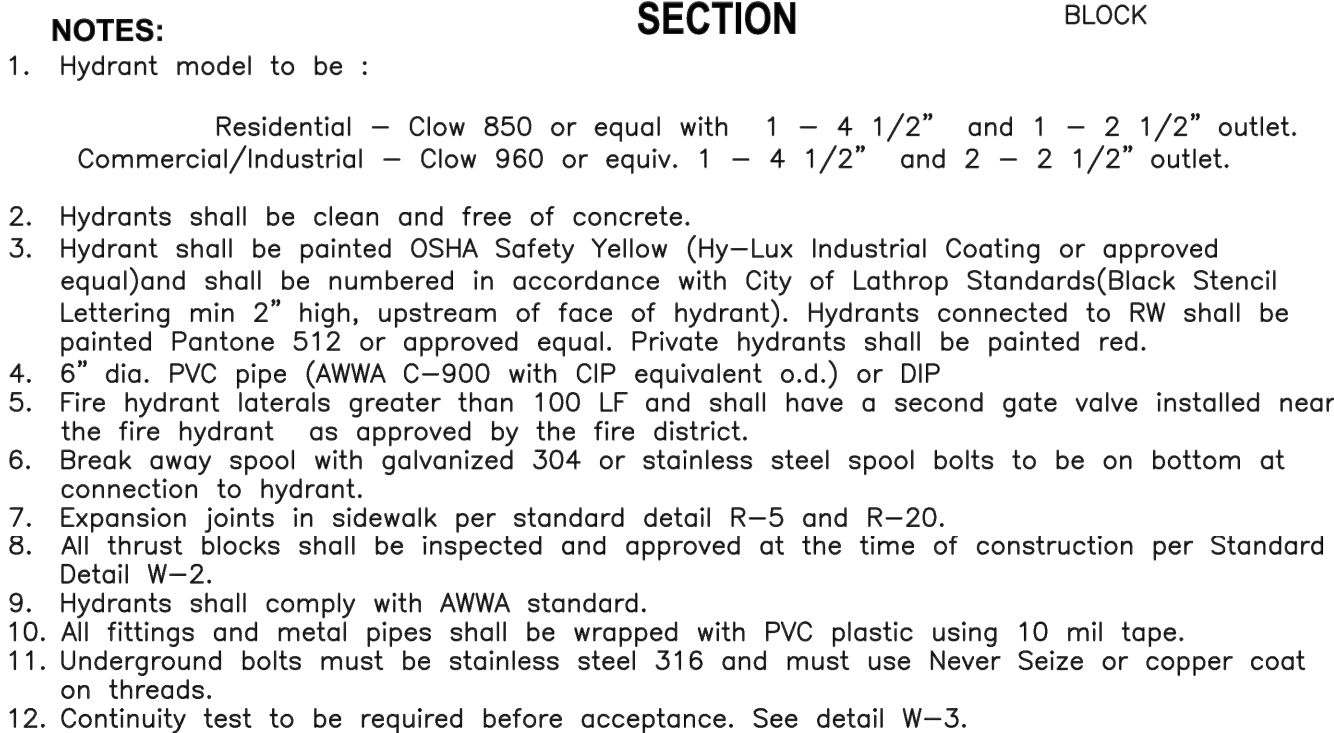
## REDUCE PRESSURE BACKFLOW DEVICE




## STANDARD DETAIL

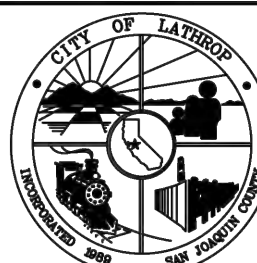
Date: **JULY 2024**

Drawing No:  
**W-16**



  
City of Lathrop  
City Engineer

## FIRE HYDRANT ASSEMBLY



**STANDARD  
DETAIL**

Date: JULY 2024

Drawing No: **W-20**

# PRELIMINARY

**NOT FOR  
CONSTRUCTION**

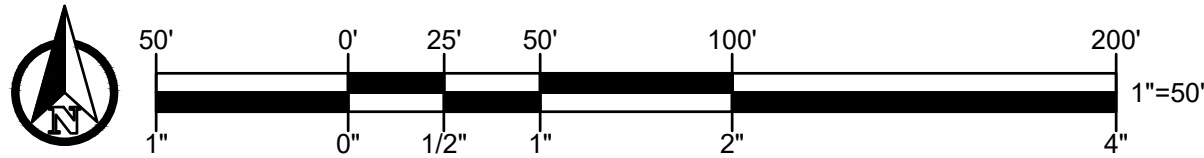
**NEW TRUCK/TRAILER LOT**  
SITE DEVELOPMENT

## DETAILS






3303 YOSEMITE AVE  
LATHROP, CALIFORNIA 95330

REVISIONS		DESCRIPTION					
NO.	DATE						
PROJECT NO.: 23E-045							
DRAWN BY: MA							
CHECKED BY: JB/RW							
DATE: 12/15/2025							
SHEET NO.:							
<b>C3.2</b>							
SHEET:		8	OF	8			





LEGEND

-  STABILIZED CONSTRUCTION ENTRANCE
-  CONCRETE WASHOUT
-  FIBER ROLLS
-  SILT FENCING
-  DRAINAGE INLET PROTECTION AND SAND BAGS

