



City Council Chamber
390 Towne Centre Drive
Lathrop, California
(209) 941-7200
www.ci.lathrop.ca.us

Planning Commissioners

Tosh Ishihara, Chair
Ash Ralmilay, Vice Chair
Paul Camarena
George Jackson
Gloryanna Rhodes

City Staff

Rick Caguiat, Community Development Director &
Planning Commission Secretary
James Michaels, Senior Planner
Trent DaDalt, Associate Planner
David Niskanen, Consultant Planner
Salvador Navarrete, City Attorney
Maria Hermosilla, Executive Assistant

IMPORTANT NOTICE REGARDING THIS MEETING & COVID-19

This public meeting will be conducted in person; all members of the Planning Commission will attend in person. Members of the public are welcomed in person. This meeting will also be available for public participation by teleconference via ZoomGov at the following link:

<https://www.zoomgov.com/j/1606358357?pwd=eEhNemtSZThyaFIZYUImc1RyR29hdz09>

- ✚ During the meeting, those joining by ZoomGov, will be allowed to speak prior to the close of public comment on an item. If you are using this method, please "raise the hand" feature to inform the meeting host you wish to speak on the matter. Please ensure your computer speaker and microphone are fully functional.
 - ✚ Meeting ID: 160 635 8357 / Passcode: Lathrop
 - ✚ For audio only, call-in number: +1 (669) 254 5252. To request to speak (same as the "raise hand" feature) press *9 / when the host calls your name, press *6 to unmute.
- If you are not able to attend the meeting in person or virtually - public comment/questions will be accepted by email to Rick Caguiat, Community Development Director and Planning Commission Secretary at planning@ci.lathrop.ca.us.
 - Questions or comments must be submitted by 3:00 p.m., on the day of the meeting.
 - To address Planning Commission in person, please submit an orange card to the Planning Commission Secretary indicating name, address, and number of the item upon which a person wishes to speak.

Planning Commission Meetings are live-streamed (with Closed Captioning) on Comcast Cable Channel 97 and on the City's website at <https://www.ci.lathrop.ca.us/citycouncil/page/live-stream>

Addressing the Planning Commission

Any person may speak once on any item under discussion by the Planning Commission after receiving recognition by the Chair. Orange speaker cards will be available prior to and during the meeting. To address the Planning Commission, a card must be submitted to the Planning Commission Secretary indicating name, address and number of the item upon which a person wishes to speak. When addressing the Planning Commission, please walk to the lectern located in front of the Planning Commission. State your name and address. In order to ensure all persons have the opportunity to speak, a time limit will be set by the Chair for each speaker (see instructions on speaker form). In the interest of time, each speaker may only speak once on each individual agenda item; please limit your comments to new material; do not repeat what a prior speaker has said.

Citizen's Forum

Any person desiring to speak on a matter, which is not scheduled on this agenda, may do so under the Public Comment section. Please submit your orange speaker card to the Planning Commission Secretary prior to the commencement of Public Comment, or submit your request to speak via the "raise hand" feature in ZoomGov. Only those who have submitted speaker cards, or have expressed an interest to speak, prior to the conclusion of Public Comment will be called upon to speak. Please be aware the California Government Code prohibits the Planning Commission from taking any immediate action on an item, which does not appear on the agenda, unless the item meets stringent statutory requirements. The Chair will limit the length of your presentation (see instructions on speaker form) and each speaker may only speak once on this agenda item.

Information

If you wish to appeal a decision of the Planning Commission, you must do so within ten (10) calendar days following the meeting. Please contact the Planning Division at (209) 941-7290 for information regarding the appeal procedure.

NOTE: If you challenge the nature of a proposed action in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Planning Commission at, or prior to, the public hearing.

This agenda was posted at least 72 hours in advance of the scheduled meeting at the following locations: *City Hall, Community Center, Generations Center, Senior Center, and "J" Street and Somerston Fire Department Offices and the City website.* To obtain a hard copy of this agenda packet, please visit the Community Development Department counter located at 390 Towne Centre Drive, Lathrop, CA 95330, or you may also call (209) 941-7290 to have it sent via mail or e-mail. The agenda packet is available on the "Agendas & Minutes" page of the City of Lathrop website, please follow the link: <https://www.ci.lathrop.ca.us/meetings>



In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting please call (209) 941-7290. Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to the meeting (28CFR 35.102.35.104 AD Title II).

CITY OF LATHROP
PLANNING COMMISSION
Agenda

REGULAR MEETING
WEDNESDAY, APRIL 17, 2024 AT 6:00 P.M.
CITY COUNCIL CHAMBER
390 TOWNE CENTRE DRIVE, LATHROP, CA 95330

1. CALL TO ORDER

2. ROLL CALL

3. PLEDGE OF ALLEGIANCE

4. DECLARATION OF CONFLICT OF INTEREST

5. PUBLIC COMMENT

Persons who wish to speak to the Commission regarding an item that is not on tonight's agenda may do so at this time. Upon recognition by the Chairperson, please step forward to the podium; state your name, city of residence and subject matter.

6. AGENDA MODIFICATIONS

Items on the agenda requested to be added, deleted, or continued will be announced at this time.

7. APPROVAL OF MINUTES

7.1 March 20, 2024 – Regular Meeting

8. PUBLIC HEARING ITEMS

8.1 River Islands Community Stadium – Conditional Use Permit No. CUP-24-31 & Site Plan Review No. SPR-24-32

Consider Adoption of a Resolution approving the Conditional Use Permit and Site Plan Review application to construct and operate the River Islands Community Stadium located in the River Islands Town Center District to host football and soccer games, and various community-wide events.

Location: Northeast corner of the future extensions of Commercial Street and Garden Farms Avenue within the Town Center District (Phase 1 of River Islands at Lathrop) (APN: 213-310-43)

ENVIRONMENTAL STATUS: The proposed project falls within the scope of the previously certified Subsequent Environmental Impact Report (SEIR) (SCH No. 1993112027) for the River Islands at Lathrop Project; therefore, no further environmental review is required in accordance with the California Environmental Quality Act.

9. SCHEDULED ITEMS

9.1 River Islands – Town Center Architectural Design Guidelines and Development Standards (DG/DS) NDP-23-38

Consider Adoption of a Resolution Approving the Town Center Architectural Design Guidelines and Development Standards for River Islands at Lathrop (Phase 1)

Location: Town Center District (Phase 1 of River Islands at Lathrop)

ENVIRONMENTAL STATUS: The proposed project falls within the scope of the previously certified Subsequent Environmental Impact Report (SEIR) (SCH No. 1993112027) for the River Islands at Lathrop Project; therefore, no further environmental review is required in accordance with the California Environmental Quality Act.

10. STAFF COMMENTS

11. PLANNING COMMISSION COMMENTS

12. ADJOURNMENT

**CITY OF LATHROP
PLANNING COMMISSION
REGULAR MEETING
MARCH 20, 2024**

MINUTES

1. CALL TO ORDER

Meeting was called to order by Chair Ishihara for the March 20, 2024 Regular Planning Commission meeting at 6:01 P.M.

2. ROLL CALL

PRESENT: Ishihara, Camarena, Jackson, Ralmilay

ABSENT: Rhodes

Staff Present: Salvador Navarrete, City Attorney; Rick Caguiat, Community Development Director; Brad Taylor, City Engineer; James Michaels, Senior Planner; Trent DaDalt, Associate Planner; David Niskanen, Contract Planner and Maria Hermosilla, Executive Assistant

3. PLEDGE OF ALLEGIANCE

4. DECLARATION OF CONFLICT OF INTEREST

None

5. PUBLIC COMMENT

None

6. AGENDA MODIFICATIONS

None

7. APPROVAL OF MINUTES

7.1 December 20, 2023 – Regular Meeting

(M) Jackson (S) Camarena to approve the December 20, 2023 minutes

Ayes: Ishihara, Jackson, Ralmilay, Camarena
Noes: None
Absent: Rhodes
Abstain: None
Motion Carries: 4-0-1-0

Commissioner Ralmilay pointed an error on the date of the Agenda. Staff noted.

8. PUBLIC HEARING ITEMS

None

9. SCHEDULED ITEMS

9.1 River Islands Town Center Neighborhood Design Plan No. NDP-23-38

Mr. Niskanen made the staff report presentation.

Commissioner Camarena voiced his concern on possible pedestrian traffic issues in the area. Mr. Taylor replied that the existing bridge, traffic signals and pedestrian crossings would help control pedestrian and vehicle traffic flow in the area. Commissioner Camarena is apprehensive that the expected residential densities could create traffic issues in the future. Mr. Taylor explained that all traffic analysis done in the development were based on full build out. Susan Dell’Osso, president of River Islands Development, came forward to explain the different pedestrian pathways that could be taken including the pedestrian bridge over River Islands Pkwy. Commissioner Camarena asked what would be the solution if pedestrian traffic becomes a problem in the future. Mr. Taylor replied that there are several avenues that could be considered and there are flexibilities on the traffic measures.

Commissioner Camarena asked how traffic is determined upon development build out. Mr. Taylor replied that all current and future traffic analyses are based on build out. Commissioner Camarena asked if pedestrian bridges could be options in other intersections. Ms. Dell’Osso replied that pedestrian bridges are cost prohibitive, but could be taken into consideration if the need arises.

MOTION

Moved by Commissioner Ralmilay, Second by Commissioner Jackson to adopt Resolution 23-1 approving the Town Center Neighborhood Development Plan (NDP) For Stage 2a, Phase 1 of the River Islands at Lathrop Project (NDP-23-38):

Ayes: Ishihara, Ralmilay, Camarena, Jackson,
Noes: None
Absent: Rhodes
Abstain: None
Motion Carries: 4-0-1-0

9.2 Amendment to the Old River District Neighborhood Development Plan No. NDP-24-30

Mr. DaDalt made the staff report presentation.

Commissioner Camarena asked what is changing from the approved design. Staff went over the design changes and explained that the amendment is to allow builders to fit the current market demand.

Commissioner Jackson commented that the amendment seems to make the development very tight. Ms. Dell'Osso pointed out that the amendments were made to meet certain density requirements.

MOTION

Moved by Commissioner Jackson, Second by Commissioner Ralmilay to adopt Resolution 24-2 approving an Amendment to the River Islands Old River District Architectural Design Guidelines and Development Standards (NDP-24-30):

Ayes: Ishihara, Ralmilay, Camarena, Jackson
Noes: None
Absent: Rhodes
Abstain: None
Motion Carries: 4-0-1-0

9.3 General Plan Housing Element Annual Progress Report for Calendar Year 2023

Mr. Niskanen made the staff report presentation.

Commissioner Jackson asked what the average turnaround time for a building permit. Mr. Niskanen replied that the process is very quick from submission to completion.

Mr. Jackson asked if Lathrop’s timeline is better than other Cities. Mr. Caguiat replied that historically, the City has handled around 900+ homes in a year and that staff is completely capable of handling expeditious processing, whenever required.

MOTION

Moved by Commissioner Ralmilay, Second by Commissioner Jackson to adopt Resolution 23-3 recommending City Council receive and accept the Housing Element Annual Progress Report for Calendar Year 2023 and authorize staff to submit the report to the Governor’s Office of Planning and Research and the California Department Of Housing and Community Development:

Ayes: Ishihara, Ralmilay, Camarena, Jackson
Noes: None
Absent: Rhodes
Abstain: None
Motion Carries: 4-0-1-0

10. STAFF COMMENTS

Staff gave updates on various projects within the City.

11. PLANNING COMMISSION COMMENTS

Commissioner Jackson urged staff to actively advertise City activities to residents to promote community awareness.

Commissioner Ralmilay asked for an update on the Golden Valley Pkwy Bridge. Mr. Taylor replied that staff is still working on permits with Caltrans and construction is anticipated to start by next year.

Commissioner Camarena asked about the proposed diamond interchange. Mr. Taylor replied that it is in the design phase and City is seeking federal funding for the project.

Chair Ishihara commended the expeditious response time of first responders. He also thanked staff for their hard work.

12. ADJOURNMENT

Chair Ishihara adjourned the meeting at 7:10 PM.



PLANNING COMMISSION
STAFF REPORT

DATE: April 17, 2024

APPLICATION NO: River Islands Community Stadium – Conditional Use Permit No. CUP-24-31 & Site Plan Review No. SPR-24-32

LOCATION: The project is generally located at the northeast corner of the future extensions of Commercial Street and Garden Farms Avenue within the Town Center District (Phase 1 of River Islands at Lathrop) (APN: 213-310-43)

REQUEST: Planning Commission to consider Adoption of a Resolution approving the Conditional Use Permit and Site Plan Review application to construct and operate the River Islands Community Stadium located in the River Islands Town Center District to host football and soccer games, and various community-wide events.

APPLICANT: River Islands Development, LLC
73 W. Stewart Road
Lathrop, CA 95330

PROPERTY OWNER: Califia, LLC
73 W. Stewart Road
Lathrop, CA 95330

CEQA STATUS: The proposed project falls within the scope of the previously certified Subsequent Environmental Impact Report (SEIR) (SCH No. 1993112027) for the River Islands at Lathrop Project; therefore, no further environmental review is required in accordance with the California Environmental Quality Act.

SUMMARY:

The applicant is requesting approval of the Conditional Use Permit and Site Plan Review application to construct and operate the River Islands Community Stadium located in the River Islands Town Center District of River Islands Phase 1 to host football and soccer games, and various community-wide events.

Staff recommends the Planning Commission adopt Resolution No. 24-5 approving the Conditional Use Permit (CUP) and the Site Plan Review (SPR) application to allow the construction of the River Islands County Stadium.

SITE DESCRIPTION

The River Islands Town Center District is generally located at the northeast corner of the River Islands Phase 1 development, with River Islands Parkway traversing the District, Somerston Parkway marking its westerly boundary, Old River its northern boundary, the San Joaquin River its eastern boundary, and the Community at South River Bend neighborhood its southern boundary. The District already contains two schools, the River Islands Welcome Center, the City Police Station, temporary soccer fields and Islanders Field (see Attachment 4).

The River Islands Community Stadium proposal comprises of a 6.7-acre site area (within a 90-acre parcel), which will be located (where the temporary soccer fields currently exist) approximately 630 feet north of River Islands Parkway, at the northeast corner of the future extensions of Commercial Street and Garden Farms Avenue roadways, and west of Islanders Way and Islanders Field (see Attachment 5). The applicant, River Islands Development, LLC., is currently in the process of constructing the future extensions of Commercial Street and Garden Farms Avenue and utility improvements for the Town Center District. Construction of these future extensions and utility improvements have been made possible (prior to the proposed CUP and SPR application) due to the City Council's recent approval (March 25, 2024) of the Final Map for Tract 4167 within the Town Center District of Phase 1 for the River Islands project.

BACKGROUND

In 2003, the River Islands project received various major entitlements including Certification of a Subsequent Environmental Impact Report (SEIR), revised West Lathrop Specific Plan (WLSP), Urban Design Concept (UDC), and Phase 1 Preliminary Development Plan (PDP). The project envisioned Phase 1 to be developed with an Employment Center, a Town Center, residential development, commercial development, schools, open space, and sports facilities.

At its May 30, 2018 meeting, the City Planning Commission approved the Town Center Plan, which provided a conceptual layout of the Town Center District that would include a variety of uses, including residential, mixed use, two community parks, and various amenities. The approval of the original Town Center Plan layout allowed for the relocation of the Welcome Center and associated overflow parking area, the temporary soccer fields, and the development of a baseball stadium. At that same meeting, River Islands Development, LLC. (the developer of the River Islands at Lathrop master planned community), had also received approval of a Conditional Use Permit to construct and operate the baseball stadium for the Town Center. Since then, the baseball stadium was constructed and has been operating (providing organized and competitive baseball programs) since 2020 and is known today as "Islanders Field".

At its March 20, 2024 meeting, the City Planning Commission approved the Neighborhood Development Plan (NDP) for the Town Center District, which complements the River Islands Urban Design Concept (UDC) in directing development for the Town Center District. As the Town Center NDP provides guidance as to how the public facilities for the Town Center (i.e. parks, open space and trails, roadway facilities, etc.) would be designed and constructed by the master developer, a separate Town Center Design Guidelines and Development Standards (DG/DS) document will also be prepared to establish specific architectural design guidelines and development standards for the Town Center District. It is anticipated that the DG/DS will be presented to the Planning Commission for review and approval in the near future to complement both the NDP and the UDC. The Town Center NDP and future DG/DS will replace the previous 2018 Town Center Plan.

ANALYSIS

The proposed project involves the construction of a 3,730-seat stadium that will be used to host football and soccer games, and various community-wide events. The proposal requires the applicant to first secure the approval of two entitlements from the City: a Conditional Use Permit (CUP) and a Site Plan Review application. As the project site area is currently being utilized as temporary soccer fields, the north half of the site will be replaced with the community stadium while the south half of these fields (south of the future extension of Garden Farms Avenue) will remain utilized for soccer until such time in the future when it may develop with a more permanent use.

Conditional Use Permit Considerations

The project site and the adjacent surrounding properties are designated for Mixed Use development and are zoned “MU-RI, Mixed Use Town Center”. Private and public recreational uses are considered conditionally permitted uses in the MU-RI zone and the use of the community stadium is considered as a recreational use. The proposed CUP request is intended to host the following events/activities within the stadium: all sports-related activities including football and soccer practices/games, educational or civic gatherings such as graduations or State of the City presentations, civic events such as National Night Out, cultural events such as Lathrop Days, charitable events such as Heart Walks, concerts of up to 500 attendees, and community events such as Movies in the Park, Farmers Market, and Garage Sales. The applicant would be permitted to host these events and activities daily between 7 am – 10 pm. Any other activity/event desired to be held at the stadium that is not listed with this CUP request would need the approval of separate Temporary Use Permit as determined by the Community Development Director. The proposed CUP for the Community Stadium has no expiration date once the use is constructed and operational since it is a permanent use.

The expected amount of traffic to be generated by land uses within the Town Center District was previously analyzed in the SEIR for River Islands Phase 1. It is expected that it is highly unlikely that the event/activities associated with the community stadium would create significant traffic impacts. If at any time the City Engineer determines the proposed use creates peak hour (AM/PM) traffic impacts to the surrounding area or at such time the first permanent retail, office, mixed-use or high density residential use is proposed for the Town Center, the applicant would be required

to retain a qualified traffic engineer to provide a Traffic Study of the Town Center, including the community stadium, to determine any adverse impacts and propose relevant mitigations. This has been added as a condition of approval for the project.

The CUP process allows for special consideration of the proposed community stadium and to determine land use compatibility for the subject site. In granting the CUP, the Planning Commission must make certain findings as contained in Section 17.112.060 of the Lathrop Municipal Code (which are included in the attached Resolution). Staff supports the CUP request for the following reasons:

- The community stadium will serve as a catalyst for other future development within the Town Center District such as the possibility of restaurants, hotel, offices, and other commercial opportunities to serve Lathrop residents.
- Use of the stadium (through events and activities) will provide opportunities for Lathrop residents to gather and connect with each other, thereby fostering a sense of community, creating a feeling of place and destination for the Town Center.
- The community stadium use is consistent with both the planned future uses of the vicinity and the existing residential uses to the west and southeast.

Site Plan Review Considerations

The Site Plan Review is required for the review and approval of the architecture and aesthetics associated with the proposed improvements for the community stadium including: the 3,730-seat stadium with a 689 sq.ft. entry gateway structure, stadium lighting, an artificial turf (“field turf”) athletic field, two sets of bleachers (12,750 sq.ft and 7,450 sq.ft, respectively), two sets of locker rooms (6,256 sq.ft. and 3,462 sq.ft. respectively), two concessions buildings, restroom facilities, landscaping, lighted parking lot areas (approximately 244 parking spaces), and storage buildings (see Attachments 6-8).

It is anticipated that the project improvements are expected to be constructed in two phases with the initial parking areas, access, utilities, the athletic field and seating completed in the first phase by the Fall of 2024, and the second phase including the remaining parking areas, entry gateway structure, and locker rooms by Summer of 2025. It is anticipated that the facility will be operational by the Fall of 2025. Staff supports the proposed architecture and aesthetics for this project as the improvements are designed meet the intent of both the Town Center Neighborhood Development Plan (NDP) and the Town Center Design Guidelines and Design Standards (DG/DS).

STDRC Recommendation

The community stadium proposal was presented to the Stewart Tract Design Review Committee (STDRC) on March 25, 2024. The STDRC voted unanimously to recommend the City Planning Commission approve the Conditional Use Permit to allow for the construction of the project and related event/activities.

Public Notice

A Notice of Public Hearing was published in the Manteca Bulletin on April 4, 2024. Staff also notified public hearing subscribers and property owners located within a 300-foot radius from the subject site area by U.S. mail, and no comments have been received in favor of or against the proposed project.


CEQA REVIEW

Environmental review for the River Islands project as a whole was completed in the certified Subsequent Environmental Impact Report (SEIR) for the River Islands at Lathrop Project in February 2003 (State Clearinghouse No. 1993112027). The SEIR considered the full range of potential environmental effects of urban development of the entire River Islands Project. The proposed project falls within the scope of the previous SEIR and does not require further environmental review under the California Environmental Quality Act (CEQA).

RECOMMENDATION:

Staff recommends that the Planning Commission Adopt Resolution No. 24-5, thereby approving Conditional Use Permit CUP-24-31 and Site Plan Review SPR-24-32, to construct and operate a community stadium located in the River Islands Town Center District area designed to host football and soccer practices/games, and various community-wide events, subject to the Conditions of Approval listed as Attachment 2 of the April 17, 2024 staff report.

Approvals:


James Michaels, Senior Planner

4/4/2024
Date


Rick Caguiat, Community Development Director

4/4/24
Date


Salvador Navarrete, City Attorney

4.4-2024
Date

Attachments:

1. PC Resolution No. 24-5
2. Conditions of Approval (CUP & SPR) – RI Community Stadium
3. STDRC Recommendation Letter for CUP dated March 25, 2024
4. Aerial Vicinity Map – River Islands Town Center District
5. Aerial Site Map – Proposed Community Stadium
6. Site Plan
7. Parking Plan
8. Stadium Building Elevations/Renderings

**CITY OF LATHROP
PLANNING COMMISSION RESOLUTION NO. 24-5**

**A RESOLUTION OF THE CITY OF LATHROP PLANNING COMMISSION
APPROVING A CONDITIONAL USE PERMIT AND A SITE PLAN REVIEW TO
CONSTRUCT AND OPERATE THE RIVER ISLANDS COMMUNITY STADIUM
LOCATED IN THE RIVER ISLANDS TOWN CENTER DISTRICT.
(CUP-24-31 AND SPR-24-32)**

WHEREAS, the City of Lathrop Planning Commission held a duly-noticed public hearing to consider the Conditional Use Permit and Site Plan Review request pursuant to the Lathrop Municipal Code; and

WHEREAS, River Islands Development, LLC (“RID”) has made application to the City for approval of a Conditional Use Permit and a Site Plan Review application to construct and operate a community stadium located in the River Islands Town Center District area designed to host football and soccer games, and community-wide events; and

WHEREAS, the proposed project includes the following improvements: a 3,730-seat stadium with an entry gateway structure, stadium lighting, an artificial turf (“field turf”) athletic field, two sets of bleachers, two sets of locker rooms, a press box, two concessions buildings, restrooms, landscaping, lighted parking lot areas, and storage buildings within the 6.7-acre site area; and

WHEREAS, the project site comprises of 6.7 acres within a 90-acre parcel (APN: 213-310-43) and is generally located at the northeast corner of the future extensions of Commercial Street and Garden Farms Avenue within the Town Center District of River Islands Phase 1; and

WHEREAS, the project site has a general plan land use designation of “MU-RI, Mixed Use Town Center” and a zoning designation of “MU-RI, Mixed Use Town Center”, which allows for public or private recreational uses subject to City approval of a Conditional Use Permit; and

WHEREAS, the project site is designated for Mixed Use in the WLSP and for a variety of urban uses, including recreational uses of both public and private ownership and maintenance; and

WHEREAS, the project site is protected by accredited levees from a 100-year flood event as defined by FEMA; and

WHEREAS, the City of Lathrop Planning Commission approved a Town Center Plan for the River Islands Town Center District in 2018, and recently adopted the Neighborhood Development Plan (NDP) and Architectural Design Guidelines and Development Standards (DG/DS) for the District (in March and April 2024, thereby superseding the Town Center Plan); and

WHEREAS, proper notice of this public hearing was given in all respects as required by law including the publishing of a legal notice of the hearing in the Manteca Bulletin on or about April 4, 2024, mailed the public notice to notify property owners located within a 300-foot radius from the project site boundary, emailed to the City's Public Hearing subscribers and interested parties and posted at three (3) locations accessible to the public and the City website; and

WHEREAS, the proposed community stadium project has been reviewed by City staff, who have recommended that the Planning Commission approve both CUP-24-31 and SPR-24-32, along with certain conditions of approval that will ensure that the community stadium project is consistent with the 2022 Lathrop General Plan, the 2003 West Lathrop Specific Plan (WLSP), the Lathrop Municipal Code (LMC), the River Islands Urban Design Concept (UDC), the River Islands Town Center Neighborhood Development Plan (NDP) and Architectural Design Guidelines and Development Standards (DG/DS), and other applicable regulations and standards (conditions included and incorporated herein as Attachment "2"); and

WHEREAS, the Planning Commission has reviewed all written evidence and oral testimony presented to date.

NOW, THEREFORE, BE IT RESOLVED, the Planning Commission of the City of Lathrop does hereby make the following findings:

1. California Environmental Quality Act (CEQA) Findings. Pursuant to Public Resources Code section 21083.3 and CEQA Guidelines Section 15183, the Planning Commission finds as follows:
 - a) The City Council approved the River Islands (RI) at Lathrop Project, certified the Final Subsequent Environmental Impact Report (SEIR) for the RI at Lathrop Project, adopted the 2003 West Lathrop Specific Plan (WLSP) and the Urban Design Concept, and approved a Phase 1 subdivision map and the 2003 Amended and Restated Development Agreement for the RI at Lathrop Project.
 - b) The above referenced RI Project documents, including the SEIR, have been updated and amended several times thereafter, most recently in 2018 with the adoption of the Sixth Addendum to the SEIR.
 - c) Environmental review for the River Islands project as a whole was completed in the certified Subsequent Environmental Impact Report (SEIR) for the River Islands at Lathrop Project in February 2003 (State Clearinghouse No. 1993112027). The SEIR considered the full range of potential environmental effects of urban development of the entire River Islands Project. The proposed community stadium project falls within the scope of the previous SEIR and does not require further environmental review under the California Environmental Quality Act (CEQA).

