

ADDENDUM NO. 3 – May 18, 2026

**Missionary Minnie Lee Cotton Park Restroom
CIP PK 26-21**

This addendum amends the Contract Drawings and Specifications for this project as follows:

1. See Attachment “A”, – *MISSIONARY MINNIE LEE COTTON PARK RESTROOM, CIP PK 26-21 - REVISED BID SCHEDULE 2* adding temporary chain link jobsite fencing as Bid Item #25.
2. See attached, updated Plan Sheet A400.

All bids must be submitted on the REVISED BID SCHEDULE 2.

The following Requests for Information (**RFI**) have been received by the City, and are followed by the City’s answer (**A**):

RFI 1: Detail 2 on Sheet A910 calls for 8x8x16 PRECISION-FACED CMU BLOCK, but details on Sheet A911 call for 8" GROUND FACE CMU - PRIME & PAINT, TYP. with PAINTABLE SEALANT -TYP. There is no masonry specification section included in the spec book. Can you clarify color and texture of the CMU block and if it is to be painted?

A1: Precision-faced CMU is the correct block type. Refer to the attached revised Sheets A910 and A911, where the discrepancy has been corrected. Prime with Sherwin Williams Loxon masonry primer or approved equal, paint with sealable paint followed by graffiti-resistant clear coating. Paint color to be determined by City Engineer following NTP.

RFI 2: Will temporary fencing be required for this project or will the entire park be closed during construction?

A2: Temporary fencing is required for the project, has been added to *MISSIONARY MINNIE LEE COTTON PARK RESTROOM, CIP PK 26-21 - REVISED BID SCHEDULE 2*. Fencing shall completely surround all demolition and construction areas, and be, at a minimum steel chain link fence panels at least 6’ tall with adequate bracing to resist wind and other typical impacts, as the splash pad and play equipment will open to the Public during construction until October 15, 2026.

RFI 3: Key Notes 2.24 through 2.30 are missing from Sheet A100

A3: The following key notes apply and will be added to Sheet A100

2.24 (E) EXERCISE EQUIPMENT TO BE RELOCATED

2.25 (E) BENCH TO REMAIN

2.26 (E) LAMP POST TO REMAIN

2.27 (E) FLATWORK TO REMAIN

2.28 (E) PLAY STRUCTURE TO REMAIN

2.29 (E) EXERCISE EQUIPMENT TO REMAIN

2.30 (E) SPLASH PAD TO REMAIN

RFI 4: Detail 1 on Sheet A210 has wall type tags but no corresponding call outs.

A4: Refer to the attached revised Sheet A210. Wall tags have been corrected and are now properly referenced in the wall type schedule, as well as the call-out for the CMU block.

RFI 5: Key Note 3.7 is missing from Sheet A600, please provide.

A5: See attached revised sheet A600, tag 3.7 has been revised in the keynote schedule as 4.1 – see sheet A600, delta 3.

END OF CHANGES

When submitting the bid for the project, the Contractor must acknowledge receipt of the addendum on the Addenda page in Section 300, *Bid Proposal Forms*.

Recommended by: Steven J. Hollenbeak 5.18.26
Steven Hollenbeak
Assistant Engineer Date

Approved by: Brad Taylor 5/18/2026
Brad Taylor, PE
Public Works Director / City Engineer Date

ATTACHMENT A

SECTION 00300

MISSIONARY MINNIE LEE COTTON PARK RESTROOM
CIP PK 26-21

BID PROPOSAL FORMS

MISSIONARY MINNIE LEE COTTON PARK RESTROOM, CIP PK 26-21

REVISED BID SCHEDULE 2

BID ITEM	DESCRIPTION	QUANTITY	UNITS	UNIT PRICE	EXTENDED TOTAL
1	Mobilization / Bonds / Insurance	1	LS		
2	Provide & Implement Traffic Control Plan	1	LS		
3	Provide & Implement Erosion and Sediment Control Plan (ESCP)	1	LS		
4	Clearing and Grubbing	1	LS		
5	Sawcut Concrete	10	LF		
6	Concrete Removal	406	SF		
7	Tree Removal	1	EA		
8	Playground Removal	1	LS		
9	Storm Drain Catch Basin Removal	1	EA		
10	Fine Grading	693	SF		
11	2" Pipe - Water	128	LF		
12	Connect to Existing Water Line	1	EA		
13	Drinking Fountain	1	EA		
14	Stub Proposed Water Line	1	EA		
15	6" Pipe - Sanitary Sewer	160	LF		
16	Sanitary Sewer Cleanout	7	EA		
17	Connect to Existing Sanitary Sewer Line	1	EA		
18	6" Pipe - Storm Drain	16	LF		

ATTACHMENT A

SECTION 00300

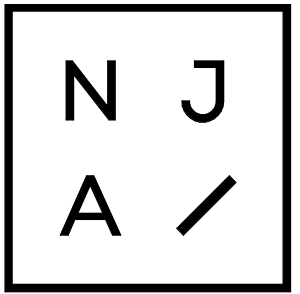
MISSIONARY MINNIE LEE COTTON PARK RESTROOM
CIP PK 26-21

BID PROPOSAL FORMS

19	Storm Drain Cleanout	1	EA		
20	Trench Drain	20	LF		
21	Connect to Existing Storm Drain Line	1	EA		
22	Pedestrian Concrete	457	SF		
23	Vertical Curb	20	LF		
24	Construct Restroom and all Appurtenances per Project Plans and Specifications	1	LS		
25	Provide Temporary Jobsite Fencing	1	LS		
	TOTAL BID			\$	

TOTAL BID : _____

TOTAL BID IN WORDS : _____



ARCHITECT
NIA ARCHITECTURE
 212 W PINE STREET, STE #1
 LOS ANGELES, CA 90012
 213.463.6300
 www.niaarchitecture.com

CLIENT
CITY OF LATHROP
 390 TOWN CENTER DR.
 LATHROP, CA 95330
 209.941.7400

PROJECT
MINNIE LEE COTTON PARK
 14669 REV. MAURICE COTTON DR.
 LATHROP, CA 95330

DEMOLITION NOTES:

GENERAL
 **CONTRACTORS SHALL CHECK AND VERIFY ALL CONDITIONS AND DIMENSIONS AT THE SITE PRIOR TO BEGINNING WORK AND SHALL NOTIFY ARCHITECT OF ANY MATERIAL DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.

ANY PORTIONS OF THE SITE OR BUILDING INDICATED TO REMAIN, DAMAGED AS A RESULT OF THE CONSTRUCTION PROCESS, SHALL BE REPAIRED OR REPLACED TO ORIGINAL CONDITION.

THE LOCATION AND EXTENT OF ANY EXISTING CONSTRUCTION PREVIOUSLY DEMOLISHED AND SHOWN IN THE DRAWINGS WAS TAKEN FROM INFORMATION AVAILABLE TO THE ARCHITECT AND IS FOR REFERENCE PURPOSES ONLY. NEITHER THE OWNER OR THE ARCHITECT MAKE ANY REPRESENTATIONS ABOUT THE ACCURACY OF THE INFORMATION CONTAINED IN THE EXISTING DRAWINGS OR THE CONDITION OR EXTENT OF ANY CONSTRUCTION REMAINING BELOW THE NEW WORK.

THE INTENT OF THE CONTRACT DOCUMENTS IS TO PROVIDE FOR COMPLETE, OPERABLE AND INTEGRATED SYSTEMS. CONTRACTORS SHALL PROVIDE FOR THE COST OF ALL LABOR AND MATERIAL TYPICALLY AND NORMALLY SUPPLIED FOR SYSTEMS OF SIMILAR TYPE, FEATURES AND SCOPE, AND REQUIRED TO ACHIEVE THIS INTENT.

KICKOFF / START OF WORK
 PRIOR TO START OF DEMOLITION, CONTRACTOR SHALL VERIFY THE DISPOSITION OF ALL EQUIPMENT WITH THE OWNER.

FIELD VERIFICATION / EXISTING CONDITIONS
 THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO PROCEEDING WITH ANY WORK. WHERE DISCREPANCIES OCCUR BETWEEN THESE DOCUMENTS AND EXISTING CONDITIONS, THE DISCREPANCY SHALL BE REPORTED TO THE OWNER AND/OR ENGINEER FOR EXPEDITING AND RESOLUTION.

ALL ITEMS REMOVED SHALL BECOME PROPERTY OF THE OWNER AND SHALL BE DISPOSED OF AS PER THE OWNER'S INSTRUCTIONS, UNLESS INDICATED OTHERWISE. ALL ITEMS WHICH ARE NOT TO BE STORED ON SITE BY OWNER SHALL BE REMOVED FROM THE BUILDING IMMEDIATELY.

EXISTING MATERIALS THAT ARE REMOVED SHALL NOT BE REUSED IN NEW SYSTEMS, EXCEPT WHERE INDICATED AS BEING RELOCATED.

HAZARDOUS MATERIALS
 HAZARDOUS MATERIALS, AS IDENTIFIED IN THE INSPECTION REPORT, ARE TO BE REMOVED AND LEGALLY DISPOSED UNDER SEPARATE CONTRACT.

IF ANY ADDITIONAL HAZARDOUS MATERIALS ARE ENCOUNTERED DURING DEMOLITION THE OWNER SHALL BE NOTIFIED IMMEDIATELY FOR DISPOSITION.

COORDINATION
 THE DEMOLITION/RELOCATION WORK SHALL INCLUDE, BUT NOT BE LIMITED TO THAT WHICH IS INDICATED ON THE DRAWING.

THE CONTRACTOR SHALL VISIT THE SITE AND INCLUDE IN THE SCOPE ALL DEMOLITION OF EXISTING ABANDONED SYSTEMS AND/OR RELOCATION OF ACTIVE SYSTEMS REQUIRED TO INSTALL ALL THE NEW WORK.

ALL DEMO WORK SHALL BE IN ACCORDANCE WITH THE PROJECT SCHEDULE. COORDINATE REMOVALS WITH ALL TRADES TO AVOID CONFLICTS. CONTRACTOR SHALL PATCH ALL FINISHES TO MATCH EXISTING.

STRUCTURAL
 COORDINATE WITH ALL DRAWINGS FOR PERTINENT INFORMATION RELATED TO STRUCTURAL WORK.

ANY CHANGES TO THE BUILDING STRUCTURAL SYSTEM SHALL BE REDESIGNED BY A PROFESSIONAL ENGINEER REGISTERED IN CALIFORNIA.

ALL CHANGES MUST HAVE PRIOR AUTHORIZATION BY THE ARCHITECT AND SHALL BE MADE AT NO ADDITIONAL COST TO THE OWNER OR ARCHITECT.

ONLY NON-BEARING, NON-STRUCTURAL BUILDING COMPONENTS ARE TO BE DEMOLISHED.

DOOR FRAMES REMOVED IN LOAD BEARING WALLS SHALL HAVE ADJACENT DAMAGED MASONRY REPLACED.

SYSTEMS
 CONTRACTOR TO COORDINATE TEMPORARY UTILITIES WITH THE AHJ AND LOCAL SERVICE PROVIDERS.

ALL SHUTDOWNS OF EXISTING SYSTEMS SHALL BE SCHEDULED AND APPROVED BY THE OWNER PRIOR TO COMMENCING WITH WORK.

APPURTENANCES SHALL INCLUDE BUT NOT BE LIMITED TO EQUIPMENT, DEVICES, CONDITS, SUPPORTS, HANGERS, AND PADS. COORDINATE WITH ALL TRADES REMOVALS TO AVOID CONFLICTS.

CONTRACTOR SHALL PROTECT ALL EQUIPMENT AND DEVICES NOT BEING REMOVED.

CONDUIT LEFT ABANDONED SHALL BE REMOVED BACK TO SOURCE UNLESS OTHERWISE NOTED.

ALL EXISTING PLUMBING PIPING IS TO BE REMOVED.

FIRE
 THE CONTRACTOR SHALL PERFORM FIRESTOPPING FOR ALL PENETRATIONS AS REQUIRED.

ALL FLOOR AND WALL PENETRATIONS SHALL BE SEALED AGAINST THE PASSAGE OF SMOKE AND FIRE.

FINISHING
 ANY WALL OR PARTITION CALLED OR SHOWN TO BE REMOVED THAT CONTAINS ACTIVE SWITCHES, GAUGES, PIPING, ELECTRICAL AND/OR MECHANICAL DEVICES WHICH ARE REQUIRED FOR THE OPERATION OF EXISTING SYSTEMS SHALL BE RELOCATED TO THE NEAREST LOGICAL LOCATION ALIGNED WITH SITE CONTEXT.

ANY ITEM INDICATED TO BE REMOVED MAY AT THE OPTION OF THE OWNER BE RETAINED BY THE OWNER. CONTRACTOR SHALL DELIVER ALL SUCH MATERIAL TO A DESIGNATED LOCATION ON THE SITE.

REMOVE ALL EXISTING FINISHES AND OTHER CONSTRUCTION ITEMS AS NECESSARY TO INSTALL NEW FINISHES AND CONSTRUCTION AS SCHEDULED AND INDICATED.

PATCH ALL EXISTING WALL, FLOOR, CEILING, TRIM AND FINISH CONSTRUCTION TO REMAIN. PATCH ADJACENT CONSTRUCTION WHERE EXISTING MATERIAL HAS BEEN REMOVED. THE CONTRACTOR RESPONSIBLE FOR THE DISTURBANCE SHALL DO THE PATCHING.

WHERE PATCHING IS NECESSARY, THIS SHALL BE DONE IN A WORKMANLIKE MANNER. THE ENTIRE AREA SHALL BE REPLACED OR REPAIRED TO THE NEAREST CORNER. CONTRACTOR MAY USE SALVAGED MATERIAL IN GOOD CONDITION FOR PATCHING AND REPAIR WORK.

IN RENOVATION WORK, IF THE OBVIOUS INTENT IS TO ALIGN OR MATCH EXISTING CONDITIONS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MATCHING THESE ITEMS REGARDLESS OF DIMENSIONS SHOWN ON DRAWINGS.

PRIOR TO PAINTING, SCRAPE, PATCH, SAND AND PREPARE ALL EXISTING WALLS TO BE PAINTING. REMOVE ALL MISCELLANEOUS ITEMS FROM WALL PRIOR TO PAINTING. REINSTALL AFTER PAINTING OR RETURN TO OWNER AS DIRECTED.

LANDSCAPING
 ALL LANDSCAPED AND SEEDED AREAS DISTURBED DURING CONSTRUCTION ARE TO BE RESTORED TO ORIGINAL CONDITION.

LEGEND:

- (E) CONC. CURB TO REMAIN
- (E) PAVING / FLATWORK TO REMAIN
- (E) CONC. CURB TO BE REMOVED
- (E) CONC. PAVING TO BE REMOVED
- (E) CONC. PAVING TO REMAIN

GENERAL NOTES:

1. WHENEVER EXISTING FACILITIES OR MATERIALS ARE REMOVED, DAMAGED, BROKEN, OR CUT IN THE INSTALLATION OF WORK COVERED BY THE DRAWINGS AND SPECIFICATIONS, SAID FACILITIES AND MATERIALS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. SAID FACILITIES OR MATERIALS SHALL BE EQUAL TO OR BETTER THAN THE ORIGINAL FACILITIES OR MATERIALS. THE FINISH PRODUCT SHALL BE SUBJECT TO THE APPROVAL OF THE AHJ AND ITS AGENTS.
2. CONTRACTOR SHALL NOT CUT OR ALTER STRUCTURE MEMBERS UNLESS INDICATED TO DO SO IN THE CONTRACT DOCUMENTS OR WRITTEN APPROVAL RECEIVED FROM THE ARCHITECT.
3. ALL MATERIAL INDICATED TO BE REMOVED SHALL BECOME THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE DEPOSITED OF PER CAD RECYCLING PLAN, U.O.N.
4. CONTRACTOR TO CUT, CAP, AND REMOVE EXISTING UTILITIES AS SHOWN. IF UTILITIES OTHER THAN THOSE SHOWN ARE ENCOUNTERED, IMMEDIATELY NOTIFY THE ARCHITECT. CEASE OPERATION IN THE IMMEDIATE AREA AND DO NOT DISTURB UNTIL THE ARCHITECT DIRECTS THE DISPOSITION OF SUCH UTILITY.
5. DEMOLITION SHOWN IS DIAGRAMMATIC AND GENERAL. PERFORM ALL DEMOLITION SHOWN AND REQUIRED FOR THE CONSTRUCTION OF THE PROJECT INCLUDING ALL ITEMS IN THE WAY OF NEW WORK WHETHER OR NOT SPECIFICALLY SHOWN.
6. REFER TO MECHANICAL DRAWINGS FOR DEMOLITION RELATIVE TO HVAC SCOPE OF WORK.
7. REFER TO ELECTRICAL DRAWINGS FOR DEMOLITION RELATIVE TO ELECTRICAL SCOPE OF WORK.

LEGEND:

- PROPERTY LINE
- ACCESSIBLE PATH OF TRAVEL
- (N) BUILDING / TENANT IMPROVEMENT
- (E) BUILDING
- (N) CONCRETE PAVING, U.O.N. - S.C.D.
- (N) LANDSCAPING, U.O.N. - S.L.D.
- (N) A.C. PAVING, U.O.N. - S.C.D.

GENERAL NOTES:

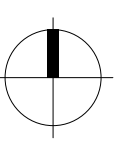
1. VERIFY ALL DIMENSIONS, EXISTING CONDITIONS AND METHODS OF CONSTRUCTION PRIOR TO START OF ANY WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
2. ALL DIMENSIONS SHOWN ARE TO FACE OF FRAMING, CONC. SLAB AND/OR CMU, U.O.N.
3. CONTRACTOR SHALL WORK TOWARD DIMENSIONS WITH TOLERANCES (E) SHOWN.
4. PATCH AND REPAIR ALL EXISTING ADJACENT SURFACES AFFECTED BY THE IMPROVEMENTS PROPOSED IN THESE CONTRACT DOCUMENTS, RESTORE FINISHES TO THESE AREAS TO MATCH EXISTING.
5. WALKWAYS AND SIDEWALKS ALONG ACCESSIBLE ROUTES OF TRAVEL SHALL MEET THE FOLLOWING:
 - A. ARE CONTINUOUSLY ACCESSIBLE.
 - B. HAVE MAXIMUM 1/2" CHANGES IN ELEVATION.
 - C. ARE MINIMUM 48" IN WIDTH.
 - D. HAVE A MAXIMUM 2% CROSS SLOPE.
 - E. WHERE NECESSARY TO CHANGE ELEVATION AT A SLOPE EXCEEDING 5% (I.E., 1:20) SHALL HAVE RAMPS COMPLYING W/ CBC SECTION 118-405 OR 118-406 AS APPROPRIATE, WHERE A WALK CROSSES OR ADJACENS A VEHICULAR WAY, AND THE WALKING SURFACES ARE NOT SEPARATED BY CURBS, RAILINGS OR OTHER ELEMENTS BETWEEN THE PEDESTRIAN AREAS AND VEHICULAR AREAS SHALL BE DEFINED BY A CONTINUOUS DETECTABLE WARNING WHICH IS 36" WIDE, COMPLYING W/ CBC SECTION 118-705.1.2.5, (SECTION 118-247.1.2.5, 118-402.2, 118-403.3, 118-303, 118-403.5.1) EXCEPTION #3, 118-705.1.2.5.)
6. (WHEN PROVIDED) ALL GATES IN PATH OF TRAVEL MUST COMPLY WITH DOOR REQUIREMENTS, PROVIDE A 24" MIN. STRIKE SIDE CLEARANCE ON THE PULL SIDE AND A SMOOTH SURFACE AT THE BOTTOM, 10 INCHES OF THE PUSH SIDE OF GATE, SPECIFY ACCESSIBLE / LEVER HARDWARE.
7. SITE DEVELOPMENT AND GRADING SHALL PROVIDE ACCESS TO PRIMARY ENTRANCES AND NORMAL PATHS OF TRAVEL, AND SHALL INCORPORATE PEDESTRIAN RAMPS, CURB RAMPS, ETC.
8. EACH PARKING SPACE RESERVED FOR PERSONS WITH PHYSICAL DISABILITIES SHALL BE IDENTIFIED BY A REFLECTORIZED SIGN PER ACCESSIBILITY STANDARDS, SEE G SERIES
9. PROVIDE A CLEAR AND LEVEL LANDING ON EACH SIDE OF AN EXIT DOOR. THE LANDING SHALL BE 48 INCHES IN LENGTH WHERE THE DOOR SWINGS AWAY FROM THE LANDING, AND 60 INCHES IN LENGTH IN THE DIRECTION OF DOOR SWING AS MEASURED AT RIGHT ANGLES TO THE PLANE OF THE DOOR IN THE CLOSED POSITION.
10. CONTRACTOR SHALL FLUSH ALL WATER, SEWER, AND DRAIN LINES PRIOR TO HOOKUP.
11. NO DRAINAGE ACROSS OR ONTO ADJACENT PROPERTY. PROVIDE 2% SLOPE AWAY FROM THE BUILDING FOR 10'-0" AT FRONT AND SIDES.