CONSTRUCTION SITE MAINTENANCE NOTES

1. GATHER ALL CONSTRUCTION DEBRIS ON A REGULAR BASIS AND PLACE THEM IN A DUMPSTER OR OTHER CONTAINER WHICH IS EMPTIED OR REMOVED ON A WEEKLY BASIS. WHEN APPROPRIATE, USE TARPS ON THE GROUND TO COLLECT FALLEN DEBRIS OR SPLATTERS THAT COULD CONTRIBUTE TO STORM WATER POLLUTION.
2. REMOVE ALL DIRT, GRAVEL, RUBBISH, REFUSE AND GREEN WASTE FROM THE STREET PAVEMENT, AND STORM DRAINS ADJOINING THE PROJECT SITE DURING WET WEATHER. AVOID DRIVING VEHICLES OFF PAVED AREAS.
3. BROOM SWEEP THE PUBLIC STREET PAVEMENT ADJOINING THE PROJECT ON A DAILY BASIS. CAKED-ON MUD OR DIRT SHALL BE SCRAPPED FROM THESE AREAS BEFORE SWEEPING.
4. CREATE A CONTAINED AND COVERED AREA ON THE SITE FOR THE PESTICIDES, OR ANY OTHER MATERIALS USED ON THE PROJECT SITE STORAGE OF BAGS, CEMENT, PAINTS, FLAMMABLE OILS, FERTILIZERS, THAT HAVE THE POTENTIAL FOR BEING DISCHARGED TO THE STORM DRAIN SYSTEM THROUGH BEING WINDBLOWN OR IN THE EVENT OF A MATERIAL SPILL.
5. NEVER CLEAN MACHINERY, TOOLS, BRUSHES, ETC. OR RINSE CONTAINERS INTO A STREET, GUTTER OR STORM DRAIN. REFUEL ALL CONSTRUCTION VEHICLES IN ONE LOCATION AND CLEAN UP LEAKS, DRIPS AND SPILLS IMMEDIATELY.
6. ENSURE THAT CONCRETE/GUNITES SUPPLY TRUCKS OR CONCRETE/PLASTERERS OPERATIONS DO NOT DISCHARGE WASH WATER INTO STREET GUTTERS OR DRAINS.
7. THE CONTRACTOR SHALL MEET AND FOLLOW ALL NPDES REQUIREMENTS IN EFFECT AT THE TIME OF CONSTRUCTION.
8. THE CONTRACTOR AND/OR HIS SUBCONTRACTORS SHALL PREVENT THE FORMATION OF ANY AIRBORNE DUST NUISANCE AT ALL TIMES. THEY SHALL DO SO BY WATERING AND/OR TREATING THE SITE OF WORK, AND SHALL MAINTAIN DUST CONTROL EQUIPMENT ON THE SITE AT ALL TIMES DURING CONSTRUCTION AND UNTIL FINAL COMPLETION. THEY WILL BE RESPONSIBLE FOR ANY DAMAGE DONE BY DUST FROM THEIR CONSTRUCTION ACTIVITIES IN PERFORMING THE WORK UNDER THIS CONTRACT. THE PRICES FOR THE VARIOUS ITEMS OF WORK SHALL INCLUDE PROVIDED ADEQUATE DUST CONTROL, AS REQUIRED BY THE LOCAL AGENCY.
9. SAND BAGS OR EQUAL ARE TO BE PLACED ON THE DOWNSTREAM SIDE OF THE CURB, GUTTER AND SIDEWALK .



PRELIMINARY  
NOT FOR  
CONSTRUCTION

NEW TRUCK/TRAILER LOT  
SITE DEVELOPMENT  
  
EROSION CONTROL PLAN  
  
3303 YOSEMITE AVE  
LATHROP, CALIFORNIA 95330

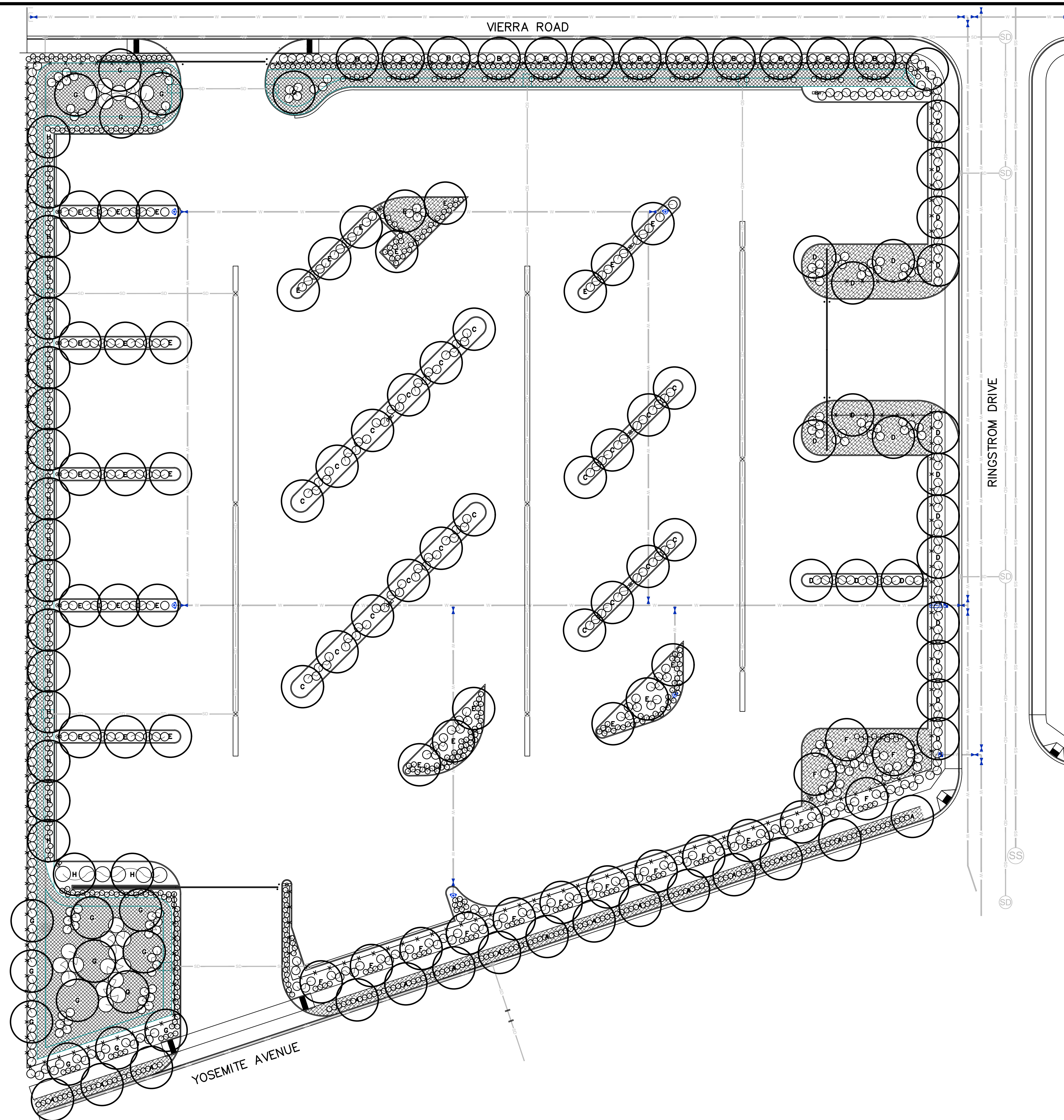
REVISIONS		DESCRIPTION	
NO.	DATE		
PROJECT NO.:		23E-045	
DRAWN BY:		MA	
CHECKED BY:		JB/RW	
DATE:		12/15/2025	
SHEET NO.:		C4.0	
SHEET:		9	OF 8