2. Conditional Use Permit Findings. Pursuant to Section 17.112.060 of the Lathrop Municipal Code (LMC), the Planning Commission finds as follows:
 - a) That there are circumstances or conditions applicable to the land, structure or use which makes the granting of a use permit necessary for the preservation and enjoyment of a substantial property right. *The River Islands developer is creating new recreational opportunities for its residents and the community stadium use will become essential component of the River Islands community.*
 - b) That the proposed location of the conditional use is in accordance with the objectives of the City's zoning ordinance and the purposes of the district in which the project site is located. *The River Islands Town Center District is envisioned as a central, intensively-used community center and gathering place, which includes both public and private recreational uses. Furthermore, the community stadium is consistent with the Mixed-Use land use designations of the WLSP and the City of Lathrop General Plan, and is also consistent with the development standards for the "MU-RI, Mixed Use Town Center" zoning district, which allows for public or private recreational uses.*
 - c) That the proposed use will comply with each of the applicable provisions of the LMC. *Private and public recreational facilities are a conditionally permitted use in the "MU-RI, Mixed Use Town Center" area, and the proposed Conditions of Approval require that the project conforms to the development requirements and guidelines of the LMC.*
3. Site Plan Review Findings. Pursuant to Section 17.100.050 of the Lathrop Municipal Code (LMC), the Planning Commission finds as follows:
 - a) The proposed Site Plan Review complies with all applicable provisions of Chapter 17.100, and the proposed project as conditioned, is consistent with Chapter 17 Zoning of the Lathrop Municipal Code (LMC), with the provisions of the "MU-RI, Mixed Use Town Center" zoning district, and other applicable land use standards and regulations;
 - b) The propose Site Plan Review is consistent with the site improvements listed in Chapter 17.100 (a. through i.) and improvements are such that: traffic congestion is avoided, pedestrian and vehicular safety and welfare are protect, and will not have adverse effects on surrounding properties.
 - c) The proposed lighting for the project is so arranged to deflect away from adjoining properties.
 - d) The proposed Site Plan Review is compatible with surrounding land uses and the conditions of approval made a part of the proposed project by this resolution (Attachment "2") are reasonable to ensure the project will not be detrimental to the health, safety and general welfare of the City.

BE IT FURTHER RESOLVED, based on the findings set forth in this resolution, evidence in the staff report, evidence presented during the public hearing, and pursuant to its independent review and consideration, the Planning Commission hereby approves the proposed Conditional Use Permit (CUP-24-31) and Site Plan Review (SPR-24-32) subject to the Conditions of Approval listed as Attachment 2 of the April 17, 2024 Staff Report, incorporated by reference herein.

PASSED AND ADOPTED by the Planning Commission of the City of Lathrop at a regular meeting on the 17th day of April, 2024 by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

Tosh Ishihara, Chair

ATTEST:

APPROVED AS TO FORM:



Rick Caguiat, Secretary

Salvador Navarrete, City Attorney

Community Development Department – Planning Division

Consolidated Conditions of Approval

April 17, 2024

Project Name: River Islands Community Stadium
File Number: Conditional Use Permit No. CUP-24-31 & Site Plan Review No. SPR-24-32
Project Address: Generally located northeast of the future extensions of Garden Farms Avenue and Commercial Street (APN: 213-310-43)

The following list of conditions shall be incorporated into the final construction plans and development phases of the project. The list of conditions are not intended to be all-inclusive or a comprehensive listing of all City or district regulations. The following comments and conditions of approval are based on the application and diagrams submitted on February 26, 2024.

Project Description

Conditional Use Permit and a Site Plan Review to construct and operate the 3,730-seat River Islands Community Stadium located in the River Islands Town Center District to host football and soccer practices/games, and various community-wide events. The project will be constructed in two phases, with the initial parking area of 27 parking spaces, access, utilities, an artificial turf (“field turf”) athletic field and two sets of bleachers (12,750 sq.ft and 7,450 sq.ft, respectively) in the first phase; and the second phase includes the completion of an additional parking area of 165 parking spaces, a 689 sq.ft. entry gateway structure, two 564 sq.ft. concessions buildings, two sets of locker rooms (6,256 sq.ft. and 3,462 sq.ft. respectively), restrooms, and storage buildings. An additional 52 parking spaces are expected to be constructed in the future for overflow parking for a total parking count of 244 spaces.

CEQA Determination

Environmental review for the River Islands project as a whole was completed in the certified Subsequent Environmental Impact Report (SEIR) for the River Islands at Lathrop Project in February 2003 (State Clearinghouse No. 1993112027). The SEIR considered the full range of potential environmental effects of urban development of the entire River Islands Project. The proposed project falls within the scope of the previous SEIR and does not require further environmental review under the California Environmental Quality Act (CEQA).

PLANNING

1. The use of the community stadium shall be permitted to operate daily between 7 am – 10 pm, to host the following events/activities: all sports-related activities including football and soccer practices/games, educational or civic gatherings such as graduations or State of the City presentations, civic events such as National Night Out, cultural events such as Lathrop Days, charitable events such as Heart Walks, concerts of up to 500 attendees, and community events such as Movies in the Park, Farmers Market, and Garage Sales.

Approval of a separate Temporary Use Permit (TUP) shall be required for any event or activities not listed above as determined by the Community Development Director to analyze traffic, noise, parking, policing and other issues of significance.

2. Events shall comply with the City's Noise Ordinance, Chapter 8.20 of the Lathrop Municipal Code. The project shall comply with all applicable site development provisions contained in the River Islands Town Center District Design Guidelines and Development Standards (DG/DS), River Islands Urban Design Concept (UDC), West Lathrop Specific Plan (WLSF), and the Lathrop Municipal Code including but not limited to parking, lighting, landscaping, etc.
3. The applicant shall coordinate with the San Joaquin Valley Air Pollution Control District to comply with District rules and regulations including but not limited to Rule 8021, Dust Control Plan, and Rule 9510, Indirect Source Review. The applicant shall provide proof of compliance prior to the issuance of a grading permit or building permit.
4. All areas not used for structures, parking, driveways, walkways, or other hardscape shall be landscaped and maintained by the property owner per Section 17.92.030 (A) (1) of the Lathrop Municipal Code to the satisfaction of the City.
5. The applicant shall submit appropriate plans to the Building Department for plan check and building permit. Final site plan, building elevations, landscaping and irrigation, exterior lighting and detailed site improvement plans, etc. shall be reviewed and approved by the Planning Division. Any significant change or modification to the approved plan is subject to review and approval by the Planning Division.
6. Landscaping and irrigation shall be consistent with the City's Water Conservation Requirements (LMC 17.92.060) and the State Water Efficient Landscape Ordinance (AB 1881). The applicant shall include with the landscape and irrigation plan a water efficient landscape worksheet with water budget calculations identifying the water allowance and estimated water use.
7. The applicant/property owner shall ensure the entire site including landscaping areas shall be maintained in a healthy, weed free condition to the satisfaction of the City.
8. It shall be the responsibility of the applicant/property owner to ensure that any building or parking area lighting including security lighting associated with the project, be arranged so as to not cast light onto adjoining properties.
9. A final site lighting photometric plan with detailed specifications of all lighting fixtures, poles, and wall packs as well as a manufacturer's catalogue sheet containing photometric data, shall be provided with the Building Permit plan submitted for City review and approval. Parking lots, driveways, trash enclosure/areas shall be illuminated during the hours of darkness with a minimum maintained one foot-candle of light and an average not to exceed four foot-candles of light. The illumination shall not exceed ten (10) foot-candles in any one location.
10. No signs are approved with this entitlement. For any exterior signs desired for the project, a separate sign permit application shall be submitted to the Planning Division for review and approval prior to installation. All signage must be in accordance with the applicable standards of the Lathrop Municipal Code.

11. Bicycle parking shall be installed consistent with Chapter 17.76.120 of the Lathrop Municipal Code (LMC).
12. Roof-mounted mechanical equipment shall be screened from public view so as not to be visible from the public right-of-way. Screening materials shall be compatible with the architectural style, materials and colors of the building upon which the equipment is located. This shall be subject to the review and approval by the Community Development Director or designee.
13. Ground-mounted equipment that is not required to be visible, shall be screened from public view so as not to be visible from the public right-of-way using the most practical means of screening, such as landscaping, a freestanding wall/fence, matching paint. This shall be subject to the review and approval by the Community Development Director or designee.
14. Unless otherwise specified, all conditions of approval shall be completed prior to the issuance of any grading permit or building permit.
15. The applicant shall be responsible for contacting all appropriate utility companies to obtain their agreement for extension and/or relocation of services necessary to serve the development.
16. Trash enclosure(s) shall include, but not be limited to, a covered roof, metal gates, and have three solid walls. Details and/or alternative designs or location of the enclosure(s) shall be subject to review and approval of the Planning, Building, and Public Works Departments. The trash enclosure design, material, and color shall match or compliment the main buildings.
17. The applicant shall comply with the San Joaquin County Environmental Health Department (EHD) requirements which include, but are not limited to the following:
 - a. The applicant shall provide written confirmation from the water providers that improvements have been constructed or financial arrangements have been made for any improvements required by the agency and that the agency has or will have the capacity to serve the proposed development. Said written confirmation shall be submitted prior to the issuance of a building permit (San Joaquin County Development Title, Section 9-602.010).
 - b. Any geotechnical drilling shall be conducted under permit and inspection by the Environmental Health Department (San Joaquin County Development Title, Section 9-601.010(b) and 9-601.020(i)).
 - c. Any existing wells or septic systems to be abandoned shall be destroyed under permit and inspection by the EHD (San Joaquin County Development Title, Section 9-605.010 & 9-601.020).
18. The Conditional Use Permit and Site Plan Review shall expire thirty-six (36) months from the date of approval, unless prior to the expiration date a building permit is issued and construction is commenced and diligently pursued toward completion of the site, or a time extension is granted consistent with the policies and procedure of the Lathrop Municipal Code.
19. In the event clarification is required for an interpretation of these Conditions of Approval, the Community Development Director and City Engineer shall have the authority either to

administratively clarify the intent and wording of these Conditions of Approval without the requirement of a public hearing or to refer questions regarding the interpretation of these Conditions of Approval to the Planning Commission. If the applicant takes issue with the clarification provided administratively, the applicant shall have the right to appeal the administrative clarification to the Planning Commission. The Community Development Director and City Engineer shall also have the authority to make minor modifications to these conditions provided a request is made in writing by the applicant and it is determined such modifications are consistent with and in furtherance of the underlying intent of the condition being modified.

20. The City of Lathrop may conduct annual and or spot inspections to ensure that compliance with the required site improvements and conditions are being maintained.

BUILDING

1. Special Inspections – As indicated by California Building Code Section 1704, the property owner/developer shall employ one or more special inspectors who shall provide special inspections when required by CBC section 1704. The property owner/developer shall contact the Building Department at time of plan submittal to obtain application for special inspections.
2. All construction associated with this project shall comply with the most recent adopted City and State building codes.

California Building Code	California Mechanical Code
California Residential Code	California Plumbing Code
California Electrical Code	California Fire Code
California Green Code	

3. The Title Sheet of the plans shall include:

Occupancy Group	Type of Construction
Occupant Load	Height of Building
Description of Use	Floor area of building(s) and/or occupancy group
Allowable Area Analysis	Codes Used
4. The property owner/developer shall be responsible for payment of school impact fees prior to the issuance of a building permit.
5. Dimensioned building setbacks and property lines, street centerlines and distances between buildings and structures shall be provided on the project site plan.
6. The project shall be designed to conform with energy conservation measures articulated in Title 24 of the California Code of Regulations and address measures to reduce energy consumption such as flow restrictors for toilets, low consumption light fixtures, and insulation and shall use to the extent feasible draught landscaping.
7. All property lines and easements shall be shown on the site plan. A statement shall be provided that indicates such lines and easements are shown is required.
8. Public and private site improvements shall be designed in accordance with the Americans with Disabilities Act and Chapter 11 of the California Building Code. The site plan shall include a site accessibility plan identifying exterior routes of travel and detailing running slope, cross slope, width, pedestrian ramp, curb ramps, handrails, signage and truncated domes. The path of travel shall be

provided from the public right of way and accessible parking to building. The design professional shall ensure that the site accessibility plan is compliance with the latest Federal and State regulations.

9. At the time of building permit application submittal, a design professional shall be required to prepare the formal construction plans for proposed improvements per the Business and Professions' Code.
10. A site accessibility plan shall be required per the attached policy from the link below: https://www.ci.lathrop.ca.us/sites/default/files/fileattachments/building_division/page/24708/site_accessibility_plan_requirements.pdf.
11. Grading permits shall be stand-alone Public Works permit, no on-site improvements. Site improvements shall be subject to approval of a separate permit obtained through the Public Works Department.

PUBLIC WORKS

1. Prior to Issuance of a Final Certificate of Occupancy, the applicant shall provide all easements as needed to ensure access, and utility easements.
2. Should at any time the proposed use creates peak hour (AM/PM) traffic impacts to the surrounding area at the written determination of the City Engineer or at such time the first permanent retail, office, mixed-use or high density residential use is proposed for the Town Center, the applicant shall retain a qualified traffic engineer to provide a Traffic Study of the Town Center, including the community stadium, to determine any adverse impacts and propose relevant mitigations. Any mitigations proposed and deemed relevant by the City Engineer shall become conditions of approval to the first permanent, retail, office, mixed-use or high-density residential use established within the Town Center.
3. Storm Water - Construction
 - a) For sites greater than one (1) acre in size, the applicant shall complete a SWPPP, obtain a WDID number and list the number on the improvement plans, and submit the SWPPP to the City for review and approval.
4. Sewer
 - a) The applicant shall be required to connect to the City sewer system prior to certificate of occupancy for the project.
 - b) The applicant shall secure sufficient sewer capacity for the project and pay all connection fees and reimbursements prior to issuance of the first building permit.
 - c) Wastewater from concession stands shall drain to grease interceptor if there is any food preparation.
5. Potable Water
 - a) The applicant shall be required to connect to the City water system for irrigation and domestic supply. All groundwater wells on site shall be abandoned under a permit from San Joaquin County prior to connecting potable water to the site.
 - b) The applicant shall secure sufficient water capacity for the project and pay all connection fees and reimbursements prior to issuance of the first building permit.

6. Storm Drain

- a) The applicant shall be required to connect to the storm drain and pay all applicable connection fees.
- b) The applicant shall be required to implement post-construction BMPs on-site. The applicant shall refer to City standards for design and calculation requirements.
- c) The applicant shall submit a storm water plan that shows the post construction storm water treatment.
- d) The project shall comply with the Multi-Agency Post Construction Stormwater Manual.

7. Solid Waste

- a) The applicant shall install trash enclosures for this project. Each trash enclosure shall be constructed with three solid walls, and a fourth wall with a gate and a roof. Each trash enclosure shall also include a man-door and hose-bib.
- b) The applicant shall install sewer drain in trash enclosure with grease interceptor.

8. General Comments

- a) The applicant shall retain the services of a California licensed civil engineer to design the utility plans for sewer, water storm drain lines and systems.
- b) The applicant shall ensure that all off-site and on-site improvements comply with City Standards and with the City's Storm Water Development Standards.
- c) The parking areas and drive isles on site shall be paved with asphalt concrete.
- d) Hydrology and hydraulic calculations and plans for on-site storm water system shall be submitted to the City for review and approval.
- e) The project shall comply with the Multi-Agency Post Construction Stormwater Manual.
- f) The applicant shall install as part of their onsite improvement all necessary Best Management Practices (BMP's) for post construction in accordance with City guidelines and standards. The BMP's must be in place prior to final occupancy.
- g) The applicant shall underground all existing and new overhead utilities on both sides of the frontage street in compliance with the Lathrop Municipal Code. Overhead power lines in excess of 34.5 KVA are not required to be undergrounded.
- h) The applicant shall be required to install full street frontage improvements including but not limited to curb, gutter, sidewalk, street lights, hydrants, asphalt concrete paving, striping, commercial driveways, and landscaping. The extent of paving shall include one half ultimate street width. Applicant shall submit the off-site plans for approval along with the applicable plan check and inspection fees.
- i) The applicant shall obtain an encroachment permit and bond for all offsite work.
- j) The applicant shall pay all appropriate fees including but not limited to Levee Impact Fee, Capital Facilities Fees, and Plan Check and Inspection Fees.
- k) A geotechnical report shall be submitted for the project, which includes groundwater elevations, percolation rates for retention basins, soil compaction requirements, and recommendations for asphalt paving.

- l) Grading and other construction activities that may cause dust shall be watered to control dust at the City Engineer's direction. A water vehicle shall be available for dust control operations at all times during grading operations. The adjacent public street shall be kept free and clean of any project dirt, mud, materials, and debris.

LATHROP MANTECA FIRE DISTRICT (LMFD)

1. The project shall conform to the most currently adopted edition of the California Fire Code and all related standards.
2. Permits shall be obtained from the fire code official. Permit(s) and fees, shall be paid prior to issuance of any and/or all permits. Issued permits shall be kept on the premises designated therein at all times and shall be readily available for inspection by the fire code official. (Permits are to be renewed on an annual basis).
3. Approved automatic sprinkler systems shall be provided as required in 2022 California Fire Code §903.2. Tenant/Occupant/Owner shall have the responsibility to ensure that the correct fire suppression system is added/modified/tested and accepted by the (AHJ) Fire District. Fire suppression system plans shall be modified under separate fire permit and shall be submitted by a licensed contractor, to the (AHJ) Fire District for review and approval prior to modification. Deferred submittal accepted.
4. An approved fire alarm system shall be installed in accordance with 2022 CFC §907.2 and 2022 NFPA 72.
5. Fire Department Development Fees for all new buildings must be paid in accordance with the City of Lathrop's Ordinance and Resolutions adopting the fee schedule.
6. An approved Fire Flow test shall be conducted prior to ground breaking to determine the allowable Fire Fighting capabilities for the site.
7. An approved water supply for fire protection, either temporary or permanent, shall be made available prior to commencing construction beyond the foundation stage, or as soon as combustible material arrives on the site.
8. Deferred Plan Submittals for Fire Alarm, Fire Sprinklers and Fire Underground shall be submitted directly to the LMFD at www.lmfire.org/prevention.
9. Approved vehicle access for firefighting shall be provided to all construction or demolition sites. Vehicle access shall be provided to within 100 feet (30 480 mm) of temporary or permanent fire department connections. Vehicle access shall be provided by either temporary or permanent roads, capable of supporting vehicle loading under all weather conditions. Vehicle access shall be maintained until permanent fire apparatus access roads are available.
10. The Fire Department Fire Access Roads shall meet the requirements established by the San Joaquin County Fire Chief's Association.
11. Where access to or within a structure or an area is restricted because of secured openings or where immediate access is necessary for life-saving or fire-fighting purposes, a key box is required to be installed in an approved location. Please note that a separate key box will be required for each of the two access points. The key box shall be of an approved type and shall contain keys to gain necessary access as required by the fire code official. In addition to key box(es), any automatic gates shall have Opticom access ability to provide necessary access for emergency apparatus.

12. Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 400 feet (122 m) from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided where required by the fire code official.
13. Other fire & life safety requirements may be required at time of building plan review.
14. Final approval is subject to field inspections. Minimum 48-72-hour notice required prior to any life-safety fire inspections. Other conditions may apply at time of inspections and are subject to correction.

LATHROP POLICE DEPARTMENT (LPD)

1. Prior to occupancy, the applicant/property owner shall paint the address of the property of the rooftop of the buildings associated with the project. The numbers shall be at least 3 feet tall, 2 feet wide, 9 inches apart, with 6-inch brush stroke with a color that contrast the roof top, top of numbers/letters should point north.
2. The applicant/property owner shall install dedicated lights in the parking lot that are properly maintained and complies with the Crime Prevention Through Environmental Design (CPTED) standards.
3. The applicant/property owner shall coordinate with the Lathrop Police Department regarding the installation of security cameras covering all ingress and egress to all building(s) and parking areas, which shall be accessible for investigation purposes.
4. An emergency vehicle access (EVA) may be required to allow adequate space for emergency vehicles.
5. Display appropriate signage at the entrance and exits of the property to include, but not limited to: No Loitering, No Overnight Parking, No Semi-Truck Parking, etc.
6. The proposed landscaping for this project shall conform to the following standard Crime Prevention Through Environmental Design (CPTED) measurements:
 - a. Maintain natural visible surveillance to building from parking lot and street.
 - b. Plants taller than 8 feet shall be trimmed up 4 feet from ground.
 - c. Plants under 8 feet shall be trimmed to allow ground level surveillance.

ADMINISTRATIVE SERVICES

1. By exercising this approval, the applicant hereby agrees to indemnify, hold harmless and defend the City, its officers, agents, elected and appointed officials, and employees, from any and all liability or claims that may be brought against the City arising out of its approval of this Conditional Use Permit and Site Plan Review to the fullest extent permitted by law.

March 25, 2024

Mr. Rick Caguiat, Director of Community Development
City of Lathrop
390 Towne Centre Drive
Lathrop, CA 95330

Email: rcaguiat@ci.lathrop.ca.us

Subject: STDRC Recommendations for Community Stadium (Town Center District)

Dear Rick:

The STDRC has reviewed the proposed building plans, site plan (parking layout), signage and renderings for the proposed Community Stadium located in the Town Center District.

The STDRC has voted unanimously to recommend approval of the Community Stadium to the Lathrop Planning Commission regarding the proposed Conditional Use Permit and subsequent building permits.

If you have any questions regarding this letter, please feel free to contact me at (209) 879-7900 or at sdelloso@riverislands.com.

Sincerely,



Susan Dell'Osso
President

cc: Brad Taylor, City of Lathrop City Engineer
James Michaels, City of Lathrop Senior Planner
Ed Short, City of Lathrop Chief Building Official
Trent Dedalt, City of Lathrop Associate Planner
Robert Chen, O'Dell Engineering
John Zhang, O'Dell Engineering
Bill Koch, O'Dell Engineering

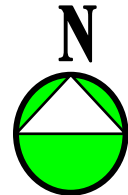
River Islands Town Center District



PLANNING DIVISION
Aerial Site Map



CUP-24-31 and SPR-24-32
River Islands Town Center District Area



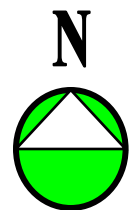
(Not to Scale)



**PLANNING DIVISION
Aerial Site Map – Proposed Community Stadium**



**CUP-24-31 and SPR-24-32
Conditional Use Permit and Site Plan
Review
Town Center Community Stadium
NE Corner of the future extensions of
Commercial Street & Garden Farms Ave
APN: 213-310-43**



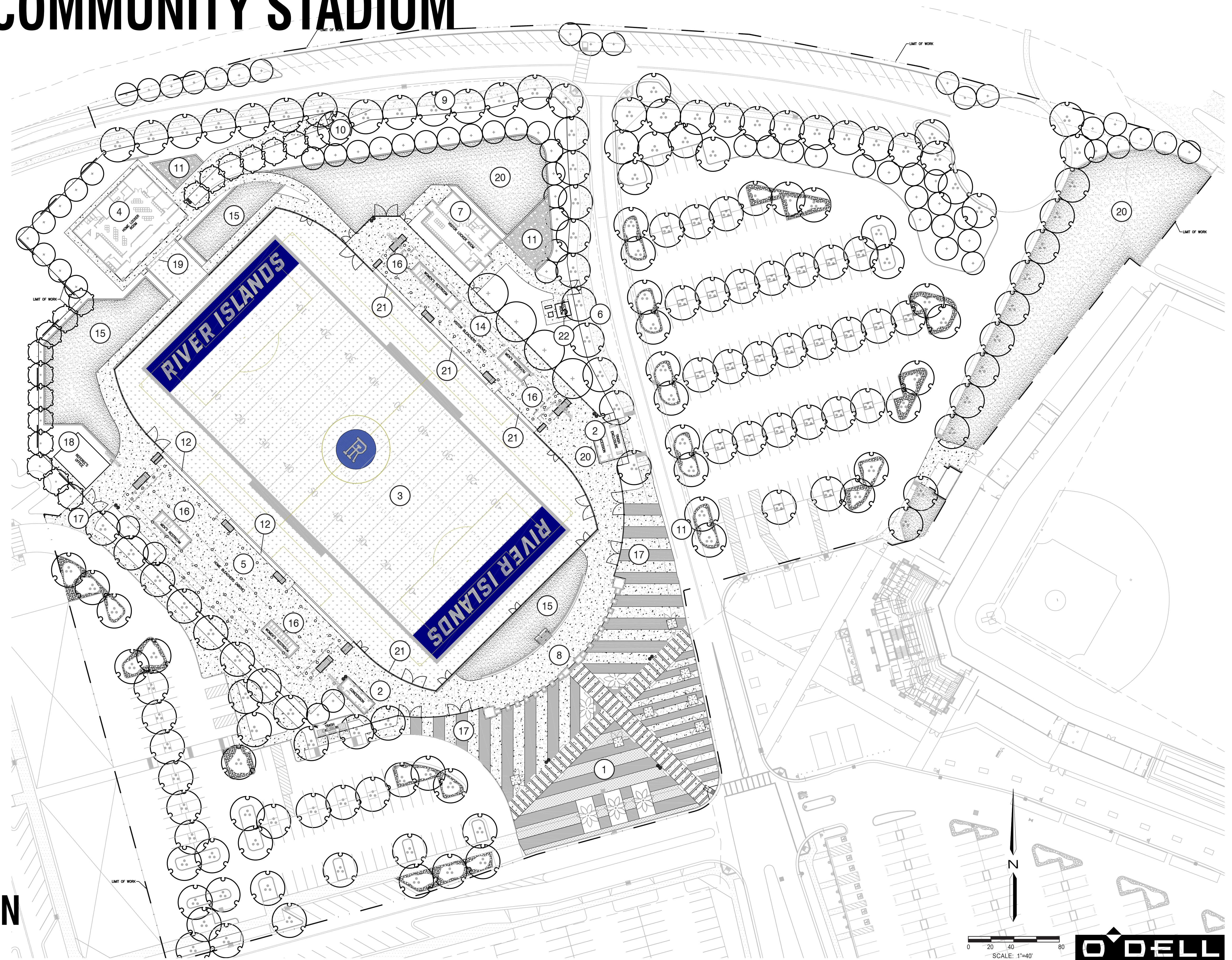
**(Not to
Scale)**

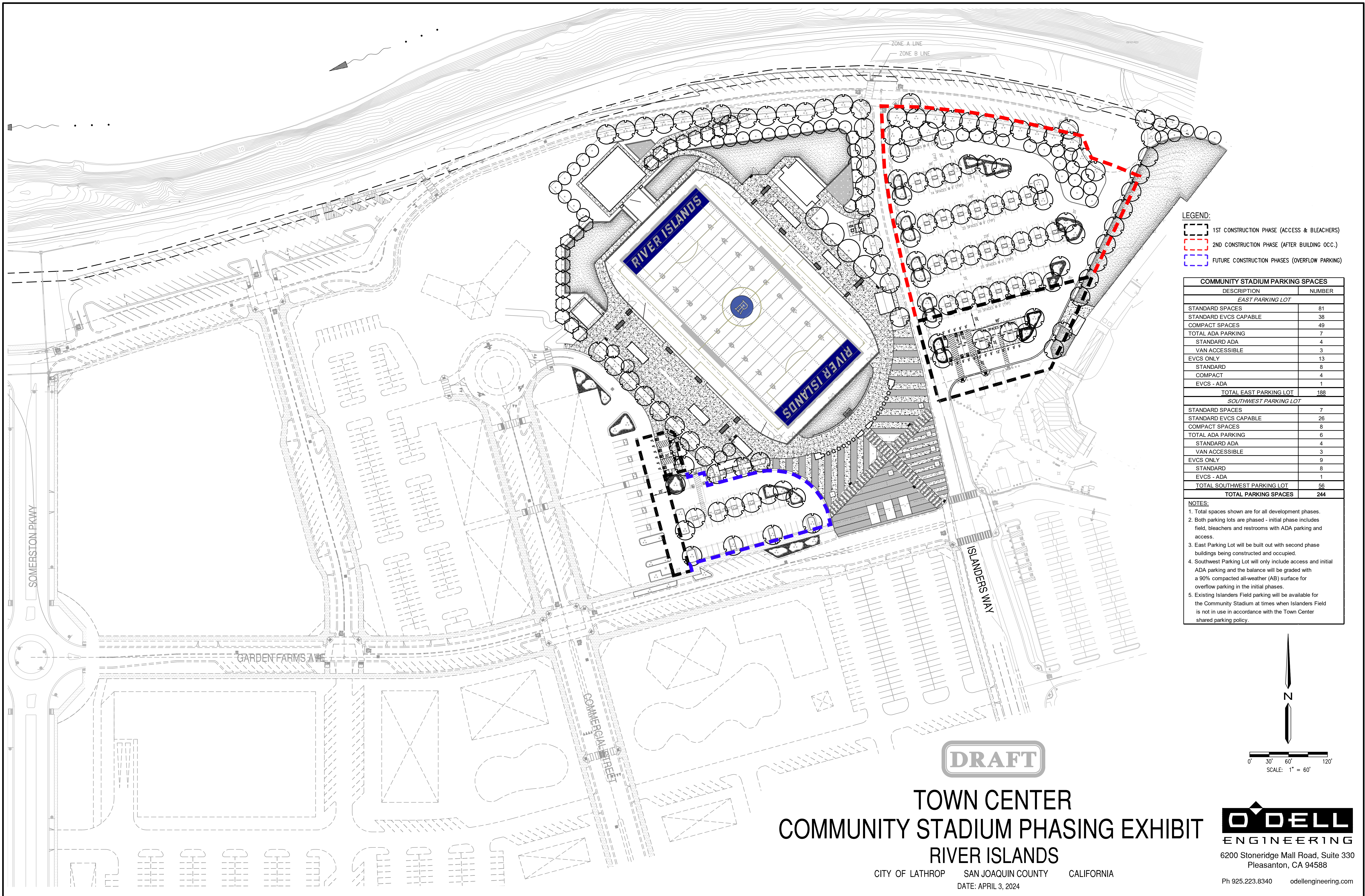
TOWN CENTER COMMUNITY STADIUM

LEGEND

- 1 ENTRY PLAZA
- 2 CONCESSION
- 3 FOOTBALL / SOCCER FIELD
- 4 TEAM LOCKER ROOM
- 5 HOME TEAM STAND (ABOVE)
- 6 BUS STOP
- 7 VISITOR LOCKER ROOM
- 8 VISITOR ACCESS
- 9 TEAM DROP-OFF
- 10 HOME TEAM ACCESS
- 11 GRAVEL PAVEMENT
- 12 PRIVET HEDGE
- 13 TUBULAR STEEL FENCE
- 14 VISITOR TEAM STAND (ABOVE)
- 15 GRASS SLOPE SEATING
- 16 RESTROOM
- 17 ACCESS
- 18 SOCCER OFFICE
- 19 SCOREBOARD
- 20 LAWN
- 21 TUBULAR FENCE
- 22 ELECTRICAL ROOM