KEYNOTES:

- 2.23 (E) TREE TO BE REMOVED - PREP SOIL FOR (N) FLATWORK
- 2.24 (E) EXERCISE EQUIPMENT TO BE RELOCATED
- 2.25 (E) BENCH TO REMAIN
- 2.26 (E) LAMP POST TO REMAIN
- 2.27 (E) FLATWORK TO REMAIN
- 2.28 (E) PLAY STRUCTURE TO REMAIN
- 2.29 (E) EXERCISE EQUIPMENT TO REMAIN
- 2.30 (E) SPLASH PAD TO REMAIN
- 3.4 (N) CONC. SLAB - S.C.D.
- 10.33 (N) ACCESSIBLE DRAWING FOUNTAIN W/ DOG BOWL, PER CITY OF LATHROP STANDARDS DETAIL L5

REVISIONS

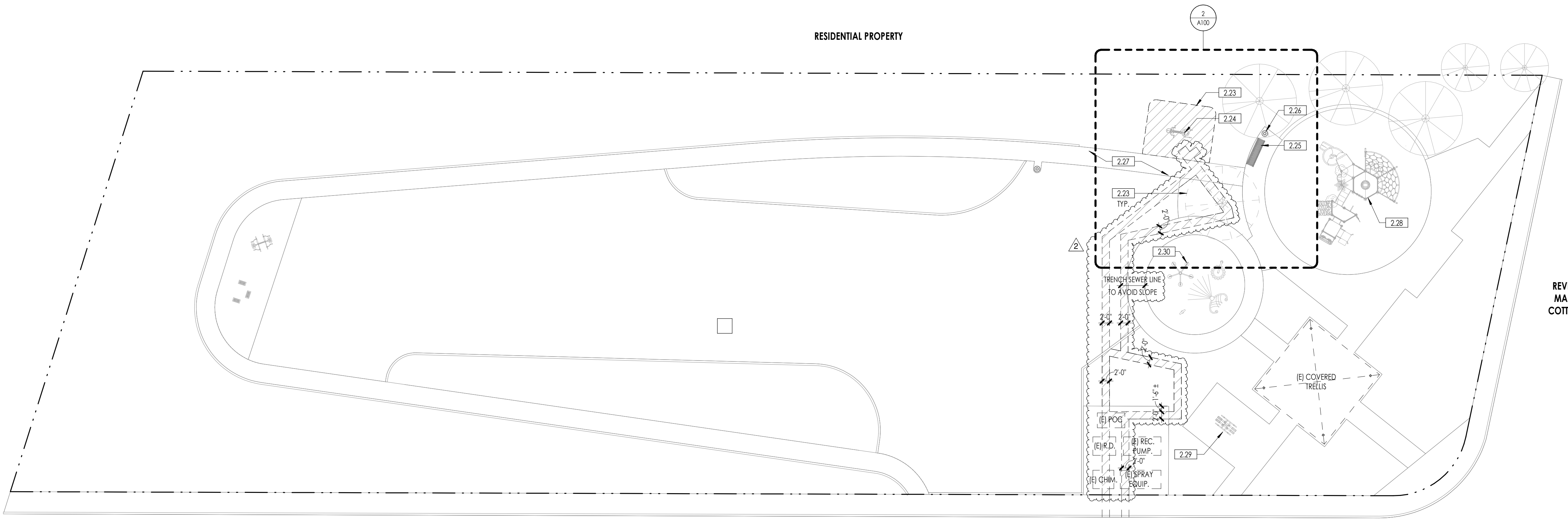
NO.	DESCRIPTION	DATE
1.	Revision 1	2/24/26
2.	Revision 2	3/18/26
3.	ADDENDUM 1	5/14/26



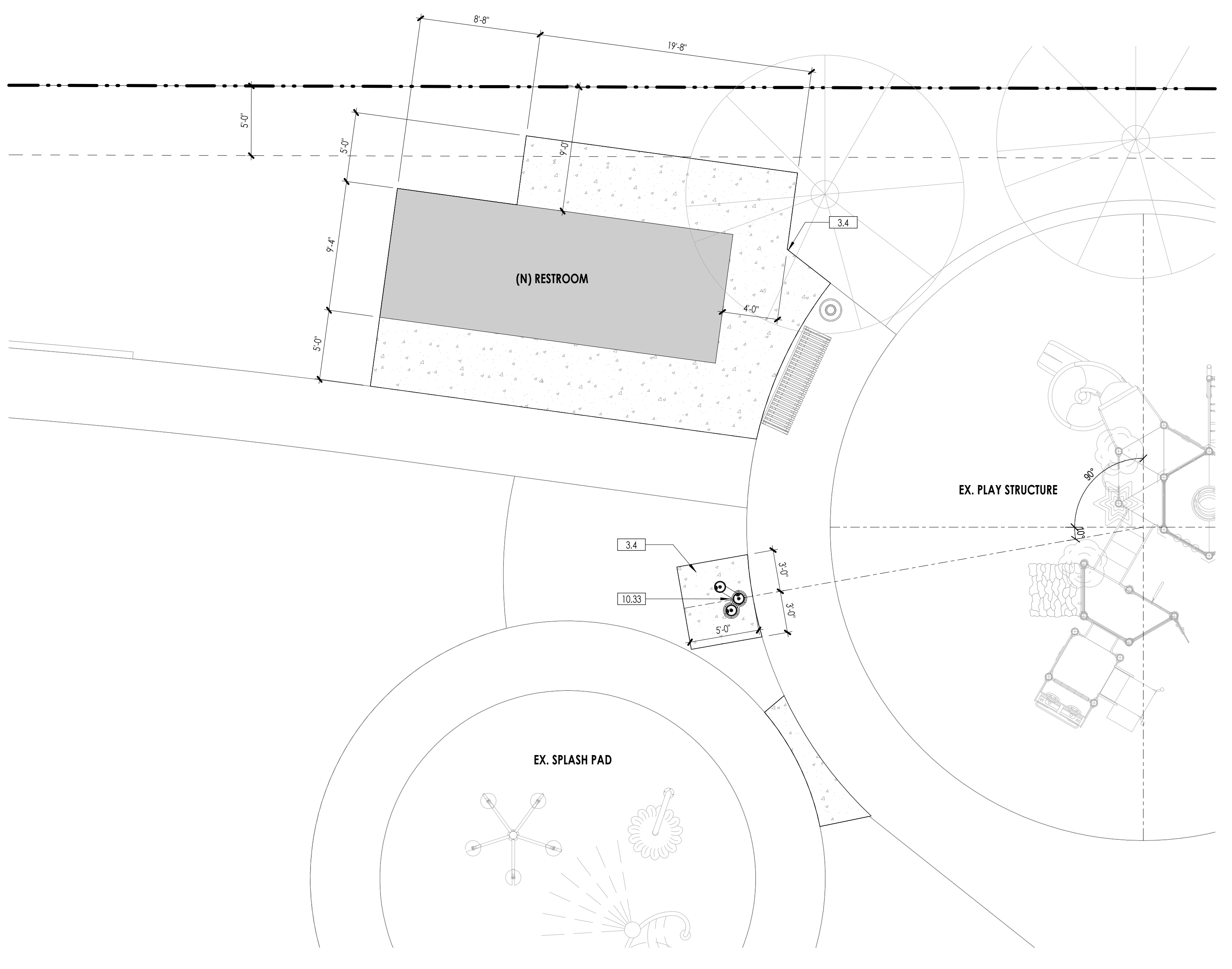
PERMIT SET
02.26.26

SITE PLANS

A100

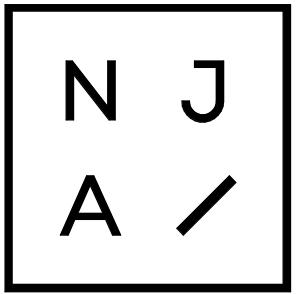


1 DEMOLITION SITE PLAN
 1/16" = 1'-0"



2 PROPOSED SITE PLAN
 3/16" = 1'-0"

5/14/2026, 4:11:19 PM
 Project No.: 12345



ARCHITECT
NJA ARCHITECTURE
 212 W PINE STREET, STE #1
 LATHROP, CA 95240
 209.405.6300
 www.njarchitecture.com

CLIENT
CITY OF LATHROP
 390 TOWNE CENTER DR.
 LATHROP, CA 95330
 209.941.7430

PROJECT
MINNIE LEE COTTON PARK
 14649 REV. MAURICE COTTON DR.
 LATHROP, CA 95330

LEGEND:

- ROOM NAME** ROOM TAG:
 ROOM NAME
 ROOM NO.
- 2020 DOOR TAG & REFERENCE NO. - SEE DOOR SCHEDULE
- 2020 FIRE RATED DOOR TAG & REFERENCE NO. - SEE DOOR SCHEDULE
- 1 WINDOW TAG & REFERENCE NO. - SEE WINDOW SCHEDULE
- 1 FIRE RATED WINDOW TAG & REFERENCE NO. - SEE WINDOW SCHEDULE
- 300 STOREFRONT TAG & REFERENCE NO. - SEE SCHEDULE
- 300 FIRE RATED STOREFRONT TAG & REFERENCE NO. - SEE SCHEDULE
- WL101 FINISH TAG & REFERENCE NO. - SEE FINISH SCHED.
- E01 EQUIPMENT TAG & REFERENCE NO.
- 103 KEYNOTE TAG:
 SEQUENCE NO.
 CSI DIV. NO.

GENERAL NOTES:

- FIELD VERIFY ALL EXISTING CONDITIONS AND THEIR COMPATIBILITY WITH NEW CONSTRUCTION PRIOR TO THE COMMENCEMENT OF WORK. COORDINATE DISCREPANCIES WITH ARCHITECT.
- SEE CIVIL, STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR MORE INFORMATION.
- SEE G SERIES FOR ACCESSIBILITY STANDARDS AND DETAILS FOR CLEARANCE AND COMPLIANCE REQUIREMENTS.
- PROVIDE BACKING BEHIND ALL SURFACE MOUNTED EQUIPMENT AND/OR FIXTURES.
- DO NOT SCALE DRAWINGS.

LEGEND:

- ROOM NAME** ROOM TAG:
 ROOM NAME
 ROOM NO.
- (E) WALL TO REMAIN
- (N) STUD WALL - SEE WALL TYPES
- 1-HR. FIRE-RATED WALL - SEE WALL TYPES
- 2-HR. FIRE-RATED WALL - SEE WALL TYPES
- 312.3C WALL TAG & REFERENCE NO. - SEE WALL TYPES

GENERAL NOTES:

- U.O.N. DIMENSIONS ARE TO GRID LINE OR FACE OF WALL STRUCTURE.
- FIELD VERIFY ALL EXISTING CONDITIONS AND THEIR COMPATIBILITY WITH NEW CONSTRUCTION PRIOR TO THE COMMENCEMENT OF WORK. COORDINATE DISCREPANCIES WITH ARCHITECT.
- SEE CIVIL, STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR MORE INFORMATION.
- SEE G SERIES FOR ACCESSIBILITY STANDARDS AND DETAILS FOR CLEARANCE AND COMPLIANCE REQUIREMENTS.
- PROVIDE BACKING BEHIND ALL SURFACE MOUNTED EQUIPMENT AND/OR FIXTURES.
- INFORMATION IN THE WALL TYPE LEGEND IS FOR REFERENCE ONLY AND DOES NOT OVERRIDE THE CONTENTS OF THE DETAILS ON THIS SHEET.
- WHERE GYP. BD. IS NOT INSTALLED ON BOTH FACES OF WALL, BLOCKING / BRIDGING MUST BE ADDED @ 48" O.C.
- PROVIDE SLIP TRACKS OR HEAD-OF-WALL SLIDE CLIP CONNECTORS AT TOP OF INTERIOR WALL THAT TERMINATE AT BOTTOM OF DECK, AND SEAL w/ ACOUSTIC SEALANT.
- DO NOT SCALE DRAWINGS.

WALL TAG LEGEND / NOTES:

- ASSEMBLY TYPE (SEE ASSEMBLIES)
- S6.1C**
- TOP OF WALL CONDITION (SEE BELOW)
 (IF NOT PROVIDED, WALL ARE FULL HEIGHT,
 TERMINATING AT BOT. OF DECK / STRUCTURE)
- TYPE (AS NEEDED)
- STRUCTURE THICKNESS (NOMINAL)
- CONSTRUCTION TYPE (SEE BELOW)

CONSTRUCTION TYPE:

- C CONCRETE
- M MASONRY
- S STEEL STUDS
- W WOOD STUDS
- H C-H STUDS (SHAFTWALL)
- G STEEL GIRTS

TOP OF WALL CONDITION:

- (B) BOTTOM OF CEILING:
 WALL EXTENDS TO UNDERSIDE OF CLG. TERMINATE w/ "J" MOLD @ GYP. BD. WALLS.
- (C) 1' ABOVE CEILING:
 WALL EXTENDS 1' ABOVE HIGHEST ADJOINING CLG. U.O.N.
 TERMINATE (I) COURSE ABOVE FOR MASONRY WALLS.
- (H) PARTIAL HEIGHT:
 REFER TO DRAWINGS FOR TOP OF WALL ELEVATION.
- (X) NO SIDES TO STRUCTURE:
 WALL FRAMING EXTENDS FULL HEIGHT. GYP. BD. / FINISHES
 TERMINATE 6" ABOVE HIGHEST ADJOINING CLG.
- (D) ONE SIDE TO STRUCTURE:
 WALL FRAMING EXTENDS FULL HEIGHT. ONE SIDE OF GYP. BD.
 FULL HEIGHT. ONE SIDE OF GYP. BD. / FINISHES TERMINATE 6"
 ABOVE HIGHEST ADJOINING CLG.

WALL TYPES:

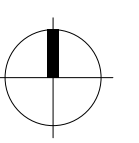
NO.	DESCRIPTION	INSUL.	FIRE RATING	ASSEMBLY
WB.1	2x8 D.F. WD. STUDS @ 16" O.C. w/ GYP. BD. ONE SIDE			2/A910
WB.2	2x8 D.F. WD. STUDS @ 16" O.C. w/ F.L.WD. ONE SIDE & F.C.B. OTHER SIDE			5/A910
WB.2	2x8 D.F. WD. STUDS @ 16" O.C. w/ F.C.B. BOTH SIDES			3/A910

KEYNOTES:

- TRACE OF SOFFIT ABV.
- 30" x 48" MIN. ACCESSIBLE CLR. FLOOR AREA
- 40" SQ. MIN. CLR. FLOOR AREA
- 40" DIA. MIN. ACCESSIBLE MANUEVERING SPACE @ 27" A.F.F.
- 40" SQ. MIN. ACCESSIBLE LEVEL & CLR. FLOOR AREA
- 48" W X 48" DP. CLR. FLOOR AREA
- CONC. SLAB ON GRADE - S.S.D.
- ROUND PROFILE DOWN SPOUT. CONNECT TO STORM DRAIN. PRIMER & PAINT - S.C.D.
- DOOR PER PLAN & SCHED.
- (N) ACCESSIBLE FOLDING SHOWER SEAT, MANUFACTURER AND MODEL TO BE SELECTED BY THE CITY OF LATHROP
- SURFACE MOUNTED, S.S. BABY CHANGING STATION, MOUNTED TO PROVIDE CHANGING SURFACE @ 33" A.F.F. (BOBICK 18-100-00)
- FLOOR DRAIN - S.P.D.
- ACCESSIBLE SHOWER W/ HAND HELD ATTACHEMENT, MANUFACTURER AND MODEL SELECTED BY CITY OF LATHROP
- ACCESSIBLE TOILET, WALL MOUNTED, STAINLESS STEEL - ACORN #1825 W-1-HET 1.28 (GR-FYBD-ADA-PR5-S1855 - S.P.D.)
- LAVATORY SENSOR FAUCET - ZURN Z6913-XL-CWB - S.P.D.
- MECHANICAL TIME SWITCH - TIE TO SHOWER SHUT-OFF VALVE - S.E.D. & S.P.D.