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## SUGGESTED PLANT LIST

Symbol	Size	Botanical Name	Common Name	MUCOLS
<b>TREES</b>				
A	15 gal.	Acacia Melanoxylon	Blackwood Acacia	L
B	15 gal.	Cerantia Silqua - Male	Carob	L
C	15 gal.	Eucalyptus Polyanthemos	Silver Dollar Gum	L
D	15 gal.	Grevillea Robusta	Slitless Oak	L
E	15 gal.	Platonia Chinensis 'Keith Dovey'	Frankish Chinese Platane	L
F	15 gal.	Quercus Apollonia	Coast Live Oak	L
G	15 gal.	Quercus Labrta	Valley Oak	L
H	15 gal.	Rhus Lancea	California Sycamore	L
<b>SHRUBS</b>				
AGA BLU	5 gal.	Agave 'Blue Flame'	Blue Flame Agave	L
ALI HUE	5 gal.	Alyogyne Huegelii	Blue Hibiscus	L
ACA AZA	5 gal.	Callistemon 'n Little John'	Dwarf Bottlebrush	L
CEA CON	5 gal.	Ceanothus Cancha	Cancha Ceanotha	L
CHO TEC	5 gal.	Chondropetalum Tectorum	Small Cape Rush	L
CIS PUR	5 gal.	Cistus Purpureus	Orchid Rose	L
CON ONE	5 gal.	Convolvulus Oneorum	Bush Morning Glory	L
DIE BIC	5 gal.	Dietes Bicolor	Fortnight Lily	L
EUR TEC	5 gal.	Eurypia Pectinatus	Golden Doty Shrub	L
GRE MOE	5 gal.	Grevillea Noellii	Grevillea	L
LEU COM	5 gal.	Leucophyllum f. Compacta	Compact Texas Ranger	L
MAH AQU	5 gal.	Mahonia Aquifolium	Oregon Grape	M
MIN AUR	5 gal.	Mimus Auranticus	Sticky Monkey Flower	L
MIR COM	5 gal.	Myrtus c. 'Compacta'	Compact Myrtle	L
MAN COM	5 gal.	Nandina	Hernandezia	L
PUN MAN	5 gal.	Punica G. Nana'	Dwarf Pomegranate	L
RHA CAL	5 gal.	Rhamnus Californica	Coffeeberry	L
ROS RAD	5 gal.	Rosa 'Radious'	Knocout Rose	L
SAL LEU	5 gal.	Salvia Leucantha	Mexican Bush Sage	L
SAN VIR	5 gal.	Santolina Virns	Santolina	L
WES FRU	5 gal.	Westringia Frutescens	Coast Rosemary	L
XYL COM	5 gal.	Xylocopa C. 'Compacta'	Compact Shiny Xylocopa	L
<b>GROUNDCOVERS</b>				
	1 gal @			
	16" O.C.	Juncus potens 'Elk Blue'	Elk Blue California Gray Rush	M
	1 gal @			
	16" O.C.	Cotoneaster D. 'Lowfast'	Beerberry Cotoneaster	L

SCALE: 1" = 30'

A horizontal graphic scale bar with alternating black and white segments. The segments are labeled with the numbers 0, 15, 30, 45, and 60, representing feet. The bar is divided into three equal parts, each 30 feet long, with the 15-foot mark at the midpoint of each part.

[illegible]



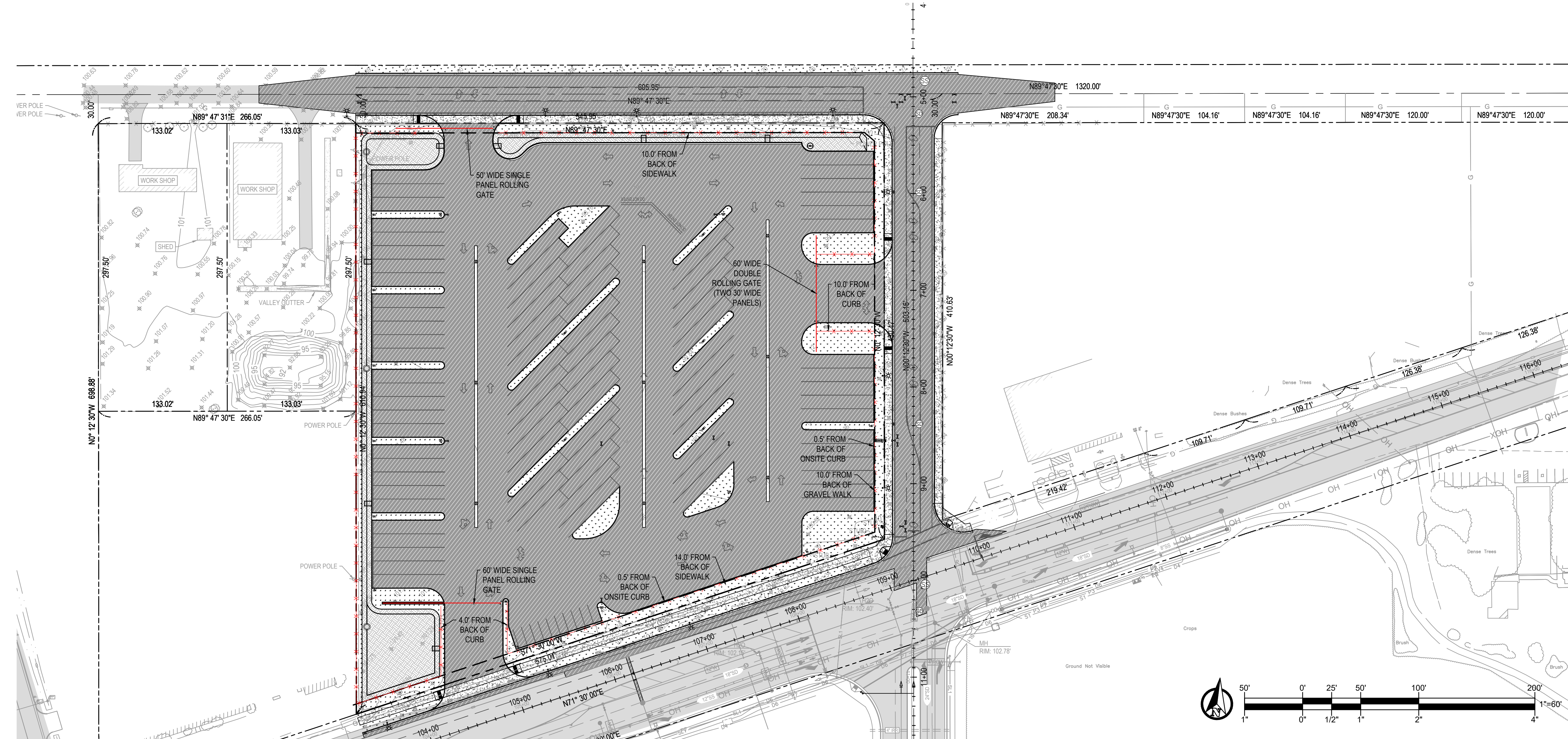
**PRELIMINARY**  
**NOT FOR CONSTRUCTION**