CONCEPTUAL SITE PLAN





LEGEND:
 - - - 1ST CONSTRUCTION PHASE (ACCESS & BLEACHERS)
 - - - 2ND CONSTRUCTION PHASE (AFTER BUILDING OCC.)
 - - - FUTURE CONSTRUCTION PHASES (OVERFLOW PARKING)

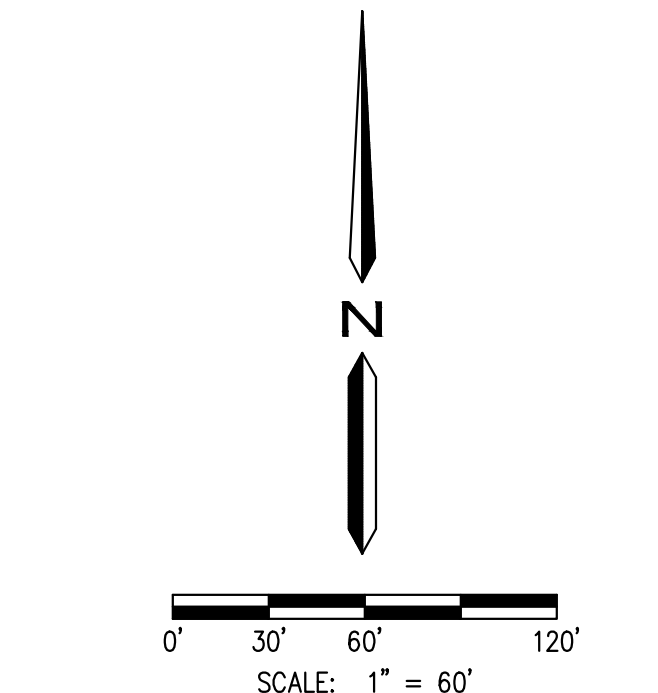
COMMUNITY STADIUM PARKING SPACES	
DESCRIPTION	NUMBER
<i>EAST PARKING LOT</i>	
STANDARD SPACES	81
STANDARD EVCS CAPABLE	38
COMPACT SPACES	49
TOTAL ADA PARKING	7
STANDARD ADA	4
VAN ACCESSIBLE	3
EVCS ONLY	13
STANDARD	8
COMPACT	4
EVCS - ADA	1
TOTAL EAST PARKING LOT	188
<i>SOUTHWEST PARKING LOT</i>	
STANDARD SPACES	7
STANDARD EVCS CAPABLE	26
COMPACT SPACES	8
TOTAL ADA PARKING	6
STANDARD ADA	4
VAN ACCESSIBLE	3
EVCS ONLY	9
STANDARD	8
EVCS - ADA	1
TOTAL SOUTHWEST PARKING LOT	56
TOTAL PARKING SPACES	244

- NOTES:**
1. Total spaces shown are for all development phases.
 2. Both parking lots are phased - initial phase includes field, bleachers and restrooms with ADA parking and access.
 3. East Parking Lot will be built out with second phase buildings being constructed and occupied.
 4. Southwest Parking Lot will only include access and initial ADA parking and the balance will be graded with a 90% compacted all-weather (AB) surface for overflow parking in the initial phases.
 5. Existing Islanders Field parking will be available for the Community Stadium at times when Islanders Field is not in use in accordance with the Town Center shared parking policy.

DRAFT

**TOWN CENTER
 COMMUNITY STADIUM PHASING EXHIBIT
 RIVER ISLANDS**

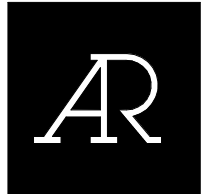
CITY OF LATHROP SAN JOAQUIN COUNTY CALIFORNIA
 DATE: APRIL 3, 2024



O'DELL
ENGINEERING
 6200 Stoneridge Mall Road, Suite 330
 Pleasanton, CA 94588
 Ph 925.223.8340 odellengineering.com



1 Entry Gateway
12" = 1'-0"



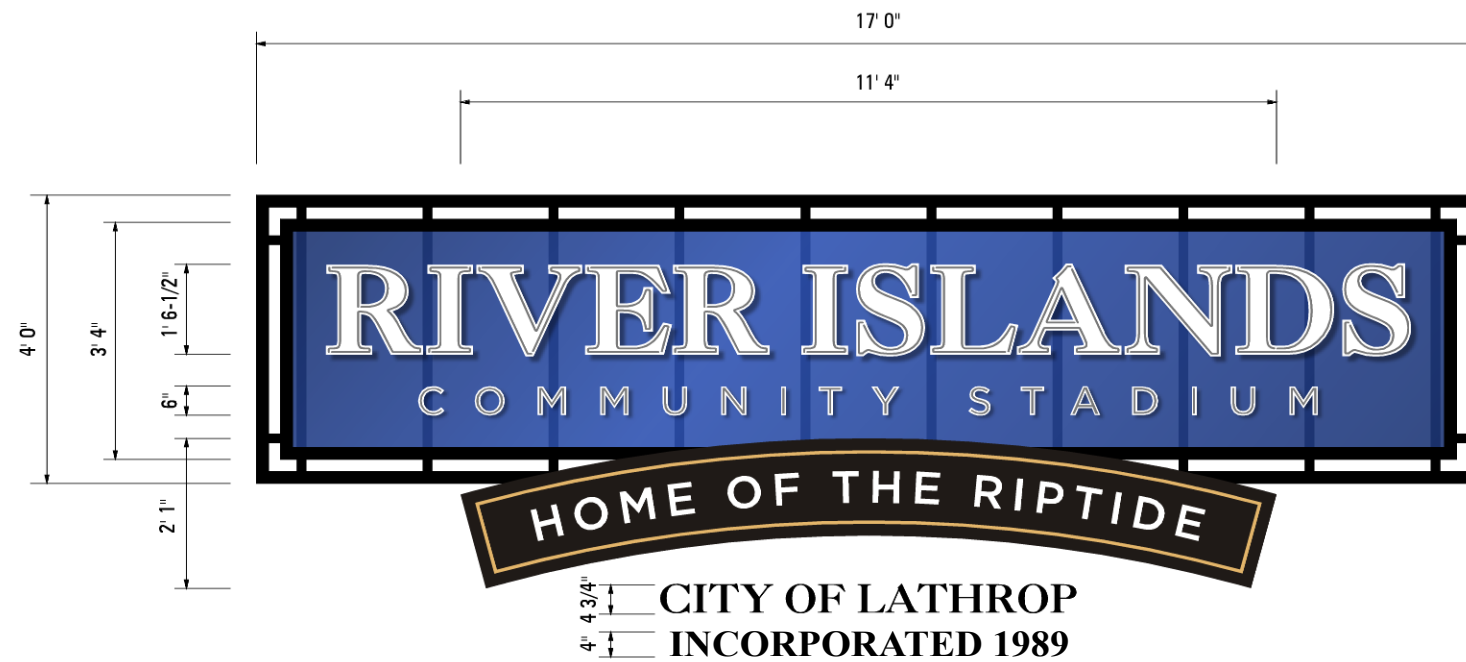
1 View to the Entry Gateway from the Home Bleachers
12" = 1'-0"



1 View to Home Lockers from the Home Bleachers
12" = 1'-0"



1051 46th Avenue
 Oakland, Ca 94601
 T. 510.533.7693
 F. 510.533.0815
 www.arrowsigncompany.com

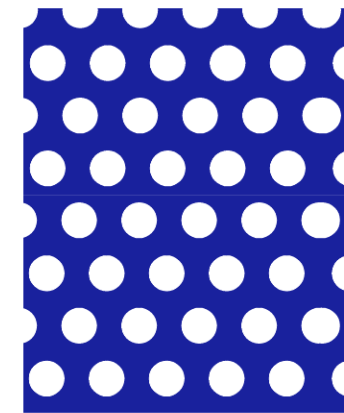


A SIGN ELEVATION

SCALE: 3/8" = 1' 0"

Manufacture and install one (1) single-faced, illuminated wall sign as shown

ITEM	DESCRIPTION	VENDOR	SPECIFICATION
Background	Perforated aluminum	Matthews	3/16" holes, staggered at 5/16", "Blue Bike" MP11976, satin
Frame	Aluminum square tube	Matthews	Black #282-204, satin
"River Islands" Letters	3" deep aluminum	Matthews	White #282-202, satin
"River Islands" outline	1/2" push thru acrylic	Chemcast	White #2447
"Community Stadium" Letters	2" deep aluminum	Matthews	White #282-202, satin
"Community Stadium" inline	1/2" push thru acrylic	Chemcast	White #2447
"River Islands" & "Community Stadium" illum.	LED	Hanley	White PE2 or equal
Home of... Cabinet	Aluminum	Matthews	Black #282-204, satin
Home of... Copy	1/2" push thru	Acrylite	White #015-2
Home of... Illumination	LED	Hanley	White #3120
Home of... Border	Vinyl	3M	Harvest Gold #7725-105
Lathrop Est. 1871	1/2" FCO acrylic	Matthews	Black #282-204, satin



PERFORATION DETAIL

Vendor: McNichols
 Centers: 3/16" holes, staggered at 5/16"
 Gauge: .125
 Open Area: 32% open area

Project

**River Islands
 Football Stadium**
 Lathrop, Ca

Date:

7-21-23

Sales:

Tom Salmon

Design:

Charlie Stroud

File Name/Location:

2023/R/River Islands Stadium Entrance

Rev.	Date	Description
A	8-1-23	Revise specs
B	10-5-23	Revise sheet #
C	12-13-23	change tag line
D	2-7-24	Revise tag line

Customer Approval

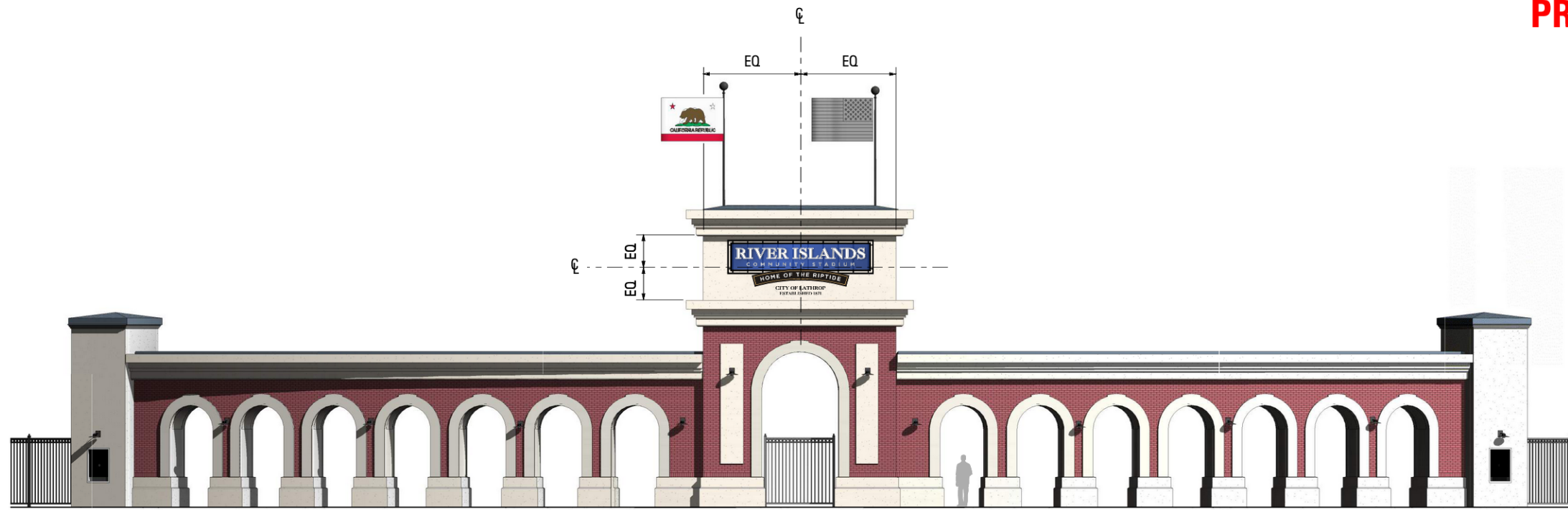
This drawing is a representation of colors and may not accurately depict final color of product. Refer to paint swatch or material samples for color reference.

ALL RIGHTS RESERVED
 This is an original unpublished drawing prepared for you by Arrow Sign Co. in a sign program designed for your business. It is not to be shown to anyone outside of your organization nor to be reproduced, copied or exhibited in any fashion.

PRELIMINARY

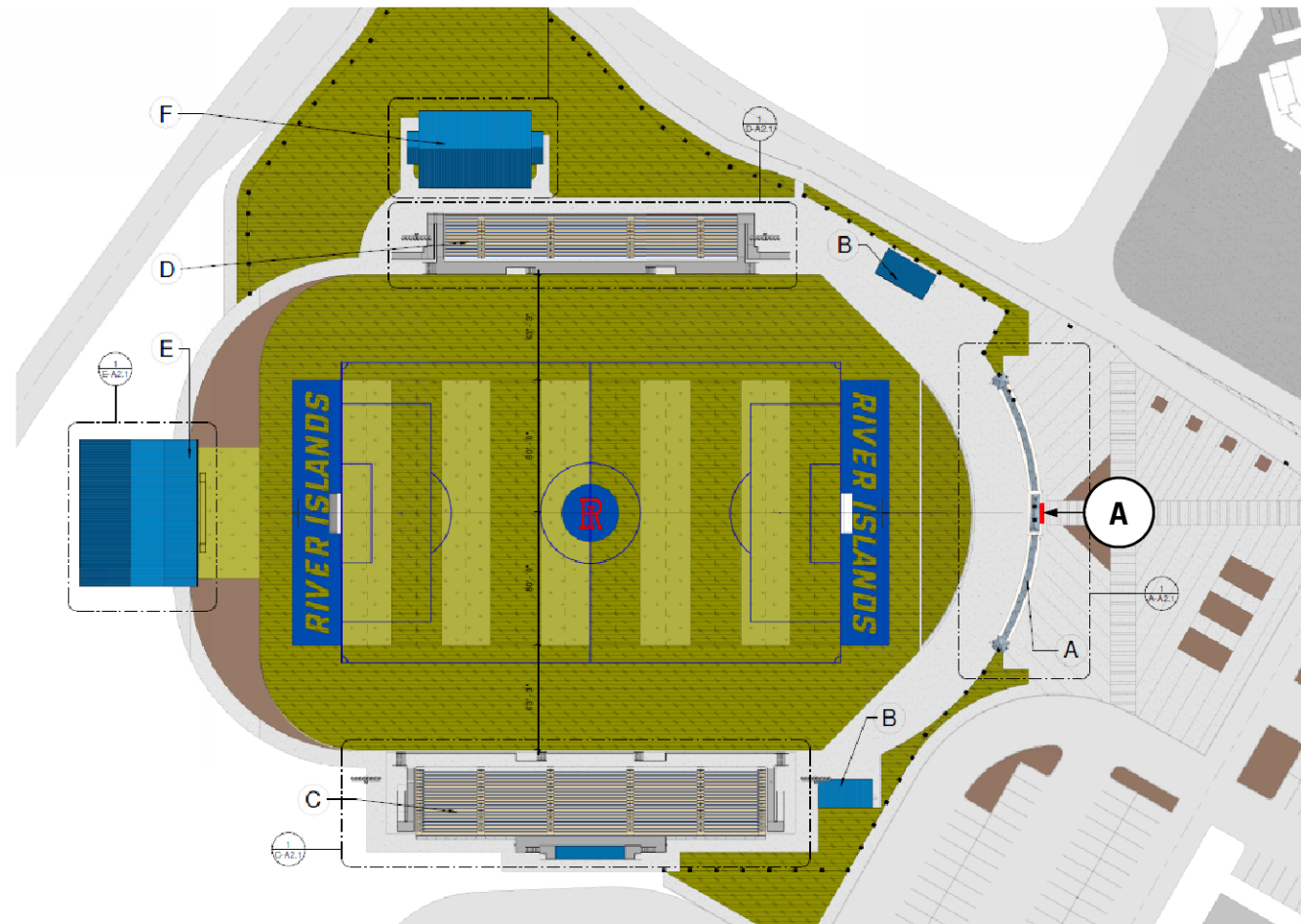


1051 46th Avenue
Oakland, Ca 94601
T. 510.533.7693
F. 510.533.0815
www.arrowsigncompany.com



STADIUM ENTRANCE - FRONT ELEVATION (SOUTH)

SCALE: 1/16" = 1'-0"



SITE PLAN

NOT TO SCALE

Project

River Islands Football Stadium

Lathrop, Ca

Date:

7-21-23

Sales:

Tom Salmon

Design:

Charlie Stroud

File Name/Location:

2023/R/River Islands Stadium Entrance

Rev. Date Description

A 10-5-23 Revise elevation, Add site plan

B 12-13-23 change tag line

C 2-7-24 Revise tag line

Customer Approval

This drawing is a representation of colors and may not accurately depict final color of product. Refer to paint swatch or material samples for color reference.

ALL RIGHTS RESERVED
This is an original unpublished drawing prepared for you by Arrow Sign Co. in a sign program designed for your business. It is not to be shown to anyone outside of your organization nor to be reproduced, copied or exhibited in any fashion.

30732



PLANNING COMMISSION
STAFF REPORT

DATE: April 17, 2024

APPLICATION NO: River Islands – Town Center Architectural Design Guidelines and Development Standards (DG/DS) NDP-23-38

LOCATION: Town Center District (Phase 1 of River Islands at Lathrop)

REQUEST: Planning Commission to consider Adoption of a Resolution approving the Town Center Architectural Design Guidelines and Development Standards for River Islands at Lathrop (Phase 1)

APPLICANT: River Islands Development, LLC
73 W. Stewart Road
Lathrop, CA 95330

PROPERTY OWNER: Califia, LLC
73 W. Stewart Road
Lathrop, CA 95330

CEQA STATUS: The proposed project falls within the scope of the previously certified Subsequent Environmental Impact Report (SEIR) (SCH No. 1993112027) for the River Islands at Lathrop Project; therefore, no further environmental review is required in accordance with the California Environmental Quality Act.

SUMMARY:

The West Lathrop Specific Plan (WLSP) calls for the preparation of a Neighborhood Development Plan (NDP) and Architectural Design Guidelines and Development Standards (DG/DS) for area of new development within the River Islands development. The NDP for the Town Center District was presented to the Planning Commission on March 20, 2024 Planning Commission meeting. The Planning Commission adopted PC Resolution 24-1 approving the Town Center NDP. In compliance with the WSLP, River Islands Development LLC (RID) has prepared the DG/DS for Planning Commission review and approval.

Staff recommends the Planning Commission adopt PC Resolution 24-4 approving the Architectural Design Guidelines and Development Standards for the Town Center District of River Islands Phase 1

SITE DESCRIPTION

The Town Center District is located within Stage 2A, Phase 1 of the Vesting Tentative Map (VTM) 3694. The Town Center is generally located in the northeast corner of Phase 1, with River Islands Parkway traversing the District, Somerston Parkway marking its westerly boundary, Old River its northern boundary, the San Joaquin River its eastern boundary, and the Community at South River Bend neighborhood at its southern boundary.

The District contains two (2) schools (RITECHA and STEAM Academy), the River Islands Welcome Center, temporary soccer fields and the Islanders Baseball Field. The STEAM Academy site was constructed in 2013 for the Banta School District under approval required by the State of California. This traditional “brick and mortar” school facility was the initial home of River Islands Technology Academy (RITECHA), which is now located nearby as an interim use along Marina Drive. RITECHA will remain the Town Center until such time the school is moved to a permanent location in the River Islands community.

The entirety of the Town Center District encompasses approximately 108-acres without the STEAM Academy site, which is just under 30-acres. While the precise uses will vary with eventual market conditions, the Neighborhood Development Plan will guide the development of public infrastructure by the master developer such as the roadway network, landscaping within the public right-of-way, signage, street furniture, etc. consistent with the River Islands Urban Design Concept (UDC). The proposed Town Center DG/DS establishes architectural design guidelines and development standards for the Town Center District.

BACKGROUND

In 2003, the River Islands project received various major entitlements including Certification of a Subsequent Environmental Impact Report (SEIR), revised West Lathrop Specific Plan (WLSP), Urban Design Concept (UDC), and Phase 1 Preliminary Development Plan (PDP). The new project contemplated significant changes to the original concept known as Gold Rush City. The new project was to develop an Employment Center, Town Center, residential development equaling 11,000 new dwelling units, commercial development, open space, schools and public facilities.

In 2007, the River Islands project received approval for a Vesting Tentative Map (Tract 3694) in Phase 1 which provides for the development of 4,284 residential units (single and multifamily), commercial development, and associated public amenities including parks, schools, roadways, open space, and public rights-of-way.

In 2015, the River Islands project received approval for various major entitlements including approval of a Fifth Addendum to the SEIR, major amendments to the WLSP and River Islands UDC, and amendment to the Vesting Tentative Map Tract 3694 to accommodate various changes to boundaries, roadways, single-family and multi-family unit mix, replacement of the canal system with a lake system, open space and parkland modifications, and to allow for decentralized lakes. This action also approved the revised River Islands Parks Master Plan, which was approved in 2007 and updated in 2013 to reflect the Community at South River Bend (CSRB) final maps.

In 2021, the River Islands project received approval for various major entitlements in Phase 2. The approvals included Certification of a Subsequent Environmental Impact Report (SEIR), Phase 2 West Lathrop Specific Plan (WLSP), Phase 2 UDC, and the Phase 2 Vesting Tentative Map 6716, which provides for the development of 10,726 residential units (single and multifamily), commercial development, mixed use development, transit oriented development, and associated public amenities including parks, schools, roadways, open space, and public rights-of-way. The overall unit count for the River Islands community will be 15,010.

The original Town Center Plan (TCP-18-57) was approved by Planning Commission in May 2018 and included a conceptual layout of the project area that would include a variety of uses, including residential, mixed use, two (2) Community Parks and various amenities. The approval of the original Town Center Plan allowed for the development of Islander's Field, the relocation of the Welcome Center and associated overflow parking area, and the temporary soccer fields. The intent is that the Town Center NDP and DG/DS will replace the Town Center Plan.

The NDP for the Town Center District was presented to the Planning Commission on March 20, 2024 Planning Commission meeting. The Planning Commission adopted PC Resolution 24-1 approving the Town Center NDP.

The DG/DS for the Town Center District was presented to the Stewart Tract Design Review Committee (STDRC) on March 7, 2024. The STDRC voted unanimously to recommend the DG/DS for Planning Commission approval.

ANALYSIS

The proposed Town Center DG/DS establishes design guidelines and standards for residential and non-residential development and associated site improvements to be constructed by builders within the Town Center District area. This includes overall residential and non-residential design principles, guidelines for orientation, siting and architecture, and more specific guidelines for building form, roof styles, wall and window details, outdoor spaces and colors. At this time, the primary architectural style promoted in the Town Center District is the Delta Agrarian Theme.

The Delta Agrarian Theme is characterized by functional rectilinear forms and the primary materials include brick and exposed steel. Secondary elements which are characterized by less dominant masses and elements include materials such as stucco and panel siding. The existing Lathrop Police Station and Islanders Field Stadium are examples of the Delta Agrarian Theme architectural style.

Examples of the Delta Agrarian Theme:



Lathrop Police Station



Islanders Field Stadium

Unique to the Town Center District, the proposed Town Center DG/DS will include architectural design guidelines and development standards for non-residential and mixed uses in the District. As illustrated in the Land Use and Development Pattern Section (Page 17 of the DG/DS), the Town Center District anticipates up to 668 dwelling units and 321,000 sq. ft. of non-residential square footage:

Town Center Development Summary ¹						
	Gross Acres	Net Acres	Dwelling Units	Non-Residential Square Feet	Residential Density (DU/AC)	Non-Residential Intensity (%)
Area 1	4.6	3.6		82,000	-	53%
Area 2	4.9	3.8	64	33,100	17	20%
Area 3	7.4	5.7		15,598	-	6%
Area 4	13.2	10.1		5,700	-	1%
Area 5	1.0	0.8		40,000	-	122%
Area 6	4.9	3.7	16	63,700	4	39%
Area 7	6.4	4.9		36,200	-	17%
Area 8	10.7	8.3	271	22,000	33	6%
Area 9	7.4	5.7	110	23,500	19	9%
Area 10	9.1	7.0	220		32	-
Totals	69.6	53.6	681	321,798		

1. Summary is based on current development plan and is subject to change.
2. Maximum residential density is 40 DU/AC under the MU-RI zoning district.
3. Maximum non-residential intensity is 100% and would assume parking garages in-lieu of parking lots currently proposed.
4. Phase River Islands approval documents (WLSR, VTM and EIR allow up to 500,000 total non-residential square feet.

At this time, the Town Center DG/DS will apply to Area 3 (Community Stadium), Area 4 (existing Islanders Field Stadium) and Area 10 (proposed High Density Residential apartment project). Future uses and architectural themes will require amendment to the Town Center DG/DS. As such, no development permit (e.g., Conditional Use Permit, Site Plan Review) for uses outside of Areas 3, 4 and 10 shall be approved until the Planning Commission has approved an amended DG/DS document.