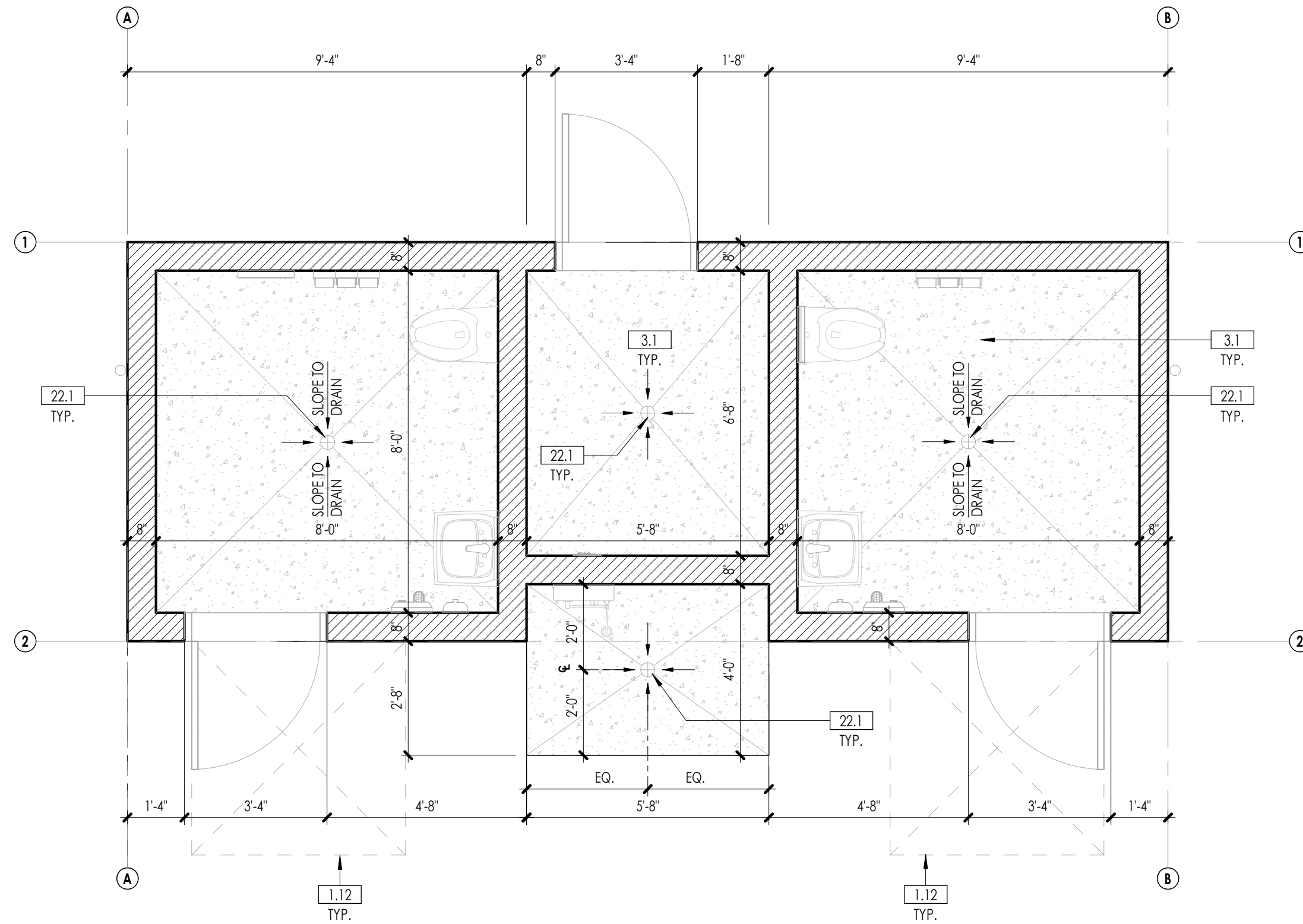
REVISIONS
 NO. DESCRIPTION DATE
 3 ADDENDUM 1 5/14/26



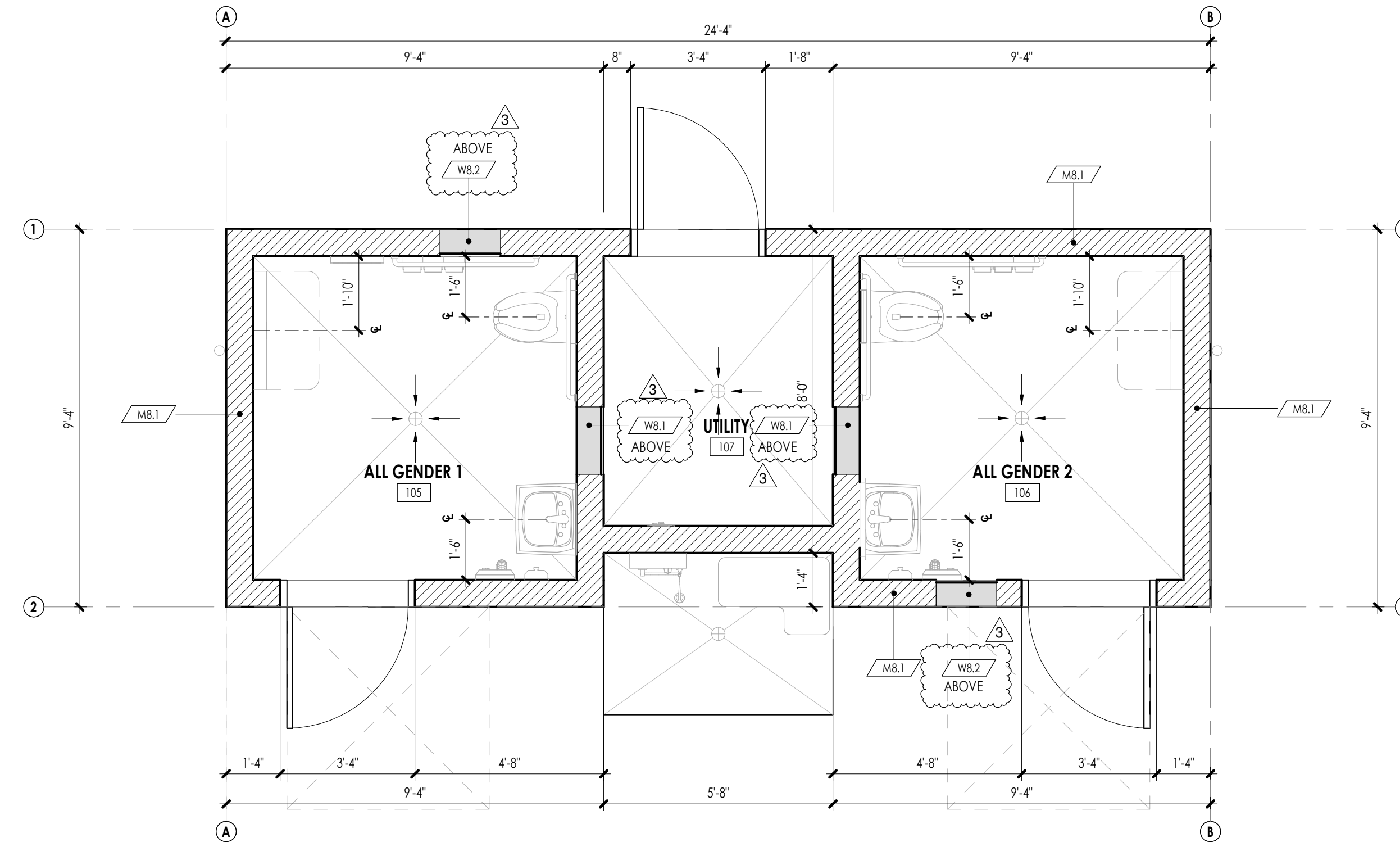
PERMIT SET
 02.26.26

DIMENSION & ANNOTATION
 FLOOR PLANS

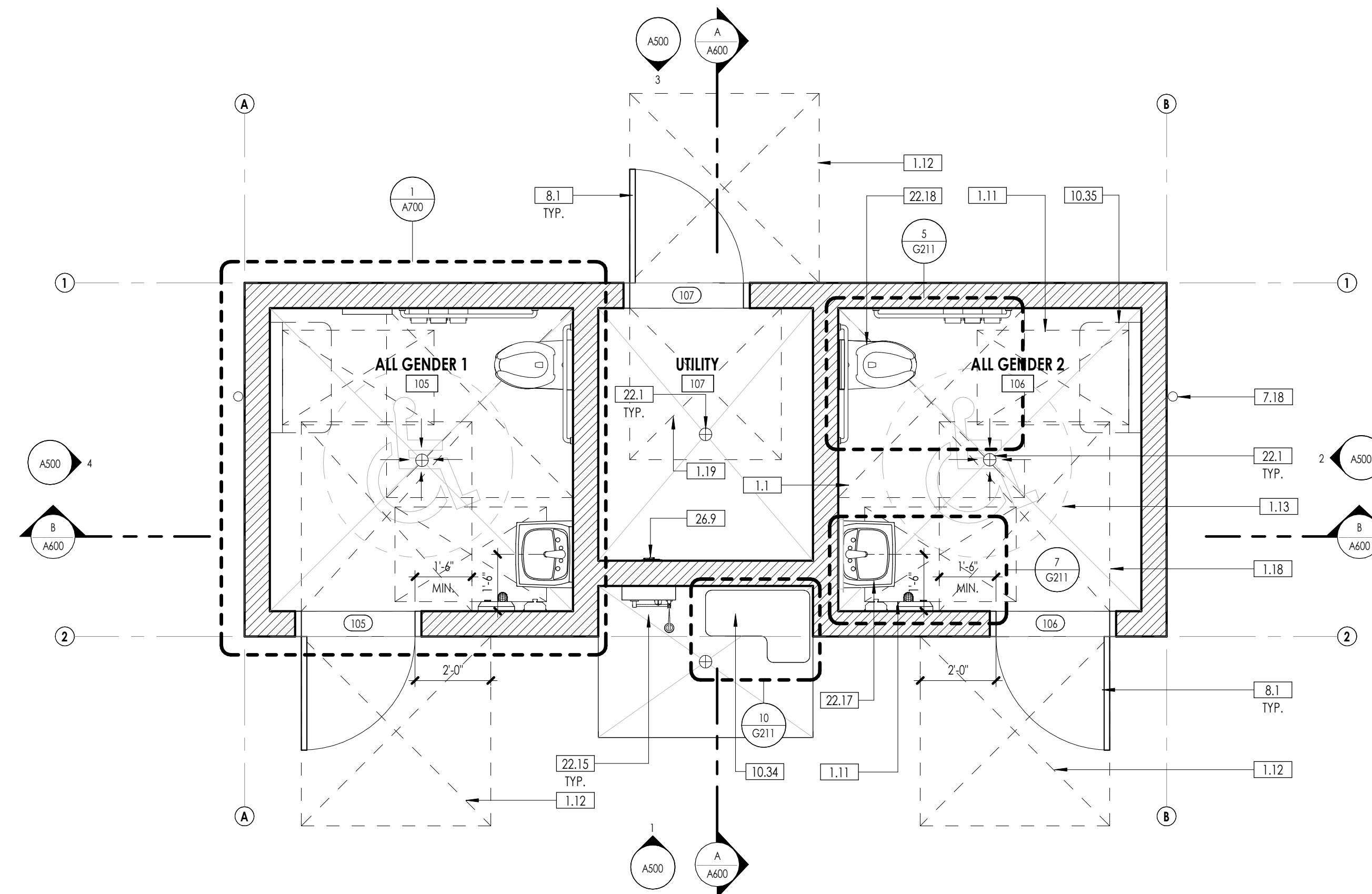
A210



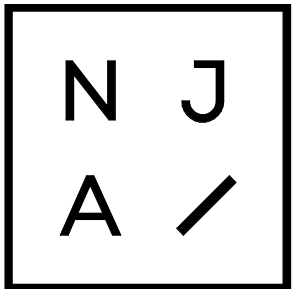
3 SLAB PLAN
 A210 3/8" = 1'-0"



1 DIMENSION FLOOR PLAN
 A210 3/8" = 1'-0"



2 ANNOTATION FLOOR PLAN
 A210 3/8" = 1'-0"



ARCHITECT
NIA ARCHITECTURE
 212 W PINE STREET, STE #1
 LOS ANGELES, CA 90012
 213.463.6300
 www.niaarchitecture.com

CLIENT
CITY OF LATHROP
 390 TOWNE CENTER DR.
 LATHROP, CA 95330
 209.941.7430

PROJECT
MINNIE LEE COTTON PARK
 14469 REV. MAURICE COTTON DR.
 LATHROP, CA 95330

TABLE 1003.1
ROOF DRAIN, LEADER, AND VERTICAL DOWNPOUT SIZES

SIZE OF DRAIN, LEADER, OR PIPE	FLOW (gpm)	MAXIMUM ALLOWABLE HORIZONTAL PROJECTED ROOF AREA AT VARIOUS RAINFALL RATES (square feet)									
		1 (INCH)	2 (INCH)	3 (INCH)	4 (INCH)	5 (INCH)	6 (INCH)	7 (INCH)	8 (INCH)	10 (INCH)	12 (INCH)
2	30	2800	1840	1460	1200	1000	850	750	680	620	580
3	92	8800	4400	3200	2500	2000	1700	1500	1350	1250	1180
4	192	18400	9200	6720	5400	4400	3800	3400	3100	2900	2750
5	360	34400	17200	12600	10200	8400	7300	6600	6000	5600	5350
6	563	54000	27000	19800	15900	13200	11500	10400	9500	8900	8550
8	1208	116000	58000	42600	34100	28000	24500	22000	20200	18900	18150

For 30 mph winds - 20 mph, 1 gallon per minute = 0.06 L/s, 1 inch per hour = 2.54 mm/h, 1 square foot = 0.0929 m²

Notes:
 1. Maximum discharge capacity, gpm (L/s) with approximately 1% slope (48 inches) head of water at the drain.
 2. For rainfall rates other than those listed, determine the allowable roof area by dividing the area given in the table by the ratio of the actual rainfall rate to the listed rainfall rate.
 3. Vertical piping shall be sized, spaced, or reconfigured. Square pipe shall be used to replace in equivalent sized pipe. Rectangular pipe shall have not less than the same cross-sectional area as the equivalent sized pipe, except that the ratio of the side dimensions shall not exceed 3 to 1.

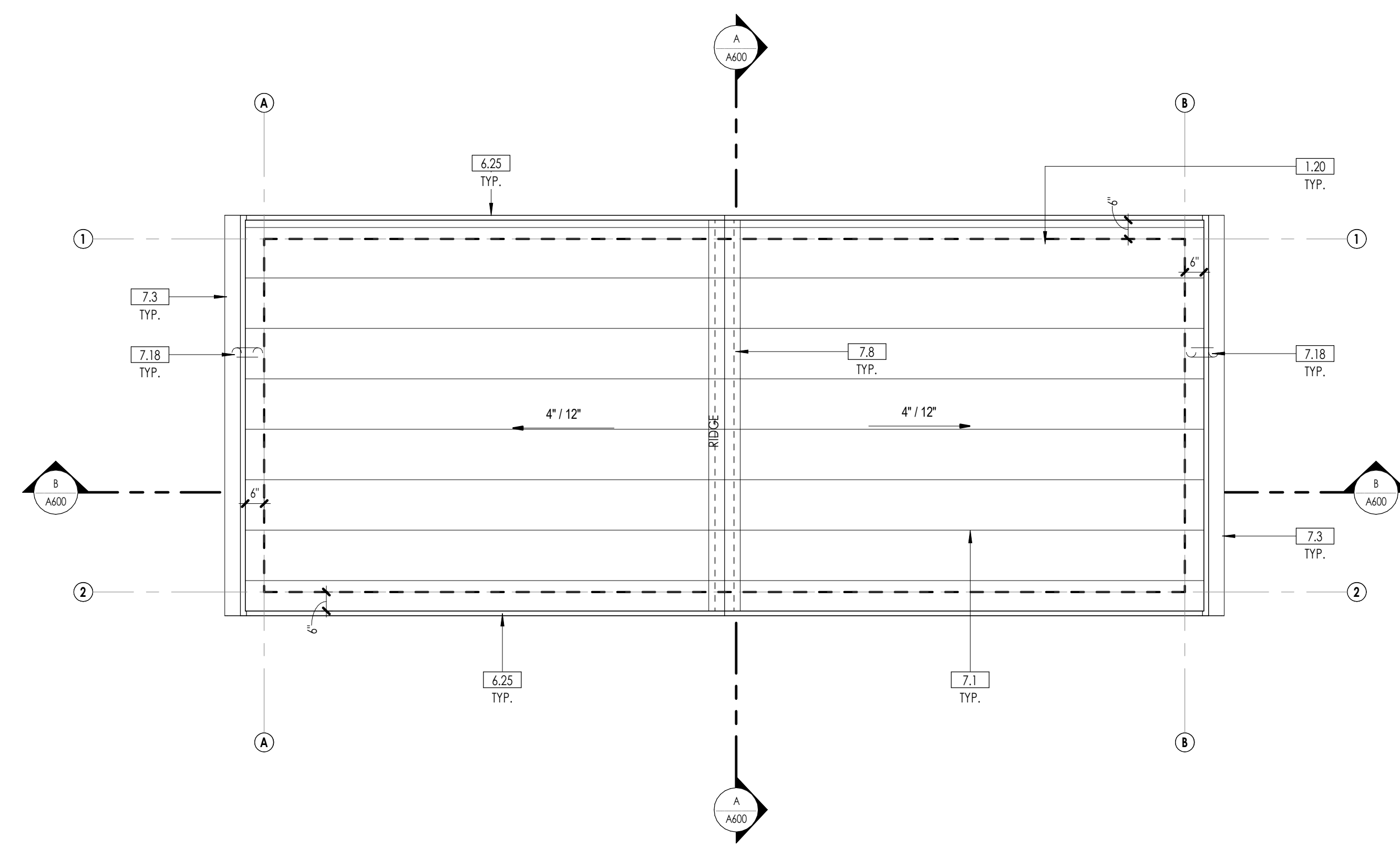
TABLE 1003.2
SIZE OF GUTTERS

DIAMETER OF GUTTER (1/2 inch per foot slope)	MAXIMUM PERMISSIBLE ROOF AREA BASED ON ROOF AREA (square feet)				
	2 (INCH)	3 (INCH)	4 (INCH)	5 (INCH)	6 (INCH)
3	340	226	170	136	113
4	720	480	360	288	240
5	1250	834	625	500	416
6	1920	1280	960	768	640
7	2760	1840	1380	1104	918
8	3960	2655	1990	1592	1325
10	7200	4800	3600	2880	2400

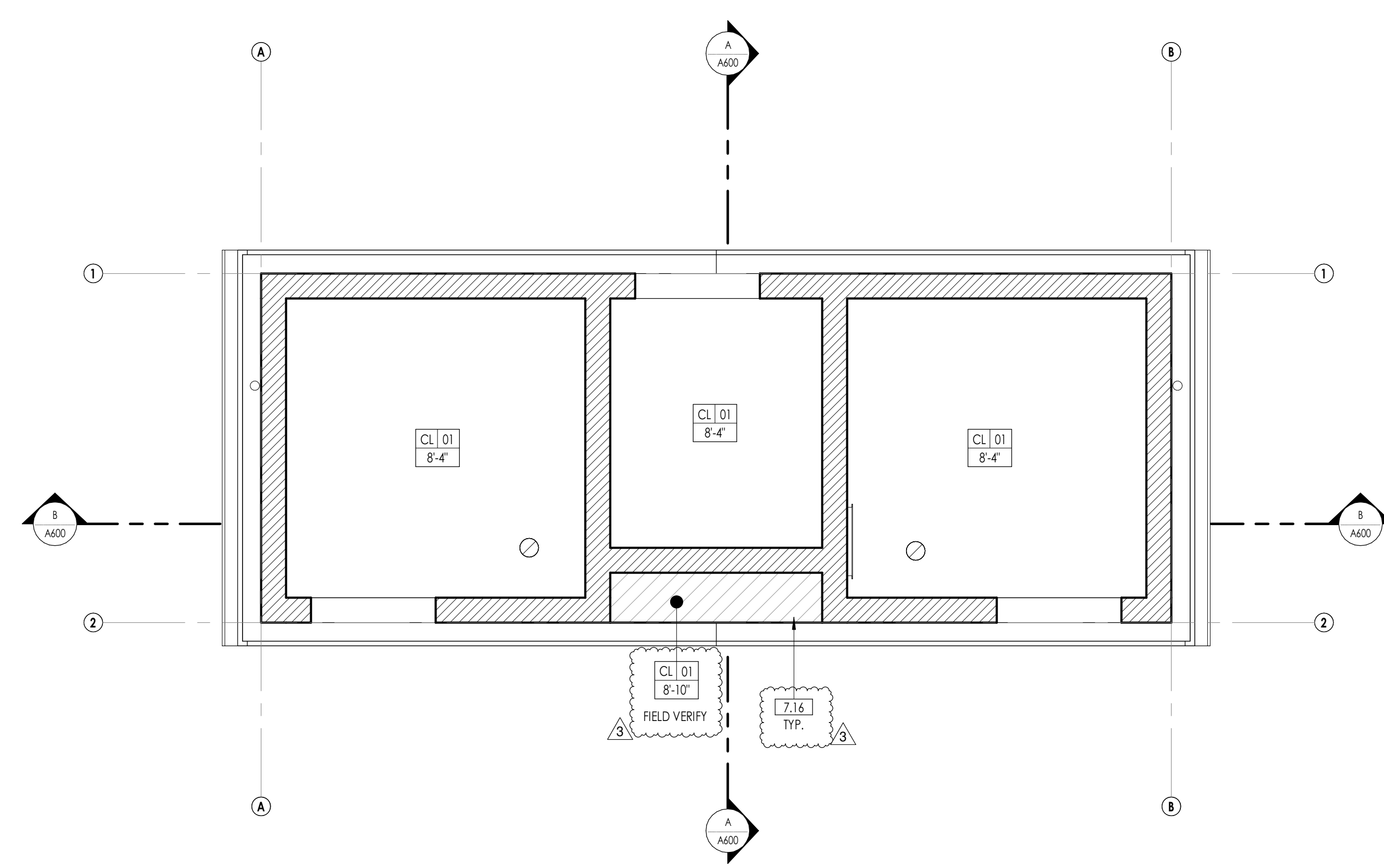
TABLE 1003.3
MAXIMUM RAINFALL RATES BASED ON ROOF AREA

DIAMETER OF GUTTER (1/2 inch per foot slope)	MAXIMUM RAINFALL RATES BASED ON ROOF AREA (square feet)				
	2 (INCH)	3 (INCH)	4 (INCH)	5 (INCH)	6 (INCH)
3	680	452	340	272	226
4	1440	960	720	576	480
5	2500	1668	1250	1000	834
6	3840	2560	1920	1536	1280
7	5520	3680	2760	2208	1836
8	7920	5310	3980	3184	2655
10	14400	9600	7200	5760	4800

For 30 mph winds - 20 mph, 1 inch per hour = 2.54 mm/h, 1 gallon per minute = 0.06 L/s, 1 square foot = 0.0929 m²



1 ROOF PLAN
 3/8" = 1'-0"



2 REFLECTED CEILING PLAN
 3/8" = 1'-0"

LEGEND:

- ER 01** STANDING SEAM METAL ROOF
- ER 02** SINGLE FLY ROOFING
- ER 03** CORRUGATED METAL PANELS
- R7** ROOF DRAIN (R.D.) / OVERFLOW (O.F.)/OUTLET
- R7** ROUND DOWNPOUT (D.S.)
- C.O.N.** CONN. TO STORM DRAIN, U.O.N.