**NEW TRUCK/TRAILER LOT**  
SITE DEVELOPMENT

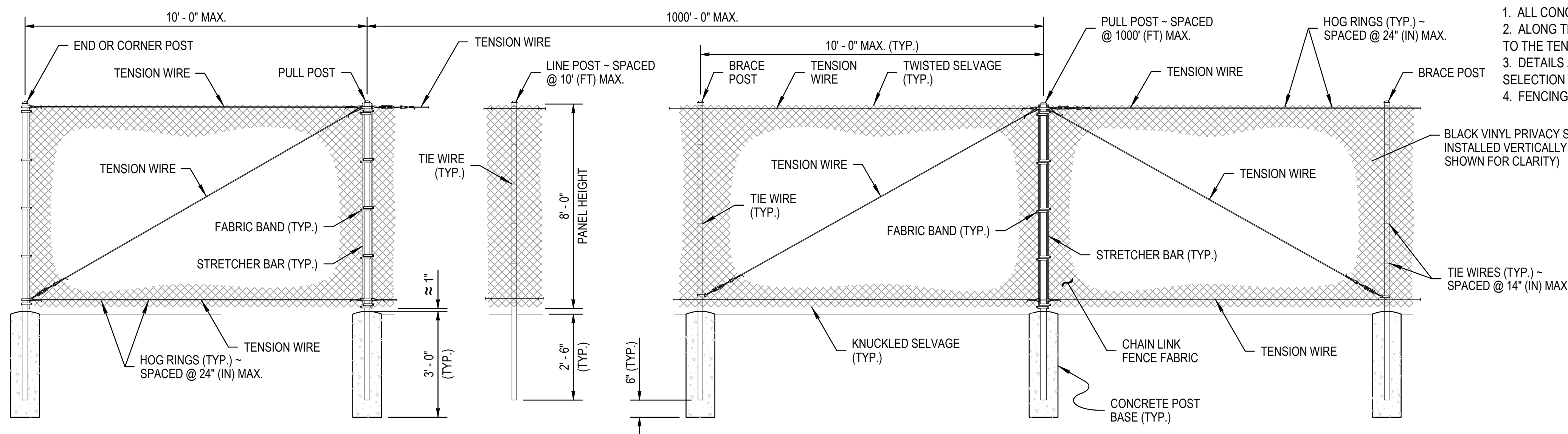
**FENCE EXHIBIT**

3303 YOSEMITE AVE  
LATHROP, CALIFORNIA 95330

REVISIONS		NO.	DATE	DESCRIPTION
PROJECT NO.:				23E-045
DRAWN BY:				MA
CHECKED BY:				JB/RW
DATE:				12/19/2025
SHEET NO.:				<b>EXH A</b>
SHEET:				A



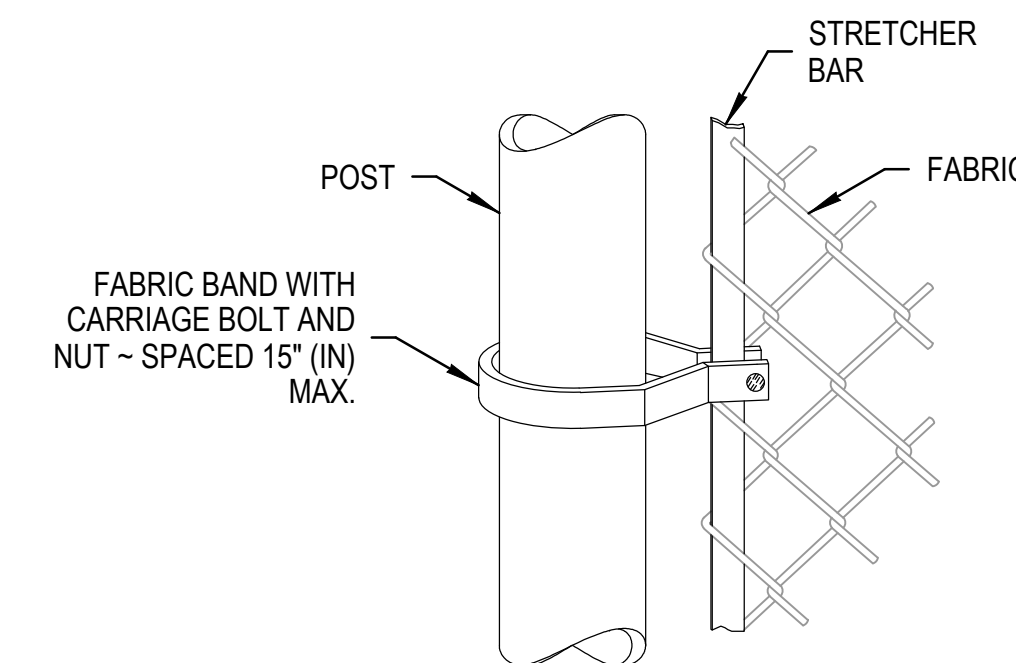
**FENCE PLAN**



**CHAINLINK FENCE DETAIL**

**NOTES**

1. ALL CONCRETE POST BASES SHALL BE 10" (IN) MINIMUM DIAMETER.
2. ALONG THE TOP AND BOTTOM, USING HOG RINGS, FASTEN THE CHAIN LINK FENCE FABRIC TO THE TENSION WIRE WITHIN THE LIMITS OF THE FIRST FULL FABRIC WEAVE.
3. DETAILS ARE ILLUSTRATIVE AND SHALL NOT LIMIT HARDWARE DESIGN OR POST SELECTION OF ANY PARTICULAR FENCE TYPE.
4. FENCING SHALL BE USED FOR SECURITY AND BOUNDARY DELINEATION ONLY.