Off-Street Parking

As noted above, an amendment to Vesting Tentative Map Tract 3694 to accommodate various changes to boundaries, roadways, single-family and multi-family unit mix, replacement of the canal system with a lake system, open space and parkland modifications was approved by the City Council in 2015 (City Council Resolution No. 15-3932). Included in the VTM is a list of Consolidated Conditions of Approval, including Condition of Approval No. 32 from Vesting Tentative Map Tract 3694 which requires that a Master Town Center Parking Plan be prepared for the Town Center District. Specifically, Condition of Approval No. 32 states:

“Prior to approval of the Town Center Neighborhood District Plan, the applicant shall provide a Master Town Center Parking Plan that includes both on-street and off-street parking for all uses within the Town Center District.”

A Shared Parking Analysis, dated January 16, 2024, prepared by Hexagon Transportation Consultants, Inc. was prepared to study shared on- and off-street parking for the anticipated residential, mixed use and commercial uses in the area north of River Islands Parkway Town Center District. This study was conducted in two (2) steps: 1) each land use’s individual peak parking demand was estimated utilizing the Institute of Transportation Engineers (ITE) *Parking Generation, 6th Edition*; and 2) each land use parking demand was analyzed by the hour using the Urban Land Institute (ULI) *Shared Parking, 3rd Edition* to determine if the shared parking proposed in each land use area is sufficient to meet parking demand.

As detailed in the Shared Parking Analysis, there are a total of 1,914 on- and off-street parking spaces in the north of River Islands Parkway area of the Town Center District. Based on the estimated parking demand of anticipated uses, including events at the Community Stadium and the Islanders Field Stadium, the analysis showed that the project’s projected 1,914 parking spaces would be sufficient.

The Shared Parking Analysis is included in the Town Center DG/DS as an Appendix. Each amendment to the Town Center DG/DS will require a potential update to the Shared Parking Analysis. This will ensure that as the Town Center District is developed, that the shared on- and off-street parking analysis is updated to reflect modifications to the land uses and development pattern (e.g., Development Plan) in the District.

CEQA REVIEW

Environmental review for the River Islands project as a whole was completed in the certified Subsequent Environmental Impact Report (SEIR) for the River Islands at Lathrop Project (State Clearinghouse No. 1993112027). The SEIR considered the full range of potential environmental effects of urban development of the entire River Islands Project, including planned urban development of the Project Site.

The project would not produce any new significant environmental impacts, and no new mitigation measures are required. The SEIR specified the mitigation measures needed to reduce potentially significant environmental effects of the River Islands project to a less than significant level. The project is required to conform to these mitigation measures.

RECOMMENDATION:

Staff recommends that the Planning Commission adopt Resolution No. 24-4 approving the Architectural Design Guidelines and Development Standards for the Town Center District of River Islands Phase 1.

Approvals:

David Niskanen, Contract Planner

Date

Rick Caguiat, Community Development Director

Date

Salvador Navarrete, City Attorney

Date

Attachments:

1. PC Resolution No. 24-4 for Town Center DG/DS
2. Vicinity Map
3. STDRC DG/DS Recommendation Letter dated March 7, 2024
4. Town Center DG/DS

**CITY OF LATHROP
PLANNING COMMISSION RESOLUTION NO. 24-4**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LATHROP
APPROVING THE TOWN CENTER DISTRICT ARCHITECTURAL DESIGN
GUIDELINES AND DEVELOPMENT STANDARDS (DG/DS) FOR STAGE 2A, PHASE
1 OF THE RIVER ISLANDS AT LATHROP PROJECT (NDP-23-38)**

WHEREAS, the City of Lathrop has adopted the West Lathrop Specific Plan (WLSP), which governs land use and development within Stewart Tract; and

WHEREAS, the WLSP provides that an Urban Design Concept (UDC) be prepared, reviewed by the Planning Commission and approved by the City Council; and

WHEREAS, the WLSP requires that a Neighborhood Design Plan (NDP) and Architectural Design Guidelines and Development Standards (DG/DS) be prepared, reviewed by the Stewart Tract Design Review Committee (STDRC), and approved by the Planning Commission for each community within the larger River Islands project; and

WHEREAS, the NDP for the Town Center District was reviewed and approved by the Planning Commission by PC Resolution No. 24-1 at their Regular Meeting of March 20, 2024; and

WHEREAS, the DGDS for the Town Center District has been prepared, reviewed, and recommended to the Planning Commission for approval by the STDRC at their March 7, 2024 meeting; and

WHEREAS, environmental review for the Town Center District DG/DS has been adequately provided in the certified River Islands SEIR as amended, and the Plan does not require further review under the California Environmental Quality Act (CEQA).

NOW, THEREFORE, BE IT RESOLVED the Planning Commission of the City of Lathrop does hereby make the following findings:

1. The Planning Commission finds that the Town Center District DG/DS is compatible and consistent with the 2003 West Lathrop Specific Plan, the River Islands UDC, and the Lathrop General Plan, as amended, and with existing and planned land uses in the project vicinity.
2. The Planning Commission finds that environmental review for the Town Center District DG/DS has been adequately provided in the certified River Islands SEIR as amended, and the Plan does not require further review under the California Environmental Quality Act (CEQA), for the following reasons:

- a) The City Council certified the Final Subsequent Environmental Impact Report for the RI Project in February 2003 (State Clearinghouse No. 1993112027). The certified River Islands SEIR comprehensively addresses the potential environmental effects of urban development of the entire RI Project, including the intensive urban development of the Phase 1 development area. The Town Center District DG/DS provides guidance to permitted uses as it relates to architectural guidelines and development standards so that they are consistent with the West Lathrop Specific Plan, Urban Design Concept, Vesting Tentative Map Tract 3694 and Certified SEIR.
- b) The Town Center District DG/DS is statutorily exempt from CEQA under Section 15262 of the CEQA Guidelines and relevant sections of the Public Resources Code, since it only involves guidance for already approved development that has project level CEQA review and can be considered a planning study for possible future actions (such as the issuance of a building permit, which is ministerial) for which the City has not yet approved and does not require the preparation of an EIR or Negative Declaration. The River Islands SEIR has already considered environmental factors for proposed development in Phase 1 and the Town Center District DG/DS does not include any new information regarding these factors.

BE IT FURTHER RESOLVED that based on the findings set forth in this Resolution, evidence in the Staff Report, and evidence presented during the public meeting, the Planning Commission hereby approves the Town Center Architectural Design Guidelines and Development Standards (DG/DS) for Stage 2A, Phase 1 of the River Islands at Lathrop Project as included in Attachment 4 as recommended by Staff and the STDRC.

PASSED AND ADOPTED by the Planning Commission of the City of Lathrop at a Regular Meeting on the 17th day of April, 2024 by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

Tosh Ishihara, Chair

ATTEST:

APPROVED AS TO FORM:

Rick Caguiat, Secretary

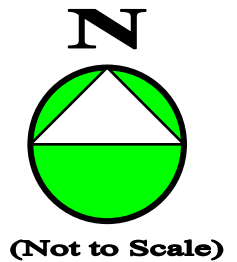
Salvador Navarrete, City Attorney



**PLANNING DIVISION
Vicinity Map**



**NDP-23-38
Architectural Design Guidelines
and Development Standards
Town Center District
River Islands Phase 1**



VIA EMAIL

March 7, 2024

Mr. Rick Caguiat, Director of Community Development
City of Lathrop
390 Towne Centre Drive
Lathrop, CA 95330

Email: rcaguiat@ci.lathrop.ca.us

Subject: STDRC Recommendations for Town Center District Related Plans and Final Map

Dear Rick:

The STDRC has reviewed the following documents/plans relating to the Town Center District

1. Final Map Tract 4167
2. Neighborhood Development Plan (NDP)
3. Architectural Guidelines and Development Standards (AG/DS)

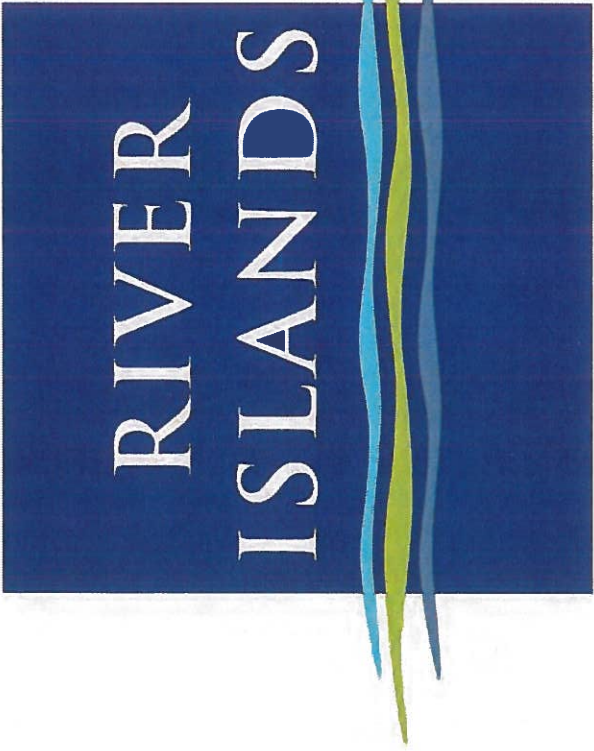
The STDRC has voted unanimously to recommend approval of Final Map Tract 4167 and the Town Center NDP. The STDRC will continue to review the AG/DS document after continuing City comments and will provide its recommendation for this document subsequently. Copies of the Final Map and NDP have already been transmitted to the City.

If you have any questions regarding this letter, please feel free to contact me at (209) 879-7900 or at sdelloso@riverislands.com.

Sincerely,


Susan Dell'Osso
President

cc: Brad Taylor, City of Lathrop City Engineer
James Michaels, City of Lathrop Senior Planner
Ed Short, City of Lathrop Chief Building Official
Trent Dedalt, City of Lathrop Associate Planner
Robert Chen, O'Dell Engineering
John Zhang, O'Dell Engineering
Bill Koch, O'Dell Engineering



TOWN CENTER DISTRICT

APRIL 3, 2024
REVIEW DRAFT

ARCHITECTURAL
DESIGN GUIDELINES

&

DEVELOPMENT
STANDARDS

Imagery depicted on this document is used only for purposes of conveying architectural and/or planning concepts and may or may not represent the work of Dahlin Group Architecture Planning or O'Dell Engineering.

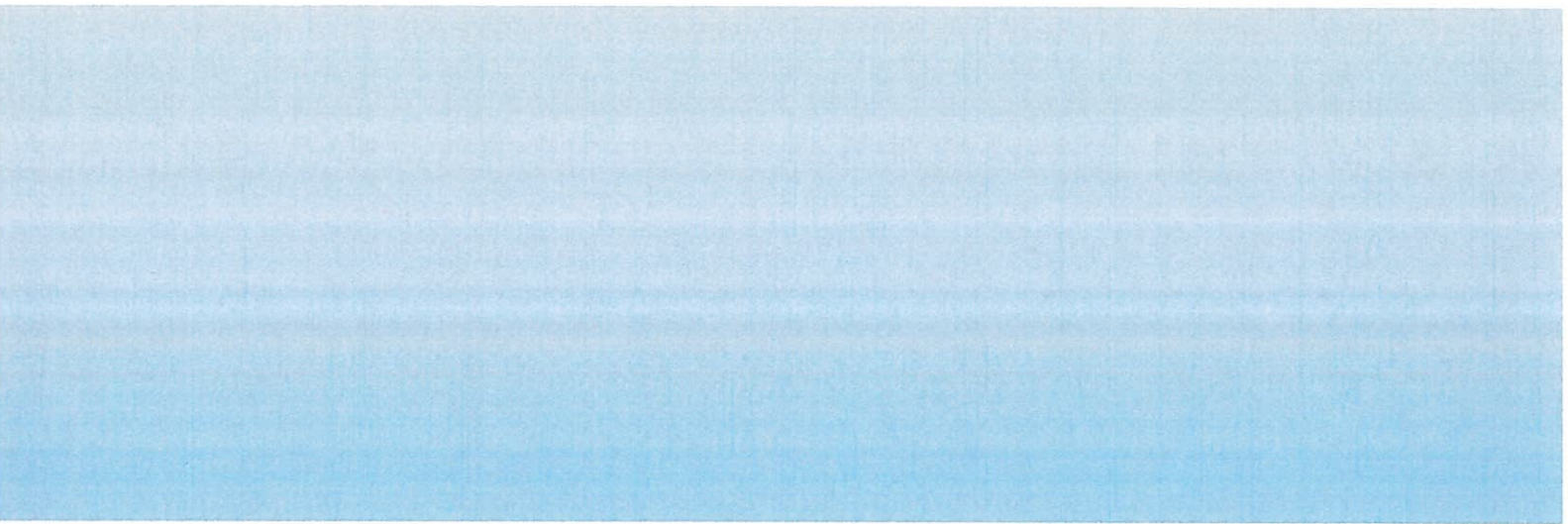
RIVER ISLANDS



RIVER ISLANDS



TABLE OF CONTENTS



CHAPTER 1 COMMUNITY OVERVIEW	1	3.2 Mixed-Use Landscape	23
1.1 Introduction	3	3.2.1 Planting Design	23
1.1.1 Purpose & Intent	4	3.2.2 Front and Side Parcels	26
1.1.2 Relationship to West Lathrop Specific Plan	4	3.2.3 Back Side of Parcels	26
1.1.3 Language and Organization of Document	4	3.2.4 Levee Landscaping	26
1.2 Architecture Design Principles	6	3.3 Site Furnishings/ Materials	27
1.2.1 Regional Precedents	6	3.3.1 Fences	27
1.2.2 Three Architectural Districts	7	3.3.2 Signage	28
1.2.3 Energy Efficiency	8	3.3.3 Landscape Lighting	28
CHAPTER 2 ARCHITECTURE	9	3.3.4 Paving and Hardscape	28
2.1 Design Guidelines	11	3.4 Landscape Construction Practices	29
2.1.1 Architectural Character	11	3.4.1 Irrigation and Water Conservation	29
2.1.2 Streetscape	11	3.4.2 Soil Preparation and Mulching	30
2.1.3 Building Materials and Colors	12	3.4.3 Planting	30
2.1.4 Delta Agrarian Theme	14	CHAPTER 4 PROJECT IMPLEMENTATION ...	33
2.1.5 Specialized Facilities	14	4.1 Project Implementation	35
2.2 Development Standards	16	4.1.1 Stewart Tract Design Review Committee (STDRC)	35
2.2.1 Land Uses and Development Pattern	17	4.1.2 Consistency Requirements	35
2.2.2 High Density Res. (HDR) Dev. Standards	18	4.1.4 Design Review Submittal Requirements	35
CHAPTER 3 LANDSCAPE	20	APPENDIX	37
3.1 Introduction	22	Builder Identification Signs	38
		Plant List	43
		Shared Parking Analysis	51

RIVER ISLANDS



CHAPTER 1

COMMUNITY
OVERVIEW

This page left intentionally blank

1.1 Introduction

River Islands has been designed as the premier master planned community in Northern California. Its island location, on the San Joaquin River in Lathrop, provides a backdrop of nearly 5,000 acres for a mixed use community of 15,010 homes, nearly 5 million square feet of commercial space and seven schools. Such community recreational amenities as lakes, walking trails, parks and a boathouse are all part of the vision for all neighborhoods. The Town Center

District will contain up to 668 high density units and up to 500,000 square feet of commercial/retail/office space; this document is intended to provide a descriptive vision of this unique part of the River Islands master plan.

Figure 1.1 shows the location of River Islands, and its relationship to the major highways and surrounding cities.



Figure 1.1 Location Map

1.1.1 Purpose & Intent

The Architectural Guidelines and Development Standards of River Islands (AG/DS) complement the River Islands Urban Design Concept (UDC) and Neighborhood Development Plan (NDP), two other documents that are required to direct development within a particular planning district of River Islands. This authority stems from the West Lathrop Specific Plan (WLSP) that provides the land uses, zoning, general development framework and other design policies for both the NDP and the AG/DS. The documents provide the specific standards and guidelines for the Stewart Tract Design Review Committee (STDRC) and Lathrop Community Development Department to review and evaluate new development proposals within the Phase 1 Town Center District.

1.1.2 Relationship to West Lathrop Specific

Plan (WLSP)

The West Lathrop Specific Plan (WLSP) provides the authority to which the River Islands AG/DS has been prepared. As described in the WLSP, each sub-area of each District or a District as a whole must have a set of written guidelines and standards for new development. This initial document applies to Areas 3, 4, and 10 of the Town Center District as described further in this document (see Figure 2.2 for a depiction of the areas); these initial areas shall be referred to as "Phase 1 of the Town Center District". However, the Town Center AG/DS and NDP are meant to be "living documents" that will be updated over time to meet the needs of the unique development anticipated for this District, which is by definition, mixed-use. Each area not covered by this initial AG/DS document will require an amendment to provide additional detail to that area. No development permit (e.g. Conditional Use Permit, Site Plan Review) for uses outside of Areas 3, 4, and 10 (Phase 1 of the Town Center District) shall be approved until the Planning Commission has approved an amended AG/DS document. Minor amendments however, may be approved by the Community Development Director as provided by the procedures outlined in the Project Implementation section of this document.

1.1.3 Language and Organization of Document

These DG/DS are divided into three major sections: Architecture; Landscape and Project Implementation. Architecture and Landscape are each further divided into Design Guidelines and Development Standards. Together, these will assure that developers and residents of the Town District have the necessary tools to implement the vision for this mixed use area of River Islands.

The Design Guidelines describe the overall design quality that River Islands envisions. Complementary sketches, imagery, diagrams, and other graphic materials further illustrate the AG/DS design intent. The words "should"; "may" and "can" indicates that the guideline is highly recommended and suggests possible design solutions that are acceptable and encouraged, but not required.

The Development Standards section addresses the particular design criteria, conditions and standards that shall be met when designing both residential and non-residential uses and landscapes associated with these uses. The Phase 1 Town Center AG/DS uses careful language to assist the STDRC and Lathrop City staff in reviewing design proposals. The words, "shall", "will", and "must" are to be implemented requirements. All development standards intended to supplement the WLSP's and City of Lathrop's zoning requirements use this language.

The Project Implementation Section will guide developers, builders and residents through the approval and permit process.

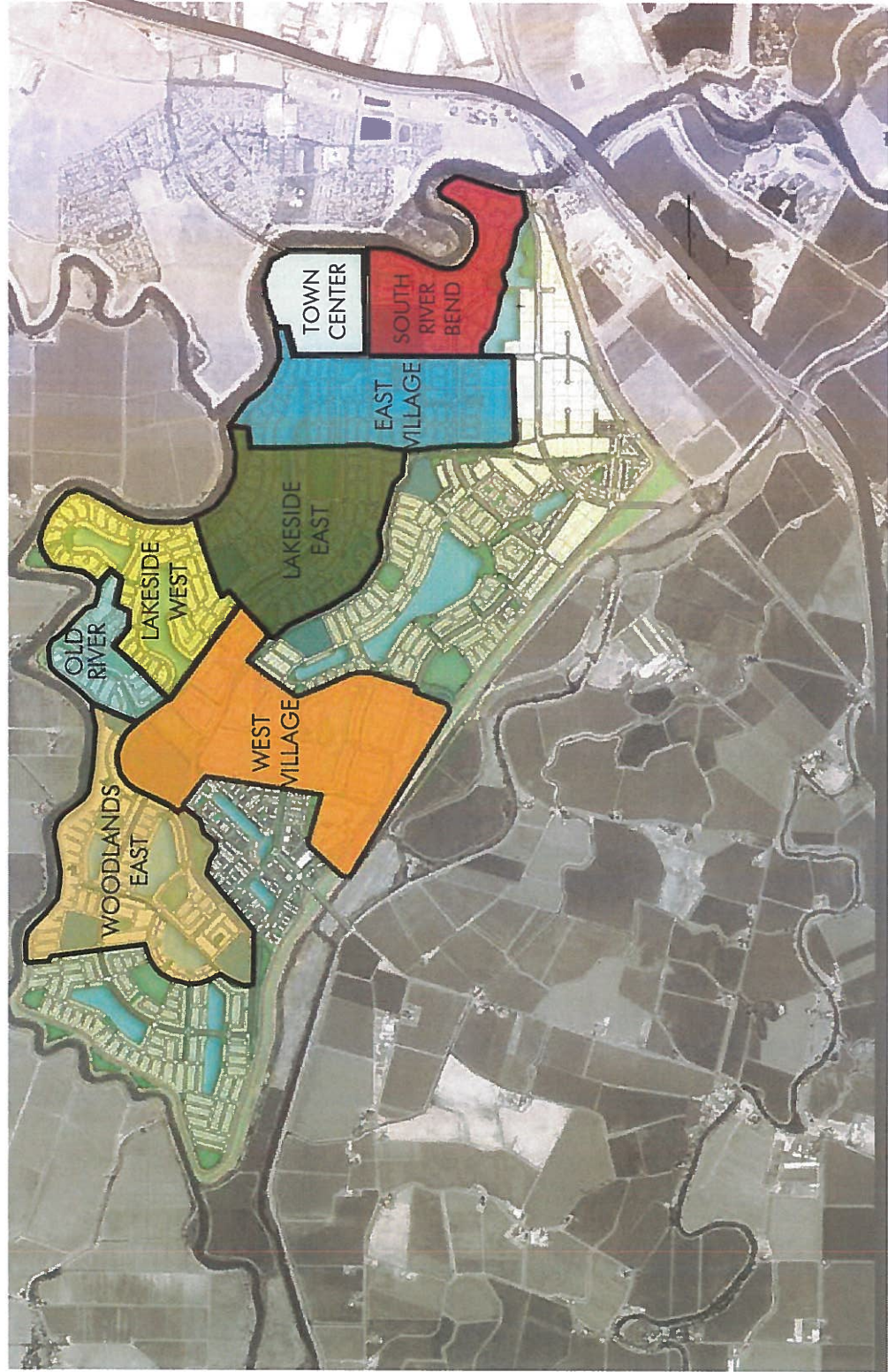


Figure 1.2 River Islands District Diagram (Currently Approved)

1.2 Architecture Design Principles

The character and quality of River Islands' architecture is an important factor in creating the overall identity of the community. Although it is likely that there will ultimately be a variety of architectural styles in the community, the following design principles are intended to provide the guidance that will assure unity and consistency in architectural design.

1.2.1 Regional Precedents

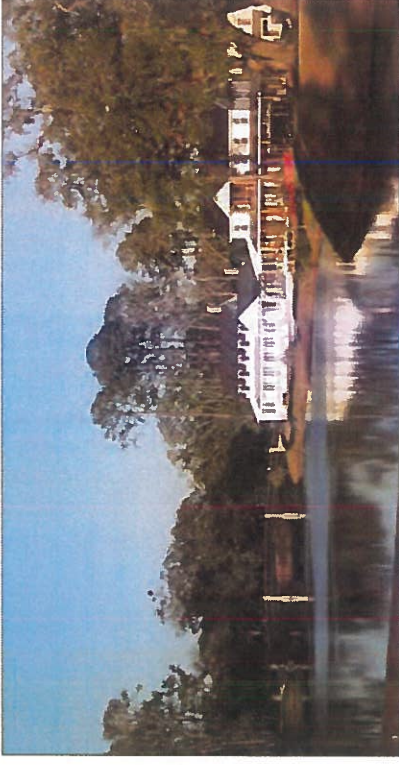
The region of San Joaquin and Sacramento River Deltas is rich in precedents that can serve as the basis for the architecture of River Islands. These include not only the historical architectural tradition, but the climate, natural environment, and cultural history. There are 4 distinct influences identified for this area, that provide us with the architectural styles that will be considered for the River Islands community.

River Edge

The use of the river system for commerce has been largely replaced by recreational use. Still, remnants of the river's use as the primary conduit for goods and materials, as well as the agricultural products of the region, remain. The simple, economical forms and materials of river edge industrial buildings, and their docks and quays provide a meaningful source for the architecture of the Town Center.

River Delta

Because of the abundant water, flat slopes and easily worked soils, river deltas have always been desirable for agriculture. The tradition of farmsteads in the Delta, with their simple farmhouses and outbuildings, can be a particularly rich source for residential building design.



Mediterranean Climate

The climate of the delta is Mediterranean: cool, moist winters are followed by warm, dry summers. The prevailing westerly winds bring in cool air from the Pacific, making evenings pleasant, even in the summer. Often homes in this area were built with large roof overhangs and porches to limit the heat gain in the house, or with carefully placed large trees and shade structures.

Delta History & Culture

Originally part of the Rancho Pescadero, River Islands has a direct historical connection to the Spanish and Mexican Land Grant system that characterized California in the eighteenth and early nineteenth century. The discovery of gold north and east of River Islands, and the subsequent boom are also part of the region's architectural influences. The simple, slapdash architecture of boom towns, and the subsequent opulence of the Victorian Era are a part of the architectural history of the region. The traditions of agriculture and river-based industry are the most prevalent historical influences, however, and provide perhaps the most fitting stimulus for architectural design at River Islands.

1.2.2 Three Architectural Districts

River Islands is divided into three architectural districts based primarily on the dominant use within the district: Residential, Town Center and Employment Center. The requirements for the architecture of each district vary, as described in the following paragraphs.

Residential District

The architecture of the residential districts of the River Islands community will contain a wide variety of architectural styles and influences. The styles will be based on historical precedents from the region, such as those found in farmsteads, the river edge, or in the older residential neighborhoods of valley and delta cities. Modern adaptations of these styles may be proposed, though the intent is to create an appearance and feeling of old tradition architecture. The mixing of styles within individual neighborhoods will be limited so that visual unity can be achieved, and strange juxtapositions avoided.

Employment Center District

As the primary uses of this district are office, retail and commercial, the architectural styles will be the most contemporary of any of the three districts. Office and commercial buildings will generally be simple, modern, rectilinear forms with flat roofs. Masonry, concrete tilt-up and other economical building types will predominate. Buildings with historical references will likely be limited to retail centers or restaurants. Architectural design guidelines & development standards for Town Center and Employment Center Districts will be developed and adapted to supplement the UDC at the appropriate time prior to the official launch of these two districts.

Town Center District

The architecture of the Town Center will vary according to land use and location. Next to the river, particularly in the retail and commercial areas, the architecture should be a modern approach to historical commercial and industrial building types that might have been found in other river front towns. Ideally, this area should appear as if it developed over time, with the participation of numerous designers. Unity will be achieved primarily by uniformity of use and development standards, such as building mass and setbacks.

Residential areas of the Town Center may follow the guidelines for the residential district described previously, or may show the influence of riverfront industrial buildings, or Victorian estates. Individual development proposals will be considered by the Stewart Tract Design Review Committee on the effectiveness with which they create an architectural richness in the Town Center that mimics traditional riverfront towns. This document will introduce a new architectural theme to this end.

Civic buildings, such as schools and city offices, can be special architectural features of the Town Center. They may be traditional or modern in architectural treatment. The construction of the Lathrop Police Station utilizes a more traditional feel, compatible with the previously constructed Islanders Field baseball stadium. Both use neo-traditional elements, including brick and stucco facades. It is expected that this theme and compatible themes will continue throughout the District.