GENERAL NOTES:

1. COORDINATE ALL PENETRATIONS OF ROOF SYSTEM WITH MECHANICAL AND ELECTRICAL DRAWINGS.
2. FOR TYPICAL ROOF ASSEMBLY INCLUDING MATERIAL DESIGNATIONS AND DETAILING APPROACH, SEE A9 SERIES.

ROOF DRAINAGE CALCS.:

ASSUMPTIONS:

- 1.5 IN./HR. MAX. RATE OF RAINFALL PER CPC TABLE 101.1
- 3" Ø OR 2" x 4" VERTICAL & HORIZ. DOWNPOUT w/ 1/8 IN. PER FT. SLOPE
- 5" RECTANGULAR GUTTER w/ 1/16 INCH PER FOOT SLOPE

DOWNPOUTS (CPC TABLE 103.2)
 (ROOF AREA) / (TRIBUTARY AREA) = NO. OF DOWNPOUTS REQ'D
 XXXX SF / 2,464 SF = X DOWNPOUTS REQ'D (Y PROPOSED)

GUTTERS (CPC TABLE 103.3)
 (ROOF AREA) / (NO. OF D.S. PROPOSED) = TRIBUTARY ROOF AREA
 XXXX SF / 9 = XXXX SF < 1,250 SF REQ. FOR ASSUMED GUTTER SIZE & SLOPE

ROOF VENT CALCS.:

CBC SECTION 1202.2.1
 THE MINIMUM NET FREE VENTILATING AREA (NFA) SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE. SEE CALCULATIONS BELOW.

ATTIC VENTING REQUIRED:
 XXXX SF ATTIC AREA / 150 X 144 = **XX,XXX** SQ. IN.

ATTIC VENTING PROVIDED:
 (X) WALL VENTS = (X) X 40 IN. X 18 IN. = 14,400 SQ. IN.
 W/ 10,783 SQ. IN. MIN. NFA

WHERE EAVE OR CORNICE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. NOT LESS THAN A 1/4 INCH SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING AND AT THE LOCATION OF THE VENT.

ROOF INSUL. ENERGY REQS.:

CATEGORY	REQUIREMENT
ROOF ASSEMBLY U-VALUE	0.0611 MAX.
CONTINUOUS INSULATION	R-4 MIN. & 1" MIN. THICKNESS
CAVITY INSULATION	R-21 MIN. KRAFF-FACED BATT INSULATION

NOTE:
 - SEE ENERGY CALCULATIONS FOR MORE INFORMATION

KEYNOTES:

- 1.20 DASHED LINE INDICATES WALL BELOW
- 6.25 2x BARGE BD. - PRIMER & PAINT, TYP.
- 7.1 STANDING SEAM METAL ROOF PANELS - COLOR AS SELECTED BY ARCH. - SEE ROOF PLAN
- 7.3 PREFINISHED G.S.M. GUTTER - COLOR AS SELECTED BY ARCH. - SEE ROOF PLAN
- 7.8 PREFINISHED CONT. G.S.M. RIDGE VENT
- 7.16 X ROUND PROFILE DOWN SPOUT, CONNECT TO STORM DRAIN, PRIMER & PAINT - S.C.D.

LEGEND:

- CL 01** GYP. BD. - SEE FINISH SCHED.
- CL 02** 18x PLANKS - SEE FINISH SCHED.
- CL 03** SUSP. ACOUST. CLG. GRID & TILE - SEE FINISH SCHED.
- CL 04** STUCCO - SEE FINISH SCHED.
- CL 05** TEXTURED FIBER CEMENT BD. OV/ W.R.B.
- CL 01** FINISH
- 9'-1"** SPOT ELEVATION HEIGHT MARKER
- LAY-IN LINEAR LIGHTS - S.E.D. - TRIM FINISH AS SELECTED BY ARCHITECT
- LINEAR LIGHTS - S.E.D. - TRIM FINISH AS SELECTED BY ARCHITECT
- RECESSED CAN LIGHT - S.E.D. - TRIM FINISH AS SELECTED BY ARCHITECT
- EXTERIOR PENDANT LIGHT - S.E.D. - TRIM FINISH AS SELECTED BY ARCHITECT
- RECESSED LED LIGHT FIXTURE - TO BE CENTERED ON BD. TRIM FINISH AS SELECTED BY ARCHITECT
- RETURN REGISTER - S.M.D.
- SUPPLY REGISTER - S.M.D.
- LINEAR DIFFUSER - S.M.D.

GENERAL NOTES:

1. SPOT ELEVATIONS ARE TAKEN FROM FACE OF FRAMING MEMBERS / SUPPORT STRUCTURES, U.O.N. THE CEILING HEIGHT SHOWN IN THE ROOM TAG INDICATES THE HEIGHT OF THE DOMINANT CEILING FINISH. SEE ADDITIONAL CEILING FINISH CALLOUTS FOR OTHER CEILING HEIGHT OR FEATURES.
2. CENTER ALL SUSPENDED CEILING GRIDS WITHIN ITS ASSOCIATED ROOM, U.O.N.
3. CENTER ALL LIGHTING, U.O.N.
4. MECHANICAL PLATFORM SHALL BE ACCESSIBLE THROUGH AN OPENING AND PASSAGEWAY NOT LESS THAN THE LARGEST COMPONENT OF THE APPLIANCE, AND NOT LESS THAN 22" X 30" PER CMC 304.4.
5. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL LIGHTING AND DIFFUSER INFORMATION.
6. THE CONTRACTOR SHALL COORDINATE ALL TRADES TO ENSURE THAT DESIGNATED CEILING HEIGHTS CAN BE ACHIEVED. NOTIFY ARCHITECT OF ANY CONFLICTS OR CONDITIONS THAT PREVENT THIS FROM OCCURRING BEFORE PROCEEDING WITH THE WORK.
7. ALL EXPOSED STRUCTURE TO BE PAINTED, ALONG WITH MECHANICAL DUCTWORK, CONDUIT, AND EXPOSED UTILITIES. PAINT TO BE SELECTED BY ARCHITECT.

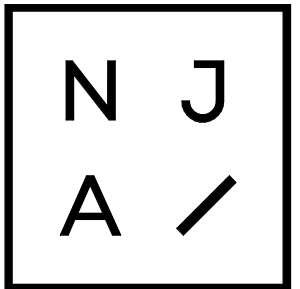
REVISIONS

NO.	DESCRIPTION	DATE
3	ADDENDUM 1	5/14/26

PERMIT SET
 02.26.26

ROOF PLAN & REFLECTED
 CEILING PLAN

A400



ARCHITECT
NJA ARCHITECTURE
 212 W PINE STREET, STE #1
 LATHROP, CA 95240
 209.405.6300
 www.njarchitecture.com

CLIENT
CITY OF LATHROP
 390 TOWNE CENTER DR.
 LATHROP, CA 95330
 209.941.7430

PROJECT
MINNIE LEE COTTON PARK
 14469 REV. MAURICE COTTON DR.
 LATHROP, CA 95330

GENERAL NOTES:

- COORDINATE GRADING SHOWN ON ELEVATIONS w/ CIVIL.
- PROVIDE GUTTERS AND DOWN SPOUTS - SEE ROOF PLAN.
- FOR TYPICAL WALL ASSEMBLY INCLUDING MATERIAL DESIGNATIONS AND DETAILING APPROACH, SEE A9 SERIES.
- ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR A SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.

ROOF INSUL. ENERGY REQS.:

CATEGORY	REQUIREMENT
ROOF ASSEMBLY U-VALUE	0.0611 MAX.
CONTINUOUS INSULATION	R-4 MIN. & 1" MIN. THICKNESS
CAVITY INSULATION	R-21 MIN. KRAFT-FACED BATT INSULATION

NOTE:
 -SEE ENERGY CALCULATIONS FOR MORE INFORMATION

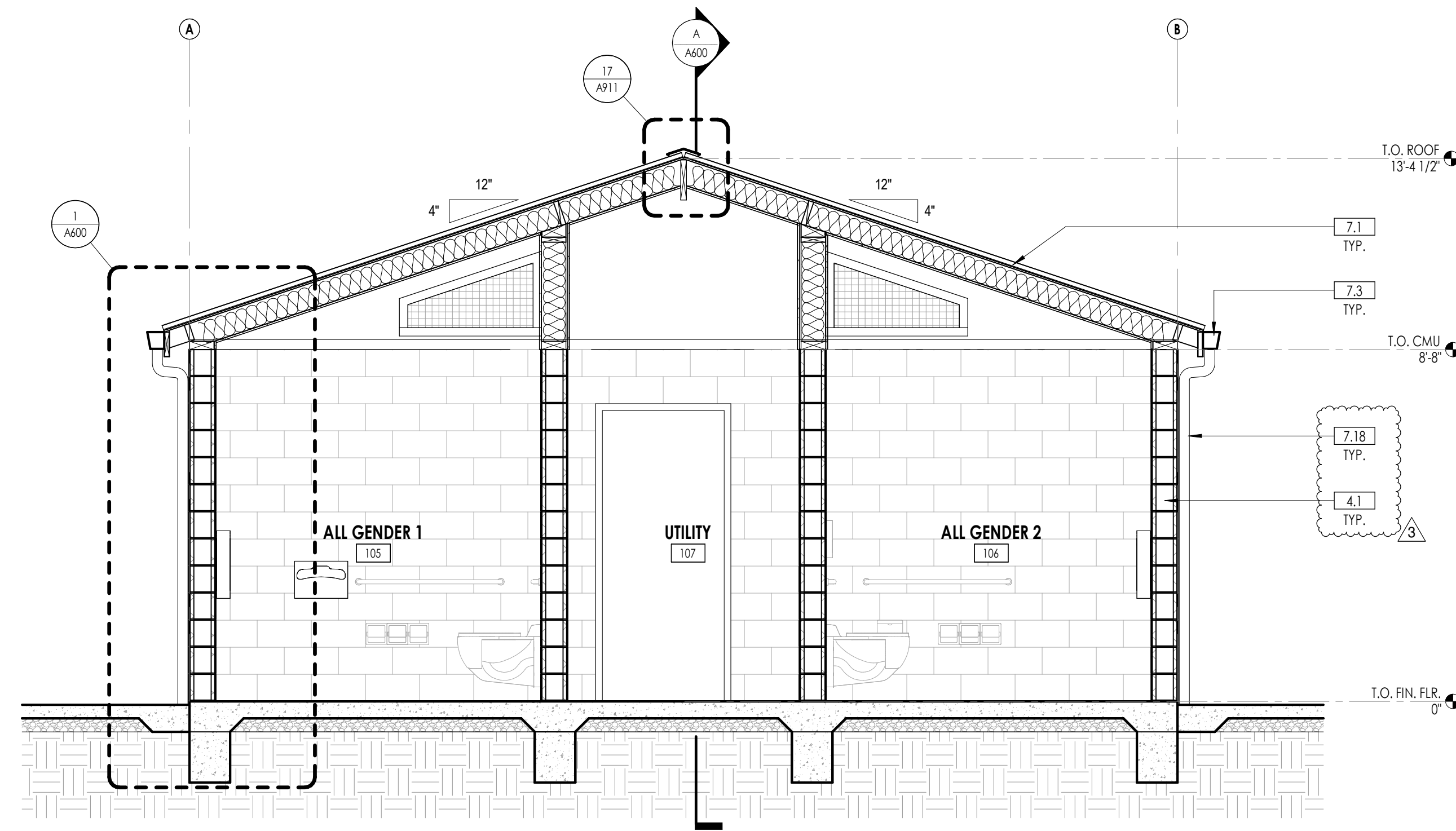
EXT. WALL INSUL. ENERGY REQS.:

CATEGORY	REQUIREMENT
WALL ASSEMBLY U-VALUE	0.0505 MAX.
CONTINUOUS INSULATION	R-4 MIN. & 1" MIN. THICKNESS
CAVITY INSULATION	R-21 MIN. KRAFT-FACED BATT INSULATION

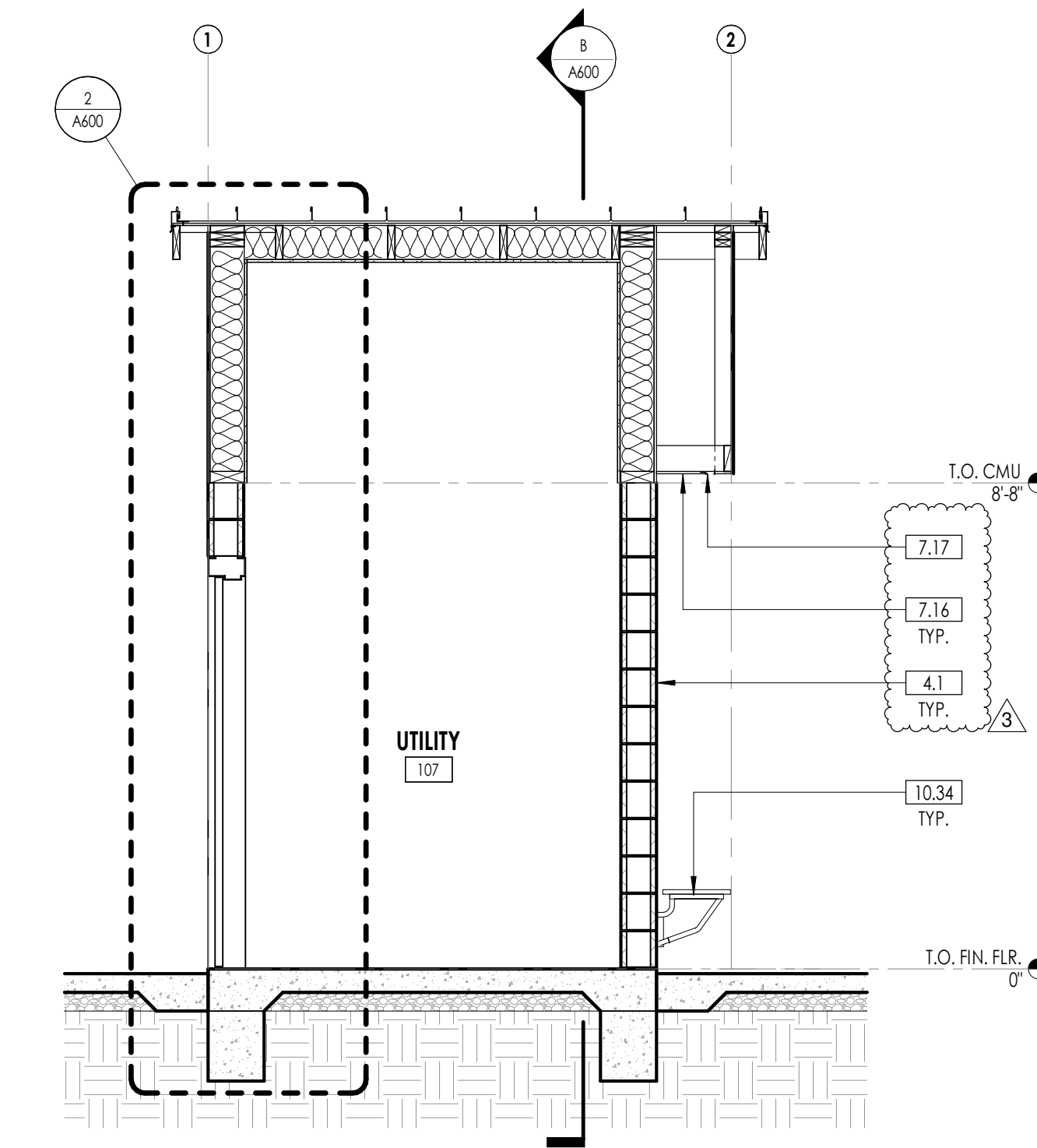
NOTE:
 -SEE ENERGY CALCULATIONS FOR MORE INFORMATION

KEYNOTES:

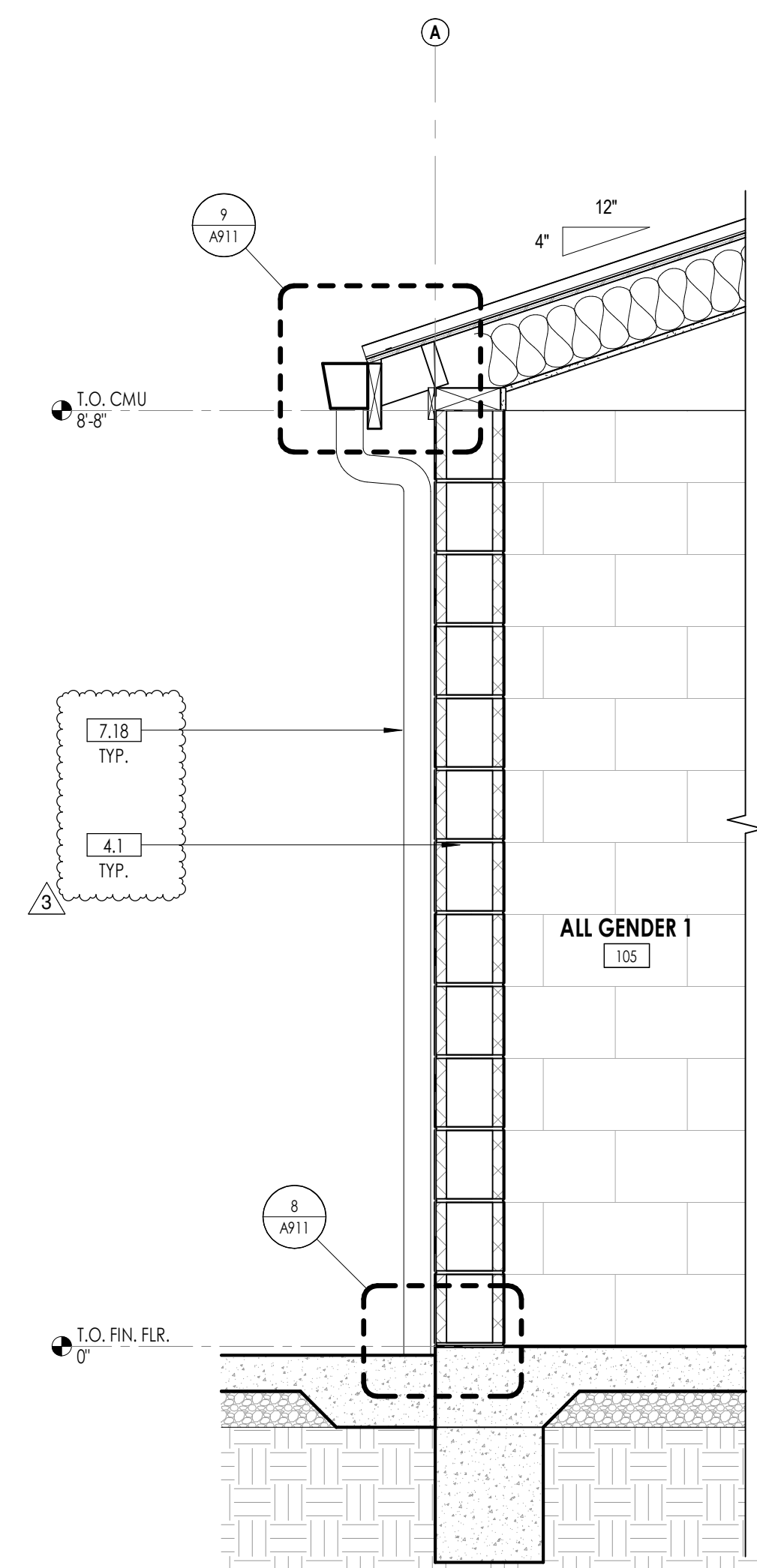
- 4.1 Bb16 PRECISION FACE, NATURAL GRAY CMU BLOCK w/ PRIMER AND PAINT - PAINT COLOR TO BE SELECTED BY CLIENT
- 7.1 STANDING SEAM METL. ROOF PANELS - COLOR AS SELECTED BY ARCH. - SEE ROOF PLAN
- 7.3 PREFINISHED G.S.M. GUTTER - COLOR AS SELECTED BY ARCH. - SEE ROOF PLAN
- 7.16 TEXTURED FIBER CEMENT RD. w/ W.B.B. - SEE REFLECTED CEILING PLAN
- 7.17 CONV. G.S.M. SOFFIT VENT. - PRIMER & PAINT TO MATCH EXTERIOR PAINT COLOR
- 7.18 ROUND PROFILE DOWN SPOUT. CONNECT TO STORM DRAIN. PRIMER & PAINT - S.C.D.
- 10.34 NJ ACCESSIBLE FOLDING SHOWER SEAT. MANUFACTURER AND MODEL TO BE SELECTED BY THE CITY OF LATHROP



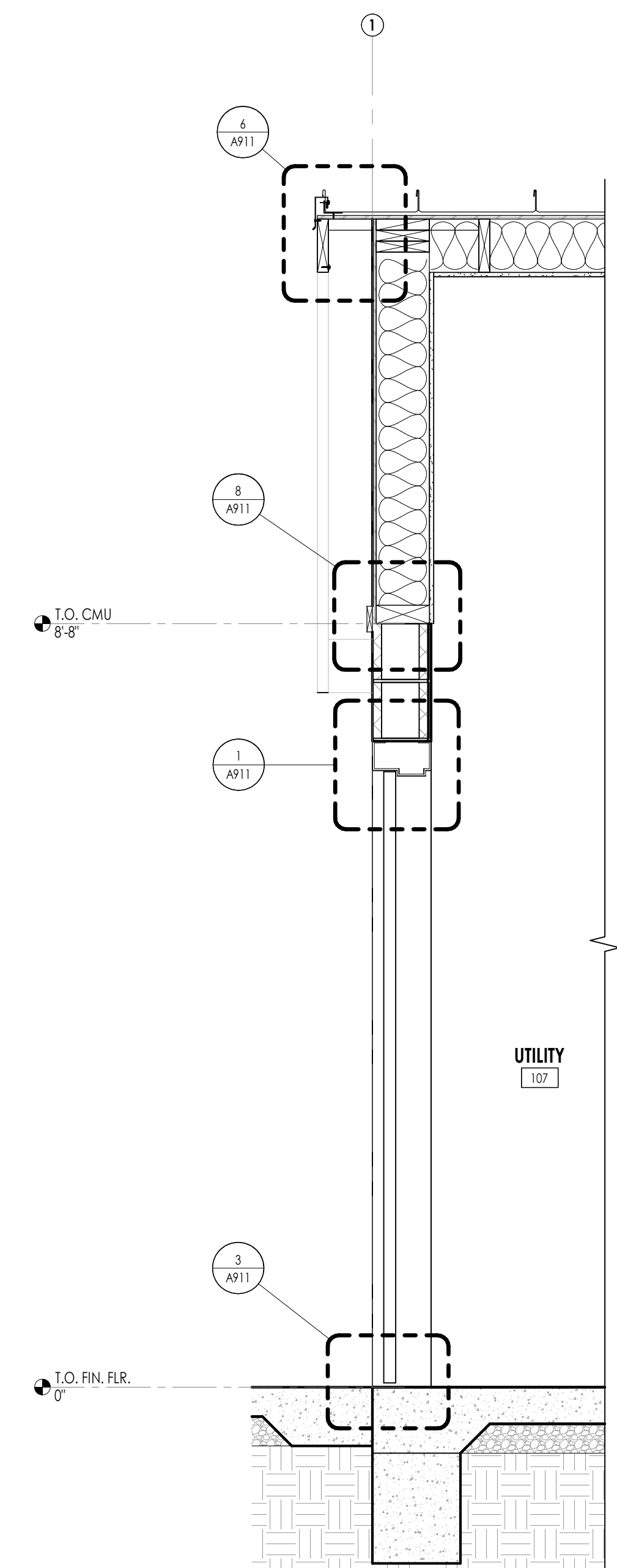
BUILDING SECTION B
 3/8" = 1'-0"



BUILDING SECTION A
 3/8" = 1'-0"



WALL SECTION - 2
 3/4" = 1'-0"



WALL SECTION - 1
 3/4" = 1'-0"



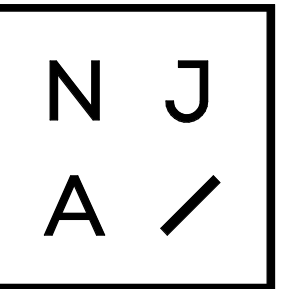
REVISIONS

NO.	DESCRIPTION	DATE
3	ADDENDUM 1	5/14/26

PERMIT SET
 02.26.26

BUILDING SECTIONS & WALL SECTIONS

A600

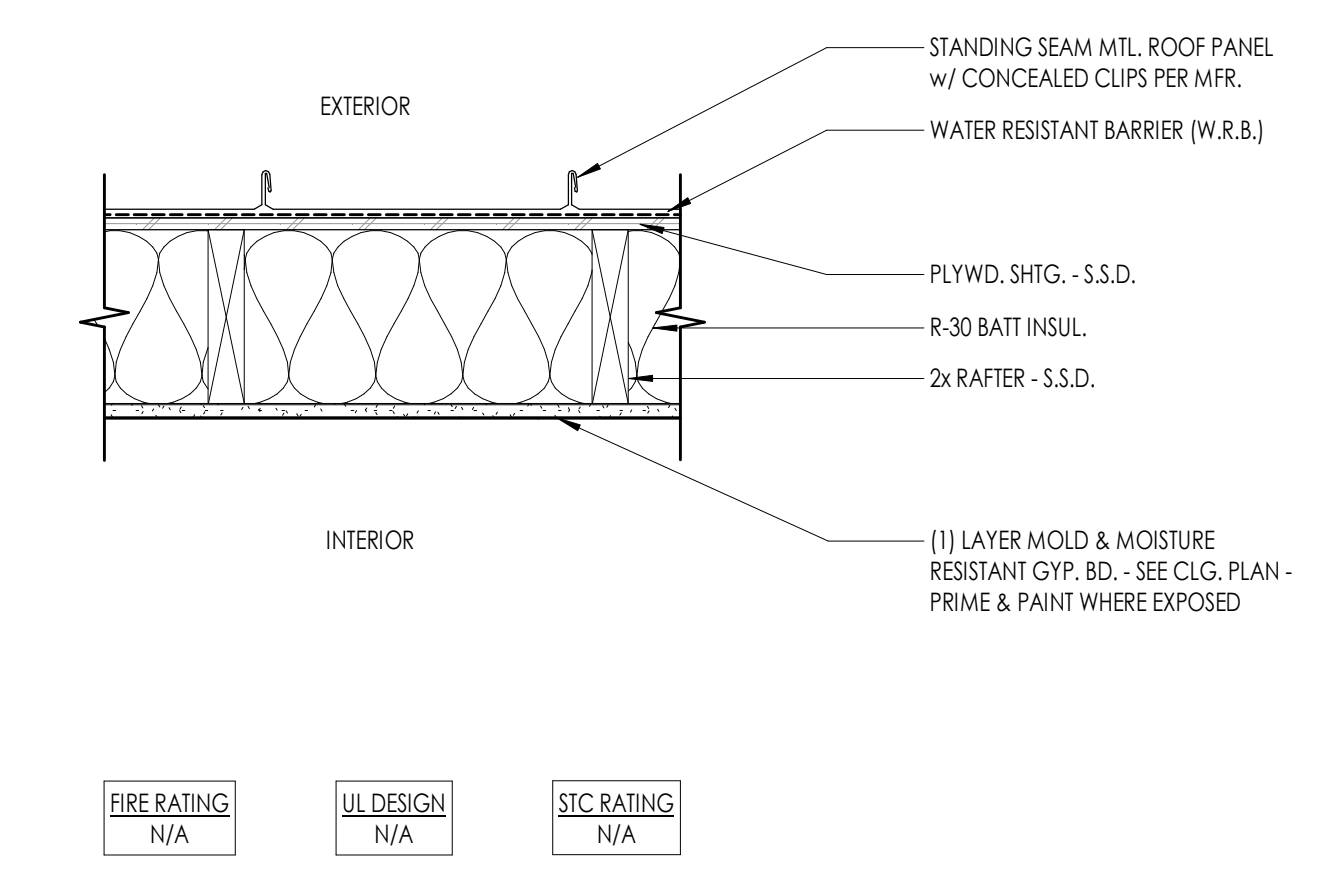


ARCHITECT
NJA ARCHITECTURE
 212 W PINE STREET, STE #1
 LOS ANGELES, CA 90012
 213.463.6300
 www.njarchitecture.com

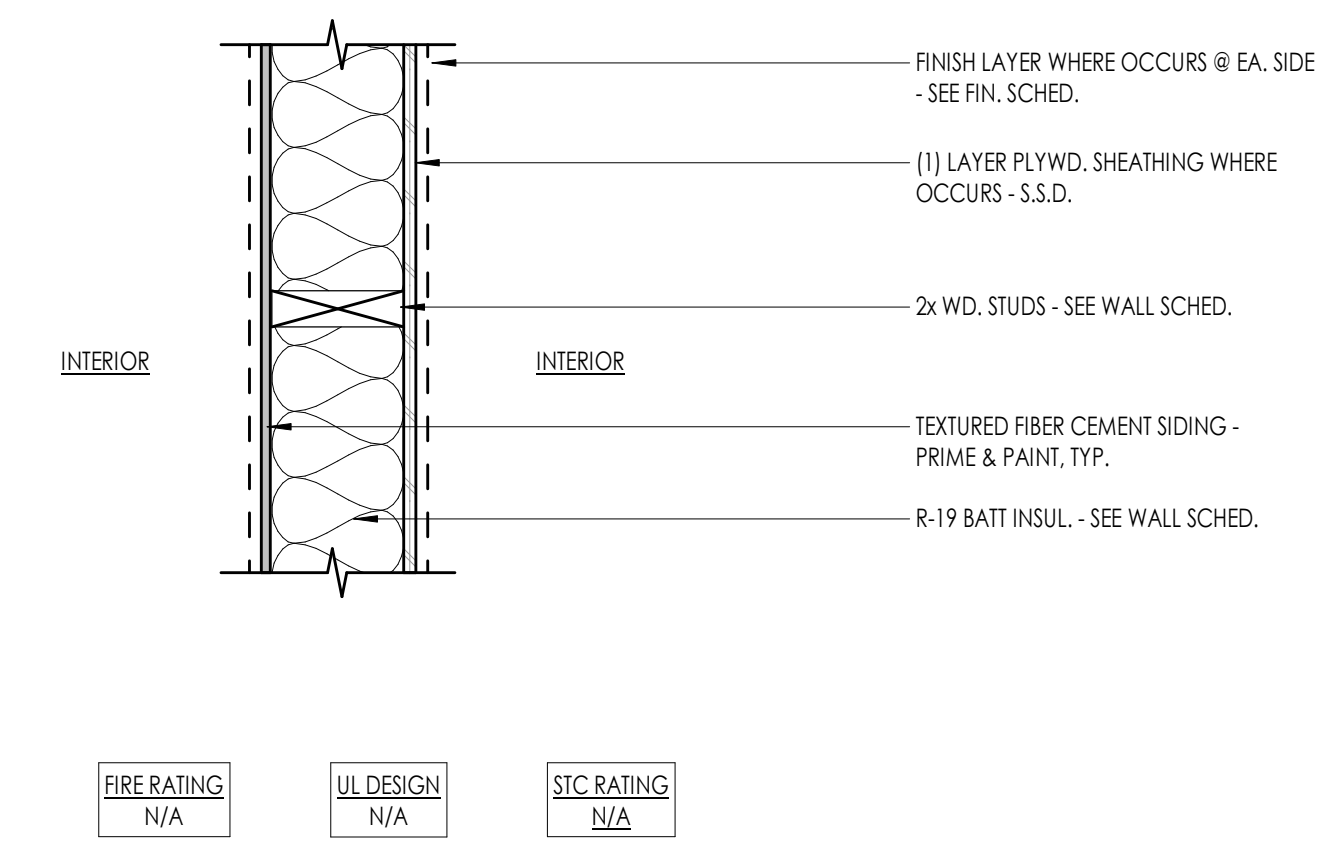
CLIENT
CITY OF LATHROP
 390 TOWNE CENTER DR.
 LATHROP, CA 95330
 209.941.7430

PROJECT
MINNIE LEE COTTON PARK
 14469 REV. MAURICE COTTON DR.
 LATHROP, CA 95330

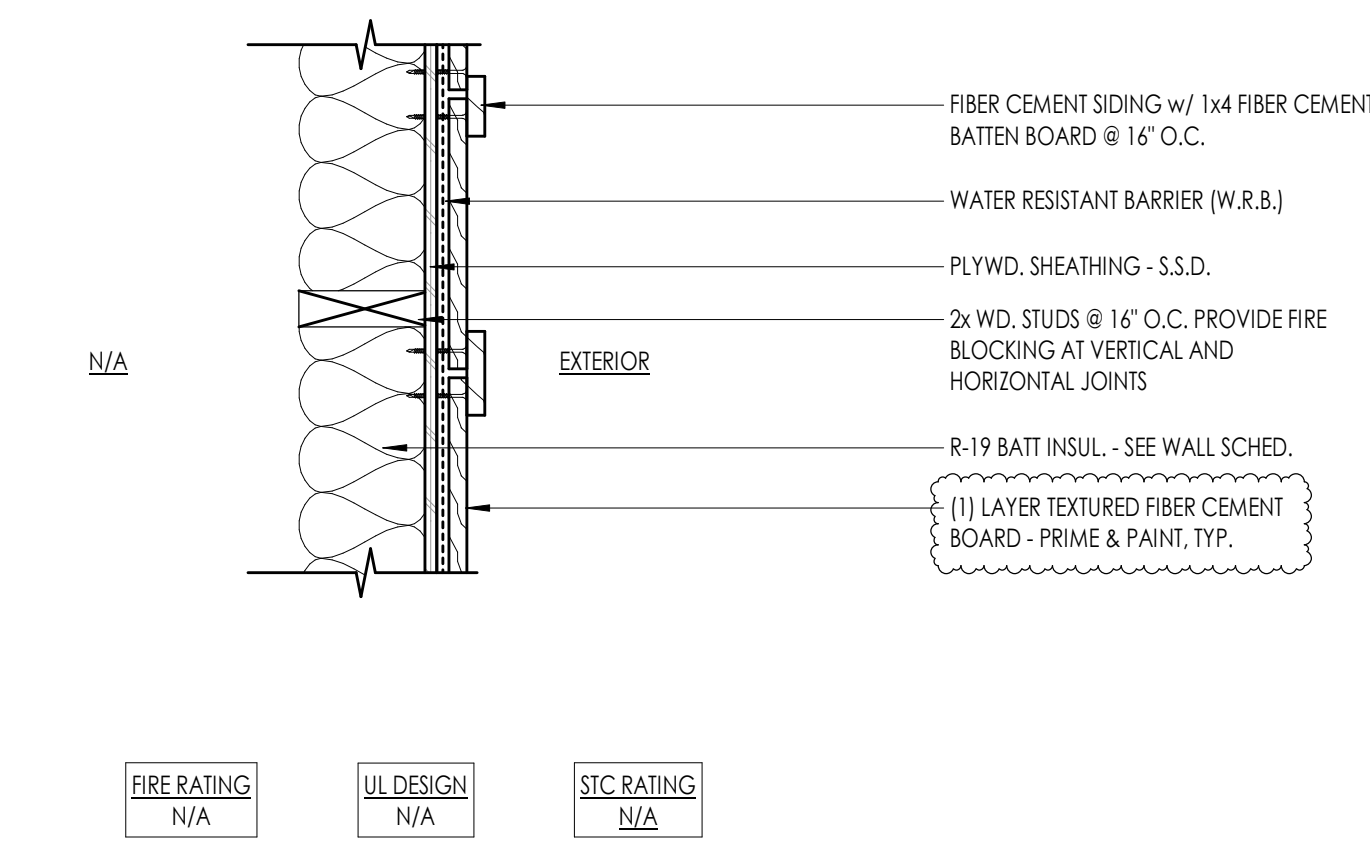
- NOTES:**
- U.O.N. ALL NEW WALL ASSEMBLIES ARE CONTINUOUS TO BOTH OF DECK.
 - WALL TYPES DESCRIBED ON THIS SHEET DO NOT ACCOUNT FOR REQUIRED BACKING / SUPPORT FOR WALL FINISHES, MOUNTED FIXTURES, EQUIPMENT, CASEWORK, AND/OR SYSTEMS FURNITURE. COORDINATE W/ ENLARGED FLOOR PLANS, INTERIOR ELEVATIONS, AND EQUIPMENT PLANS PRIOR TO COVERING STUD FRAMING. REFER TO MFR. RECOMMENDATIONS AND USE DETAIL [XXX/XX/XX] WHERE APPLICABLE.
 - REFER TO STRUCT. DRAWINGS FOR STRUCTURAL SHEATHING REQUIREMENTS AND ATTACHMENTS.
 - PROVIDE SEISMIC BRACING PER DETAIL [XXX/XX/XX] AT ALL WALL TYPES THAT DO NOT EXTEND TO DECK.
 - INFORMATION IN THE WALL TYPE LEGEND IS FOR REFERENCE ONLY AND DOES NOT OVERRIDE THE CONTENTS OF THE DETAILS ON THIS SHEET.
 - WHERE GYP. BD. IS NOT INSTALLED ON BOTH FACES OF WALL, BLOCKING / BRIDGING MUST BE ADDED @ 48" O.C.
 - PROVIDE SLIP TRACKS AT TOP OF INTERIOR WALL THAT TERMINATE AT BOTTOM OF DECK, AND SEAL W/ ACOUSTIC SEALANT.