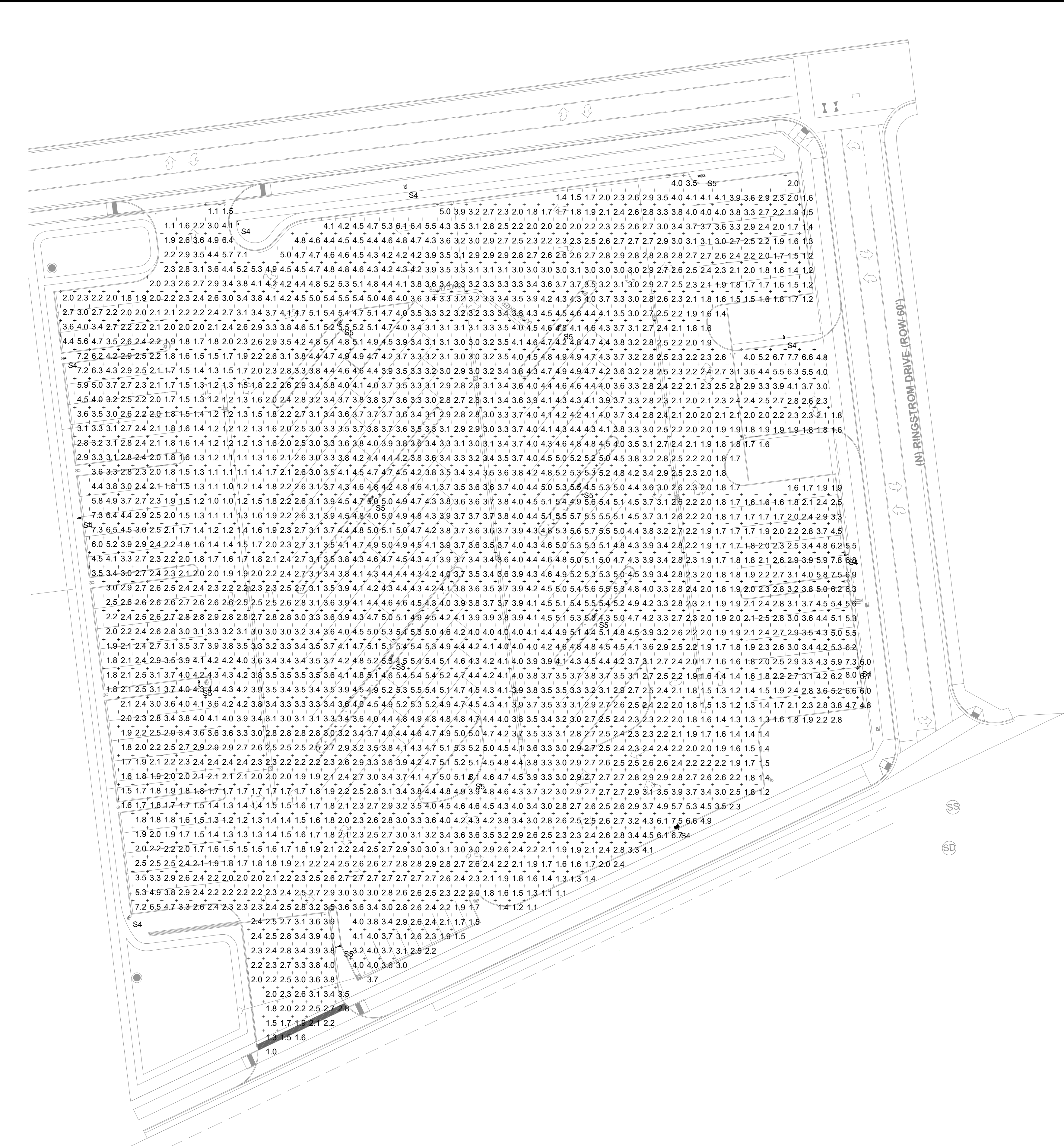


**METHOD OF FASTENING  
STRETCHER BAR TO POST**

SCALE: NTS

**A**





1 PHOTOMERTIC STUDY

SCALE: 1" = 40'-0"

Schedule								
Symbol	Label	Image	QTY	Manufacturer	Catalog	Description	Lamp Output	LLF
	S4		9	Lithonia Lighting	RSX3 LED P3 40K R4	RSX Area Fixture Size 3 P3 Lumen Package 4000K CCT Type R4 Distribution	35807	0.9
	S5		10	Lithonia Lighting	RSX3 LED P3 40K R5	RSX Area Fixture Size 3 P3 Lumen Package 4000K CCT Type R5 Distribution	36287	0.9

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
parking		3.2 fc	8.0 fc	1.0 fc	8.0:1	3.2:1

SINGLE LUMINAIRE  
SEE SCHEDULE  
VOLTAGE: 240V  
FINISH: BRONZE

4" SQ. STEEL POLE PRIMED &  
PAINTED 2 COATS OF QUALITY  
ENAMEL IN FACTORY OF COLOR  
TO MATCH HEAD. TOUCH UP BY  
ELECTRICAL CONTRACTOR.

BASE COVER SECURELY AFFIXED  
BY TAMPERPROOF SCREWS  
WEEPHOLE AT BASE

(3)#3 REBAR HOOPS  
WITHIN TOP 5" OF BASE  
(4)3/4"DIAx18" LONG ANCHOR  
BOLTS W/LEVELING NUTS  
W/8"DIA BOLT CIRCLE

HARDSCAPE  
SEE ARCH.  
SITE PLAN

CONDUIT W/ CABLES  
PER PLAN. PROVIDE  
GROUND LUGS AT POLE BASE.

(8)#3 REBAR W/#2 HOOPS 8" O.C.  
HOOPS TO BE 18" DIA.  
CONCRETE BASE 24" DIA. MIN.  
(3000 PSI CONC.)