1.2.3 Energy Efficiency

All buildings within River Islands should be designed to conserve energy as required by the State of California's CALGreen Code. Among the methods that should be considered are:

- Passive solar design: thermal masses to absorb winter sun energy, roof overhangs, and carefully placed deciduous trees to provide summer shade;
- Active solar design: solar collectors to heat water, or photovoltaic cells to generate electricity;
- Energy efficient mechanical equipment for heating and cooling, such as heat pumps;
- Extra thermal insulation in roofs and walls to control heat gain and loss;
- Operable windows in commercial buildings; to reduce dependence on mechanical ventilation;
- Home integrated systems: wireless PC based systems that allow homeowners to program appliances to restrict usage during peak energy periods;
- Load shifting technologies: thermal energy storage for residential and commercial use that moves the operation of air conditioning compressors from on-peak operation to off-peak hours;
- Thermal rated glazing, including reflective coatings to reduce heat load in the summer;
- Utilization of Energy Star rated appliances.

RIVER ISLANDS



CHAPTER 2

ARCHITECTURE

This page left intentionally blank

2.1 Design Guidelines

2.1.1 Architectural Character

The primary aim of the Town Center is to provide a community wide mix of commercial, office, residential, recreational and civic uses that provides River Islands with a easily identifiable "downtown" like area.

The overall development pattern, especially north of River Islands Parkway should follow the form of a traditional, downtown setting, with short blocks, and clusters of development at regular intervals.

Since the Town Center is near the geographical center of the City of Lathrop, the area will likely be destination oriented, serving the needs of River Islands residents, but will include retail, recreation, lodging and dining opportunities for the region at large.

Buildings covered by this AG/DS document (Phase 1 of the Town Center District, within Areas 3, 4, and 10) will be designed with a "Delta Agrarian" architectural theme that is historical in nature, but utilizes a modern approach to building materials and energy conservation (see Section 2.1.4). Both Islanders Field and the Lathrop Police Station have already been constructed with this architectural theme. Both the Community Stadium and the Islanders Way Apartment Buildings (located between Marina Drive and Lathrop Landing Community Park), are being designed with the Delta Agrarian theme. Future phases of the Town Center will implement other architectural themes that will require an amendment to this document.

Buildings within Phase 1 of the Town Center will feature solar panels and electric car chargers and modern building materials that have a traditional appearance but are manufactured to be more weather resistant and easier to construct than the original materials used in the historical look of Delta Agrarian. Brick and other masonry treatments with stucco and metal is typical of this style, which is typical of historic buildings throughout the

San Juanin Delta

2.1.2 Streetscape

Major streets in the Town Center include River Islands Parkway, Commercial Street, Garden Farms Avenue, Islanders Way and Riverfront Drive. All of the these streets will be built in Phase 1, except Commercial Street will only be built between River Islands Parkway and Garden Farms Avenue. With the initial phase, Commercial Street will provide the main access to the Town Center from existing River Islands Parkway and with future phases, become the central organizing element of the District, easily accessible from the adjacent uses that will create a "main street" effect north of Garden Farms Avenue. Since the Town Center development will continue to be built in phases, certain areas may be programmed to facilitate active uses such as festivals, concerts, movie nights, farmers markets, craft fairs and other community events that will likely move to permanent areas of the Town Center in the future.

With future updates to this document, guidelines will be modified and architectural themes added to employ architectural elevations on Commercial Street north of Garden Farms Avenue encouraging building entries and windows oriented toward the street, aligned along the back edge of adjacent right-of-way, and with parking lots located behind buildings where possible. This will provide a "traditional" pedestrian downtown feel.

Retail, business, office, and residential uses should be encouraged to be mixed within individual buildings or within clusters of development on a project site. Residential and non-residential development shall include higher densities and intensities to encourage a 24-hour population. With all phases of development, pedestrian walkability should be prioritized through site design with connectivity to the adjacent river trail and between Town Center uses and building groups.

2.1.3 Building Materials and Colors

Building materials and color are important elements to maintain the visual quality of development within the Town Center and contribute to the quality streetscapes. Durable and environmental sustainable materials for Phase 1 of the Town Center shall include the following:

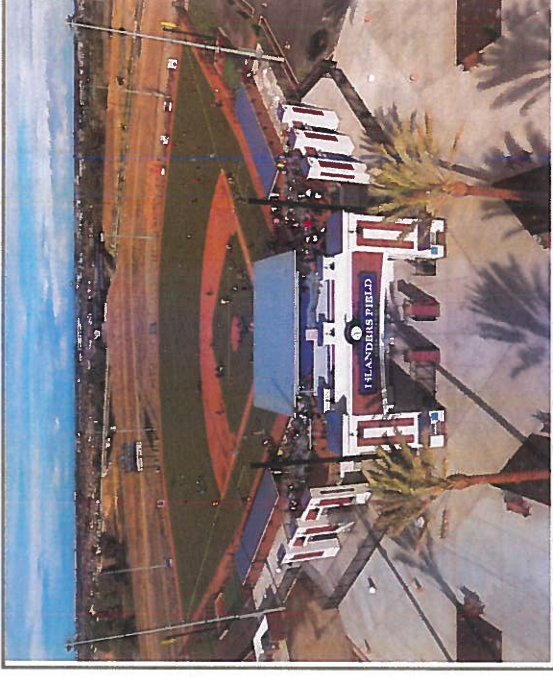
- Use of stucco as primary exterior element along with brick masonry blocks or veneer with heavy accent materials. Some projects may also utilize wood siding/Hardie fiber material siding.
- Accent materials shall be primarily brick/brick veneer or other masonry, along with steel elements such as railings, awnings, and overhangs
- Primary building colors shall be neutral/lighter in nature with accent colors being darker in contrast, but compatible with the main structure color.
- Roof materials shall be metal standing seam or equivalent for sloping and shed roofs, built-up systems for flat roofs and other metal roofing compatible to the architectural theme.

2.1.4 Town Center Architectural Styles

In contrast to other districts in River Islands that are largely residential in nature, the Town Center District is meant to be a mixed use area of various land use types, including medium and high density residential, commercial, retail, office, government and recreational uses. As noted, the Delta Agrarian Theme will be employed for Phase 1 of the Town Center, in the same vein as Islanders Field and the Lathrop Police Station. Other styles will be added in future versions of this document.

Since there are several public and semi-public uses that have already been established in and near the Town Center that have a common, unifying theme, including the Lathrop Police Station, Islanders Field Baseball Stadium and Lathrop Manteca Fire Station No. 35, these guidelines will continue this Delta Agrarian theme with additional private and public buildings in Phase 1 of the Town Center.

Other styles will likely be introduced in the future as development within the Town Center occurs over time. However, all adopted themes shall be compatible with each other, no matter the land use type.



Islanders Field



Lathrop Police Station

Delta Agrarian Theme

Inspired by early 19th Century industrialism and rail expansion through agricultural lands in the Western United States, and in the San Joaquin Delta in specific, Delta Agrarian architecture combines materials and motifs from the unique architecture of this historic area with traditional housing materials indicative a more modern approach.

Exterior Features

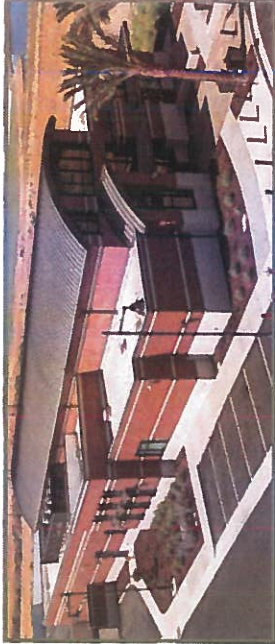
Delta Agrarian is characterized by functional rectilinear forms. The primary exterior mass is characterized by industrial materials such as brick and exposed steel. Less dominant masses or elements employ secondary materials such as stucco and panel siding.

Elements	Minimum	Enhanced
Form	<ul style="list-style-type: none"> -Multi-storied form with varied facade depth (multi-family, commercial, office), including single story buildings -Maximum 30' continuous facade plane -Roof line broken up by rounded or square tower elements. 	<ul style="list-style-type: none"> -Simple exposed structural members on exterior of structure
Roof	<ul style="list-style-type: none"> -Flat rectilinear roofs or barrel vault roofs of varied height -Rooftop equipment screened or kept out of site from pedestrians. Screening materials to reflect Agrarian Railroad Industrial character 	<ul style="list-style-type: none"> -Horizontal accent band or metal trim incorporated into parapet design
Walls	<ul style="list-style-type: none"> -Use of at least two or more exterior materials or colors -Consistent use of horizontally oriented materials 	<ul style="list-style-type: none"> -Asymmetrical facade massing employing two or more materials
Windows	<ul style="list-style-type: none"> -Divided light window -Single hung window -Dark window frames 	<ul style="list-style-type: none"> -Inset windows -Storefront glazing
Details	<ul style="list-style-type: none"> -Exterior details with exposed structural elements -Horizontal accent bands on facades -Ornamental light fixtures of industrial character 	<ul style="list-style-type: none"> -Vertical or horizontally oriented metal lattice elements. -Exposed trusses

Delta Agrarian Design Images



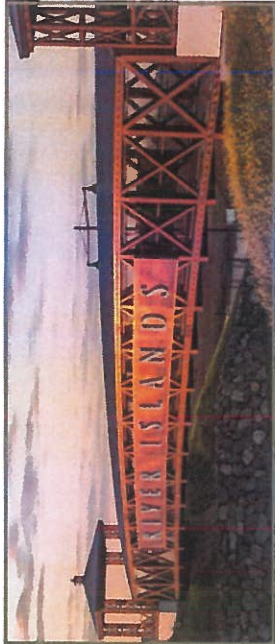
Union Pacific Railroad Bridge Dell'Osso Farms



Lathrop Police Station



Islanders Field Stadium



Bradshaw's Crossing Bridge over the San Joaquin River

Agrarian Kit of Parts

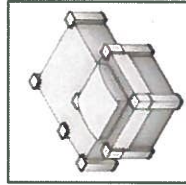
Form



Height variation

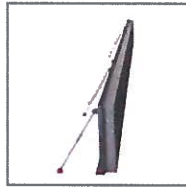


Vaulted roofs



Column articulation

Details



Metal Overhang

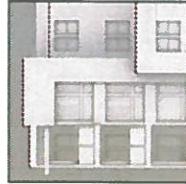


Accent Band



Metal Lattice

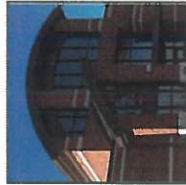
Roofs



Flat Profiles



Height Variation



Plane Change

Railing



Horizontal Thin Metal

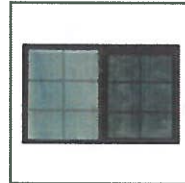


Horizontal



Vertical Metal

Windows



Single Hung



Divided Light



Dark Window Trim

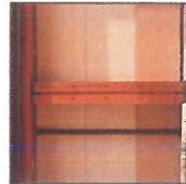
Columns



Exposed Wood Column



Overhang Column

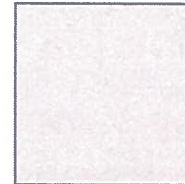


Column with exposed bolts

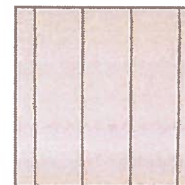
Materials



Brick



Stucco



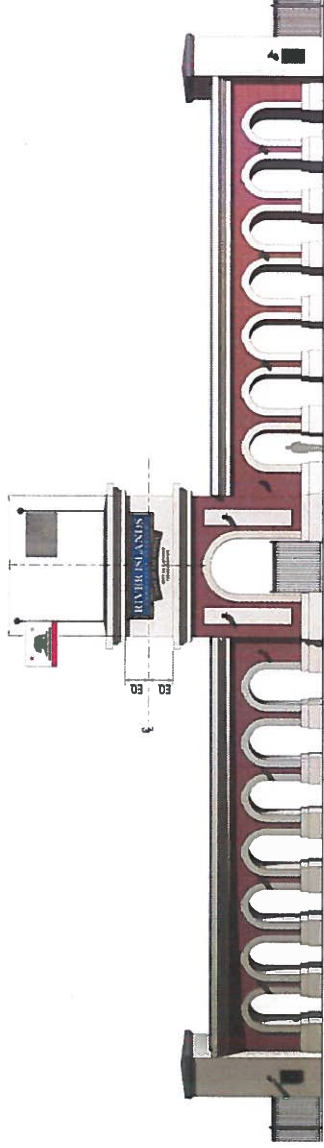
Wood Panel Siding



Dark paint or steel

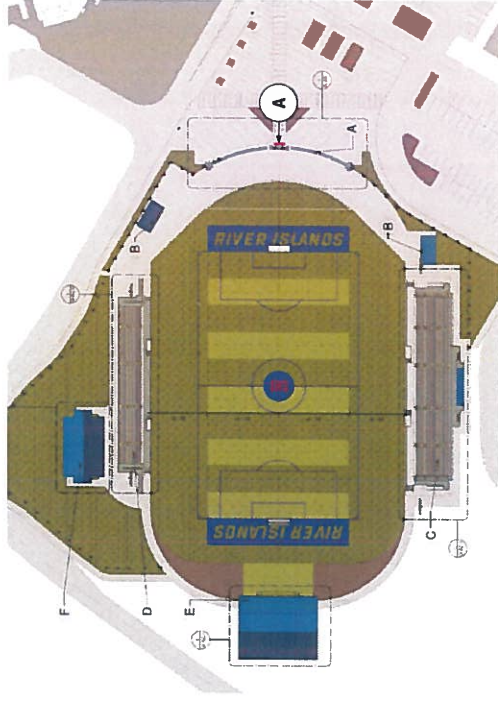
2.1.5 Specialized Facilities

Given the unique nature of the Town Center and its mix of public and private uses, specialized facilities of both a temporary and permanent nature may be proposed. The Town Center already boasts the Islanders Field Baseball Stadium (permanent) and the River Islands Soccer Fields (temporary) which are of a specialty nature. The Town Center will include additional private recreational facilities, including the Community Stadium. Other such uses may come in the future. Such facilities shall be architecturally compatible to the rest of the uses in the Town Center District and be reviewed for recommendation of the Stewart Tract Design Review Committee. The Community Stadium in particular is excellent representation of the Delta Agrarian theme utilized by other community wide buildings in the Town Center (e.g. Islanders Field, Lathrop Police Station).



STADIUM ENTRANCE - FRONT ELEVATION (SOUTH)

SCALE: 1/16" = 1'-0"



SITE PLAN

NOT TO SCALE

2.2 Development Standards

This AG/DS document contains specific development standards for institutional and multi-family residential development only. Other areas of the Town Center are still under design development and the AG/DS document will be updated to address other land use types and development areas of the Town Center in the future.

The development standards necessary to regulate housing development for high density residential projects are shown in Table 2-1: River Islands Architectural Development Standards Summary.

Development standards for commercial, office, retail and other uses will be added to this document when such development is proposed in the future, prior to the approval any development and building permits for such uses.

To allow future innovative development, architects and planners may be encouraged to propose new design solutions that may deviate from standards set forth in this document.

The City, based on recommendation of the STDRC shall have the authority to accept, review and grant any minor architectural variance on a case by case basis during the Site Plan Review or Conditional Use Permit process.

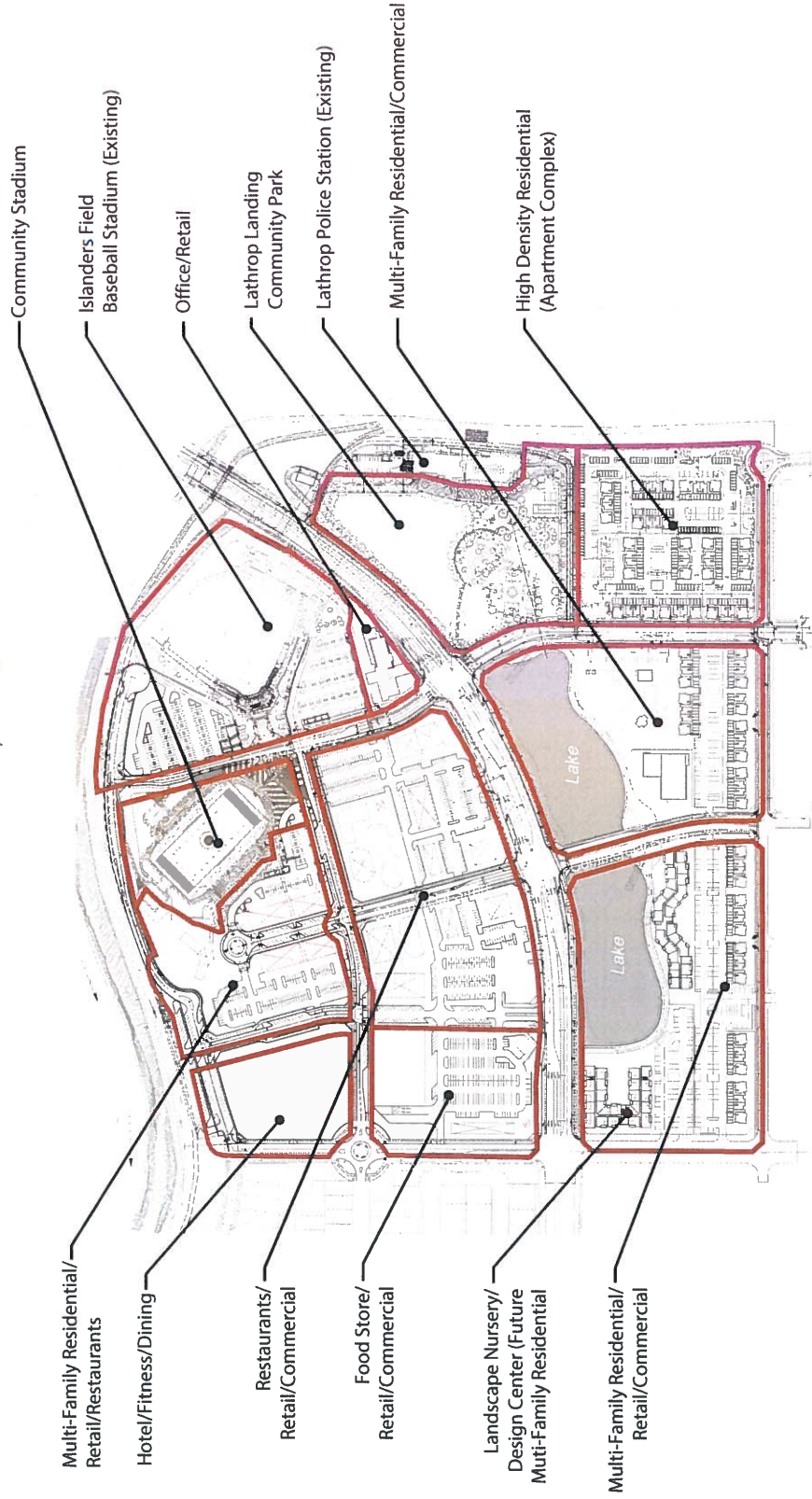


Figure 2.1 Town Center Conceptual Plan subject to change with future development (pending amendment to this document)

2.2.1 Land Uses and Development Pattern

The City's MU-RI Zoning District allows the placement of commercial, office, residential and other permitted and conditionally permitted uses together in the same area and with shared parking arrangements in accordance with the Lathrop Municipal Code and the Town Center NDP.

The planned development areas shown are diagrammatic and preliminary, subject to change with individual development proposals. Existing uses in the Town Center include Islanders Field Baseball Stadium, Lathrop Police Station and the PG&E Natural Gas Pressure Reducing Facility. Interim uses include the River Islands Welcome Center, River Islands Technology Academy, and Lathrop Soccer Facility. These uses are not included below.

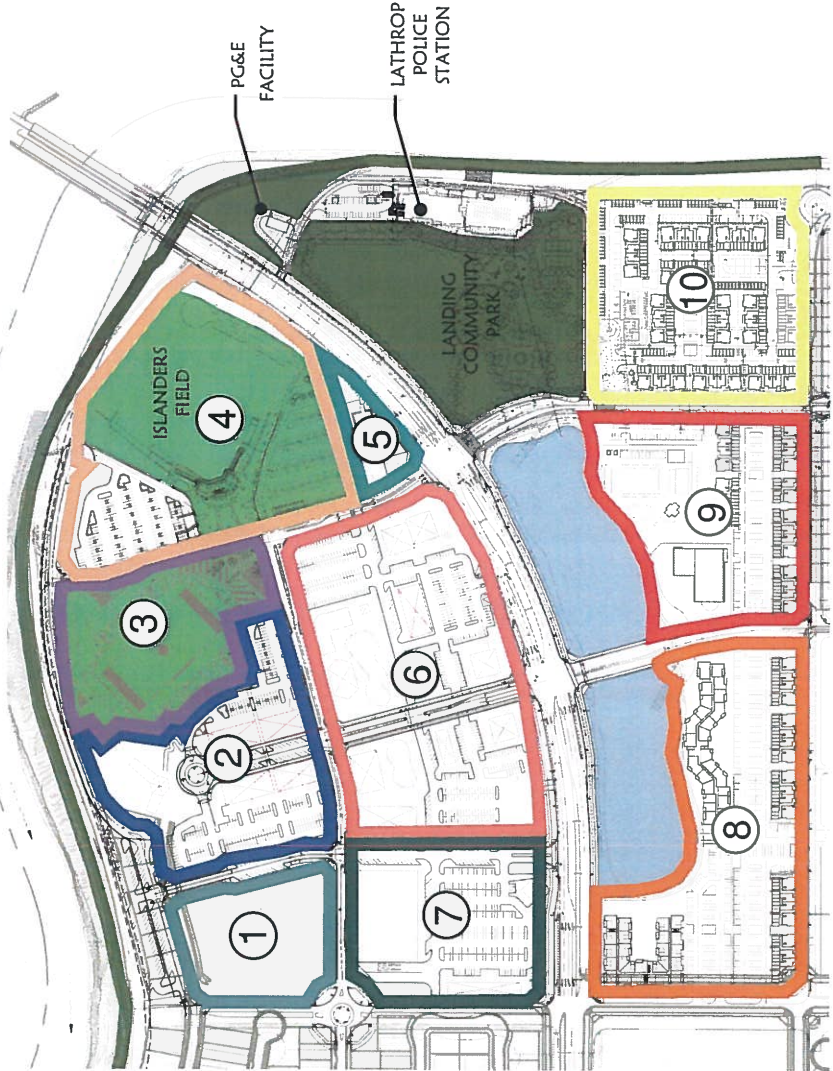


Figure 2.2 Town Center Development Areas subject to change with future development (Pending amendment to this document)

Lotting/Development Summary

AREA	ID	PRODUCT TYPES	Units*
[Teal]	AREA 1	Commercial/Mixed	0-448
[Blue]	AREA 2	MFD/Mixed	0-448
[Purple]	AREA 3	Private Recreation	N/A
[Light Blue]	AREA 4	Private Recreation	N/A
[Light Green]	AREA 5	Office/Mixed	0-448
[Pink]	AREA 6	Commercial/MFD	0-448
[Dark Green]	AREA 7	Commercial/Mixed	0-448
[Orange]	AREA 8	Commercial/MFD	0-448
[Red]	AREA 9	Private Rec./MFD	0-448
[Yellow]	AREA 10	MFD	220
[Light Green]	COMMUNITY PARK	N/A	N/A
[Light Blue]	LAKE	N/A	N/A
[Light Green]	TRAIL	N/A	N/A

* - Multi-family dwelling units may vary in each development area based on individual development proposals. The minimum number of multi-family units in the total Town Center District is 668.

Town Center Development Summary

Area	Gross Acres	Net Acres	Dwelling Units	Non-Residential Dwelling Units	Residential Density (DU/AC)	Non-Residential Intensity (%)
Area 1	4.6	3.6		82,000	-	53%
Area 2	4.9	3.8	64	33,100	17	20%
Area 3	7.4	5.7		15,598	-	6%
Area 4	13.2	10.1		5,700	-	1%
Area 5	1.0	0.8		40,000	-	122%
Area 6	4.9	3.7	16	63,700	4	39%
Area 7	6.4	4.9		36,200	-	17%
Area 8	10.7	8.3	258	22,000	31	6%
Area 9	7.4	5.7	110	23,500	19	9%
Area 10	9.1	7.0	220		32	-
Totals	69.6	53.6	668	321,798		

- Notes:
- Summary is based on current development plan and is subject to change.
 - Maximum residential density is 40 DU/AC under the MU-RI zoning district.
 - Maximum non-residential intensity is 100% and would assume parking garages in-lieu of parking lots currently proposed.
 - Phase River Islands approval documents (WLSF, VTM and EIR allow up to 500,000 total non-residential square feet).
 - Areas not covered by this document (all areas other than 3, 4 and 10) shall require an updated parking plan with the required update to these guidelines prior to the approval of a development permit in Areas 1, 2, 5, 6, 7, 8 and 9. Currently, parking standards in the Lathrop Municipal Code shall prevail.

2.2.2 High Density Architectural (HDR) Development Standards (Stand Along Projects)

The HDR land use designation is intended to provide higher density, multi-family products that can be catered to renters as well as buyers (e.g. condos). However, the standards listed below are for stand alone projects only and not for mixed use areas. The permitted density range for this category is between 15~40 dwellings per acre (du/ac).

Lotting of planned units shall be submitted for STDRC review prior to the submittal of a Site Plan Review application to the City for review. Since there are a wide range of product types for this classification, each site plan shall be reviewed on a case by case basis.

Table 2.1 Summary of High Density Residential Development Standards

Setbacks and Lot Depth (minimum)	
Setbacks at Arterial/Collector Streets	10'
Setbacks at Local/Minor Streets	5'
Setbacks at Levee/Lake Slopes/Open Space	20'
Setback from Open Parking Areas	10'
Lot Depth	No restriction
Common Area Uses/Open Space (minimum)³	50 sq. ft. per unit
Building Height (maximum)	
Five Stories or more	125'
At Four Stories	60'
At Three Stories or less	40'
Building Coverage (maximum)¹	50%
Building Site (minimum)	No restriction
Lot Width (minimum)	No restriction
Lot Frontage (minimum)	No restriction
Parking	1.5 parking spaces per unit ²
Minimum Usable Private Yard Space (optional)⁴	80 sq. ft. per unit

1. Exceptions to building coverage may be granted on a case by case basis upon recommendation of the STDRC and approval of the Planning Commission.
2. Additional guest parking may be provided in shared use parking areas within the Town Center and/or on public streets where parking stalls have been provided.
3. Common areas include landscaped areas, open spaces and common area buildings shared by all occupants,
4. When provided, private yards are defined as patios for first story units; balconies for second floor and above. Such yards are optional.

This page left intentionally blank

RIVER ISLANDS



CHAPTER 3

LANDSCAPE GUIDELINES AND STANDARDS

This page left intentionally blank



3.1 INTRODUCTION

This chapter addresses guidelines and standards for landscape elements to be installed by Builders. These elements include planting and irrigation of commercial common spaces, residential common spaces, driveways, site furnishings, and sustainable design measures. The provisions set forth within this chapter will provide a closely coordinated, cohesive, and memorable landscape experience to unify neighborhood character and ensure that every resident feels well-connected to site and landscape. The goal is to create a welcoming residential landscape that enhances the living experience, adds lasting value to homes and the neighborhood as a whole, and incorporates sustainable measures for landscape design and construction.

The River Islands Town Center District should reinforce the overall theme of River Islands, with an urban community that feels as if it grew within the context of the California Delta as a corridor between the rural agricultural and country living of the San Joaquin Valley. The concept seeks to blend the modern multi-family development and commercial spaces into the historical land use of the natural environment of the Central Valley's farm land and the surrounding waterways, which give such life to the environment. This theme may be expressed through use of orchard-style planting, wildlife-attracting hedgerows, riparian-type planting, abundant trees, and durable, long-lasting materials that convey a genuine sense of place. The City of Lathrop Municipal Code, Chapter 17.92: Landscape and Screening Standards and the City of Lathrop Design and Construction Standards provide additional requirements for landscape. Where documents differ, these Builder Guidelines and Standards shall apply.