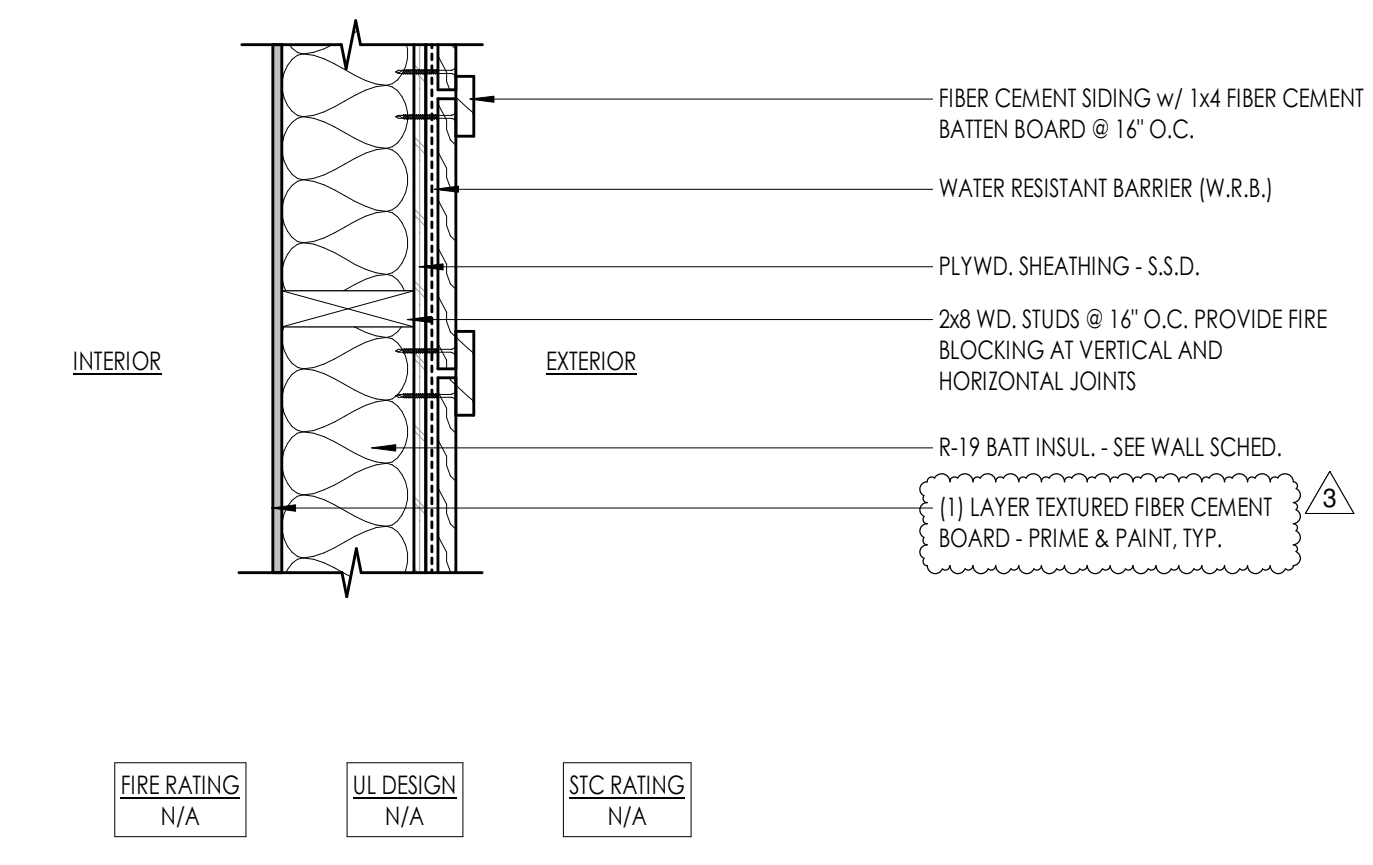
RF-1 - STANDING SEAM OVER WD. RAFTER
 1 A910 1 1/2" = 1'-0"



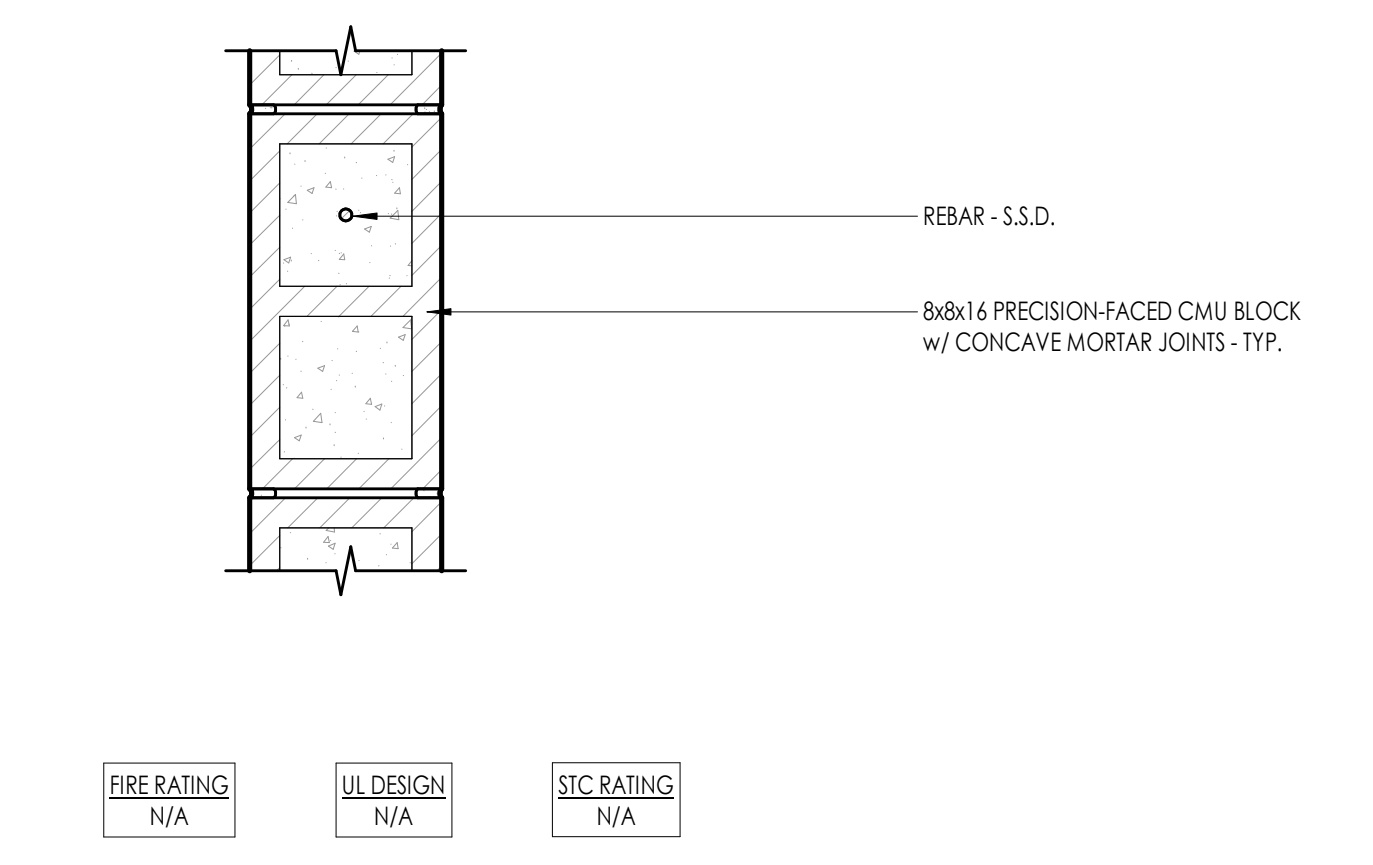
WD. STUD WALL @ INT. w/ PLYWD. 1 SIDE & F.C.B.
 5 A910 1 1/2" = 1'-0"



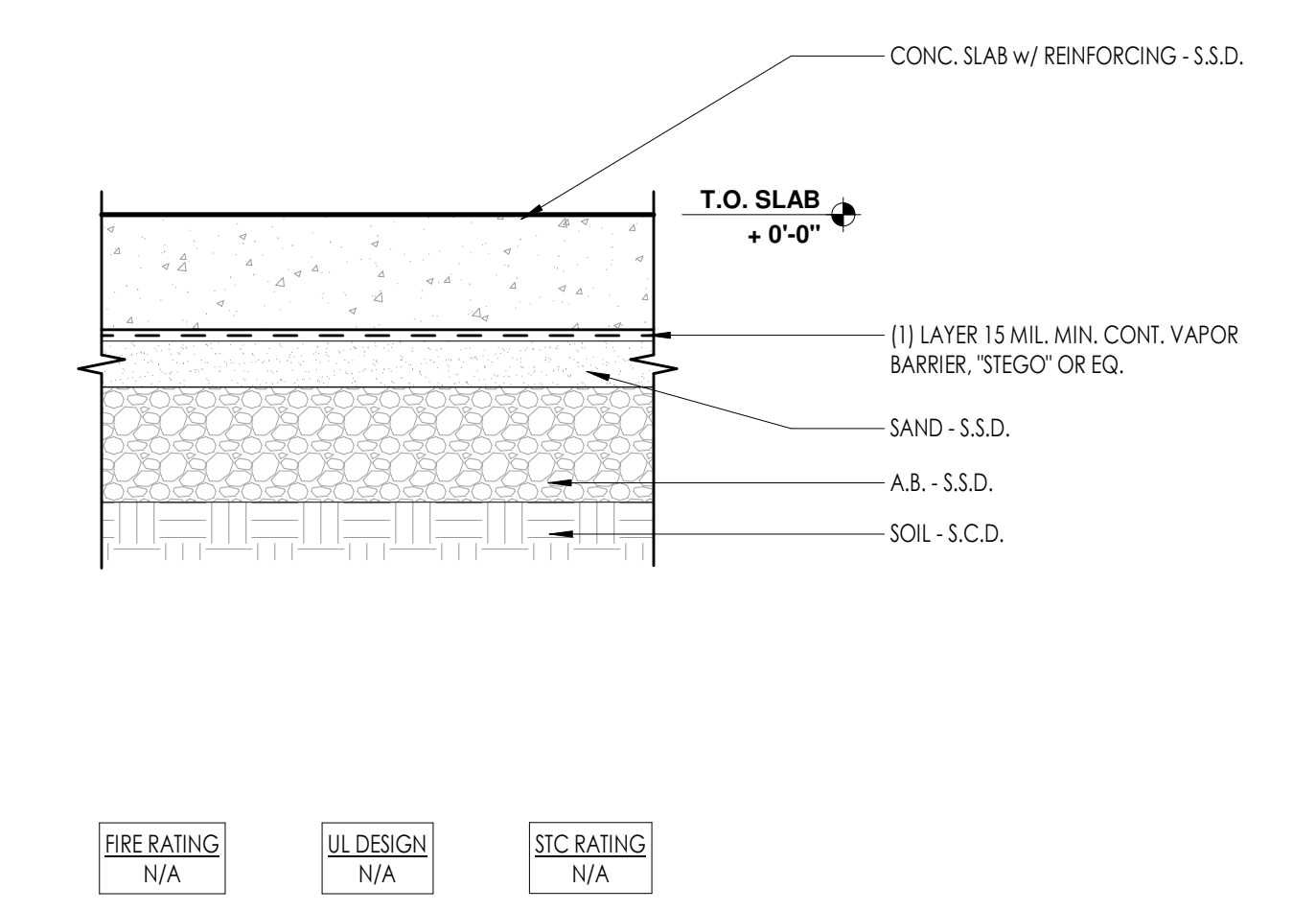
WOOD STUD WALL @ EXT. w/ F.C.B. 1 SIDE
 4 A910 1 1/2" = 1'-0"



WOOD STUD WALL @ EXT. w/ FIBER CEMENT SIDING
 3 A910 1 1/2" = 1'-0"



CMU 8"
 2 A910 1 1/2" = 1'-0"



FL-1 - CONC. SLAB ON GRADE
 6 A910 1 1/2" = 1'-0"