2 LIGHT STANDARD RAISED BASE

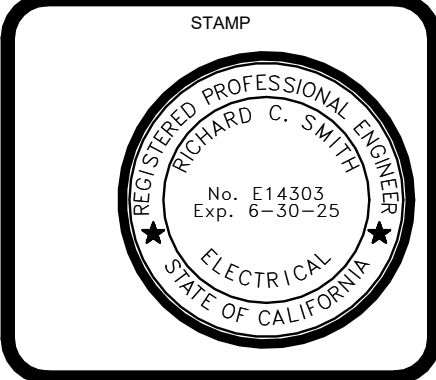
SCALE: NTS

REVISIONS	BY

HCS  
Engineering  
INC.  
50 Years  
4532 Feather River Dr. #F, Sutter, CA 95693  
209-468-8270 | www.hcs-eng.com

TITLE:  
PHOTOMETRIC STUDY

PROJECT:  
PROPOSED TRUCK YARD FOR:  
3303 YOSEMITE AVE  
PROJECT LOCATION:  
3303 YOSEMITE AVE  
LATHROP, CA



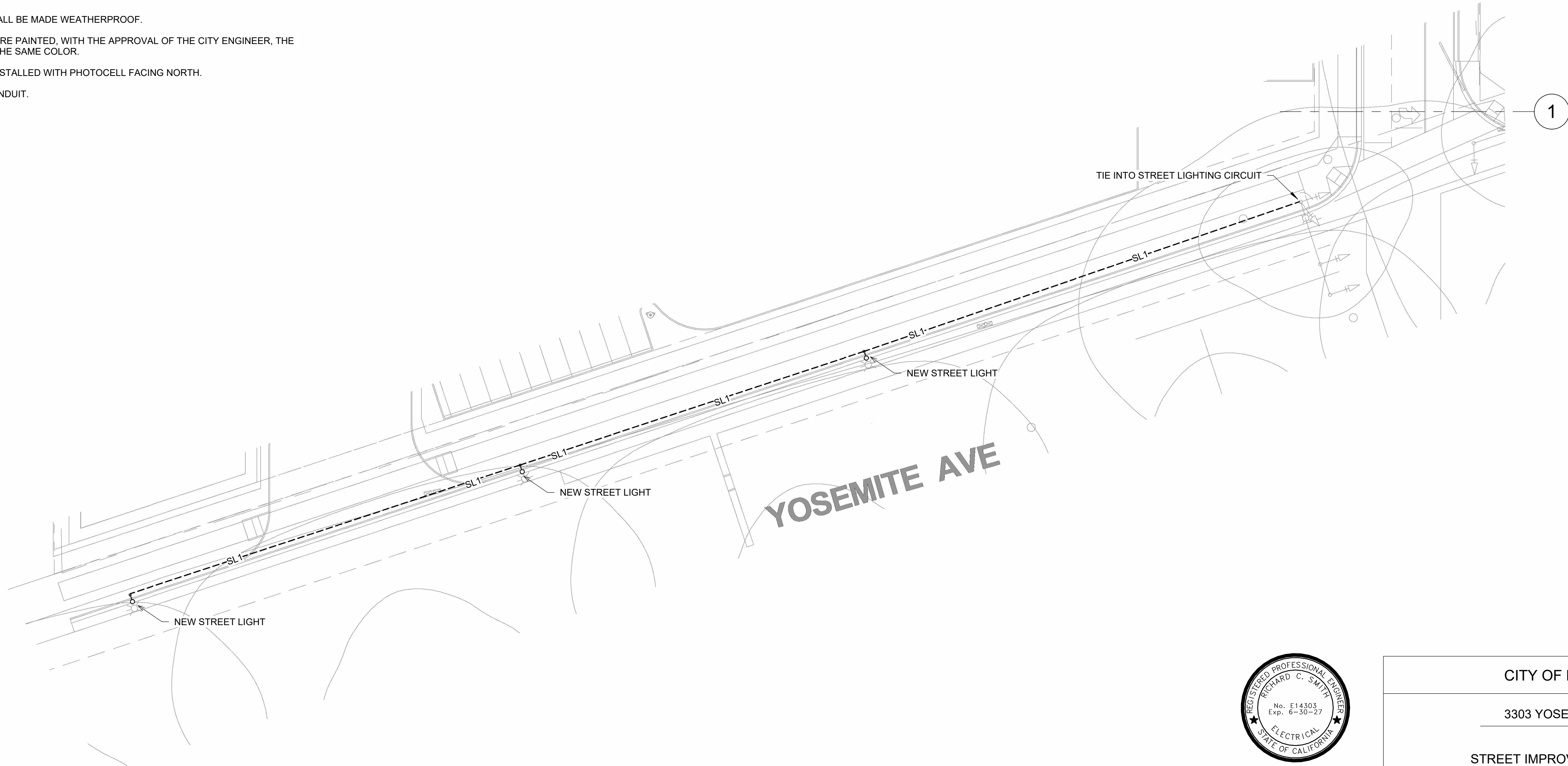
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SCALE As indicated
JOB 2019-xxx
SHEET