Typical streetscape planting along multi-family buildings



Parkway strip shrub, tree and rock groupings create a sense of place

3.2 MIXED-USE LANDSCAPE

3.2.1 Planting Design

Guidelines

- Planting themes have been selected to mimic existing characteristics and habitat of the delta waterways and vegetated agricultural hedgerows. Plant material selection should strongly consider the use of drought-tolerant, durable and long-lived species that give the appearance and imagery of the Delta Valley. Species should be well adapted to the climatic conditions and soil types typical of the River Islands Development. Robust evergreen shrub species intermixed with flowering native shrub species are strongly encouraged. Large naturally shaped flowering shrubs species should be selected to mimic the image of traditional hedgerows typical of the surrounding agricultural region. Flowering species that create year-round interest are of high preference.
- Landscape design should emphasize the use of nectar-producing and flowering plants that supply food, shelter and breeding habitat for beneficial insects that pollinate edible crops and control pests. Gardens for butterflies, hummingbirds, and native bees are encouraged.
- Landscape design should provide effective screening of retaining walls, utility enclosures, utility cabinets, or service areas to reduce negative visual impacts. Screen landscaping should incorporate evergreen plant species in order to maintain year-round leaf cover.
- Plant selection should avoid the use of tree species with invasive root systems near utility lines and paving and avoid the use of non-native, invasive species that may spread into open space areas. All plants should be carefully selected to avoid toxic species that could be harmful to children or cause allergic reactions.
- Low groundcover of robust evergreen species should be used for ground plane landscape, as an alternative to turf. Turf should only be used for high use areas and the selected turf should be a deep rooting variety or a California Native variety. The use of turf should

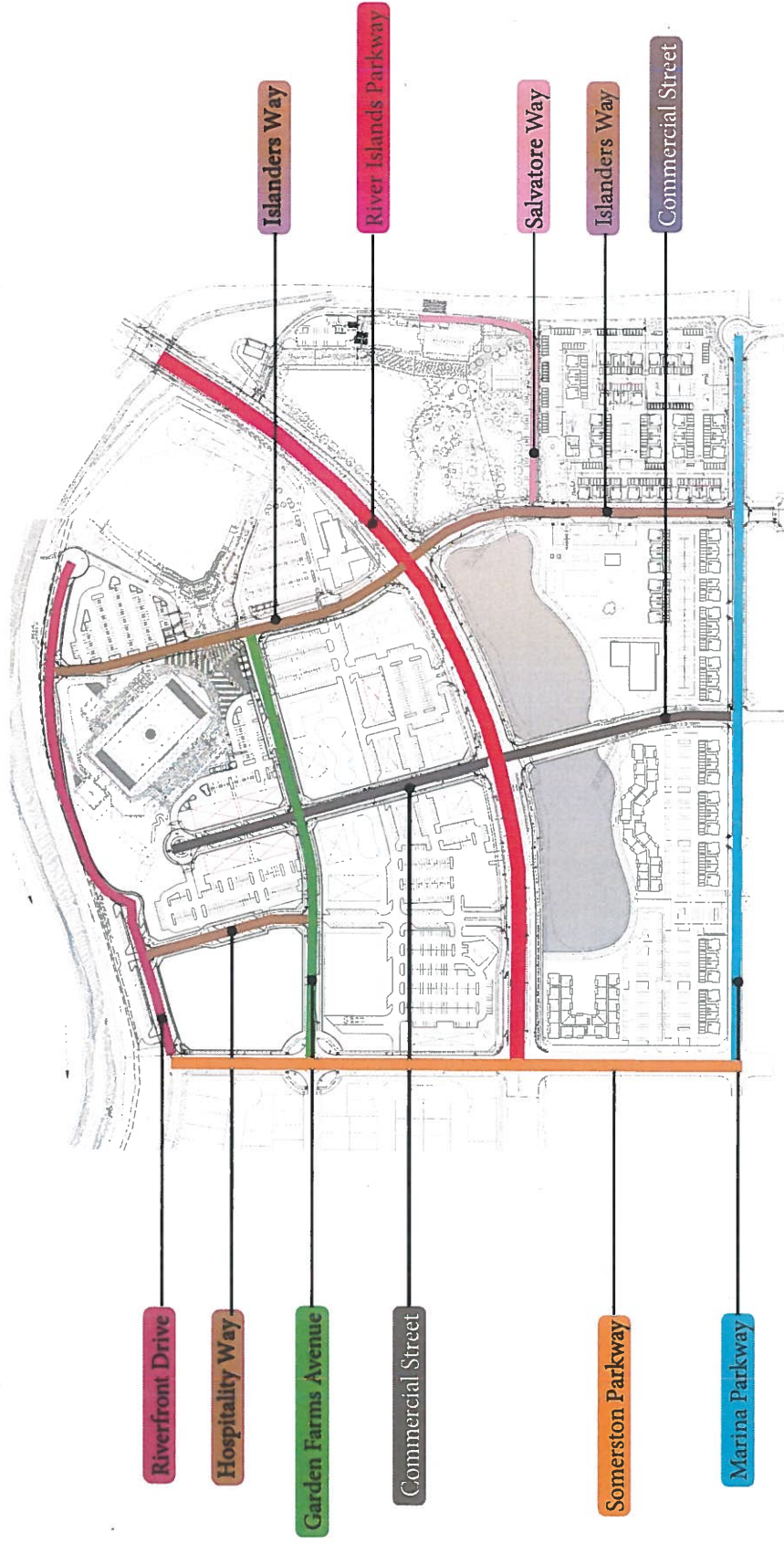
follow the guideline and requirements as described in AB1881.

- Plants with higher water demands should be located in shade or where more runoff occurs.

- Landscape around buildings should be designed to provide shading in the summer months and solar access during the winter. Planting deciduous trees next to buildings will reduce ambient temperature, reduce heat gain, and allow for cooler natural ventilation. Deciduous trees and vines in front of south-facing walls and windows will further cool buildings by intercepting sunlight during summer months, yet allow direct sunlight during the winter.
- Energy-efficient landscaping techniques are encouraged such as use of local materials, on-site composting, and chipping to reduce green waste hauling.
- Structures such as trellises and porticoes may be incorporated into the building/landscape edge, especially on south- and west-facing exposures, to provide shade in the summer and allow solar penetration when the sun is at a low angle in the winter.

Standards

- All private areas visible from public parks, streets, alleys or lakes shall be landscaped by the Builder/Developer. Property owners shall be responsible for private yard areas enclosed within fences.
- Landscape plans for all areas where the builder is required to install landscaping shall be prepared by a landscape architect registered to practice in the State of California.
- Landscape construction practices shall adhere to the provisions in Section 3.4, below.
- Landscaping and screening standards from Lathrop Municipal Code Section 17.92.030 shall be met for all commercial developments.



STREET TREE LIST BY CONNECTOR STREET

STREET	BOTANICAL NAME	COMMON NAME
Marina Drive	Tilia c. 'Greenspire'	Little-Leaf Linden
Garden Farms Avenue	Ulmus p. 'Drake'	Chinese Elm
Commercial Street	Zelkova s. 'Green Vase'	Green Vase Zelkova
Islanders Way	Acer rubrum 'October Glory'	October Glory Red Maple
River Islands Parkway	Quercus coccinea	Scarlet Oak
Riverfront Drive	Malus x. 'Prairie Fire'	Prairie Fire Crab Apple
Somerston Parkway	Quercus lobata	Valley Oak
Salvatore Way	Ulmus p. 'Drake'	Chinese Elm
Hospitality Way	Tilia c. 'Greenspire'	Linden "Greenspire"

ACCENT TREE LIST

BOTANICAL NAME	COMMON NAME
Cercis occidentalis	Western Redbud
Chitalpa tashkentensis	Chitalpa
Lagerstroemia indica	Grape Myrtle
Prunus c. 'Krauter Vesuvius'	Purple Leaf Flowering Plum
Prunus serrulata 'Kwanzan'	Kwanzan Flowering Cherry

Note: These species are for reference and are not intended to be the only type of accent trees. See Appendix for additional species.

Figure 3-1: Street Tree Master Plan

PARKWAY STRIP MASTER PLANT LIST

VILLAGE / STREET	STREET / DIRECTION	BOTANICAL NAME	PLANT SPACING
Marina Parkway	East/West	<i>Festuca mairei</i>	36" O.C
River Islands Parkway	North/South	Mixed, including species listed below	36" O.C
Garden Farms Avenue	East/West	<i>Myoporum parvifolium</i> 'Putah Creek'	36" O.C
Commercial Street	North/South	<i>Myoporum parvifolium</i> 'Putah Creek'	36" O.C
Islanders Way	North/South	<i>Rosa</i> x 'Noaschnee'	36" O.C
Somerston Parkway	North/South	Mixed, including species listed below	36" O.C
Riverfront Drive	East/West	<i>Coprosma</i> p. 'Verde Vista'	36" O.C
Hospitality Way	North/South	<i>Cotoneaster</i> d. 'Coral Beauty'	36" O.C



PARKSTRIP SECTION

NOT TO SCALE

PARKWAY STRIP PLANT LIST

BOTANICAL NAME	COMMON NAME
<i>Juniper</i>	Juniper
<i>Coprosma</i> p. 'Verde Vista'	Coprosma
<i>Cotoneaster dammeri</i> 'Coral Beauty'	Bearberry Cotoneaster
<i>Arctostaphylos</i> 'Pacific Mist'	Manzanita
<i>Cistus Salvifolius</i>	Sageleaf Rockrose
<i>Myoporum parvifolium</i>	Australian Racer
<i>Rosa</i> x 'Noaschnee'	Flower Carpet White Rose
<i>Rosmarinus</i> offic. 'Huntington Carpet'	Huntington Carpet Rosemary
<i>Teucrium chamaedrys</i> 'Prostratus'	Germander
<i>Rosmarinus O.</i> 'Prostratus'	Dwarf Rosemary

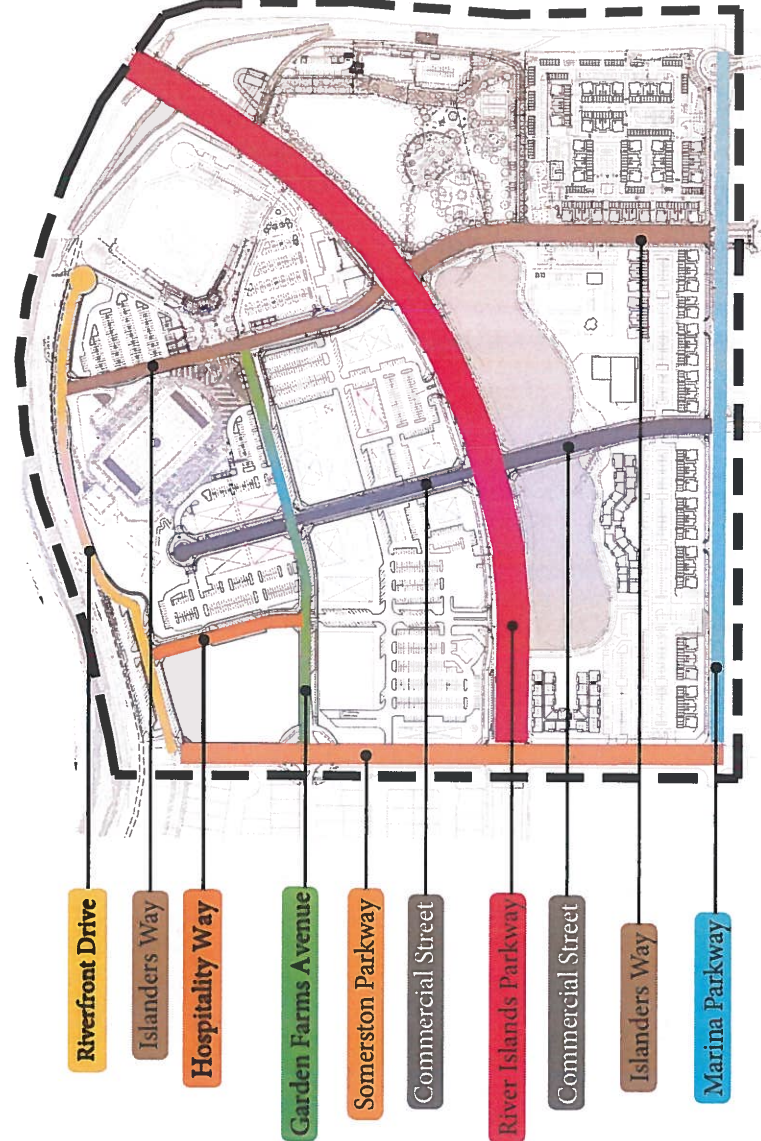


Figure 3-2: Parkway Strip Planting Master Plan

3.2.2 General Guidelines

- Common areas of properties should be designed and installed by the Builder as a continuous landscape with consistent plant materials and dimensions that unify the street edge (see Figure 3-1). Dominant ground plane plant material should consist of shrubs, perennials and grasses that maintain an attractive appearance and enhance natural habitat values.
- Hedgerows may be used on side property lines for privacy and definition of yard areas, and a continuous low border of low shrubs or groundcover may be installed adjacent to the sidewalk (see Figure 3-2).
- Shrubs located near street frontages or on corner lots should not exceed three feet in height.
- Builder is responsible for landscape, irrigation and maintenance of private yards.

Standards

- Landscaping for all common areas shall be installed by the Builder.
- The Builder shall design common area landscape for all properties. These areas shall include a minimum of one street tree for every 40 lineal feet of frontage and shall comply with Lathrop Municipal Code regulations for parking lots, landscape areas, and hardscape areas and shall match the species and size of the adjacent street trees or as indicated in Figure 3-1. Additional "accent" trees installed outside of the park-way strip areas may be of a different species (refer to figure 3-1 for a list of acceptable "accent trees").
- Other common areas shall be planted with shrubs and perennials that enhance habitat values and maintain an attractive year-round appearance along the street.
- All common areas shall be maintained by the property owner.
- Irrigation shall be provided for all planted areas (see Section 3.4). The Builder shall install irrigation for all areas that they landscape. After construction, property owners shall be responsible for irrigation of all common areas and adjacent parkway strips.

3.2.3 Lake Slopes

See Section 3.3 for fencing requirements along lakes .

Guidelines

- Areas adjacent to lake slopes should contain a minimum of trees planted at 40 lineal feet on center.
- For lakeside parcels, the slope area from the rear yard fence to the lake edge should be planted in informal drifts of shrubs, grasses and perennials. Plant material should be located to maintain views of the water, with higher planting allowed on lower terraces and shorter species on upper portions of the slope. No trees are allowed within the slope areas outside of the 6' tubular steel fence.

Standards

- Areas of parcels adjacent to the lake (from back side of parcels view fence to lake edge) shall be landscaped and mulched (with bark or gorilla hair) by the Builder. This includes view fencing installation at the top of rear yard slopes and side yard fencing installation.
- Developer may install pilasters at a consistent interval along the lake edge (see Figure 3-4). (Builder may install with the consent of the Developer).
- Irrigation shall be provided for all planted areas (see Section 3.4). The Builder shall install irrigation for all areas that they landscape. After construction, property owner shall be responsible for irrigation of all common areas and adjacent parkway strips.

3.2.4 Levee Landscaping

Standards

- All levee landscape areas adjacent to commercial or multi-family parcels and roadways shall be landscaped with hydroseed mix (Figure 3-7).
- Areas adjacent to levee shall be the responsibility of the Reclamation District to maintain from toe of slope to crown.

3.3 SITE FURNISHINGS/ MATERIALS




3.3.1 Fences

Figure 3-3 illustrates the location of fencing that may be used. Except for the high-density residential use in Area 10 that will have a 6' tubular steel fence, there a number of suggested areas that may also have fencing. The type, size and location may vary based on individual uses and conditions. Additional fencing and walls, including view fencing in the back area of parcel of lakeside parcels, may be installed by the Developer or RD 2062 depending on adjacent uses determined in the future (Figure 3-3).

Guidelines (All Uses)

- In general, fencing should be designed to be natural-appearing and durable, compatible with neighborhood character, and reflective of the "Delta Agrarian" character of River Islands.
- Fencing should be made from high quality materials, be of durable construction, and present a "finished" appearance from adjacent properties.
- Solid side lot privacy fencing that intersects open space view fencing should not exceed 5 feet in height within the rear setback.
- To reduce their visual prominence, fences should be used in combination with tree, vine, shrub, and hedge planting.

Fencing Legend

SYMBOL	FEATURE TYPE
	Open Space Railing
	6' Open View Fence (6' Tubular Steel)
	Security/View Fence (Determined at Apartments Site Plan Review)

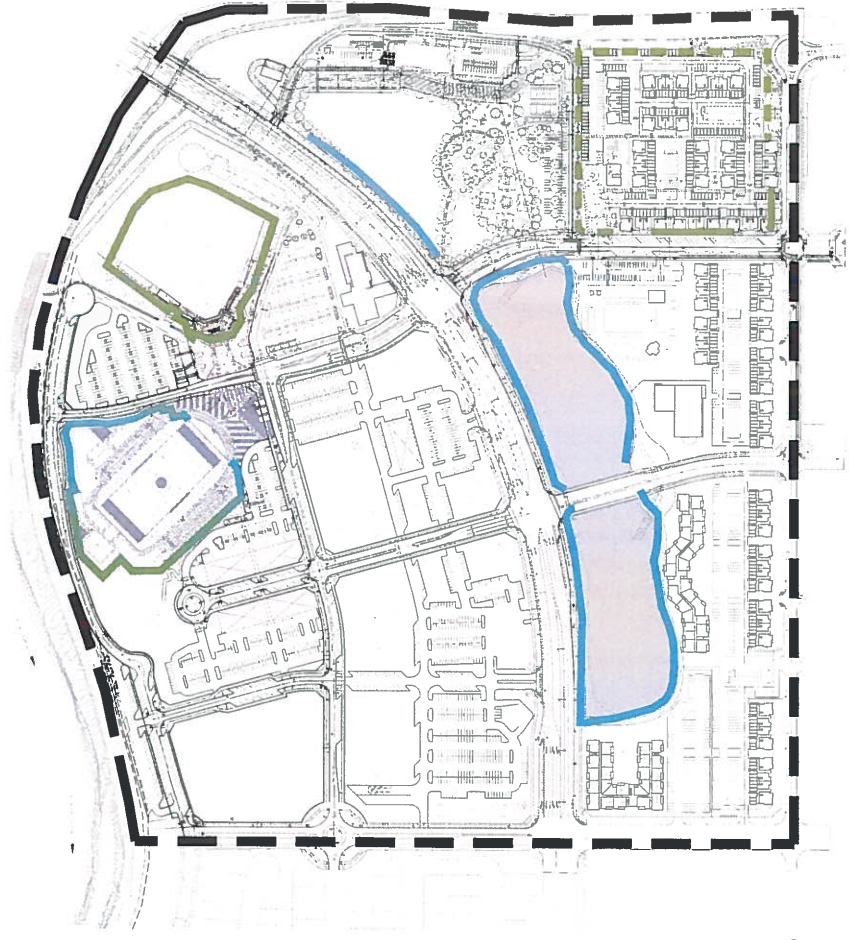


Figure 3-3: Fencing Locations

Standards (All Development)

- In sloping areas visible from public streets or public use areas, fencing shall step down the slope. Fencing may slope with the grade in areas that are outside of public view.
- On corner parcels, front fencing shall be continuous along the front and side property line. Where slopes occur, fencing shall be installed along the top of slope. For corner parcels, side parcel fencing along street frontages should be located a minimum of five (5) feet from the sidewalk where possible.
- Maximum unbroken length of side parcel fences should be 100 feet for adjacent street-facing lots. Fencing can be reduced in height at corners as required to allow for traffic safety and visibility.
- Security fencing shall be provided around pool and spa areas in compliance with all applicable codes and ordinances.
- Barbed or razor wire, chain link and plastic/vinyl fencing is prohibited on a permanent basis. Security chain link may be used as temporary construction fencing.

3.3.2 Signage

- Temporary signage to market the sale of parcels/spaces – to be provided by River Islands. Signage should conform to the signage types and hierarchy described in the Appendix.
- Permanent signage for uses established in Phase 1 (Areas 3, 4, and 10) shall be proposed with individual development proposals for each area. Such signage shall include details on signs placed on buildings and monument signs addressing the site. Freestanding or pylon signs shall not be allowed in Phase 1 of the Town Center. Future phases of the Town Center shall include a comprehensive signage plan for building signs monumentation, freestanding signs, banners and other types of commercial signage.

3.3.3 Landscape Lighting

Guidelines

- Landscape lighting should be designed to be hidden from direct view and to minimize glare and impacts to adjacent land uses, especially residences. Low-level, pedestrian-scale fixtures should be utilized to the degree possible.

- Landscape lighting should utilize durable, energy-efficient fixtures that provide pleasing color. High efficiency fixtures are encouraged to direct light where it is needed to avoid excessive glare and reduce impacts upon night sky and open space. No lighting should blink, flash, or be of unusually high intensity or brightness, except in the case of holiday lighting.
- Landscape lighting should be minimized to reduce light pollution and minimize energy usage.
- LED fixtures and intelligent control systems should be utilized to the extent possible.

3.3.4 Paving and Hardscape

Guidelines

- Textured or stamped concrete/asphalt shall be used on the sidewalk on Commercial Street north of Garden Farms Avenue and in high traffic pedestrian crossings as determined by the City Engineer
- Raised crossings (tables or undulations) shall be employed to increase pedestrian safety. Additional treatments may be proposed in the future for pedestrian oriented Commercial Street corridor north of Garden Farms Avenue.
- The general intent of pavement design is to provide an aspect of permanence with subtle textural variety using materials that appear related to the natural landscape. Brightly-colored and highly reflective materials are not acceptable. Pervious paving is encouraged to the extent feasible.
- Use of enhanced paving materials (exposed aggregate, broom finish, integral color, unit pavers, stamped concrete, and bricks, etc.) is encouraged.
- Planting areas are recommended between pavement and walls or fences. Concrete areas on the landscape plans should be designated with surface finish, color, expansion joints, and score joints. Expansion and score joints help isolate cracking locations in concrete and should occur 8 feet on center (max.) in each direction.
- Selected paving color/albedo should meet a minimum SRI (Solar Reflective Index) value of 29 in order to aid in reducing the heat island effect (note: typical grey concrete usually falls between 38-52).

3.4 LANDSCAPE CONSTRUCTION PRACTICES

The following provisions address construction practices techniques to ensure healthy and successful projects and adhere to requirements and measures for sustainable landscape.

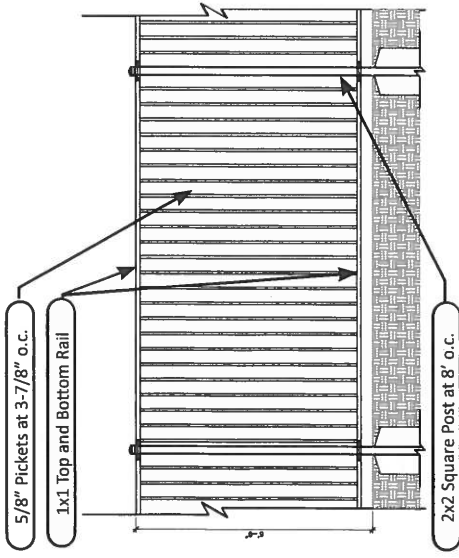
3.4.1 Irrigation and Water Conservation

The City of Lathrop Municipal Code, Chapter 17.92 Landscape and Screening Standards, contains additional requirements for irrigation and water conservation.

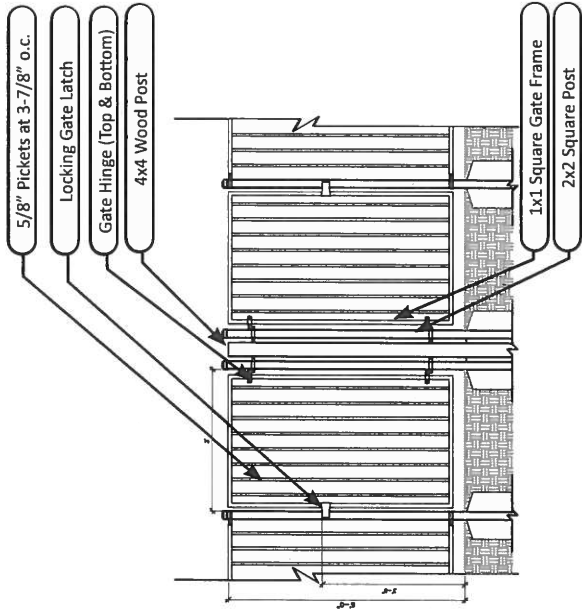
Guidelines

- The irrigation system should be designed to conserve water resources by efficiently and uniformly distributing water. Designs should be based upon applicable California Department of Water Resources ordinances and tailored to the climate of the City of Lathrop.
- Use of low volume spray heads and drip irrigation systems should be maximized. New irrigation techniques and drip irrigation systems should be used to ensure more efficient delivery of water.
- Irrigation design should accommodate hydrozones accordingly, separating high, medium and low water-use plants. Trees should be put on a separate system, specifically in lawn areas, and shrubs and trees should be irrigated with a drip or bubblers to provide deeper, more even watering and promote water conservation. Systems should also be separated by sun exposure, i.e., north/east exposures versus south/west exposures.
- Turf and groundcover should be irrigated with a conventional rotary nozzle spray system, using head-to-head spray coverage. In-stem pressure regulation and check valves are required on all heads. To effectively meet the intent of the state of California's conservation effort sub-surface drip irrigation should be the primary irrigation method. No above ground irrigation distribution method should be incorporated in areas less than ten feet (10") wide and shall maintain a twenty-four inch (24") offset from all pavement surfaces that drain directly to catchbasins.

NOTE: Tubular steel fences will only be employed on a case by case basis depending on the adjacent use. Lighted or unlighted pilasters or open railings may be employed instead. Implementation shall be made at the development permit issuance.



6' TUBULAR STEEL FENCE AT LAKE FRONTAGE (WHEN USED)



6' TUBULAR STEEL FENCE WITH 3' GATE AT LAKE FRONTAGE (WHEN USED)

Figure 3-4: Prototypical Fence Conditions (For Builder)

- The irrigation controllers should be programmed according to the water needs of plants on each circuit, with consideration of the time of year and plant maturity. If precipitation rate exceeds the soil absorption rate, multiple shorter cycles should be programmed as required to allow absorption.
- Automatic irrigation controllers should be automatically adjusted using, at a minimum, daily ET (Evapotranspiration) rates and preferably hourly ET with an onsite rain shut-off device. Should an ET based controller not be utilized an onsite rain sensor with active moisture sensor may be used.
- All parcels should be installed with an automatic master valve at the irrigation point of connection in conformance with AB1881 (MWEL0)
- Main lines should have 18" of cover.
- Irrigation valves should be screened from view from the street by landscaping or other attractive site materials.
- Irrigation systems should be monitored regularly for proper operation, leaks and broken heads, adjustment of controller programming, and elimination of excessive over spray and runoff.

Standards

- Irrigation shall be provided for all planted areas.
- Builder shall provide each parcel with an automatic irrigation controller that accommodates all aspects of the landscape design, including independent programming of multiple stations to cover the entire parcel (including parkway strip)

3.4.2 Soil Preparation and Mulching

Standards

- Finish landscape grading by Builders after construction of buildings, if required, shall maintain or re-establish the overland release per the design intention of the Developer's Civil Engineer. Builders shall be responsible for maintaining proper drainage without creating depressions or dams.
- Builders should require an Agricultural Suitability Soil Test. The soils

should be tested for agricultural suitability, parasitic nematodes and herbicide or deleterious contamination. The test should be completed by a reputable testing agency and should include recommendation for amendments, soil conditioners, pH correction, and fertilization.