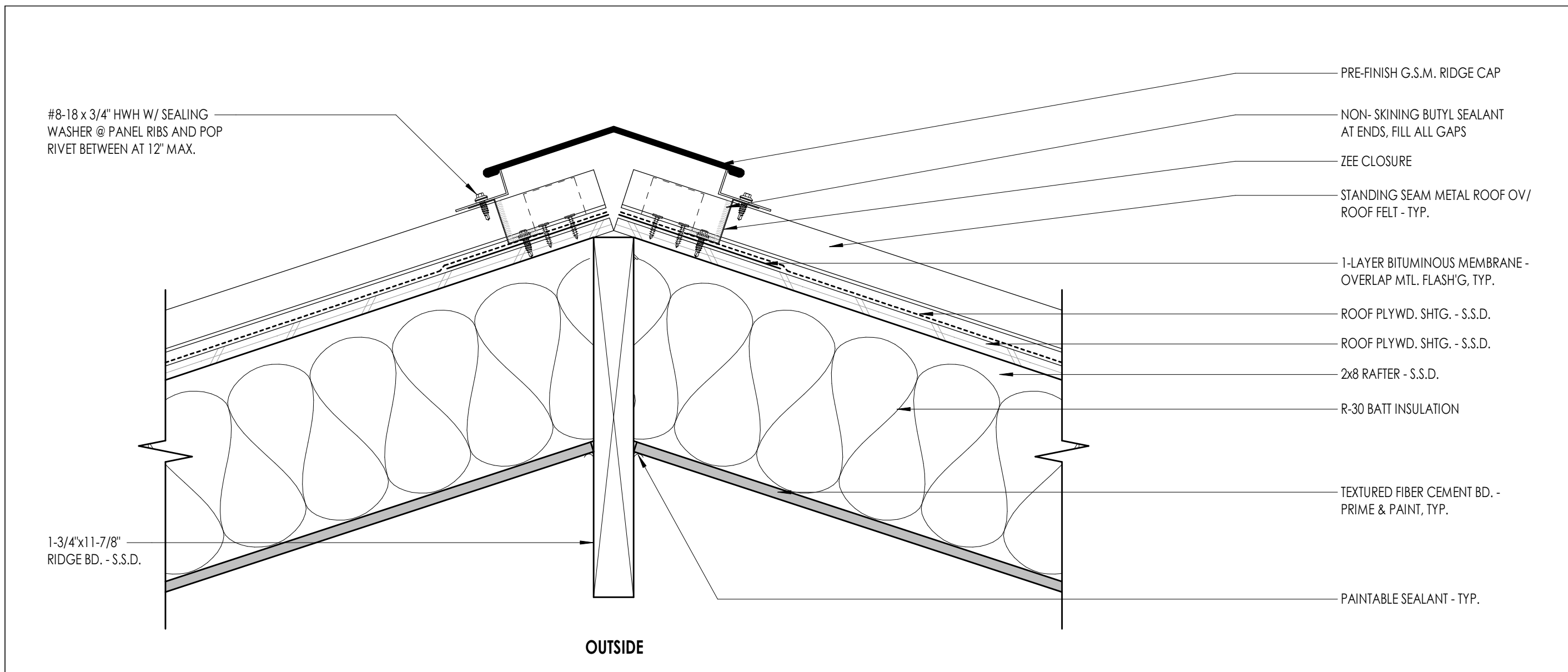


NO.	DESCRIPTION	DATE
3	ADDENDUM 1	5/14/26

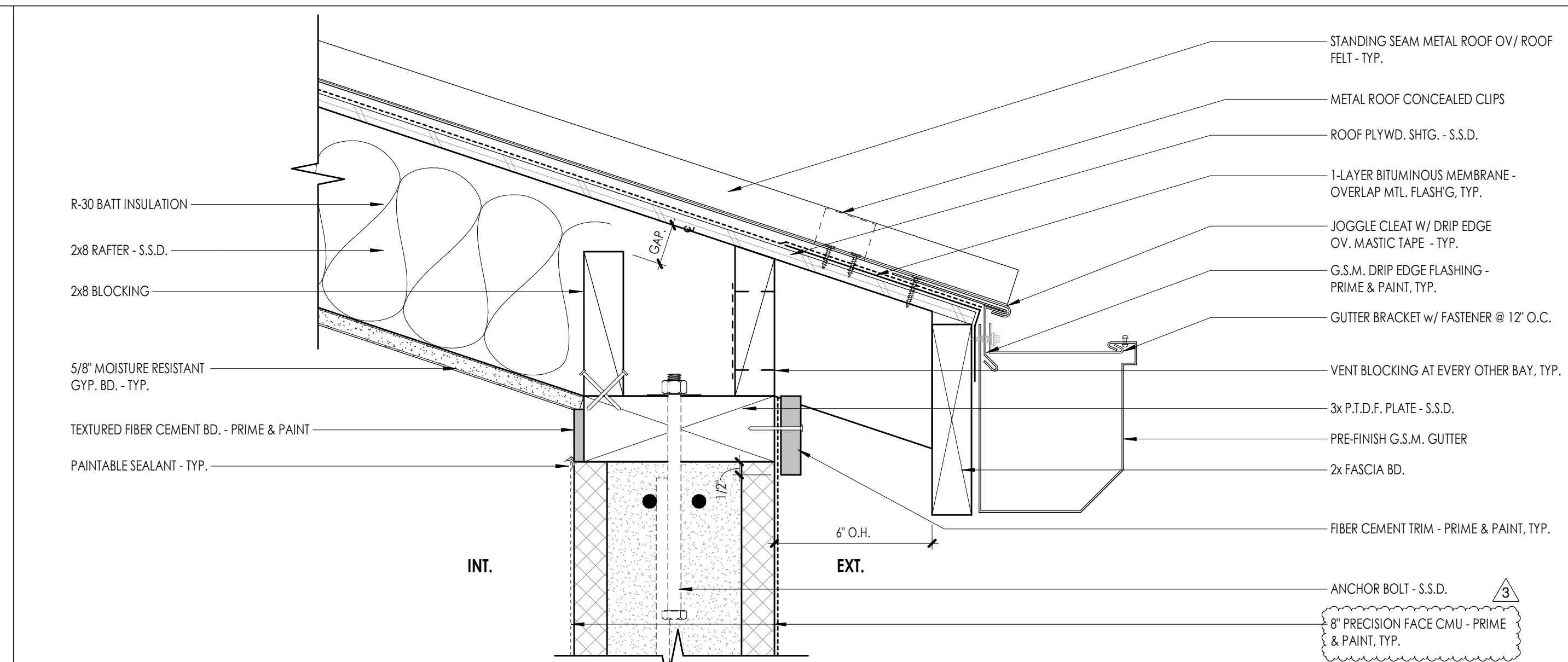
PERMIT SET
02.26.26

ASSEMBLIES -
 FLOOR/CEILING/ROOF

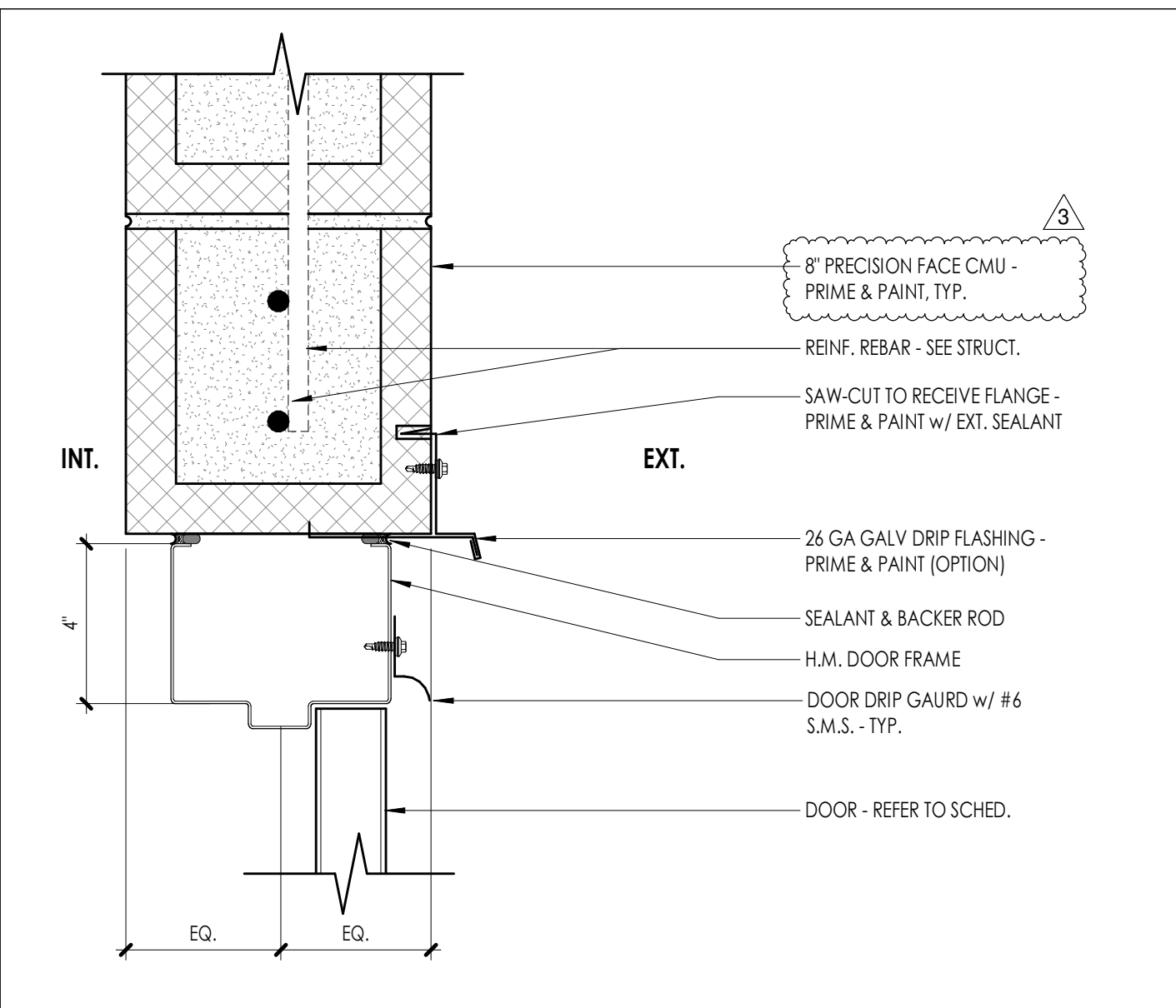
A910



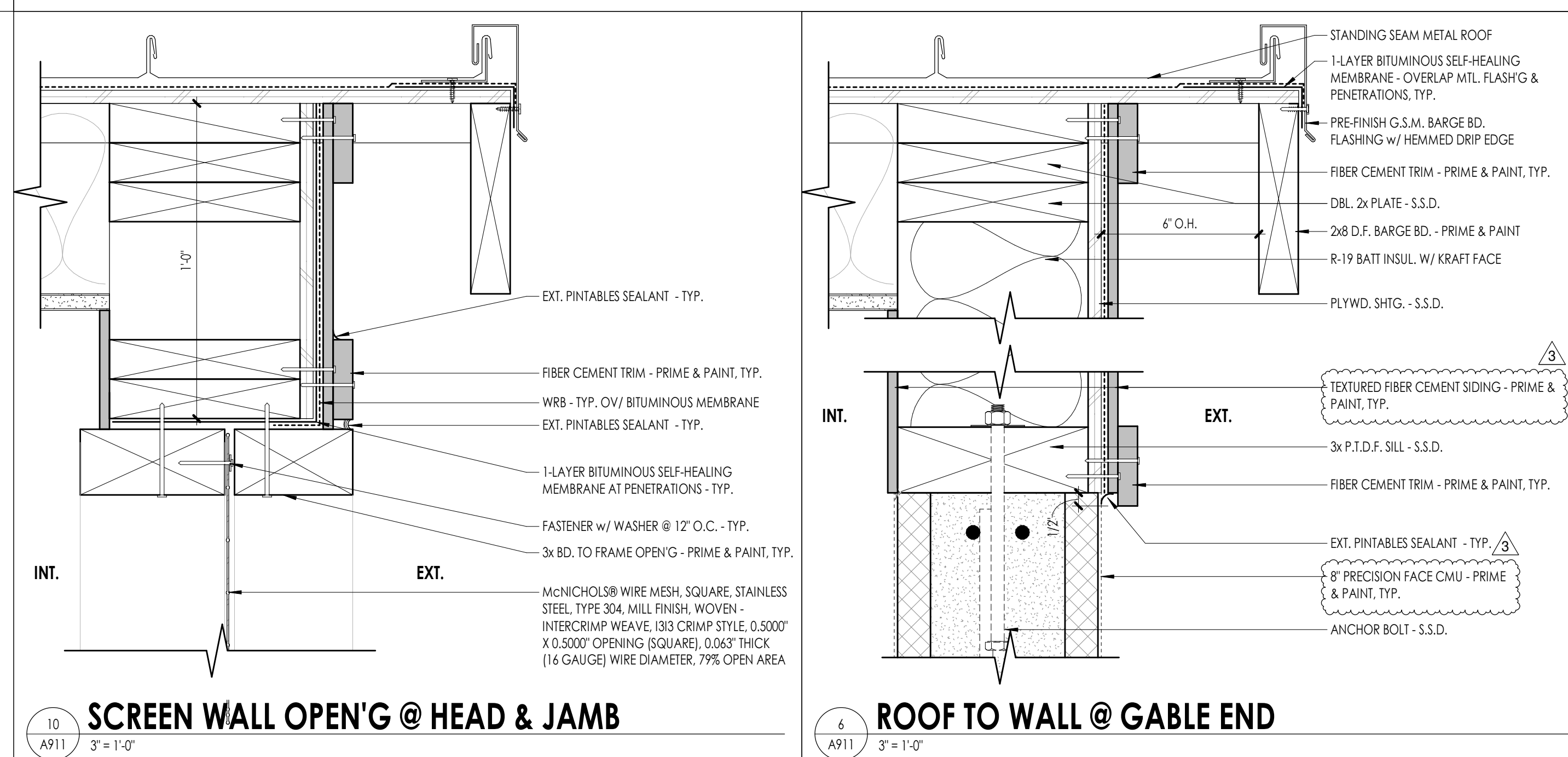
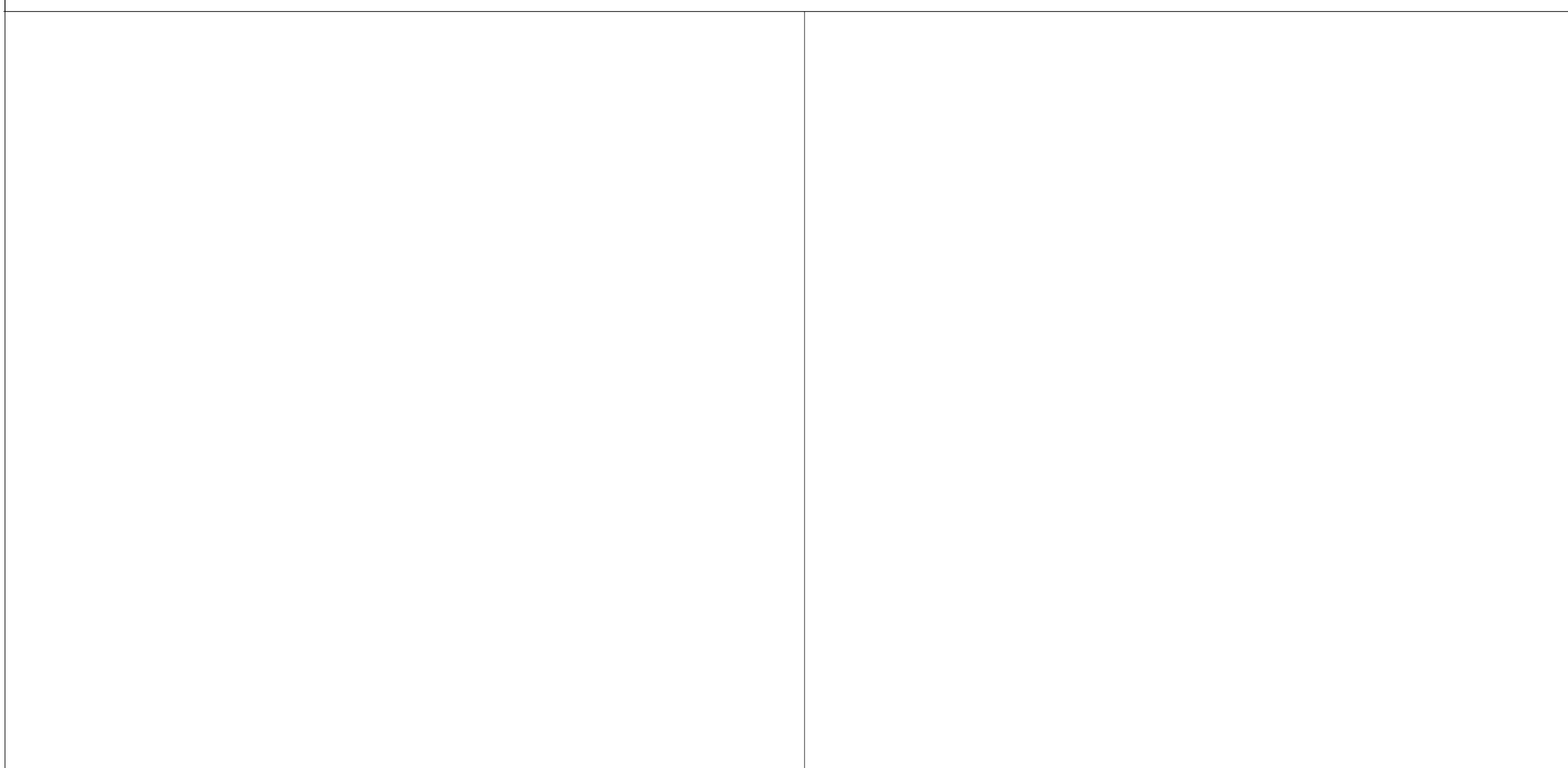
17
A911
ROOF TO WALL @ EAVE
3" = 1'-0"