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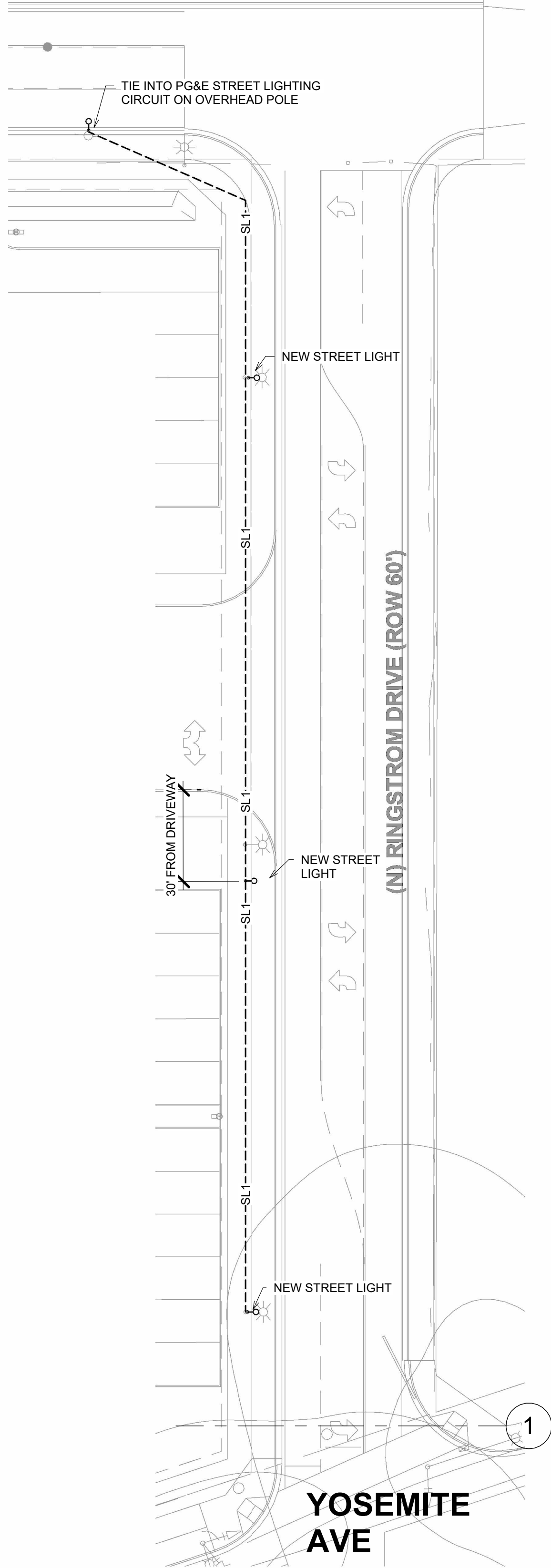


STREET LIGHTING NOTES:

- LUMINAIRES SHALL BE LEOTEK LED GREEN COBRA STREET LIGHTS PER C.O.L STANDARD DETAIL NO. E-6.
- LUMINAIRES SHALL HAVE 2-BOLT INTERNAL SLIP FITTED MOUNT FOR ATTACHING TO MAST ARM.
- STREET LIGHT STANDARDS SHALL BE PLACED AT ALL INTERSECTIONS, AND AT THE ENDS OF ALL CUL-DE-SACS AND COURTS 70'-0" OR MORE IN DEPTH. STANDARDS SHALL BE EVENLY SPACED, DEPENDING ON BLOCK LENGTHS, AT A DISTANCE OF NOT MORE THAN 250'-0" APART. ACTUAL STREET LIGHT LOCATIONS SHALL BE DETERMINED BY MAINTAINING A MIN. LUMINATION OF 0.1 FOOTCANDLE BETWEEN STREET LIGHT STANDARDS. STAGGERED SPACING SHALL BE USED WHENEVER POSSIBLE.
- DIMENSIONS SHOWN ARE TO CL OF POLE.
- 18" MIN. CLEARANCE FROM FOC TO FACE OF POLE.
- WIRING SHALL BE UNDERGROUND IN 1-1/2" UL APPROVED SCHEDULE 40 PVC CONDUIT (SPECIAL CONDITION MAY REQUIRE VARIATION OF CONDUIT SIZE AS APPROVED BY THE CITY ENGINEER) AND SHALL BE INSTALLED AS DIRECTED BY THE CITY OF LATHROP. ALL CONDUCTORS SHALL BE COPPER. ALL GROUNDING CONDUCTORS SHALL BE BARE OR HAVE A GREEN INSULATION. ALL GROUNDED CONDUCTORS SHALL HAVE A WHITE OR NATURAL GRAY INSULATION. PHASE TAPPING AND/OR PAINTING ARE NOT ALLOWED. (ALL COLORING MUST BE PERMANENT ALONG THE ENTIRE LENGTH OF THE CONDUCTOR.)
- NORMALLY, OVERHEAD SERVICE TO A STREET LIGHT IS NOT ALLOWED. REFER TO C.O.L. STANDARD DETAIL NO. E-7 FOR UNDERGROUND SERVICE REQUIREMENTS.
- CONDUIT SYSTEM SHALL BE COMPLETE FROM THE STREET LIGHT TO THE P.G.&E. SOURCE.
- ALL MATERIALS AND INSTALLATION SHALL BE IN ACCORDANCE WITH SECTIONS 86-1, 86-2, AND 86-6 STATE OF CALIFORNIA STANDARD SPECIFICATIONS (CALTRANS).
- WATERPROOF FUSE HOLDERS AND FUSES (BAF15, BLF15) SHALL BE INSTALLED IN THE BASE OF THE POLE ADJACENT TO THE HAND HOLE IN EACH POLE. FUSE HOLDERS FOR THE 120 VOLT SERVICE SHALL BE "BUSS HEX" TYPE OR EQUAL. FUSE HOLDERS FOR 208/240 VOLT SERVICE SHALL BE "BUSS HEX TYPE" OR EQUAL. FUSE HOLDERS SHALL HAVE WIRE LUGS THAT ARE APPROPRIATE FOR THE WIRE SIZE. TYPE "AA" FOR WIRES UP TO #8 AND TYPE "AB" FOR #6 AND #4 WIRES. FUSE HOLDERS SHALL BE WATERPROOFED BY USING AN INSULATING BOOT (BUSSMAN P IN 1 A0512) OR EQUAL. EACH LUMINAIRE ON A DOUBLE MAST ARM POLE SHALL HAVE A SEPARATE FUSE AND FUSE HOLDER.
- WHEN SERVICING A SINGLE LUMINAIRE, A MINIMUM OF NO. 12 COPPER WIRE SHALL BE USED FROM THE PULLBOX TO THE FUSE HOLDER(S), AND FROM THE FUSE HOLDER(S) TO THE HEAD. WHERE MULTIPLE LUMINAIRES ARE BEING SERVED, A MINIMUM OF NO. 10 COPPER WIRE SHALL BE USED FROM THE PULLBOX TO THE FUSE HOLDER(S), AND A MINIMUM OF NO. 12 COPPER WIRE FROM THE FUSE HOLDER(S) TO EACH HEAD.
- WIRE IN UNDERGROUND CONDUIT SHALL NOT BE SMALLER THAN NO. 10 COPPER SERVING A SINGLE LUMINAIRE WITHIN 150'-0" OF THE SERVICE POINT; NO. 8 COPPER OR LARGER SERVING 2 OR MORE LUMINAIRES.
- THE OWNER OR CONTRACTOR OF ANY LIGHTING PROJECT IS REQ'D TO PAY P.G.&E. THE CONNECTION FEE BEFORE ACCEPTANCE BY THE CITY.
- ALL BONDING/GROUNDING WIRE SHALL BE INSTALLED AS SHOWN ON C.O.L STANDARD DETAIL NO. E-7, "ELECTROLIER BASE".
- ALL CONDUCTOR SPLICES SHALL BE MADE WEATHERPROOF.
- WHEN STREET LIGHT POLES ARE PAINTED, WITH THE APPROVAL OF THE CITY ENGINEER, THE LUMINAIRES SHALL BE PAINTED THE SAME COLOR.
- PHOTOCELL UNIT SHALL BE INSTALLED WITH PHOTOCELL FACING NORTH.
- INSTALL PULL TAPE IN ALL CONDUIT.