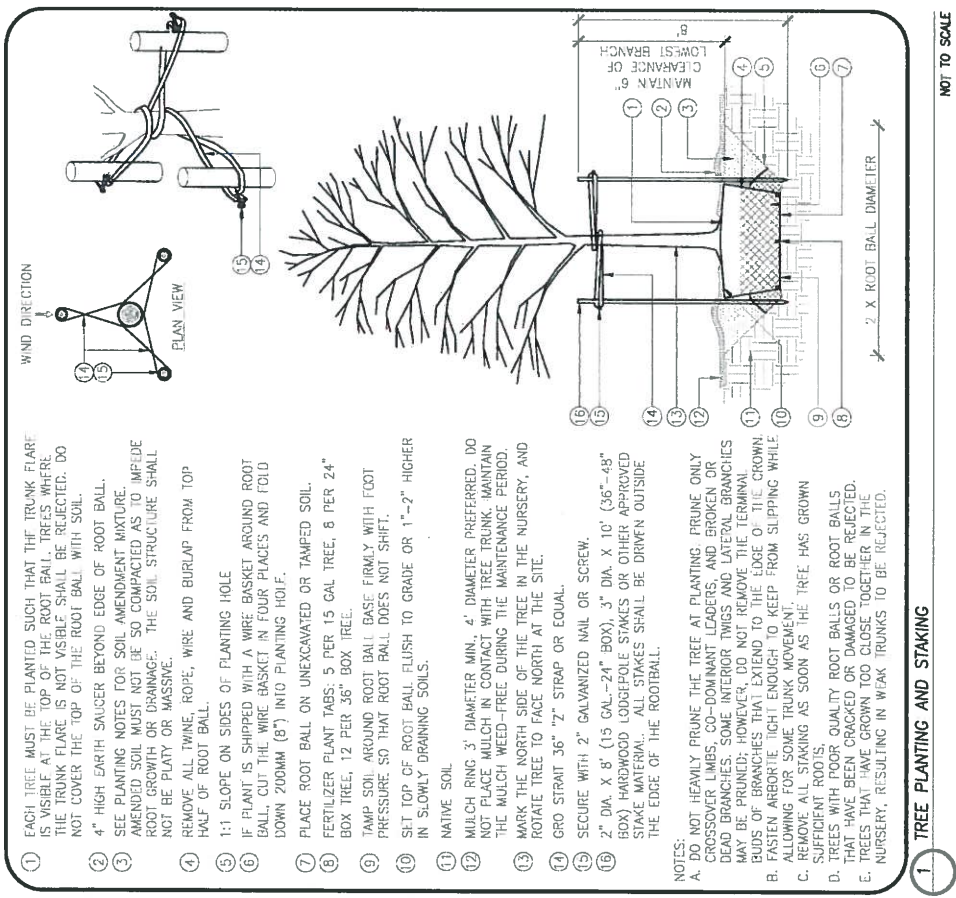
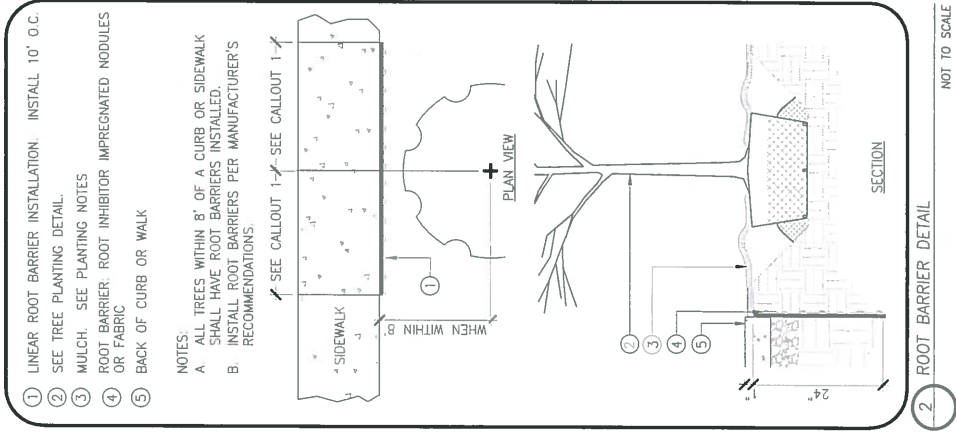
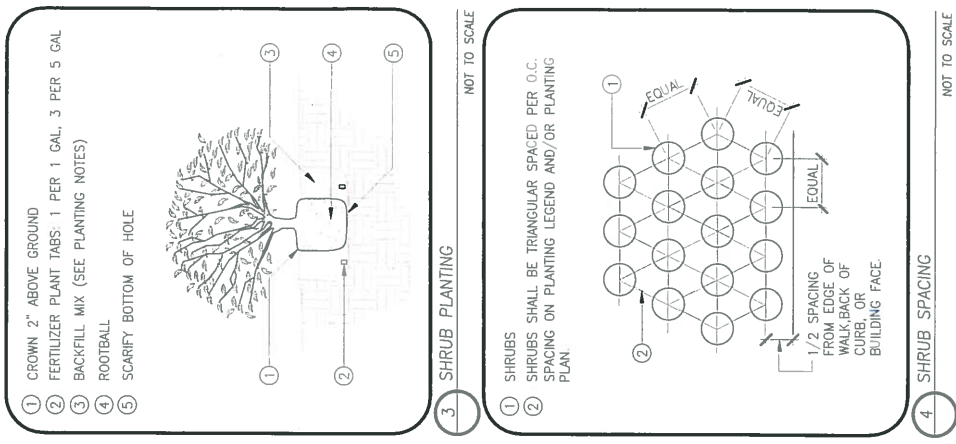
- Subsequent to installation of underground utilities, soil compacted by construction should be rototilled to a minimum depth of eight (8) inches. In order to prevent interface layers between import topsoil and native soil, native soil should be broken up by ripping or rototilling to a depth of 8 to 12 inches before the addition of import topsoil or amendment.
- All planted areas should be amended to provide for an optimum growing media for most plants.
- Amendments (e.g. nitrated compost, gypsum, soil sulphur, fertilizer, iron sulfate, etc.) should be rototilled into the soil to a depth of 4 to 6 inches. Amendments are more effective when thoroughly incorporated into the soil. Avoid staining when using ferrous sulfate as an amendment by washing off all hardscape immediately after applying or mixing.
- At all planting areas except lawns, a minimum of two inches of organic mulch shall be applied on top of the soil surface after planting in order to cool the soil surface, reduce evaporation, and suppress weed growth. Organic mulches, including wood chips, shredded bark, and other commercially available mulches are preferred to inorganic materials. Organic mulches should not be dyed an artificial color, but should be a natural brown or dark brown in color. Permanent visible applications of inorganic sheeting, fabric, netting, etc. are not acceptable.

3.4.3 Planting

Standards

- Plant materials shall be selected from Appendix: Plant Selection Guide. Substitutions or additions may be considered by the DRB based on the suitability of the species in terms of similarity of form, adaptability, tolerance to site soils, climatic conditions or water

- quality, or other pertinent characteristics.
- Plant sizes and spacing shall comply with the specifications noted on Appendix: Plant Palette and shall be sufficient to provide healthy growth, attractive appearance, and full coverage of planting areas when plants are mature. In general, size and spacing requirements are as follows:
 - Parcel tree: Size to match adjacent street tree (24" box); spacing per requirements in Section 3.2 above.
 - Other trees or side/rear parcel trees: 15 gallon min.; spacing varies.
 - Hedgerows: 5 gallon; 36" o.c. or as needed to create hedge, given anticipated growth pattern
 - Other shrubs: 5 gallon; 48" o.c. or as needed for full cover, given anticipated growth pattern.
 - Groundcovers for habitat and border planting: 1 gallon; 18" o.c. or as needed for full cover, given anticipated growth pattern.
 - Smaller groundcovers or perennials for parkway strips or parcels: 1 gallon; 12" o.c. or as needed for full cover, given anticipated growth pattern.
 - Riparian planting for lakeside slope area: see Figure 3-2.
 - See Figure 3-5 for tree and planting details.



1 TREE PLANTING AND STAKING

2 ROOT BARRIER DETAIL

3 SHRUB PLANTING

4 SHRUB SPACING

Figure 3-5: Planting Detail

RIVER ISLANDS

CHAPTER 4

PROJECT
IMPLEMENTATION

This page left intentionally blank

4.1 Project Implementation

4.1.1 Stewart Tract Design Review Committee (STDRC)

All projects shall be subject to the design review process and submittal requirements described in the following sections. Projects will be reviewed by the Stewart Tract Design Review Committee (STDRC), according to the requirements set forth below and Section 17.61.160 of the Lathrop Municipal Code. The STDRC is a group of three design professionals that represent the master developer. The STDRC will review design and improvement plans for new construction on undeveloped and improved lands within the community for conformance with these Town Center Architectural Guidelines/Design Standards (AG/DS) and with all applicable plans (described below). The STDRC's review is advisory only and does not guarantee approval of any permit from other agencies. The City of Lathrop utilizes the STDRC's recommendation for certain approvals to Building Division, Planning Commission and some cases Lathrop City Council, if applicable.

After STDRC review is advisory only, applicants are still required to obtain approval by the City of Lathrop for all construction projects and necessary approvals and permits. This includes landscaping and infrastructure permits if applicable.

Prior to the submission of development proposals to the City of Lathrop, the STDRC shall review such proposals and make recommendations to the Master Developer and the City; the STDRC shall also recommend exceptions and revisions to the Town Center District AG/DS to the City for further consideration and potential action by the Planning Commission. The STDRC may create exceptions to the AG/DS to accommodate development proposals which might suggest minor design changes or adjustments that are consistent with the intent of these AG/DS; in some cases, an exception might apply to a design condition not foreseen in the original drafting of the AG/DS. A STDRC recommendation to grant an exception may or may not be coupled with a proposed project

proposal already being reviewed by the STDRC. A request for revision to the AG/DS must be made in writing to the City of Lathrop Community Development Department and be approved by the Planning Commission after review and recommendation of the STDRC.

4.1.2 Consistency Requirements

Plans must be found consistent with this document and other applicable City of Lathrop land use entitlements, as well as any recorded River Islands CC&Rs. While the adopted AG/DS document itself is consistent with previously approved planning documents for River Islands, the Builder should be aware of requirements of other applicable entitlements/plans that may also apply to your project. These entitlements/plans include:

1. City of Lathrop Comprehensive General Plan (as amended)
2. West Lathrop Specific Plan (as amended)
3. River Islands Phase 1 Urban Design Concept (UDC)
4. City of Lathrop Development Title (zoning and subdivision ordinances)
5. River Islands Development Agreement and Performance Standards
6. Vesting Tentative Map No. 3694 Conditions of Approval (as amended)
7. Town Center District Neighborhood Development Plan (NDP)
8. Adopted River Islands Conditions, Covenants and Restrictions (CC&Rs), if applicable

4.1.3 Design Review Submittal Requirements

As a minimum, all applicants shall provide the following to the Master Developer for processing STDRC review:

1. Location Map - should include Tract, lot and/or parcel numbers if available.
2. Conceptual Plans and Elevations- this shall include preliminary building floor plans for each architectural style and model type represented. This includes enhanced

- elevations for those structures which will be adjacent to major streets and project features which are exposed to the public.
3. Conceptual on-site and off-site landscaping plans.
 4. Preliminary Color Palette & Materials (can be submitted in a "board" format or electronically).
 5. Conceptual Streetscape Plan – shall show all proposed models and architectural themes on one elevation in color to depict the representative streetscape.
 6. Parking Lot plan and parking details.

All submitted architectural plans and elevations shall be at a minimum scale of 1/8" to 1/4" = 1'-0" on 24" x 36" paper, as well provided as an electronic file in PDF format. 11" x 17" sized documents may be allowed on a case by case basis. Any other exceptions to the submittal requirements must be approved by the Master Developer.

At least one STDRC meeting shall be held to review the application materials. Each applicant is strongly encouraged to have the architect and other design professionals in attendance for this meeting. Additional meetings may be required if the submittal is incomplete or additional questions or issues cannot be addressed in the initial meeting. STDRC can conduct subsequent meetings via an e-mail discussion once the supplemental information has been provided which addresses the concerns raised.

The STDRC will submit a written recommendation letter and minutes reflecting the STDRC action to the applicant and to the City of Lathrop and any other applicable agencies after its review. The Master Developer may also provide a separate recommendation letter based upon the STDRC's recommendation as may be required by CC&Rs or individual agreements between the Master Developer and the applicant.

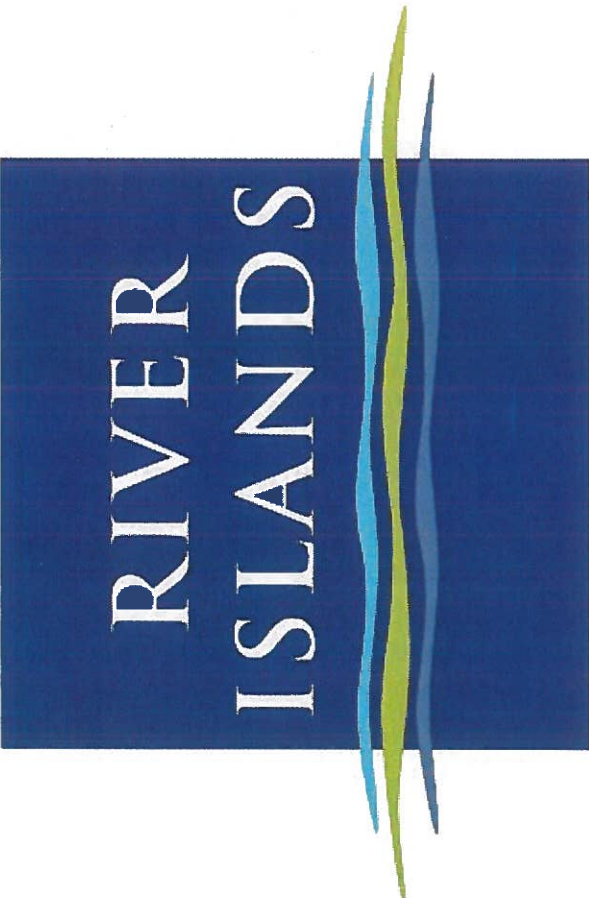
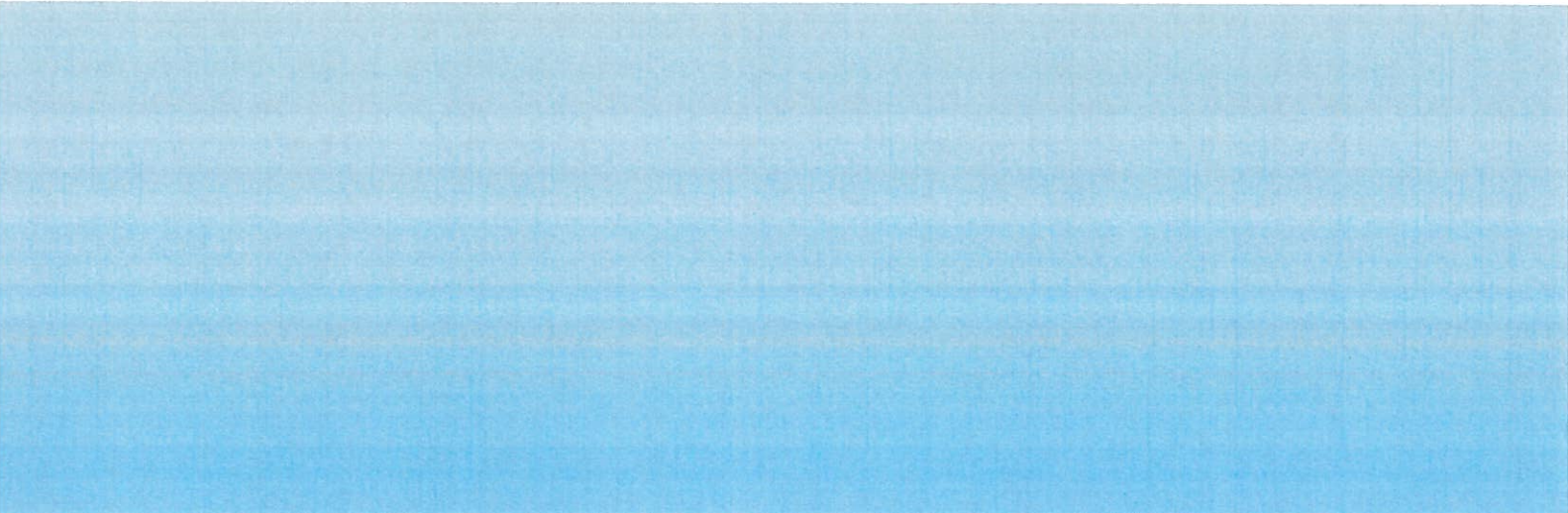
All applicants shall be advised that the City of Lathrop has a separate design review process for review of proposed model units and construction documents prior to planning and/or building permit approval. The actions taken by the STDRC shall be used to supplement the application process required by the City of Lathrop. The City of Lathrop Planning Division should be contacted for specific information related to the requirements associated with Architectural Design Review, Site Plan Review, Conditional Use Permit and Administrative Approval processes as applicable.

4.1.4 Minor Amendments to AG/DS Document

This document may be amended by administrative action of the Community Development Director by application of the Master Developer. A minor amendment to this document may include, but not be limited to the following actions:

- Simple edits or clarification to text and figures that do not change the meaning or intent of the document;
- Revisions in the configuration, orientation, and size of building footprints, parking areas, recreational amenities, and landscape areas for a site plan as long as minimum standards are met;
- Modifications of design elements, such as colors, architectural details, signs, landscaping, street furnishings, lighting, and entry treatments that are compatible with previous development approvals in the District and recommended by the STDRC;
- Small reductions in setbacks, densities, intensities and FAR provided that such reductions are necessary due to unusual site conditions, lot geometry or obstructions. The Community Development Director shall determine at his or her direction what shall constitute a small reduction.

Any revision or amendment to this document deemed not to be minor by the Community Development Director shall constitute a major amendment and such revisions or amendments shall only be approved by the Planning Commission after review and recommendation of the STDRC.



RIVER
ISLANDS

APPENDIX

Builder Identification Signs

Builders are to choose from 3 style options as shown on following pages.

River Islands Builder Site Signs

Option 1

Scale: .5" = 1'

AMERICAN TRADITIONAL

Black Steel Fence,

Digital Print on Aluminum



River Islands Builder Site Signs

Option 2

Scale: .5" = 1'

CRAFTSMAN COTTAGE

Wood Frame with Pickets,

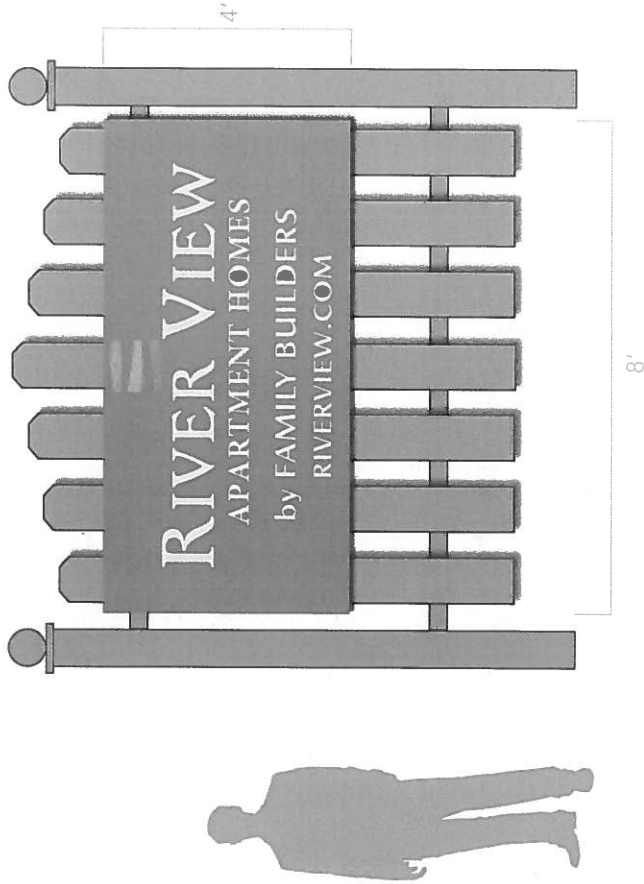
Digital Print or

Blasted Sign Foam



River Islands Builder Site Signs
Option 3a
Scale: .5"=1'

CALIFORNIA RANCH
Wood Frame with Pickets,
Digital Print or
Blasted Sign Foam





Plant List

APPROPRIATE PLANT SPECIES FOR PHASE I TOWN CENTER

Blighted Name		Common Name	Use Height	Use Width	Water Use	Ambience
		Trees				
	Acer buergerianum	Tidient Maple	20'-25'	20'-25'	M	
	Acer x freemanii 'Autumn Blaze'	Maple, 'Autumn Blaze'	40'-50'	40'	M	
	Acer macrophyllum	Big Leaf Maple	30'-75'	30'-50'	H	
	Acer negundo var. californica	California Box Elder	30'-50'		M	
	Acer rubrum 'Armstrong', 'October Glory', 'Redpointe'	Armstrong Red Maple	15'		H	
	Aesculus californica	Buckeye	20'-30'	20'-30'	VL	
	Aesculus carnea	Red Horsechestnut	40'	30'	M	
	Alnus rhombifolia	White Alder	8'-25'		L	
	Abutilon tinctoria	Strawberry Tree	20'-30'	20'-30'	L	
	Abutilon 'Marina'	Marina Strawberry Tree	15'-30'	15'-20'	L	
	Betula jacquemontii (Betula utilis jacquemontii)	White Barked Himalayan Birch	40'-60'	25'-30'	H	
	Carpinus betulus 'fastigiata'	European Hornbeam	40'	30'	M	
	Catalpa speciosa	Western Catalpa	40'-60'	20'-40'	M	
	Cercidium x 'Desert Museum'	Desert Museum Palo Verde	20'	20'	♀	
	Cercis canadensis 'Oklahoma'	Eastern Redbud	25'-35'	25'-35'	M	
	Cercis occidentalis	Western Redbud	10'-20'	10'-20'	VL	
	Cercis occidentalis - 'Multi-trunked'	Western Red Bud	12'-18'	10'-18'	L	
	Cercocarpus betuloides	Island Mountain Mahogany	5'-20'	5'-20'	VL	
	Chilopsis linearis 'Manhews'	Timeless Beauty Desert Willow	15'-20'	15'-20'	VL	
	Chionanthus retusus	Chinese Fringe Tree	20'	15'	M	
	X Chiloipa tashkentensis	Chiloipa	30'	30'	L	
	Crataegus phaenopyrum	Washington Hawthorn	25'	20'	M	
	Cupressus arizonica	Arizona Cypress	40'	20'	VL	
	Cupressus sempervirens	Italian Cypress	40'-70'	10'-20'	M	
	Ginkgo biloba 'Autumn Gold' (Male only)	Ginkgo, 'Autumn Gold'	35'-40'	25'-35'	M	
	Gleditsia triacanthos inermis	Thornless Honey Locust	25'-50'	25'-50'	L	
	Koeleria paniculata	Goldenrain Tree	20'-35'	25'-40'	M	
	Lagerstroemia indica 'Dynamite'	Crape Myrtle	15'-25'	15'-20'	L	
	Lagerstroemia x fauriei 'Natchez'	Crape Myrtle	20'-30'	15'-20'	L	
	Lagerstroemia x fauriei 'Natchez' - 'Multi-Trunked'	Natchez Crape Myrtle	15'-20'	12' Wide	L	
	Lagerstroemia x fauriei 'Muskogee'	Crape Myrtle	20'-30'	15'-20'	L	
	Magnolia soulangeana 'D.D. Blanchard'	Tulip Magnolia	50'	25'-35'	M	
	Malus	Flowering Crabapple, 'Snowdrift', 'Golden Raindrops'	15'-20'	15'-20'	M	
	Olea europaea 'Swan Hill'	Swan Hill Olive	25'-30'	25'-30'	VL	
	Parkinsonia aculeata	Mexican Palo Verde	15'-20'	10'-20'	VL	
	Pinus pinea	Stone Pine	80'-100'	25'-35'	M	
	Pinus radiata	Monterey Pine	30'-60'	50'	L	
	Pistacia chinensis 'Pearl Street', 'Red Push' or 'Keith Davey'	Chinese Pistache Varieties	40'-50'	25'-30'	M	
	Platanus acerifolia 'Bloodgood'	London Plane	40'-50'	25'-30'	M	
	Platanus X acerifolia 'Columbia'	California Sycamore	50'-90'	30'-50'	M	
	Platanus racemosa	Seedless Ballena Poplar	50'	15'	M	
	Populus alba 'Pyramidalis'	Fremont Cottonwood	40'-60'	30'-40'	M	
	Populus fremontii	Lombardy Poplar	100'	15'-30'	M	
	Populus nigra 'Italica'	Texas Mesquite	25'-30'	25'-30'	L	
	Prosopis glandulosa 'Maverick'	Bright N' Tight Cherry Laurel	8'-10'	6'-8'	L	
	Prunus caroliniana 'Bright N' Tight' (Compact)	Coast Live Oak	20'-70'	40'-80'	VL	
	Quercus agrifolia	Scarlet Oak	60'-80'	40'-60'	M	
	Quercus coccinea	Blue Oak	30'-50'	40'-70'	VL	
	Quercus douglasii	Holly Oak	40'-60'	40'-60'	L	
	Quercus ilex					

APPROPRIATE PLANT SPECIES FOR PHASE 1 TOWN CENTER

Common Name	Use Height	Use Width	Water Use	Air/Cover
Valley Oak	50'-75'	50'-80'	L	
Quinkpin Oak			?	
English Oak	50'-60'	30'	M	
Cork Oak	30'-60'	30'-60'	L	
Southern Live Oak	40'-80'	60'-90'	M	
Interior Live Oak	30'-70'	30'-70'	VL	
Goodling's Black Willow	10'-25'		L	
Red Willow	15'-30'		H	
Pacific Willow			H	
California Pepper tree	25'-40'	25'-40'	L	
Pagoda Tree	40'	40'-60'	L	
Japanese Tree Lilac	30'	20'	M	
Littleleaf Linden	30'-50'	15'-30'	M	
Chinese Elm	50'-70'	30'-50'	M	
	20'		M	
	30'		L	
California Laurel	20'-35'	20'-35'	M	
Chaste Tree	15'-20'	15'-20'	L	
Zeakova, Green Vase	50'	50'	M	
Shrubs (Large Background)				
Glossy Abelia	8'	5'	M	
Blue Hibiscus	6'-10'	6'-8'	L	Light blue flowers
Cape Mallow	4'	4'	M	Purple/pink flowers
Strawberry Tree	6'-8'	6'-8'	L	Dark green foliage
Howard McMinn	5'-6'	7'	L	
Japanese Barberry	4'-6'		L	
Butterfly Bush	6'-10'	6'-10'	M	
Bush Anemone	3'-6'		L	
Burton Willow	3'-15'	3'-15'	M	
White Rockrose	2'-5'	2'-4'	L	
Crimson-Spot Rockrose	3'-5'	3'-5'	L	
Orchid Roserock	4'	4'	M	Dark pink flowers
Mirror Plant	10'	6'	M	
Red-Twigged Dogwood	6'-8'	6'-8'	H	
Smoke Bush	15'	15'	L	
Purple Hopseed Bush	10'	8'-10'	L	Red/burgundy foliage
Siberberry	6'-15'		L	
California Buckwheat	1'-3'	4'	L	
California Flamebush	5'	6'	VL	Glossy lime green needle-like foliage with pink and white flowers
Noell Greivillea	6'-10'		VL	
Toyon	12'-40'		L	Gray-Green foliage with light pink/purple flowers
Bay Laurel	6'	6'	L	
Tree Mallow			L	
Mallow			L	
Texas Ranger	4'-5'	4'-5'	L	
Yellow Bush Lupine	5'-8'	5'-8'	L	
Oregon Grape	6'		M	
True Myrtle	5'-6'	4'-5'	L	
Heavenly Bamboo	3'-8'	2'-4'	L	
Dwarf Red Oleander	4'	4'	L	Red flowers