9
A911
ROOF TO WALL @ EAVE
3" = 1'-0"

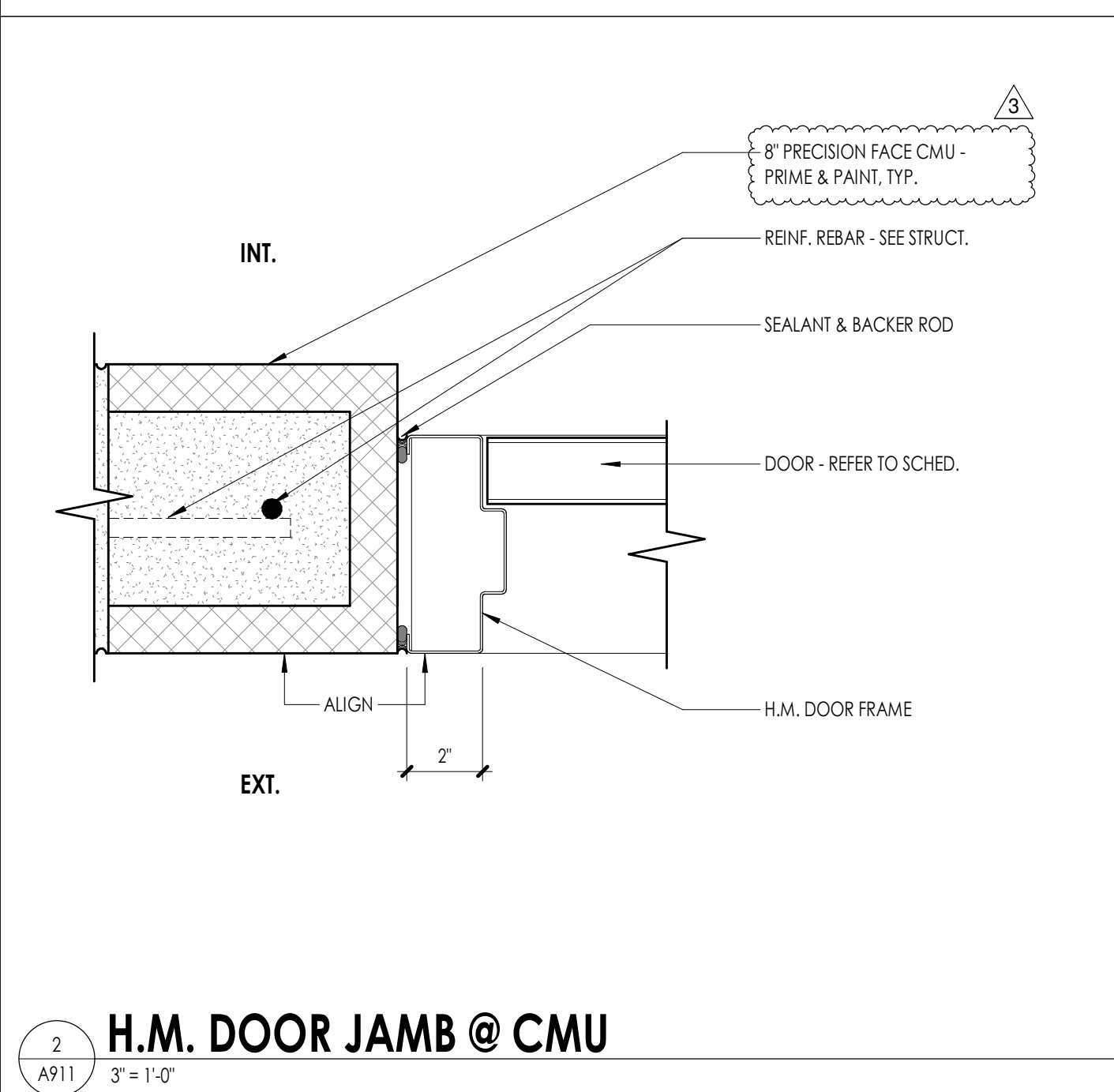


1
A911
H.M. DOOR HEAD @ CMU
3" = 1'-0"

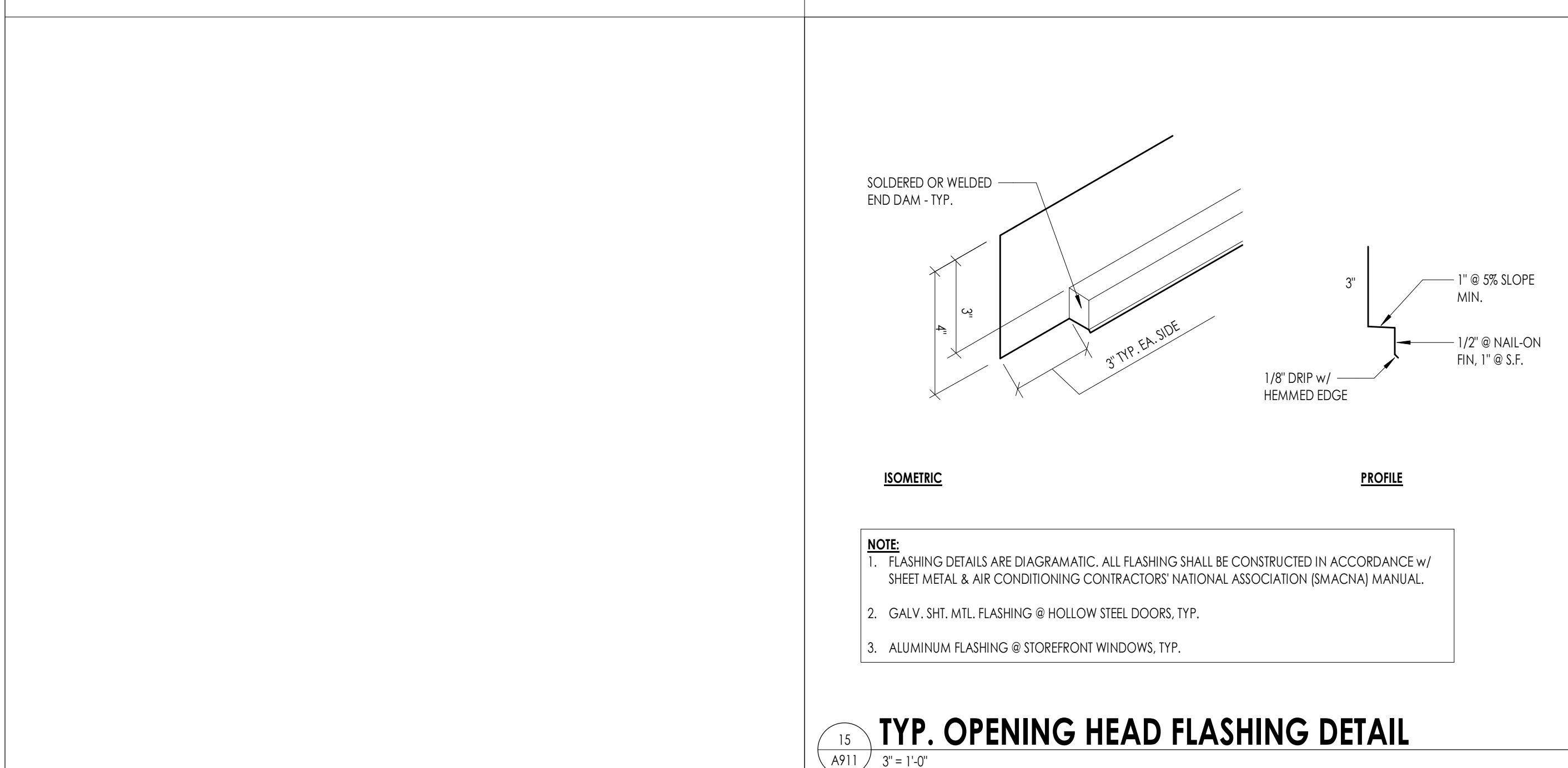


10
A911
SCREEN WALL OPEN'G @ HEAD & JAMB
3" = 1'-0"

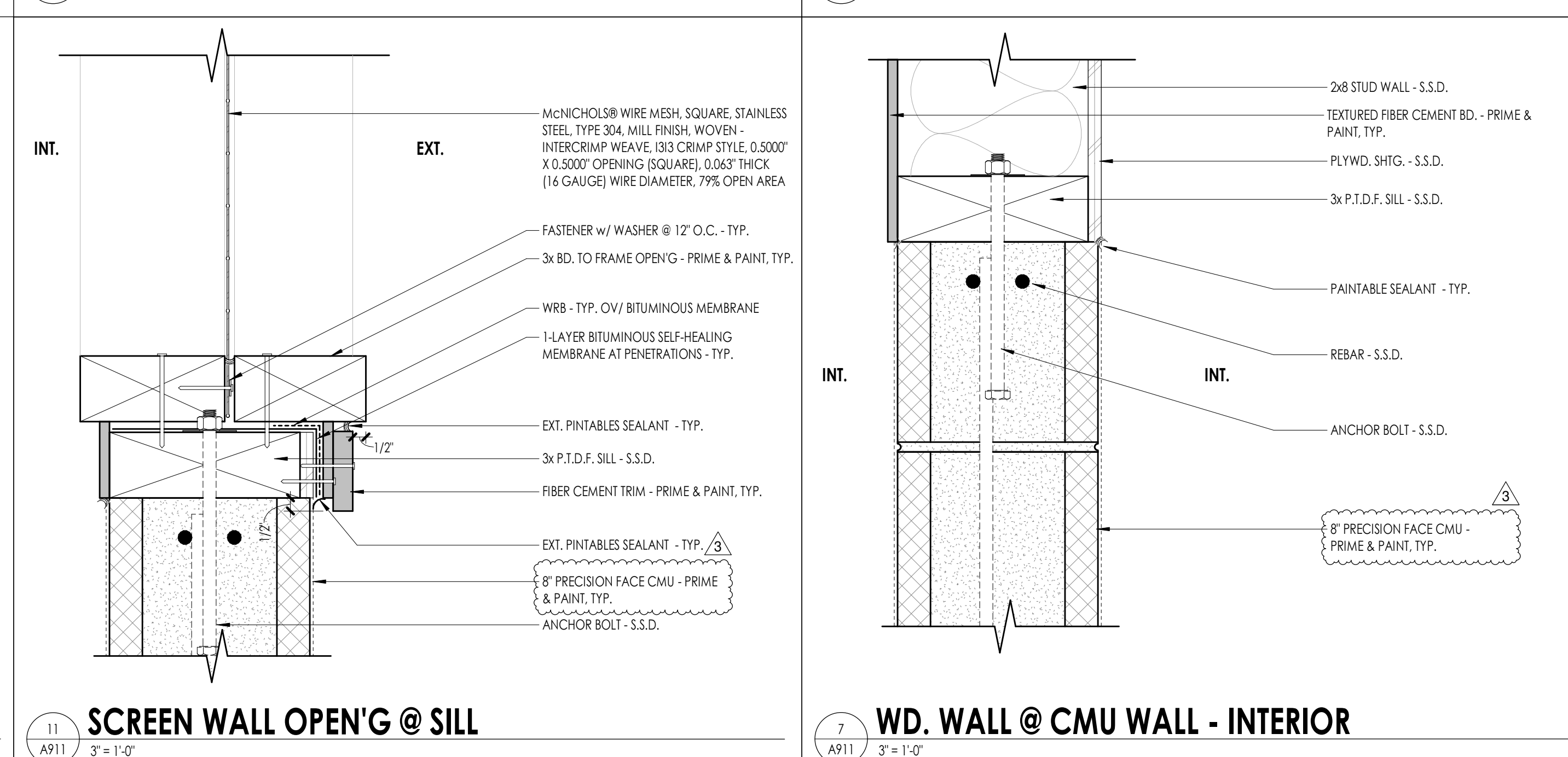
6
A911
ROOF TO WALL @ GABLE END
3" = 1'-0"



2
A911
H.M. DOOR JAMB @ CMU
3" = 1'-0"

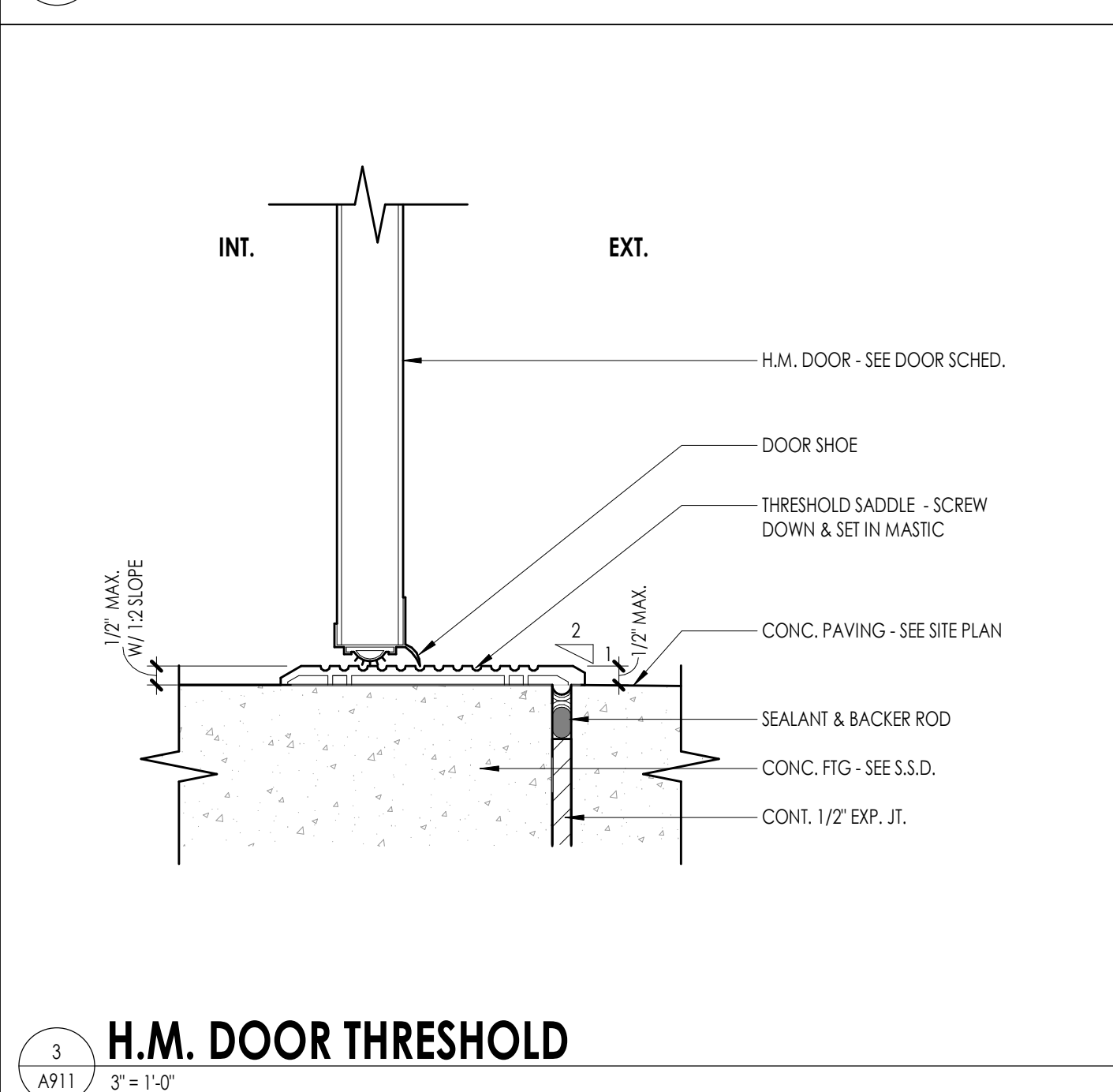


15
A911
TYP. OPENING HEAD FLASHING DETAIL
3" = 1'-0"

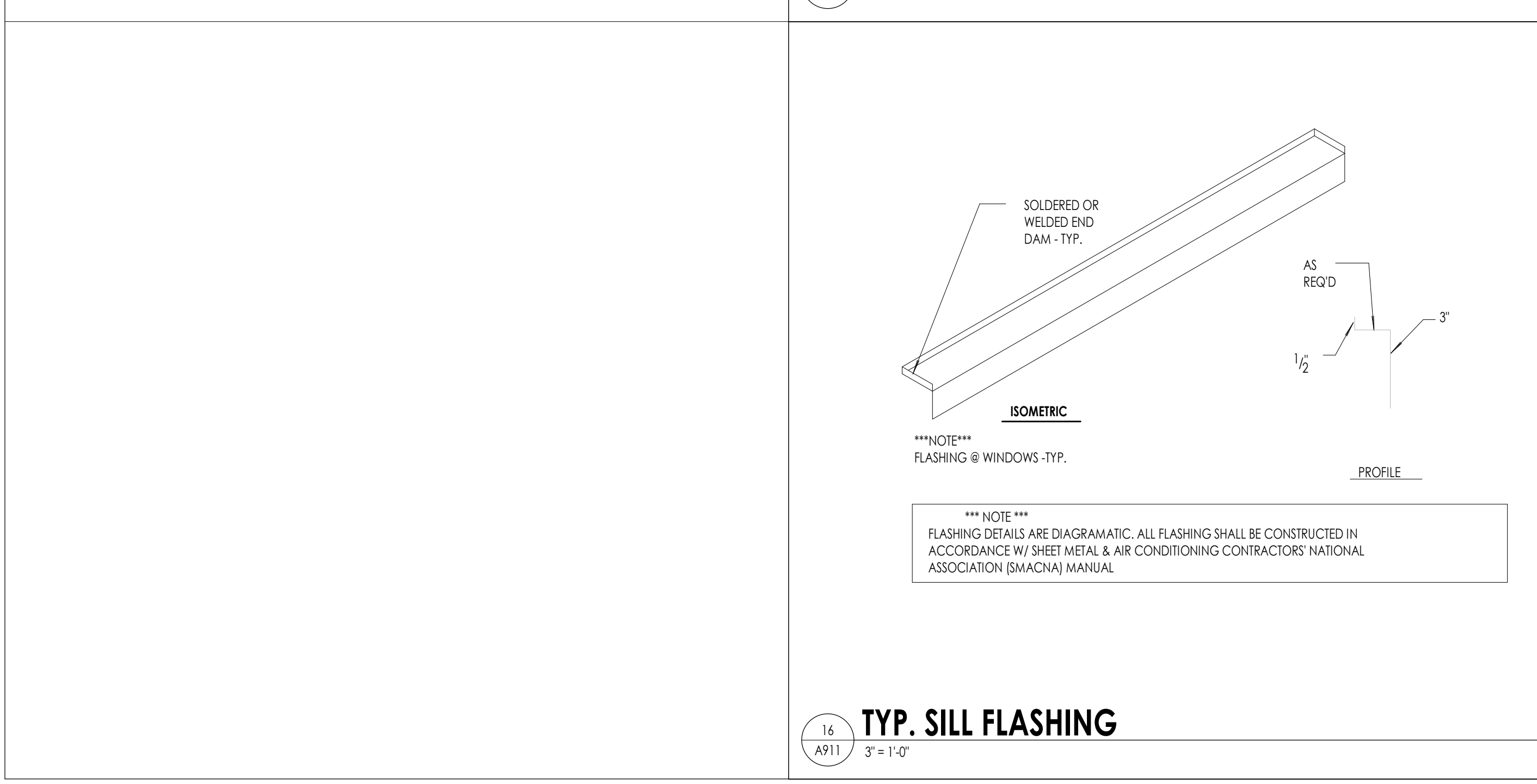


11
A911
SCREEN WALL OPEN'G @ SILL
3" = 1'-0"

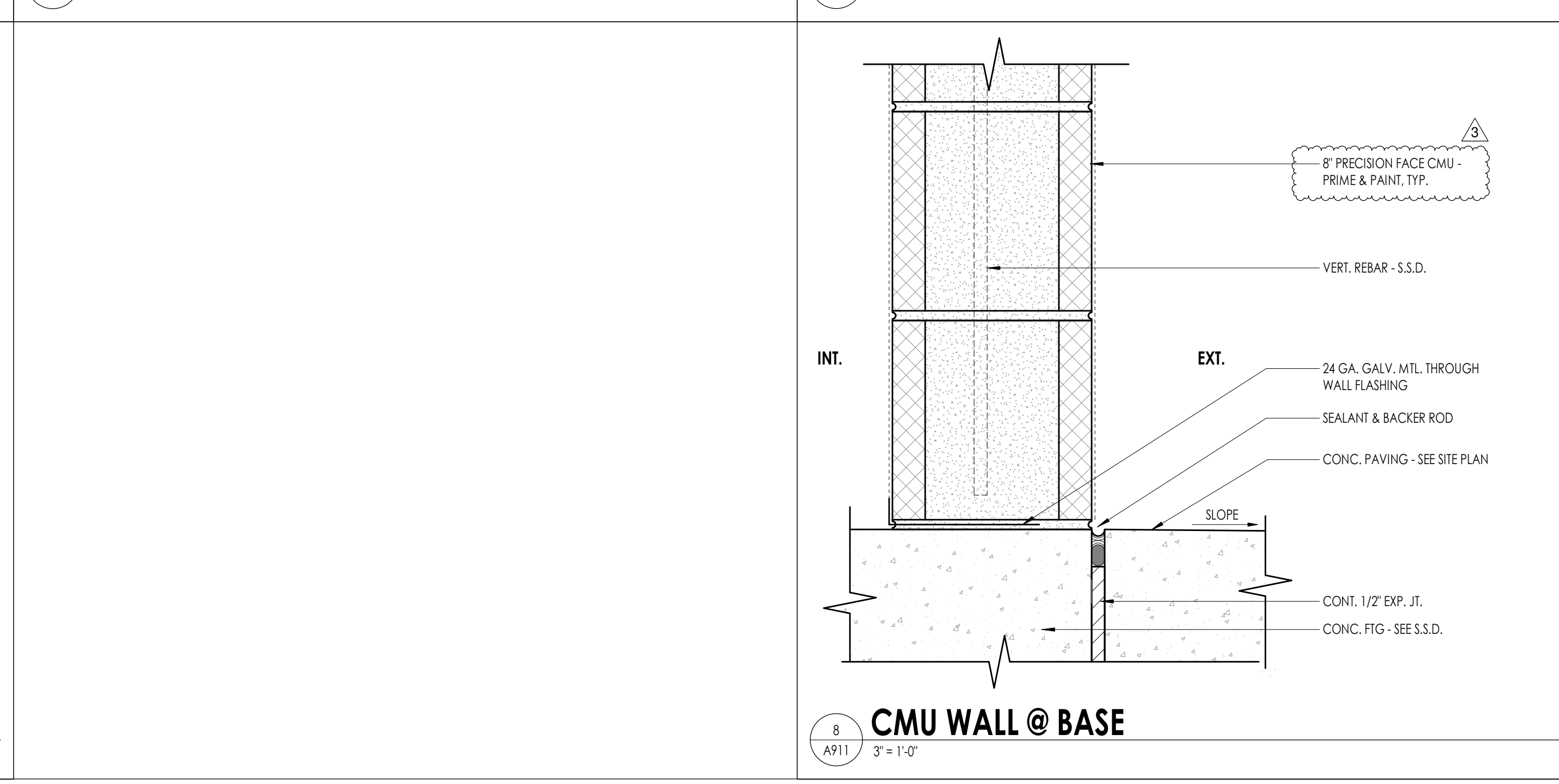
7
A911
WD. WALL @ CMU WALL - INTERIOR
3" = 1'-0"



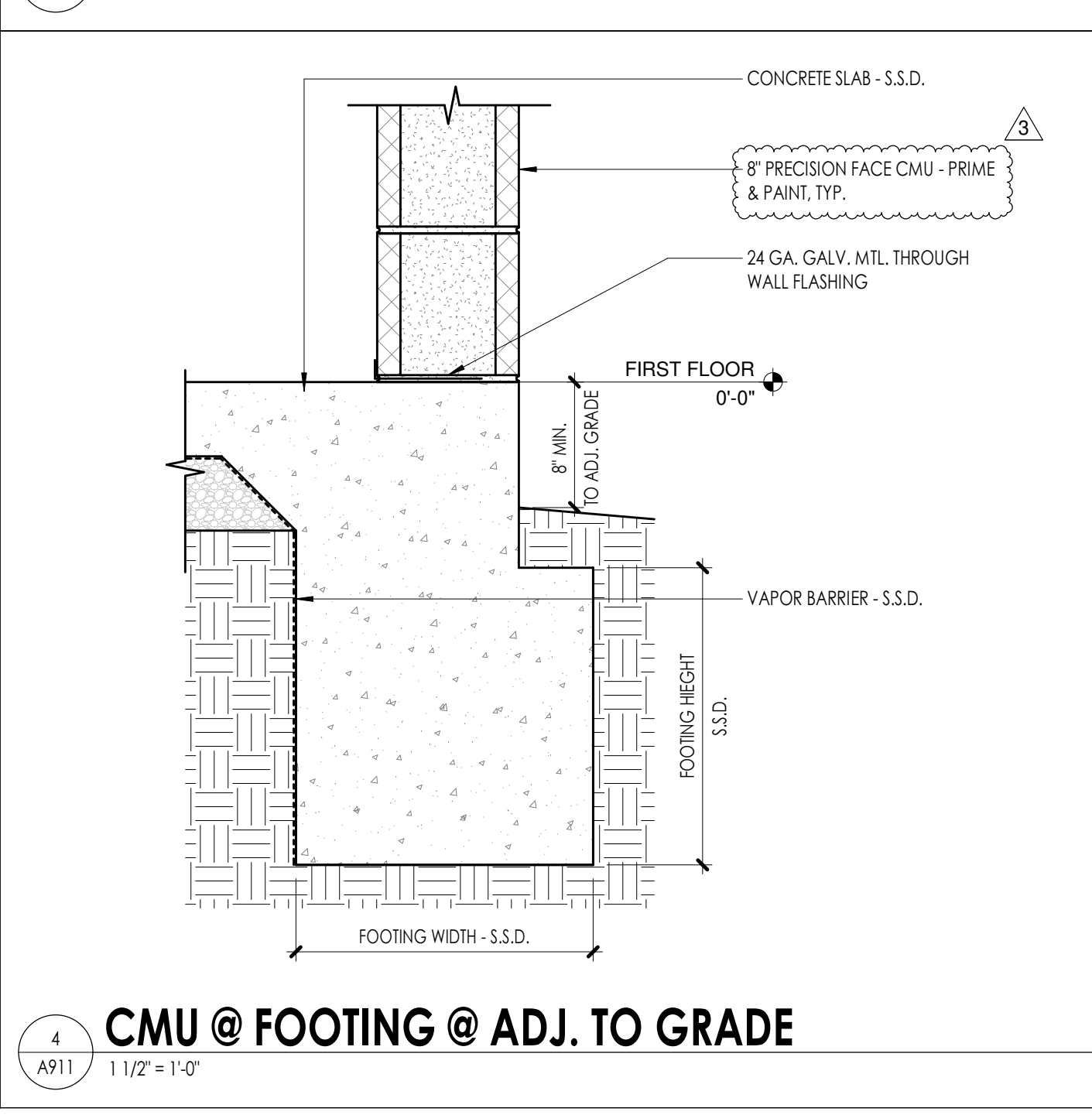
3
A911
H.M. DOOR THRESHOLD
3" = 1'-0"



16
A911
TYP. SILL FLASHING
3" = 1'-0"



8
A911
CMU WALL @ BASE
3" = 1'-0"



4
A911
CMU @ FOOTING @ ADJ. TO GRADE
1 1/2" = 1'-0"

REVISIONS	NO.	DESCRIPTION	DATE
3	ADDENDUM 1		5/14/26

PERMIT SET
02.26.26

DETAILS

A911