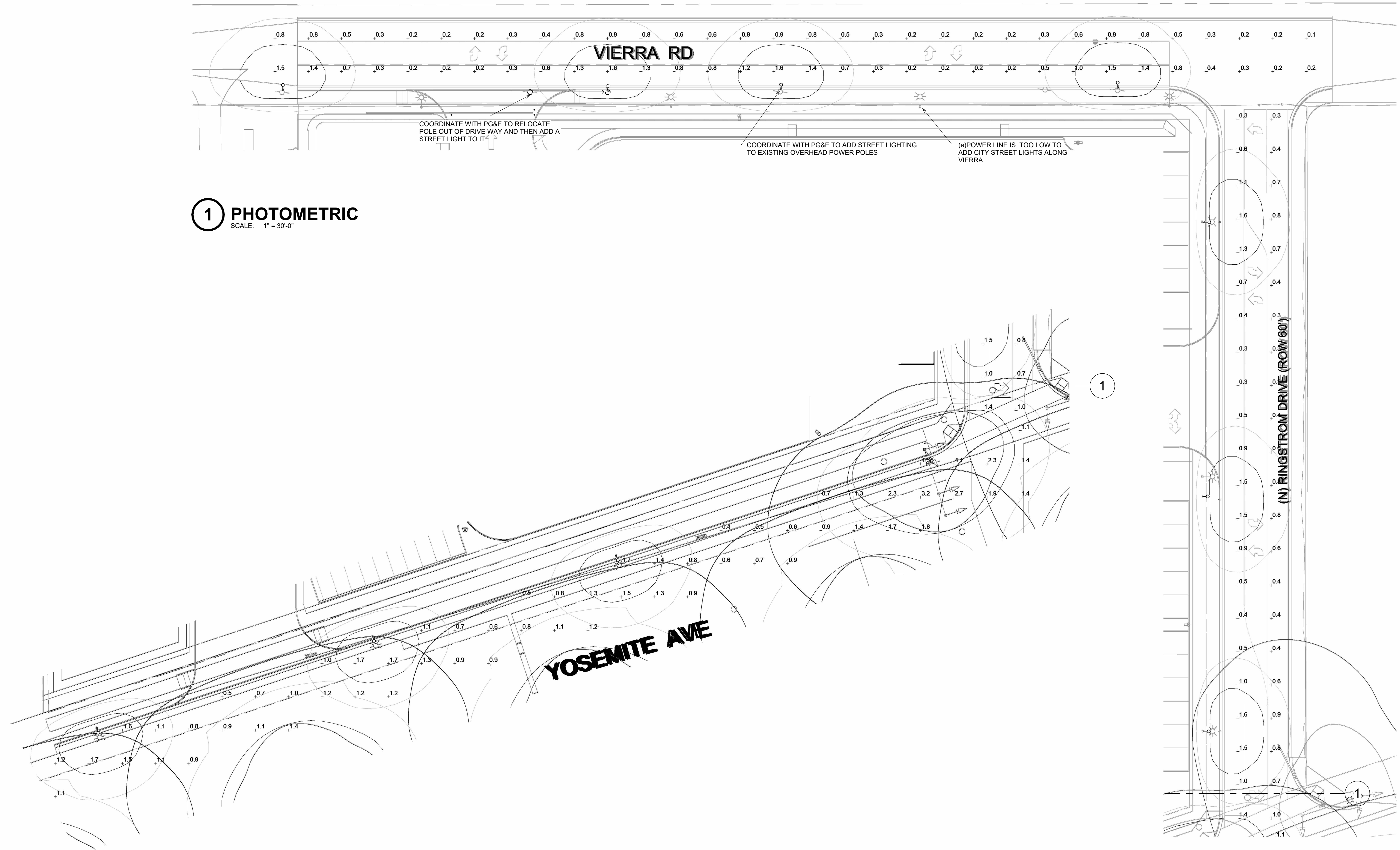
**1 STREET LIGHTING PLAN**  
SCALE: 1" = 30'-0"



**HCS**  
Engineering inc.  
50 years

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CITY OF LATHROP				STREET IMPROVEMENT PLANS				
3303 YOSEMITE AVE				3303 YOSEMITE AVE				
STREET IMPROVEMENT PLANS				DEPARTMENT OF PUBLIC WORKS CITY OF LATHROP, CALIFORNIA				
PROJECT TITLE								
REVISIONS				PUBLIC WORKS ENGINEERING LATHROP, CALIFORNIA	JOB NO.: 4231		SHEET NO.	
NO.		DESCRIPTION			DATE: MAR 2025		E1	
		DATE			SCALE: AS SHOWN			
					DRAWN: RCS		SHEET OF 9	
					DESIGN: RCS			
					CHECKED: RCS			
						FILE 4231		



**1 PHOTOMETRIC**  
SCALE: 1" = 30'-0"



**HCS**  
Engineering inc.  
50 years  
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CITY OF LATHROP				STREET IMPROVEMENT PLANS			
PHOTOMETRIC STUDY				PHOTOMETRIC STUDY			
STREET IMPROVEMENT PLANS PROJECT TITLE				DEPARTMENT OF PUBLIC WORKS CITY OF LATHROP, CALIFORNIA			
REVISIONS				JOB NO.: 4231		SHEET NO.	
NO.	DESCRIPTION	DATE	BY	DATE: MAR 2025		E2	
				SCALE: AS SHOWN		SHEET OF 9	
				DRAWN: RCS		FILE 4231	
				DESIGN: RCS			
				CHECKED: RCS			