APPROPRIATE PLANT SPECIES FOR RI PHASE 1 TOWN CENTER

Common Name	Use Height	Use Width	Water Use	Antibiotics
Fortnight Lily, Bicolor Iris	3'-4'	2'-3'	L	White flower
Fortnight Lily	1'-2'	3'-5'	M	White with some pink flowers
Santa Barbara Daisy	1'	1.5'	L	
California Poppy	1.4*	10*	VL	
Blue Bunch Grass	2'-3'	2'-3'	L	Evergreen clumping yellowish gray-green foliage
Atlas Fescue	4*-10*	6*	M	
Elliot's Blue, Blue Festuca	3*-12*	6*	M	
Red Fescue	2'	2'	M	Heavy clusters of large yellow flowers
Lenten Rose	2'-2.5'	2'	M	Tawny orange
Siella De Oro Dwarf Daylily	2'	2'	/	
Orange Daylily	2'	2'	/	
Coral Yucca	2'	2'	/	
Lillian's Pink Coral Bells	2'	2'	?	
Rosada Coral Bells	2'	2'	?	
Coral Bells	2'	2'	?	
Canyon Snow Pacific Iris	2'	2'	H	
CA Gray Rush	8*-2'	2'	M	
Red Hot Poker	2'	2'	L	Gray-green foliage with deep violet blue flowers
English Lavender	18*-3'	2'	L	
Goodwin Creek Lavender	2'-4'	2'	VL	
Otto Quast Spanish Lavender	2'-3'	2'-4'	M	
Lily Turf	2'-3'	2'-4'	L	
Dwarf Mat Rush	2'-3'	2'-4'	L	
Bush Lupine	3'-5'	3'-4'	M	
Mexican Deergrass	2'-3'	2'-3'	L	
Red Fountain Grass	3'-4'	3'-4'	L	
Foothill Penstemon	3'	1'-2'	M-L	
Showy Penstemon	3'	2'	M-L	Vertical spiky gray-green foliage with lavender-blue flowers
Russian Sage	3'	4'	L	Yellow w/ green margined bladed foliage
New Zealand Flax	5'-6'	4'-5'	L	Reddish brown bladed foliage
New Zealand Flax	1'-2'	1'-2'	L	
New Zealand Flax	1'-2'	1'-2'	L	
Bee's Bliss Salvia	1'-2'	8'	M	
Hot Lips Sage	3'	3'	L	Red/white flowers
Mrs. Beard Salvia	2'	3 - 6'	L	
Creeping Sage	1-3'	18*-3'	L	
Hummingbird Sage	1-3'	18*	L	
California Goldenrod	18*	18*	L	Purple flowers
California aster	18*	18*	L	Silver/white blades w/ purple flowers
Society Garlic	18*	12*	M	Gentian blue
Variegated Society Garlic	1-3'	18*-3'	L	
Crater Lake Blue Speedwell	2-3'	18*-3'	L	
Island California Fuchsia	2-3'	18*-3'	L	
California Fuchsia	6'-18'	6'-1'	L	
Blue Grama Grass	2'	1'-3'	M	Stunning vertical feathery plumes, turn golden in fall
Karl Foerster's Feather Reed Grass	1-3'	1-3'	M	Deep green native meadow grass
White Root Sedge				
Dianthus bicolor				
Dianthus vegeta				
Erigeron karvinskianus				
Eschscholzia californica				
Festuca idahoensis 'siskiyou blue'				
Festuca mairei				
Festuca ovina 'Glauca'				
Festuca rubra				
Helianthus x hybridus				
Hemerocallis x 'Siella de Oro'				
Hemerocallis fulva				
Hesperaloe parviflora				
Heuchera 'Lillian's Pink'				
Heuchera 'Rosada'				
Heuchera sanguinea				
Iris 'Canyon Snow'				
Juncus patens				
Kniphofia uvaria				
Lavandula angustifolia				
Lavandula a. 'Buena Vista'				
Lavandula 'Goodwin Creek Grey'				
Lavandula stoechas 'Otto Quast'				
Leymus condensatus 'Canyon Prince'				
Lilipae muscari				
Lomandra l. 'Breeze'				
Lupinus albilifrons				
Miscanthus sinensis 'Morning Light'				
Muhlenbergia dubia				
Penstemon setaceus 'Cupreum'				
Penstemon heterophyllus 'Margaria'				
Penstemon species				
Penstemon spectabilis				
Perovskia a. 'Little Spire'				
Phormium tenax 'Apricot Queen'				
Phormium tenax 'Dusky Chief'				
Phormium tenax 'Siltrazz'				
Phormium tenax 'Tom Thumb'				
Salvia				
Salvia 'Bee's Bliss'				
Salvia m. 'Hot Lips'				
Salvia 'Mrs. Beard'				
Salvia sonomensis				
Salvia spathacea				
Solidago californica				
Symphoricarpon chilense				
Tulbaghia violacea				
Tulbaghia v. 'Silver lace'				
Veronica austriaca 'Crater Lake Blue'				
Zauschneria californica 'Catalina'				
Zauschneria cana				
Bouteloua gracilis				
Calamagrostis x acutiflora 'Karl Foerster'				
Carex barboarea				

APPROPRIATE PLANT SPECIES FOR R1 PHASE 1 TOWN CENTER

Use Type	Use Width	Water Use	Attributes	Common Name	Species appropriate within sight-line view corridor)	Use Height	Use Width	Water Use	Attributes
Shrub	10'-12'	L	Leathery gray green foliage with puffy yellow ball shaped flowers	Desert Carpet Acacia	Acacia r. 'Desert Carpet'	1'-2'	10'-12'	L	
Shrub	3'	M		Carpet Bugles	Albuga species	1'	3'	M	
Shrub	2 1/2'	L		California Sagebrush	Arctostaphylos 'Pacific Mist'	2 1/2'	4'	L	
Shrub	18'-5'	L		Powis Castia Artemesia	Artemisia californica 'Montara'	18'-5'		L	
Shrub	3'	M	gray green foliage	Coyote Bush	Artemesia 'Powis Castia'	3'	5'	M	
Shrub	6'	L		Dwarf Coyote Bush	Baccharis pilularis	6'		L	
Shrub	2'-3'	L	Blue flowers	Shrub Ceanothus	Baccharis pilularis 'Pigeon Point'	2'-3'		L	
Shrub	8'	L		Valley Volei Maritime Lilac	Ceanothus griseus horizontalis 'Yankee Point'	8'		L	
Shrub	3'-6'	L		Blueblossom	Ceanothus thyrsiflorus 'Slytark'	3'-6'	5'	L	
Shrub	5'-6'	L		Dark Star California Lilac	Ceanothus 'Concha'	5'-6'		L	
Shrub	8'-10'	L		Wild California Lilac	Ceanothus 'Dark Star'	8'-10'		L	
Shrub	3'-5'	L		Ray Hartman California	Ceanothus 'Joyce Coulter'	3'-5'		L	
Shrub	12'-20'	L		Sageleaf Rockrose	Ceanothus 'Ray Hartman'	12'-20'		L	
Shrub	2'	L		Kirk's Coprosma	Cistus salvifolius	2'	6'	L	
Shrub	2'-3'	L		Bearberry Coloneaster	Coprosma kirkii	2'-3'		L	
Shrub	8'	L	White flowers, red berries	Rockspray Coloneaster	Coloneaster dammeri 'Eichholz'	8'	6'-8'	L	
Shrub	10'	L		Wayne Roderick Seaside Daisy	Coloneaster lacteus (Coloneaster parneyi)	10'		L	
Shrub	1 1/2'	M		Santa Barbara Daisy	Coloneaster microphyllus	1 1/2'	6'	M	
Shrub	3'	L		California Poppy	Erigeron 'Wayne Roderick'	3'	1 1/2'	L	
Shrub	10'-20'	L		Aaron's Beard	Erigeron karwinskianus	10'-20'		L	
Shrub	1'	M		Gold Flower	Eschscholzia californica	1'	1.5'	M	
Shrub	1'	M		Silver Carpet California Aster	Hypericum calycinum	1'		M	
Shrub	2'-12'	M		Sweet Alyssum	Hypericum moserianum	2'-12'		M	
Shrub	2 1/2'	M		Chick Lupine	Lesqueria filaginifolia var. californica 'Silver Carpet'	2 1/2'	8'-12'	M	
Shrub	6'	L		Evening Primrose	Lobularia maritima	6'	9'	L	
Shrub	1'-3'	L		Phacelia	Lupinus microcarpus	1'-3'	1'-3'	L	
Shrub	18"	M		Spring Cinquefoil	Myoporum parvifolium	18"		M	
Shrub	3'-4'	M		Evergreen Currant	Oenothera hookeri	3'-4'		M	
Shrub	12'	L		Apple Blossom Flower Carpet Rose	Phacelia californica	12'		L	
Shrub	2'	M	White/pink flowers	Red Flower Carpet Rose	Ribes viburnifolium	2'	3'	M	
Shrub	2'	M	White flowers	White Flower Carpet Rose	Rosa 'Noamei'	2'	3'	M	
Shrub	2'	M	Pink flowers	Pink Flower Carpet	Rosa 'Noare'	2'	3'	M	
Shrub	1'-1 1/2'	L	Blue flowers	Rosemary	Rosa 'Noaschnee'	1'-1 1/2'	3'	L	
Shrub	2'	L	Blue flowers	Dwarf Rosemary	Rosmarinus o. 'Irene'	2'	2'-3"	L	
Shrub	4'	L		Stone Crop	Rosmarinus o. Prostratus	4'		L	
Shrub	6'-24"	L		Blue-eyed Grass	Sedum	6'-24"		L	
Shrub	10'	M		Asian Jasmine	Sisyrinchium bellum	10'		M	
Shrub	2'	M		Star Jasmine	Trachelospermum asiaticum	2'	10'	M	
Shrub	10'	M		Entry Mix	Trachelospermum jasminoides	10'		M	
Shrub	1'-2'	L		No Mow Fescue	ETY Mix	1'-2'		L	
Shrub	12'-18"	M			(Carex Divilisa, Eschscholzia californica, Festuca Idahoensis, Lycopodium platyglossa, Salvia l. 'Bee's Bliss', Svarvanchium Idahoensis)	12'-18"		M	
Vine				California Pipevine	Aristolochia californica				
Vine				Common Trumpet Creeper	Campsis radicans (Bignonia radicans)				
Vine				Evergreen Clematis	Clematis amandii 'Snow Drift'		1.5'-20'		

APPROPRIATE PLANT SPECIES FOR R1 PHASE 1 TOWN CENTER

Biological Name	Common Name	Shrubs (Groundcovers) (Species appropriate within sight-line view corridor)	Use Height	Use Width	Warm Use	Airflow Use
Acacia r. 'Desert Carpet'	Desert Carpet Acacia		1'-2'	10'-12'	L	Leathery gray green foliage with puffy yellow ball shaped flowers
Aiuga species	Carpet Bugles		1'	3'	M	
Arctostaphylos 'Pacific Mist'	California Sagebrush		2 1/2'	4'	L	
Artemisia californica 'Montara'	Powis Castle Artemesia		18'-5'		L	
Artemisia 'Powis Castle'	Coyote Bush		3'	5'	M	gray green foliage
Baccharis pilularis	Dwarf Coyote Bush		6'	6'	L	
Baccharis pilularis 'Pigeon Point'	Shrub Ceanothus		2'-3'	8'	L	Blue flowers
Ceanothus griseus horizontalis 'Yankee Point'	Valley Violet Maritime Lilac				L	
Ceanothus maritimus 'Valley Violet'	Blueblossom		3'-6'	5'	L	
Ceanothus thyrsiflorus 'Skyark'	Ceanothus 'Concha'				L	
Ceanothus 'Concha'	Ceanothus 'Dark Star'		5'-6'	8'-10'	L	
Ceanothus 'Dark Star'	Wild California Lilac		3'-5'	8'-10'	L	
Ceanothus 'Joyce Coulter'	Ray Hariman California		12'-20'	15'-20'	L	
Ceanothus 'Ray Hariman'	Sageleaf Rockrose		2'	6'	L	
Cistus salvifolius	Kirk's Coprosma		2-3'		L	
Coprosma kirkii	Bearberry Coloneaster		8'	6'-8'	L	White flowers, red berries
Coloneaster dammeri 'Eichholz'	Coloneaster lacteus (Coloneaster parneyi)		8'	10'	L	
Coloneaster lacteus (Coloneaster parneyi)	Rockspray Coloneaster		2-3'	6'	L	
Coloneaster microphyllus	Wayne Roderick Seaside Daisy		8'	1 1/2'	M	
Erigeron 'Wayne Roderick'	Santa Barbara Daisy		10*-20*	3'	L	
Erigeron karwinskianus	California Poppy		1'	1.5'	VL	
Eschscholzia californica	Aaron's Beard		1'		M	
Hypericum calycinum	Gold Flower		1'		M	
Hypericum moserianum	Silver Carpet California-Aster		2'-12'	8'-12'	M	
Lesqueria filaginifolia var. californica 'Silver Carpet'	Sweet Alyssum		2 1/2'		M	
Lobularia maritima	Chick Lupine		6'	9'	L	
Lupinus microcarpus	Myoporum		1'-3'		L	
Myoporum parvifolium	Evening Primrose		18"		M	
Oenothera hookeri	Phacelia		2'-3'	3'-4'	M	
Phacelia californica	Spring Cinquefoil		3'-6'	12'	L	
Potentilla verna	Evergreen Currant		2'	3'	M	White/pink flowers
Ribes viburnifolium	Apple Blossom Flower Carpet Rose		2'	3'	M	Red flowers
Rosa 'Noamei'	Red Flower Carpet Rose		2'	3'	M	White flowers
Rosa 'Noare'	White Flower Carpet Rose		2'	3'	M	Pink flowers
Rosa 'Noatracum'	Pink Flower Carpet		1'-1 1/2'	2'-3"	L	Blue flowers
Rosmarinus o. 'Irene'	Rosemary		2'	4'	L	Blue flowers
Rosmarinus o. Prostratus	Dwarf Rosemary		2'-5'	1'	L	
Sedum	Stone Crop		4*-12*	6*-24*	L	
Sisynchium bellum	Blue-eyed Grass		2'	10'	M	
Trachelospermum asiaticum	Star Jasmine		2'	10'	M	
Trachelospermum jasminoides	Star Jasmine		2'	10'	M	
ETY Mix	Entry Mix				L	
(Carex Divalisa, Eschscholzia californica, Festuca Idahoensis, Layia platyglossa, Salvia l. 'Bee's Bliss', Svarnchium Idahoensis)	No Mow Fescue		12'-18"		M	
Native Mow Free Mix (Festuca Idahoensis, Festuca rubra, Festuca occidentalis)						
Aristolochia californica	California Pipevine				L	
Composita radicans (Bignonia radicans)	Common Trumpet Creeper		15-20'		L	
Clematis armandii 'Snow Drift'	Evergreen clematis				M	

APPROPRIATE PLANT SPECIES FOR RI PHASE I TOWN CENTER

Use Category	Botanical Name	Common Name	Use Height	Use Width	Water Use / Attributes
Streetcape Between Wall and Walk	<i>Clytostoma callistigioides</i>	Violet Trumpet Vine	20'-30'		M
Streetcape Parkway Strips	<i>Distictis buccinatoria</i>	Trumpet Vine	10'		M
Streetcape Medians	<i>Ficus pumila</i>	Creeping Fig	20'		M
Streetcape Bio-Swale (Inlet)	<i>Gelsemium sempervirens</i>	Carolina Jessamine	10'		L
Streetcape Bio-Swale (Inlet)	<i>Hardenbergia violacea 'Happy Wanderer'</i>	Hardenbergia Vine	20'		M
Streetcape Parkway Strips	<i>Jasminum polyanthum</i>	Pink Jasmine	3-10'		M
Streetcape Parkway Strips	<i>Lonicera hispidula</i>	Honeysuckle	20-40'		L
Streetcape Parkway Strips	<i>Macfadyena unguis-cati</i>	Cats Claw	12-30'		VL
Streetcape Parkway Strips	<i>Vitis californica</i>	California Wild Grape			M
Streetcape Parkway Strips	<i>Wisteria sinensis 'Alba' or 'Cooke's Special'</i>				

Shared Parking Analysis

The following shared parking analysis is applicable to those areas north of River Islands Parkway only. Development areas south of River Islands Parkway shall be governed by the Lathrop Municipal Code until such time a specific parking plan is developed for those areas in the future.



HEXAGON TRANSPORTATION CONSULTANTS, INC.

Memorandum

Date: January 16, 2024
To: Ramon Balista
From: At van den Hout, Ollie Zhou, T.E.
Subject: Town Center (River Islands Lathrop) Shared Parking Analysis

Introduction

Hexagon Transportation Consultants, Inc. has completed this shared parking study for the most recent development plan of the River Islands Town Center (see Figure 1). The proposed project evaluated under this study includes the following land uses.

- Residential: 80 units
- Hotel: 117 rooms
- Office/Medical Office: 40,000 s.f.
- Retail (inclusive of gas station, winery, grocery store, hardware store, health club, and general retail): 193,100 s.f.
- Football and baseball stadiums: 4,280 seats (total)

Many of the project's proposed land uses generate their highest parking demands at different times of the day. For example, residential land use parking demand generally peaks in the late evening, while office parking demand generally peaks during working hours. The project's actual parking demand at any time of the day would be lower than the sum of individual land use's peak parking demands. A shared parking analysis is conducted to estimate the project's hourly parking demand, and determine whether the project's proposed parking spaces (1,914 spaces) would be sufficient.

Analysis Methodology

The shared parking analysis is conducted in two steps:

1. Each land use's individual peak parking demand is estimated. The Institute of Transportation Engineers (ITE) *Parking Generation, 6th Edition* publishes parking demand rates derived from parking surveys conducted across the nation. General engineering practice references the 85th percentile parking demand as the rate used to determine peak parking demands.
2. Each land use's parking demand varies by the hour. The hourly parking demand is typically expressed as a percentage of the peak parking demand; these factors are also known as diurnal factors. The Urban Land Institute (ULI) *Shared Parking, 3rd Edition* publishes diurnal factors for most common land use categories. The hourly parking demands for the individual land uses are then summed to derive the project's hourly parking demand estimate. The hour of the day when the project generates the highest parking demand is compared to the project's proposed parking supply to determine whether the proposed parking supply is sufficient.



DATE: 01/19/2021
 JOB NO: 336102
 5865 Owens Drive
 Pleasanton, CA 94588
 925-251-7200

DAHLLIN

A1.100

FIGURE 1 RIVER ISLANDS TOWN CENTER

LATHROP, CA CALIFIA, LLC.

Individual Land Use's Peak Parking Demand

This study evaluated each land use's peak parking demand for a typical weekday and a weekend day. Table 1 below summarizes each land use's peak parking demands.

The project's retail land uses, consisting of a winery, gas station, restaurant, grocery store, hardware store, health club, and general retail exhibit characteristics of an integrated shopping center that is best represented by the ITE Land Use Code 820: Shopping Center (>150,000 s.f.). Therefore, the peak parking demands for these retail land uses is summarized in Table 1 under "retail".

The project's football and baseball stadium land use does not have a corresponding ITE land use code with parking rates. Therefore, this study references Lathrop's parking code for stadium land use, which is 1 space per 4 seats, plus 1 space per employee. At the time of this study, the project does not have an estimate on the employee count for the stadiums. Assuming an employee-to-seat ratio of 1% (derived from ULI Shared Parking data), the stadiums would have a total of approximately 43 employees. It should be noted that as a conservative analysis, this study assumes both stadiums would have events at the same time.

For the office/medical office land use, the study assumed the higher parking generator of the medical office for a conservative analysis. While ITE did not publish any parking rates for the weekends, it stated that generally, the weekend peak parking rates are approximately 22% of the weekday peak parking rates. Hexagon derived the weekend peak parking demand rate for the medical office land use accordingly.

**Table 1
Individual Land Use's Peak Parking Demand**

Land Use	Size	Unit	ITE Code ¹	Peak Parking Demand ¹		
				Weekday	Weekend	Spaces
Residential	80	units	220	1.59	127	2.05
Hotel	117	rooms	310	0.87	102	0.98
Medical Office ²	40	ksf	720	4.28	171	0.94
Retail ³	193.1	ksf	820	2.72	525	3.08
	4,280	seats	Lathrop	0.25	1,070	0.25
Stadiums ⁴	43	employees	Code	1	43	1
			<i>Stadium Subtotal</i>		<i>1,113</i>	<i>1,113</i>

Notes:

1. Peak parking demand rates referenced Institute of Transportation Engineers (ITE) *Parking Generation, 6th Edition*, 85th percentile parking demand rates.
2. While the ITE publication did not publish weekend parking rates for medical office land use, ITE noted that Saturday peak parking demand is on average 22% of the weekday peak parking demand.
3. Retail land use is inclusive of the project's winery, gas station, restaurant, grocery store, hardware store, health club, and general retail land uses.
4. Stadium parking demand is based on Lathrop's parking code. Employee estimate derived from Urban Land Institute data, suggesting 1 employee per 100 seats.

Individual Land Use's Peak Parking Demand

This study evaluated each land use's peak parking demand for a typical weekday and a weekend day. Table 1 below summarizes each land use's peak parking demands.

The project's retail land uses, consisting of a winery, gas station, restaurant, grocery store, hardware store, health club, and general retail exhibit characteristics of an integrated shopping center that is best represented by the ITE Land Use Code 820: Shopping Center (>150,000 s.f.). Therefore, the peak parking demands for these retail land uses is summarized in Table 1 under "retail".

The project's football and baseball stadium land use does not have a corresponding ITE land use code with parking rates. Therefore, this study references Lathrop's parking code for stadium land use, which is 1 space per 4 seats, plus 1 space per employee. At the time of this study, the project does not have an estimate on the employee count for the stadiums. Assuming an employee-to-seat ratio of 1% (derived from ULI Shared Parking data), the stadiums would have a total of approximately 43 employees. It should be noted that as a conservative analysis, this study assumes both stadiums would have events at the same time.

For the office/medical office land use, the study assumed the higher parking generator of the medical office for a conservative analysis. While ITE did not publish any parking rates for the weekends, it stated that generally, the weekend peak parking rates are approximately 22% of the weekday peak parking rates. Hexagon derived the weekend peak parking demand rate for the medical office land use accordingly.

**Table 1
Individual Land Use's Peak Parking Demand**

Land Use	Size	Unit	ITE Code ¹	Peak Parking Demand ¹		
				Weekday	Weekend	Spaces
Residential	80	units	220	1.59	127	2.05
Hotel	117	rooms	310	0.87	102	0.98
Medical Office ²	40	ksf	720	4.28	171	0.94
Retail ³	193.1	ksf	820	2.72	525	3.08
Stadiums ⁴	4,280	seats	Lathrop	0.25	1,070	0.25
	43	employees	Code	1	43	1
		<i>Stadium Subtotal</i>			<i>1,113</i>	<i>1,113</i>

Notes:

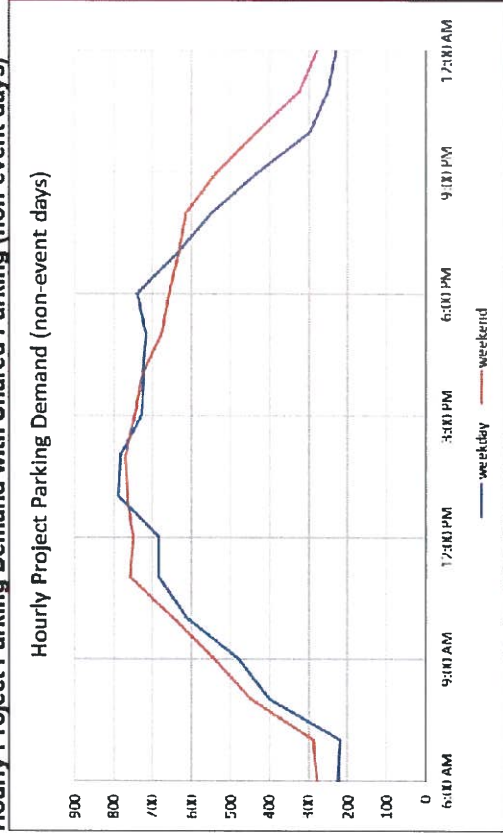
1. Peak parking demand rates referenced Institute of Transportation Engineers (ITE) *Parking Generation, 6th Edition*, 85th percentile parking demand rates.
2. While the ITE publication did not publish weekend parking rates for medical office land use, ITE noted that Saturday peak parking demand is on average 22% of the weekday peak parking demand.
3. Retail land use is inclusive of the projects winery, gas station, restaurant, grocery store, hardware store, health club, and general retail land uses.
4. Stadium parking demand is based on Lathrop's parking code. Employee estimate derived from Urban Land Institute data, suggesting 1 employee per 100 seats.

Hourly Project Parking Demand with Shared Parking

This shared parking analysis assumes that there are no reserved spaces on site. Furthermore, because stadium events happen only once in a while, not necessarily at the same time of day for every event, and both stadiums may not necessarily have events at the same time, this analysis is separated into a non-event-day analysis and an event-day analysis.

As shown in Figure 1 below, on non-event days, the project's parking generally is estimated to peak at around lunchtime on either weekdays or weekends. On weekdays, the project's parking demand would peak at 1 PM with a parking demand of 786 spaces. On weekends, the project's parking demand would peak at 2 PM with a parking demand of 770 spaces. Both of which would be much lower than the project's proposed 1,914 parking spaces.

Figure 2
Hourly Project Parking Demand with Shared Parking (non-event days)



At this stage of the project, there is no detailed information regarding the operations of the stadium events. For a conservative analysis, this study assumes both stadiums would hold events at the same time, at full occupancy, at the times when the project's parking demand peaks (1 PM on weekdays and 2 PM on weekend days). The stadium events would generate a peak parking demand of 1,113 spaces, per Table 1. Adding this demand onto the non-event days parking demand would yield a peak parking demand of 1,899 spaces on weekdays and 1,883 spaces on weekend days. Even with this very conservative and highly unlikely scenario, the project's proposed parking of 1,914 spaces would be sufficient.

Conclusion

Hexagon conducted a shared parking analysis of the proposed project using ITE 85th percentile peak parking demand rates and ULI's time-of-day parking demand factors. The analysis was conducted with conservative assumptions and tested the worst-case scenario assuming both stadium events would occur at the same time, at full occupancy, during the times when the rest of the project's parking demand peaks. The analysis showed that the project's proposed 1,914 parking spaces would be sufficient to accommodate even the worst-case scenario. Therefore, the project's proposed parking of 1,914 spaces would be sufficient for the proposed project.

